



Heritage Kitchener Committee Agenda

Tuesday, April 4, 2023, 4:00 p.m. - 6:00 p.m.

Council Chambers

City of Kitchener

200 King Street W, Kitchener, ON N2G 4G7

People interested in participating in this meeting can register online using the delegation registration form at www.kitchener.ca/delegation or via email at delegation@kitchener.ca. Written comments received will be circulated prior to the meeting and will form part of the public record.

The meeting live-stream and archived videos are available at www.kitchener.ca/watchnow.

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Chair - J. Haalboom

Vice-Chair - P. Ciuciura

Pages

1. **Commencement**
2. **Disclosure of Pecuniary Interest and the General Nature Thereof**
Members of Council and members of the City's local boards/committees are required to file a written statement when they have a conflict of interest. If a conflict is declared, please visit www.kitchener.ca/conflict to submit your written form.
3. **Delegations**
Pursuant to Council's Procedural By-law, delegations are permitted to address the Committee for a maximum of five (5) minutes.
 - 3.1 **Item 4.1 - Adam Joncas**
4. **Discussion Items**

| | | | |
|-----|---|------|-----|
| 4.1 | Heritage Permit Application HPA-2023-V-002, 17 Ahrens Street West, Demolition and Reconstruction of Porch, Replacement of Front Door and Two Windows, DSD-2023-134 | 10 m | 3 |
| 4.2 | Notice of Intention to Designate 369 Frederick Street Under Part IV of the Ontario Heritage Act, DSD-2023-116 | 15 m | 46 |
| 4.3 | Status Updates - Heritage Best Practices Update and 2023 Priorities, Heritage Impact Assessment Follow-ups | 5 m | |
| 5. | Information Items | | |
| 5.1 | Memo: Kitchener Great Places Awards 2023, DSD-2023-142 | | 119 |
| 5.2 | Heritage Permit Application Tracking Sheet | | 122 |
| 6. | Adjournment | | |

Mariah Blake
Committee Administrator

REPORT TO: Heritage Kitchener

DATE OF MEETING: April 4, 2023

SUBMITTED BY: Garrett Stevenson, Interim Planning Director, 519-741-2200 ext. 7070

PREPARED BY: Jessica Vieira, Heritage Planner, 519-741-2200 ext. 7041

WARD(S) INVOLVED: Ward 10

DATE OF REPORT: March 14, 2023

REPORT NO.: DSD-2023-134

SUBJECT: Heritage Permit Application HPA-2023-V-002
17 Ahrens Street West
Demolition and Reconstruction of Porch, Replacement of
Front Door and Two Windows

RECOMMENDATION:

That pursuant to Section 42 of the Ontario Heritage Act, Heritage Permit Application HPA-2023-V-002 to permit the demolition and reconstruction of the front porch as well as the replacement of the front door and two main-floor front windows for the property municipally addressed as 17 Ahrens Street West, BE APPROVED in accordance with the supplementary information submitted with the application and subject to the following conditions:

1. That a material sample board be submitted to Heritage Planning staff for review prior to the issuance of a building permit; and
2. That final building permit drawings be reviewed, and heritage clearance provided by Heritage Planning staff prior to the issuance of a building permit.

REPORT HIGHLIGHTS:

The purpose of this report is to present a proposal for the demolition and reconstruction of the front porch as well as the replacement of the front door and two main-floor front windows for the property municipally addressed as 17 Ahrens Street West, as detailed in Heritage Permit Application HPA-2023-V-002 and in Attachment A.

- The key finding of this report is that the proposed work will not negatively impact the cultural heritage value or interest of the property or the surrounding area, as it is in keeping with the architectural style and character of the subject property and complies with the policies and guidelines of the Civic Centre Neighbourhood Heritage Conservation District Plan as well as other heritage best practices.
- There are no financial implications associated with this report.

- Community engagement included posting this report and associated agenda in advance of the meeting and consultation with the Heritage Kitchener Committee.

EXECUTIVE SUMMARY:

Heritage Permit Application HPA-2023-V-002 is for the property municipally addressed as 17 Ahrens Street West, designated under Part V of the Ontario Heritage Act and located in the Civic Centre Neighbourhood Heritage Conservation District. It proposes the demolition and reconstruction of an existing front porch that is deteriorated beyond repair. The new porch will be constructed using both wood and Azek while maintaining the existing size and appearance. In addition, the application is proposing the replacement of the existing front door and two main-floor windows as they are also in disrepair and no longer seal properly. In reviewing the merits of this application, Heritage Planning Staff note that the proposed work meets the policies and guidelines of the Civic Centre Neighbourhood Heritage Conservation District Plan, maintain the overall appearance of the original elements while improving the efficiency and functionality of the home, and is not anticipated to adversely impact the heritage attributes or character of the subject property or surrounding area.

BACKGROUND:

The Development Services Department is in receipt of Heritage Permit Application HPA-2023-V-002, which seeks permission to demolish and reconstruct the front porch as well as replace the front door and two main-floor front windows at the property municipally addressed as 17 Ahrens Street, located within the Civic Centre Neighbourhood Heritage Conservation District.

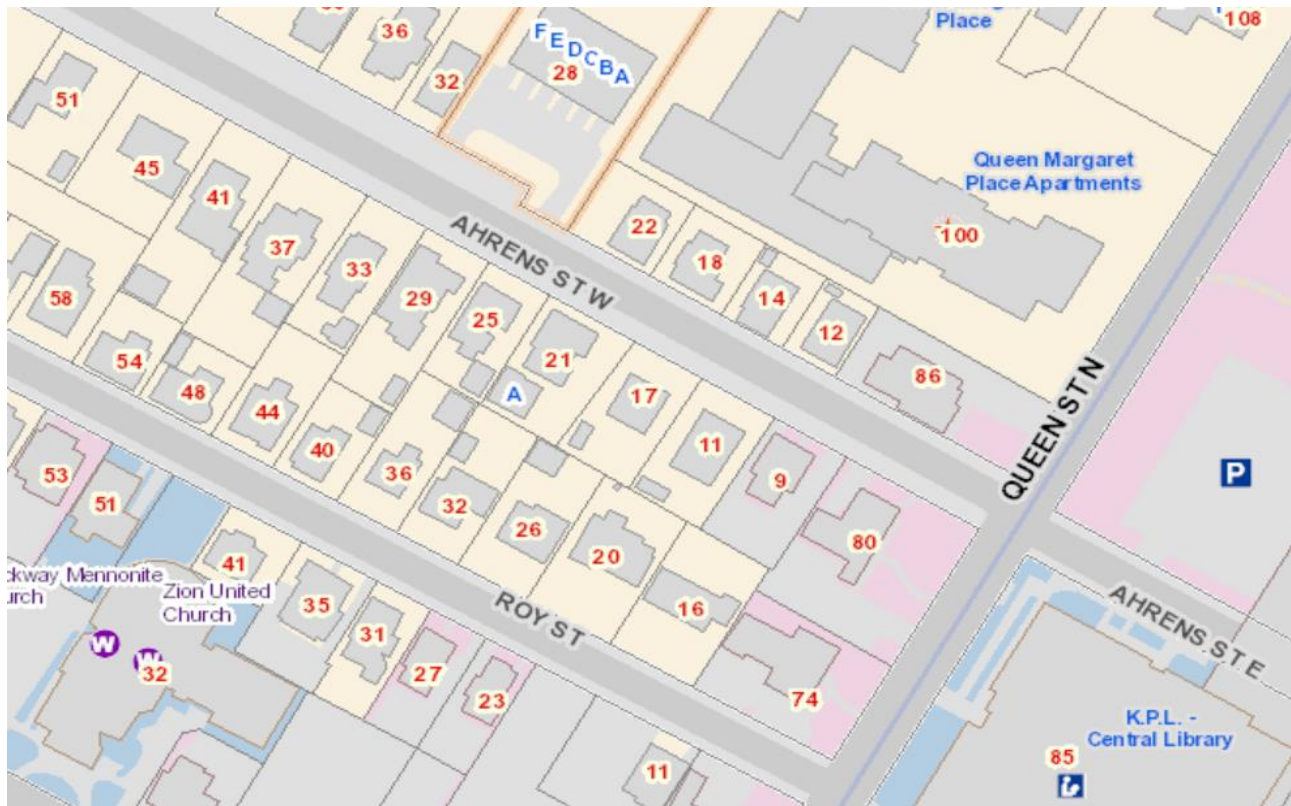


Figure 1: Location Map of Subject Property

REPORT:

The subject property is located on the south side of Ahrens Street West, between Queen Street to the east and Young Street to the west. It is designated under Part V of the Ontario Heritage Act and is within the Civic Centre Neighbourhood Heritage Conservation District (CCNHCD).

The subject property is classified as being District Significance C within the CCNHCD Plan. Group C buildings are not fine or very fine examples of defined architectural styles but do have attributes that contribute value to the heritage environment of the district. The building at 17 Ahrens Street West is 2 and a half storeys in height and was constructed c. 1895 in the Berlin Vernacular architectural style, which is a form of Queen Anne style homes unique to the Kitchener area. Notable features of the home include its front dormer window and the raised porch which spans the front width of the home and consists of decorative railings and posts. Most of the original windows on the home have been replaced with vinyl, though the window openings have retained their original size. The storm door and front door appear to be original.



Figure 2: View of Subject Property from the Streetline

Proposed Work

Demolition of Existing Front Porch

The existing front porch is in poor condition and no longer structurally stable, with noticeable deterioration and sagging in the posts, railings, steps, and wood decking (Figures 3-5). The contractors for the proposed work have assessed its existing condition and determined that the porch is not salvageable. The entirety of the front porch including the roof and floor structure is to be removed and disposed of. Some components such as the support posts, sunrise details, and handrail system, will be saved for the purpose of replication and then disposed of once these elements have been milled to match the original.

The demolition policies of the CCNHCD Plan mostly references the demolition of entire structures, though it does make note that the demolition or replacement of heritage attributes or distinctive architectural features is not encouraged. Where demolition is proposed, supporting documentation demonstrating appropriate reasoning is required. This has been provided in the application package and attached to this report as Appendix A.



Figures 3-5: Deterioration of Existing Porch

Reconstruction of Front Porch

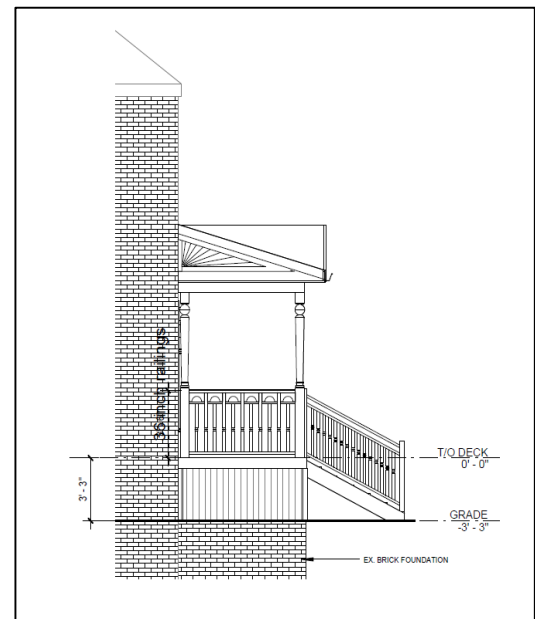
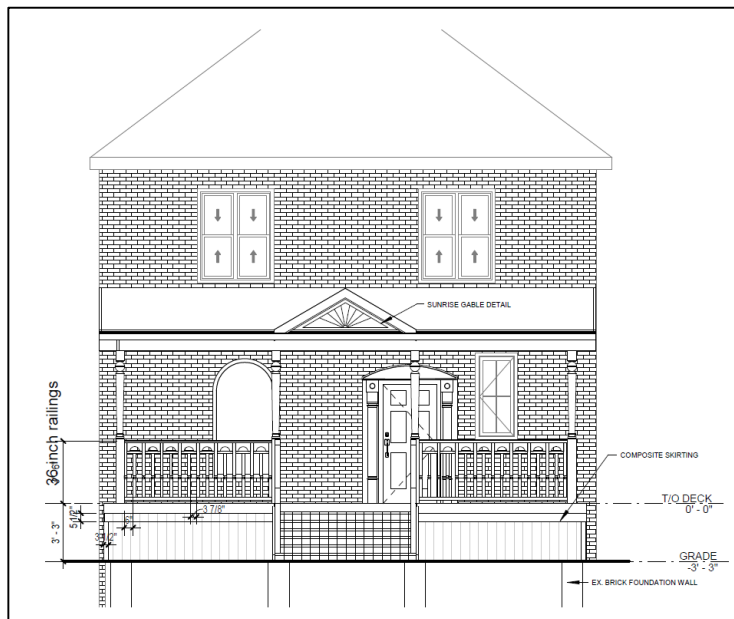
The CCNHCD Plan contains policy direction which pertains to alterations to homes, and specifically work done to porches and verandahs. The CCNHCD Plan recognizes porches as being significant features to the appearance of the heritage district that possess both functional and decorative value.

The footprint of the new porch is proposed to match the existing. It will also be of a matching size and scale, with only minor modifications to the height of the support posts and railing system to comply with the height requirements of the Ontario Building Code. Structural elements including the decking and the stairs are to be comprised of Azek PVC porch boards. This is a composite material which retains the appearance and texture of wood but is more durable and requires less upkeep than wood (Figure 6 and 7). The floor boards would measure 3 1/8" in width and are to be a slate grey colour.



Figure 6-7: Recent Project Completed by Contractor Using the Same Azek Material

The distinctive elements of the porch, including the decorative railing, posts, and sunrise detailing, is to be replicated using wood. The roof of the porch will also use wood with asphalt shingles that match the existing. Overall, the appearance of the porch will be maintained (Figure 8 and 9).



Figures 8-9: Elevation Drawings of the Proposed Work

Window and Door Replacement

Though the storm door and front door have been repaired multiple times, they have now deteriorated beyond repair. The storm door is cracked, and the interior front door no longer fits its frame. The windows to either side of the door also do not seal properly and are not energy efficient.



Figure 10: The existing storm door and front door

The new door is to be made from insulated steel and will mimic the appearance of the existing storm door, including panel layout and glass mullions. A similar project was undertaken at 22 Ahrens Street West through Heritage Permit Application HPA-2017-V-036 which was approved in December of 2017 (Figure 11). The proposed windows are to be vinyl, which is the same material used in the other windows of the house and which would establish consistency throughout the building. The new windows are to be of the same size, colour, style, and proportions of the existing windows to ensure continuity and compatibility with the existing character of the house and neighbourhood. Further, the existing wood sills and interior casings are to remain. While staff typically discourage the use of vinyl windows as being an inappropriate material for the character of the area, since the other windows of the home have already been replaced with this material there is little benefit in exploring other options for the two remaining windows.



Figure 11: New Door Installed at 22 Ahrens Street West

Heritage Planning Comments

In reviewing the merits of the application, heritage planning staff note the following:

- The proposed demolition and reconstruction of the front porch is necessary due to the deterioration and instability of the existing porch.
- The subject property is classified as District Significance C, meaning it is not a fine or very fine example of a distinctive architectural style but does have attributes which contribute to the continuity and character of the streetscape and area.
- While staff typically discourage the use of vinyl windows as being an inappropriate material for the character of the area, since the other windows of the home have already been replaced with this material there is little benefit in exploring other options for the two remaining windows.
- There is precedence for the proposal, as similar projects using the same materials have been approved and undertaken within the CCNHCD, specifically at 22 Ahrens Street through Heritage Permit Application HPA-2017-V-036, approved by the Heritage Kitchener Committee in December 2017.
- The proposed work is in compliance with the following CCNHCD Plan policies and guidelines:
 - When replacement of features (e.g. doors, windows, trim) is unavoidable, the replacement components should be of the same general style, size, proportions, and material whenever possible.
 - *The new porch, door, and window are the same style, size, and proportion of the existing elements. The original appearance of the home will be maintained.*
 - Incorporate similar building forms, materials, scale and design elements in the alteration that exist on the original building.
 - *The porch will retain its original appearance, as the new construction maintains the original size and scale in addition to reinstating replications of distinctive elements including the posts, railing system, and sunrise details.*
 - For decorative elements such as gingerbread fretwork and other trim, wood is still the best choice to recreate the original appearance but using improved technology such as waterproof glues and biscuit joiners and liquid preservatives and best quality paints to protect the finished product.
 - *The decorative elements of the porch will be wood. The roof of the porch will also be comprised of wood and asphalt shingles to match the existing shingles on the dwelling. The structural elements such as the decking and steps are to be comprised of Azek, which is a composite material that has the appearance of wood but has greater resistance to heat and moisture damage.*

- The proposed work is not anticipated to negatively impact the integrity and heritage character of the property, the Ahrens Street West streetscape, or the Civic Centre Neighbourhood Heritage Conservation District.

STRATEGIC PLAN ALIGNMENT:

This report supports the delivery of core services.

FINANCIAL IMPLICATIONS:

Capital Budget – The recommendation has no impact on the Capital Budget.

Operating Budget – The recommendation has no impact on the Operating Budget.

COMMUNITY ENGAGEMENT:

INFORM – This report has been posted to the City's website with the agenda in advance of the Council / Committee meeting.

CONSULT – The Heritage Kitchener Committee will be consulted regarding the subject Heritage Permit Application.

PREVIOUS REPORTS/AUTHORITIES:

- *Ontario Heritage Act*
- *Civic Centre Neighbourhood Heritage Conservation Plan*

APPROVED BY: Justin Readman, General Manager, Development Services Department

ATTACHMENTS:

Attachment A – Heritage Permit Application HPA-2023-V-002 and supporting documents



HERITAGE PERMIT APPLICATION & SUBMISSION REQUIREMENTS

Planning Division – 200 King Street West, 6th Floor
P.O. Box 1118, Kitchener ON N2G 4G7
519-741-2426; planning@kitchener.ca

STAFF USE ONLY

| Date Received: | Accepted By: | Application Number: |
|----------------|--------------|---------------------|
| | | HPA- |

PART B: HERITAGE PERMIT APPLICATION FORM

1. NATURE OF APPLICATION

- ☒ Exterior
 ☐ Interior
 ☐ Signage
☒ Demolition
 ☐ New Construction
 ☐ Alteration
 ☐ Relocation

2. SUBJECT PROPERTY

Municipal Address: 17 Ahrens St W., Kitchener, Ontario

Legal Description (if know):

Building/Structure Type: ☒ Residential ☐ Commercial ☐ Industrial ☐ Institutional

Heritage Designation: ☐ Part IV (Individual) ☒ Part V (Heritage Conservation District)

Is the property subject to a Heritage Easement or Agreement? ☐ Yes ☐ No

3. PROPERTY OWNER

Name: Adam Joncas and Catherine Kovacich

Address:

City/Province/Postal Code: Kitchener, Ontario, N2H4B6

Phone:

Email:

4. AGENT (if applicable)

Name:

Company:

Address:

City/Province/Postal Code:

Phone:

Email:

5. WRITTEN DESCRIPTION

Provide a written description of the project including any conservation methods proposed. Provide such detail as materials to be used, measurements, paint colours, decorative details, whether any original building fabric is to be removed or replaced, etc. Use additional pages as required. Please refer to the City of Kitchener Heritage Permit Application Submission Guidelines for further direction.

See attached

6. REVIEW OF CITY OF KITCHENER HERITAGE PERMIT APPLICATION SUBMISSION GUIDELINES

Describe why it is necessary to undertake the proposed work:

See attached

Describe how the proposal is consistent with the Part IV individual designating by-law or the Part V Heritage Conservation District Plan:

See attached

Describe how the proposal is consistent with Parks Canada's *Standards and Guidelines for the Conservation of Historic Places in Canada* (www.historicplaces.ca/en/pages/standards-normes.aspx):

See attached

7. PROPOSED WORKS

- a) Expected start date: June, 2023 Expected completion date: July, 2023
- b) Have you discussed this work with Heritage Planning Staff? ☒ Yes ☐ No
 - If yes, who did you speak to? Jessica Vieira
- c) Have you discussed this work with Building Division Staff? ☐ Yes ☒ No
 - If yes, who did you speak to? _____
- d) Have you applied for a Building Permit for this work? ☐ Yes ☒ No
- e) Other related Building or Planning applications: Application number _____

8. ACKNOWLEDGEMENT

The undersigned acknowledges that all of the statements contained in documents filed in support of this application shall be deemed part of this application. The undersigned acknowledges that receipt of this application by the City of Kitchener - Planning Division does not guarantee it to be a 'complete' application. The undersigned acknowledges that the Council of the City of Kitchener shall determine whether the information submitted forms a complete application. Further review of the application will be undertaken and the owner or agent may be contacted to provide additional information and/or resolve any discrepancies or issues with the application as submitted. Once the application is deemed to be fully complete, the application will be processed and, if necessary, scheduled for the next available Heritage Kitchener committee and Council meeting. Submission of this application constitutes consent for authorized municipal staff to enter upon the subject property for the purpose of conducting site visits, including taking photographs, which are necessary for the evaluation of this application. The undersigned acknowledges that where an agent has been identified, the municipality is authorized but not required to contact this person in lieu of the owner and this person is authorized to act on behalf of the owner for all matters respecting the application. The undersigned agrees that the proposed work shall be done in accordance with this application and understands that the approval of this application under the *Ontario Heritage Act* shall not be a waiver of any of the provisions of any by-law of the City of Kitchener or legislation including but not limited to the requirements of the Building Code and the Zoning By-law. The undersigned acknowledges that in the event this application is approved, any departure from the conditions imposed by the Council of the City of Kitchener or from the plans or specifications approved by the Council of the City of Kitchener is prohibited and could result in a fine being imposed or imprisonment as provided for under the *Ontario Heritage Act*.

Signature of Owner/Agent: Adam Joncas Date: February 23, 2023

Signature of Owner/Agent: Catherine Kovacich Date: February 23, 2023

9. AUTHORIZATION

If this application is being made by an agent on behalf of the property owner, the following authorization must be completed:

I / We, _____, owner of the land that is subject of this application,
hereby authorize _____ to act on my / our behalf in this regard.

Signature of Owner/Agent: _____ Date: _____

Signature of Owner/Agent: _____ Date: _____

The personal information on this form is collected under the legal authority of Section 33(2), Section 42(2), and Section 42(2.2) of the Ontario Heritage Act. The information will be used for the purposes of administering the Heritage Permit Application and ensuring appropriate service of notice of receipt under Section 33(3) and Section 42(3) of the Ontario Heritage Act. If you have any questions about this collection of personal information, please contact the Manager of Corporate Records, Legislated Services Division, City of Kitchener (519-741-2769).

STAFF USE ONLY

Application Number: _____

Application Received: _____

Application Complete: _____

Notice of Receipt: _____

Notice of Decision: _____

90-Day Expiry Date: _____

PROCESS:

☐ Heritage Planning Staff: _____

☐ Heritage Kitchener: _____

☐ Council: _____

Front Porch Description

17 Ahrens St W is a simple, largely plain, White-Painted house, listed as a "C" in the Civic Heritage Conservation District. One of the wonderful features is a front porch that spans the width of the house. Over time the wood porch has been repaired and repainted many times. For example, the rotten bottom of the porch posts have been cut out and patched with new wood 10+ years ago. Unfortunately, time and mother nature have taken its toll on the porch and it is now beyond repair.

Front Porch Current State

Wood decking has rotted through
Bottom of the posts are rotting and resting on the rotting deck
Railings have rotted and are falling apart
Steps have rotted and are no longer safe
Wood throughout the porch is rotting
Animals have made a home between the ceiling and the roof of the porch

Front Porch Proposal

We are proposing to remove the existing rotting porch and rebuild it using a similar design. The footprint of the front porch will remain the same. We are planning on reproducing the unique features of the porch (e.g. sunrise features in the front and sides, design of the railings and posts). We will be using wood throughout the porch except for the decking, stairs and skirting where we plan on using Azek. This material has the same look as wood but will last much longer with minimal upkeep and will not require annual painting.

Front Door and Window Replacement

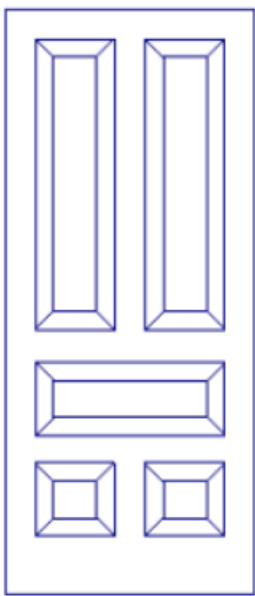
While performing the work for the front porch we also plan on replacing the front door and two windows on each side of the door. The current front door is wood with a wood storm door on the outside that is painted black. The windows are both wood but the frames have been painted black.

Front Door and Window Current State

The storm door and front door have been adjusted and repaired over time. The storm door is cracked and falling apart. The interior wood door does not fit the frame very well and is not energy efficient. The large window to the left of the door is single pane and not properly sealed as frost forms on the inside of the window in the winter. The smaller window on the right side of the door has a storm window sealed in front of the original window.

Front Door and Window Proposal

Replace the existing door with a painted steel insulated door. The look will be similar to our neighbors across the street. The panel design will be similar to the interior doors. The windows will be replaced with modern, energy efficient material and there should not be any noticeable difference from the street view.























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Waterloo, ON N2V 1Y9

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CONTRACT PROPOSAL

Page | 1 of 1

October 20, 2021

TO: **Catherine Kovacich**
17 Ahrens Street West
Kitchener, ON N2H 4B6

Our firm price to complete Porch Renovations
as per attached specifications and drawings.
(Including HST of \$11,934.39)

\$103,737.39

Due to the volatility of the material supply chain presently, contract will be reviewed approx 30 days before start date. Quote will be revised at that time based on the current material costs and trade costs.

Payments to be made as follows:

Terms: Deposit of \$10,000.00 upon signing this contract

Prepare Contractors Breakdown of Contract Monthly Progress draws invoiced
by the 7th of the following month based on work completed.

Any changes on the work and the price to be changed for the same shall be made in writing.

This proposal is made on the basis of current material and labour cost. A delay in acceptance of more than 30 days will require a review of the proposal and re-dating before the agreement becomes binding.

Respectfully Submitted.

Steven Adams

Duane Erb Construction Inc.

ACCEPTANCE

You are hereby authorized to finish all materials and labour to complete the work mentioned in the above proposal, for which the undersigned agrees to pay the amount mentioned in said proposal, and according to the terms thereof.

DATE: _____

SIGNATURE: _____

Catherine Kovacich Front Porch Specifications

Page | 1 of 2

Washroom facilities and access to potable water as required by the Occupational Health And Safety Act is by the owner. If portable toilet is required, it will be billed out at \$192.00 per month.

1. Drawings and Permit including Heritage Permit is by owner.

2. Demolition

Note: Brick foundation walls to remain as is

- Remove porch including roof and floor structure, same as new
- Dispose of all demolition

3. Allowance of \$2,000.00 to make good brick foundations

4. Install Landscaping Cloth and 2" of ¾ stone.

5. All landscaping and landscaping repairs are by the owner

6. Framing

- Micro Pro Sienna Framing for floor
- 2" x 8" joist @ 16" o.c. c/w standard blocking
- 2 ply 2" x 10" beam
- 6" x 6" Accoya posts, turned
- 2" x 6" rafters including ceiling joist
- PT framing including 2" x 12" stair stringers
- 2" x 4" PT skirt framing c/w rodent screen

7. Roofing

- 30 yr Builtmore Asphalt shingles to front porch c/w flashings as required

8. Electrical

- Remove existing light fixture
- Add 3 LED pot lights, tie into existing light

9. Decking

- Azek Harvestone Collection (Slate Gray) 3 1/8" T&G porch floor c/w Azek decking and stair treads
- Vycor deck protector
- PVC on rim joist covers and skirting including stair stringers and risers

10. Posts

- Accoya Sunrise detail in front and side gables c/w 2 ½" pine crown mold
- Accoya 12" wide pilasters, design as per drawing, turned to match existing
- Accoya 14" high pediment with sunrise detail, turned to match existing

Catherine Kovacich Front Porch Specifications

Page | 2 of 2

11. Railing

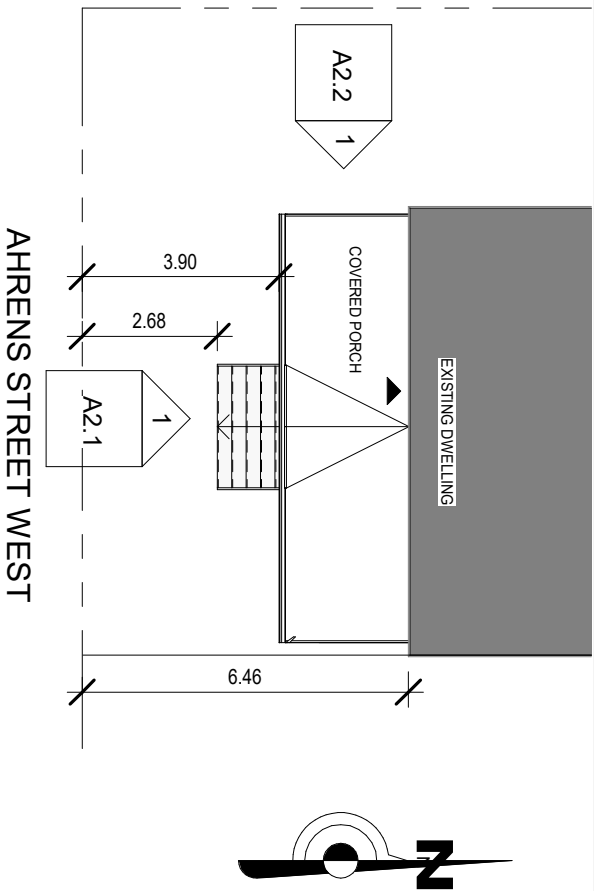
- Accoya 4 1/2" x 3" shaped top rail to match existing
- Accoya 4 1/2" x 3 1/2" shaped bottom rail to match existing
- Accoya 2 1/2" x 2 1/2" horizontal pickets to match existing railing c/w 1" arch board between spindles
- Accoya 2 1/2" x 2 1/2" spindles as per drawing

12. Aluminum

- Aluminum fascia and trough
- Clear T&G V match pine ceiling including soffits
- Cap beams with Accoya 1" x 8" between posts under beam with 1" molding at bottom edge including 2 1/2" pine crown mold and 1 1/2" pine molding at bottom of beam

13. Painting

- Prime Accoya on 6 sides before installation
- Paint two coats finish on Accoya posts, beams, pilasters, pediments and railing
- Paint two coats finish PVC skirting and rim board stringers and risers with AquaSurTech paint
- Paint two coats finish pine ceiling including soffits and sunrise gables

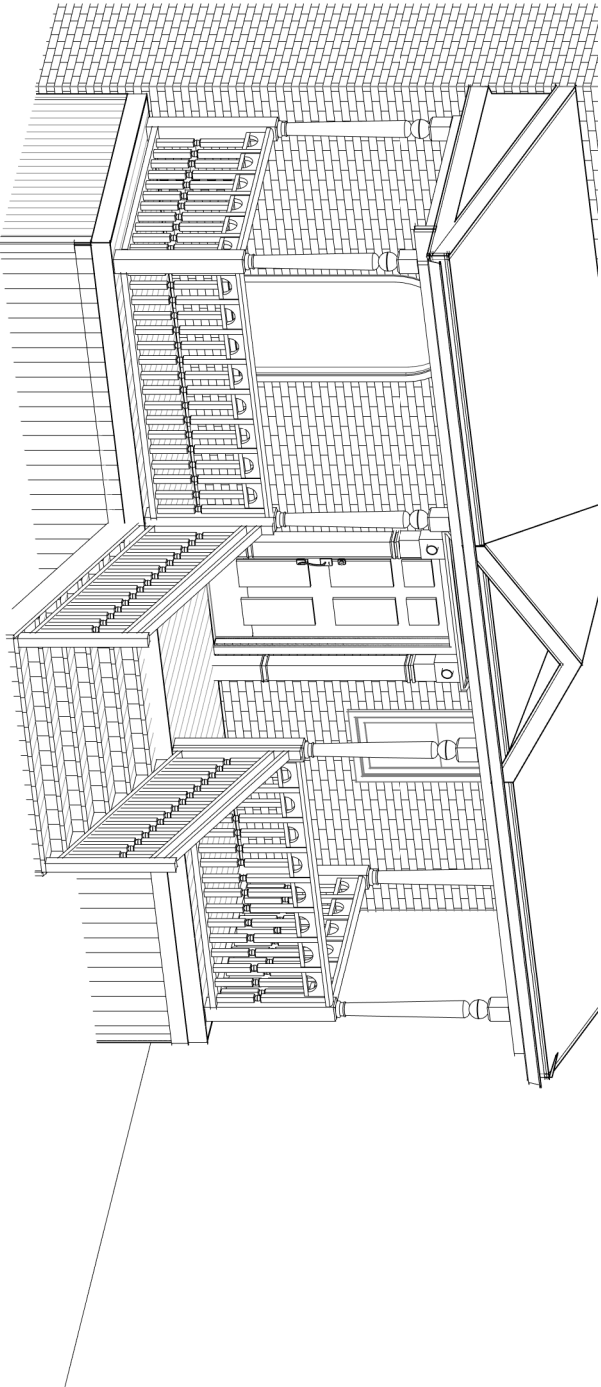


SITE PLAN INFORMATION BASED ON SURVEY INFORMATION PROVIDED FROM THE CLIENT. PROPERTY LINE LOCATIONS HAVE NOT BEEN VERIFIED BY LEGAL SURVEY, AND NO WARRANTY IS PROVIDED.

1

Site

1 : 150



2

3D View

All work shall conform to the Ontario Building Code 2012, local bylaws and regulations for the geographical location of the project. Any discrepancies between the drawings and site conditions shall be brought to the attention of the designer prior to start of the work. Any discrepancies between architectural, mechanical, structural, etc. drawings shall be brought to the attention of the designer. The use of these plans shall be restricted to the original project site for which they were created, and publication thereof is expressly limited to such use. Reuse, reproduction or publication by any method, in whole or in part, is prohibited. This drawing is classified as part of an unpublished collection of visual. It is an exclusive work of original authorship. None of the pictorial graphic or technical charts or drawings depicted on this sheet may be reproduced by any method, including tracing or photocopying, stored in a retrieval system, or transmitted in any form or by means electronic, mechanical or otherwise, nor may they be used or re-used for any purpose without the express prior written permission of the author. Title and ownership remains with the author without prejudice. Visual contact with these plans shall constitute prima facie evidence of the acceptance of these restrictions.

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| |
|---------------------------|
| 17 Ahrens St W, Kitchener |
| FRONT PORCH |

| | | | |
|------------------|------------|----------------|--|
| SITE & RENDERING | | | |
| Project number | 21027 | A1.0 | |
| Date | 07/12/2021 | | |
| Drawn by | TT | | |
| Checked by | JM | Scale: 1 : 150 | |

1 Deck Pl
3/16" = 1'-0"



DRAFTING & DESIGN INC.

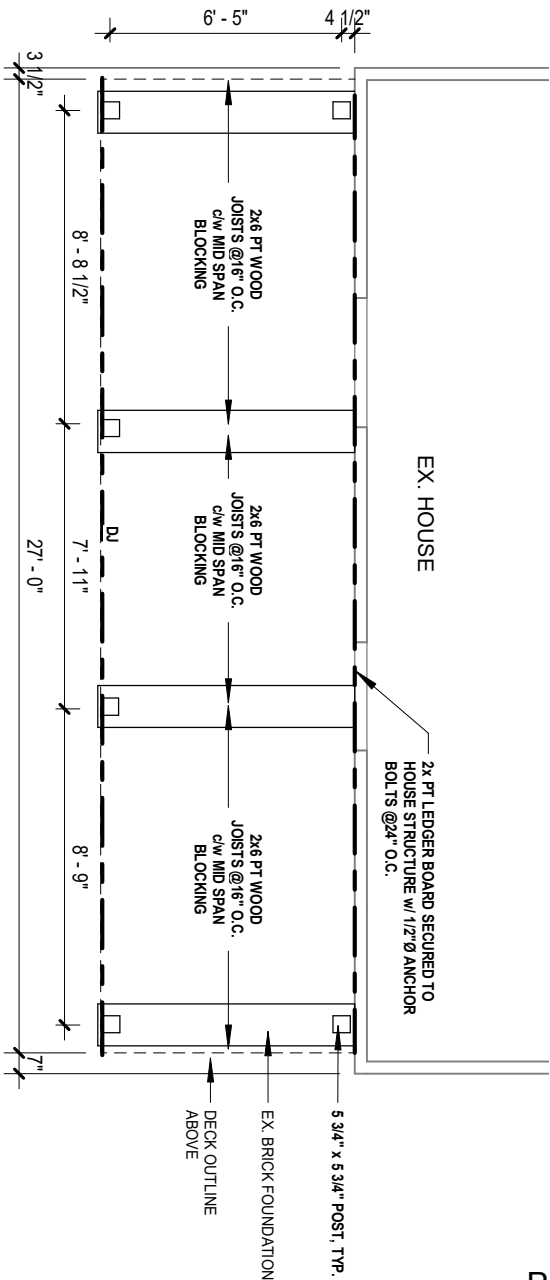
FRONT PORCH

Project number 21027

A1.1

Checked by JM

Scale 3/16" = 1'-0"



1 Foundation/Framing Plan
3/16" = 1'-0"

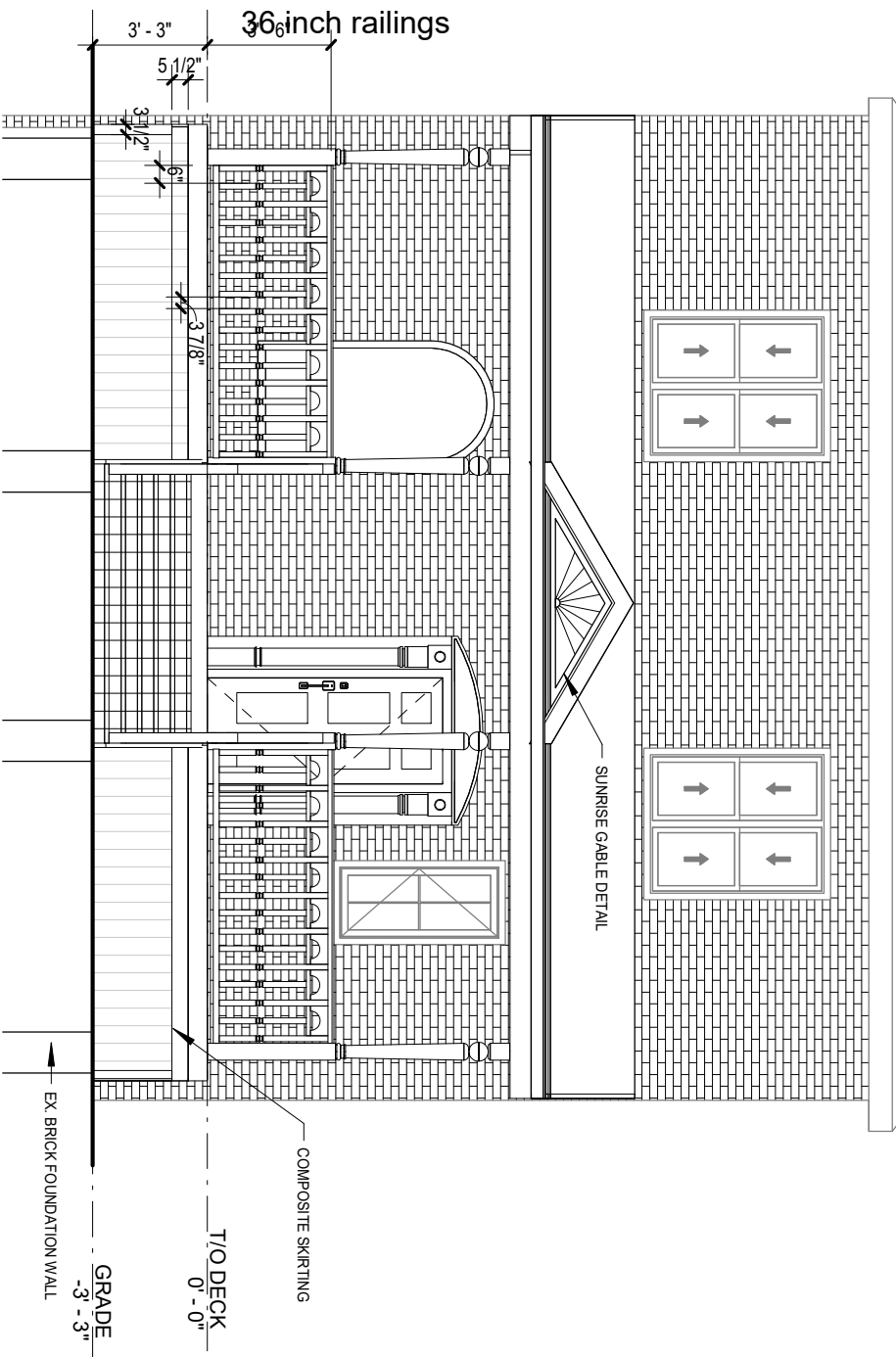
All work shall conform to the Ontario Building Code 2012, local bylaws and regulations for the geographical location of the project. Any discrepancies between the drawings and site conditions shall be brought to the attention of the designer prior to start of the work. Any discrepancies between architectural, mechanical, structural, etc. drawings shall be brought to the attention of the designer. The use of these plans shall be restricted to the original project site for which they were created, and publication thereof is expressly limited to such use. Reuse, reproduction or publication by any method, in whole or in part, is prohibited. This drawing is classified as part of an unpublished collection of visual. It is an exclusive work of original authorship. None of the pictorial graphic or technical charts or drawings depicted on this sheet may be reproduced by any method, including tracing or photocopying, stored in a retrieval system, or transmitted in any form or by means electronic, mechanical or otherwise: nor may they be used or re-used for any purpose without the express prior written permission of the author. Title and ownership remains with the author without prejudice. Visual contact with these plans shall constitute prima facie evidence of the acceptance of these restrictions.

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| |
|---------------------------|
| 17 Ahrens St W, Kitchener |
| FRONT PORCH |

| | | |
|-----------------|------------|---------------------|
| STRUCTURAL PLAN | | |
| Project number | 21027 | A1.2 |
| Date | 07/12/2021 | |
| Drawn by | TT | |
| Checked by | JM | Scale 3/16" = 1'-0" |



1

Front
3/16" = 1'-0"

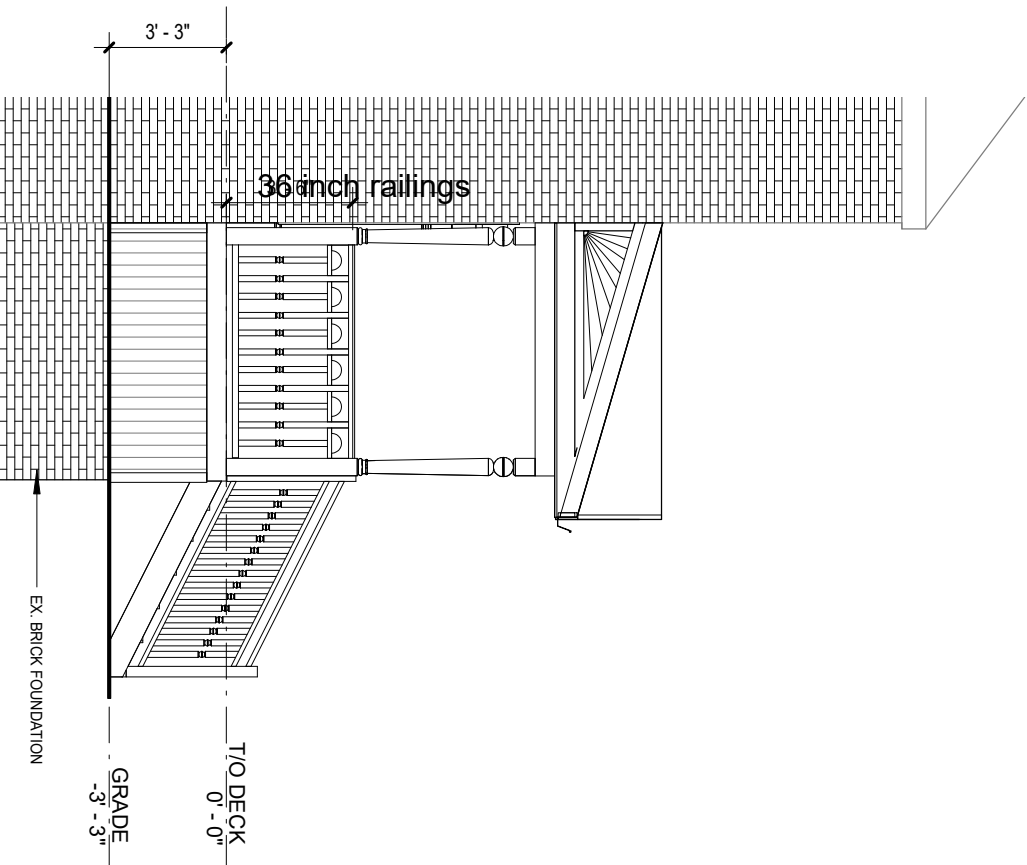
All work shall conform to the Ontario Building Code 2012, local bylaws and regulations for the geographical location of the project. Any discrepancies between the drawings and site conditions shall be brought to the attention of the designer prior to start of the work. Any discrepancies between architectural, mechanical, structural, etc. drawings shall be brought to the attention of the designer. The use of these plans shall be restricted to the original project site for which they were created, and publication thereof is expressly limited to such use. Reuse, reproduction or publication by any method, in whole or in part, is prohibited. This drawing is classified as part of an unpublished collection of visual. It is an exclusive work of original authorship. None of the pictorial graphic or technical charts or drawings depicted on this sheet may be reproduced by any method, including tracing or photocopying, stored in a retrieval system, or transmitted in any form or by means electronic, mechanical or otherwise: nor may they be used or re-used for any purpose without the express prior written permission of the author. Title and ownership remains with the author without prejudice. Visual contact with these plans shall constitute prima facie evidence of the acceptance of these restrictions.

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| |
|---------------------------|
| 17 Ahrens St W, Kitchener |
| FRONT PORCH |

| | | |
|----------------------|---------------------|--|
| FRONT ELEVATION | | |
| Project number 21027 | A2.1 | |
| Date 07/12/2021 | | |
| Drawn by JM | | |
| Checked by JM | Scale 3/16" = 1'-0" | |



1 Left
3/16" = 1'-0"

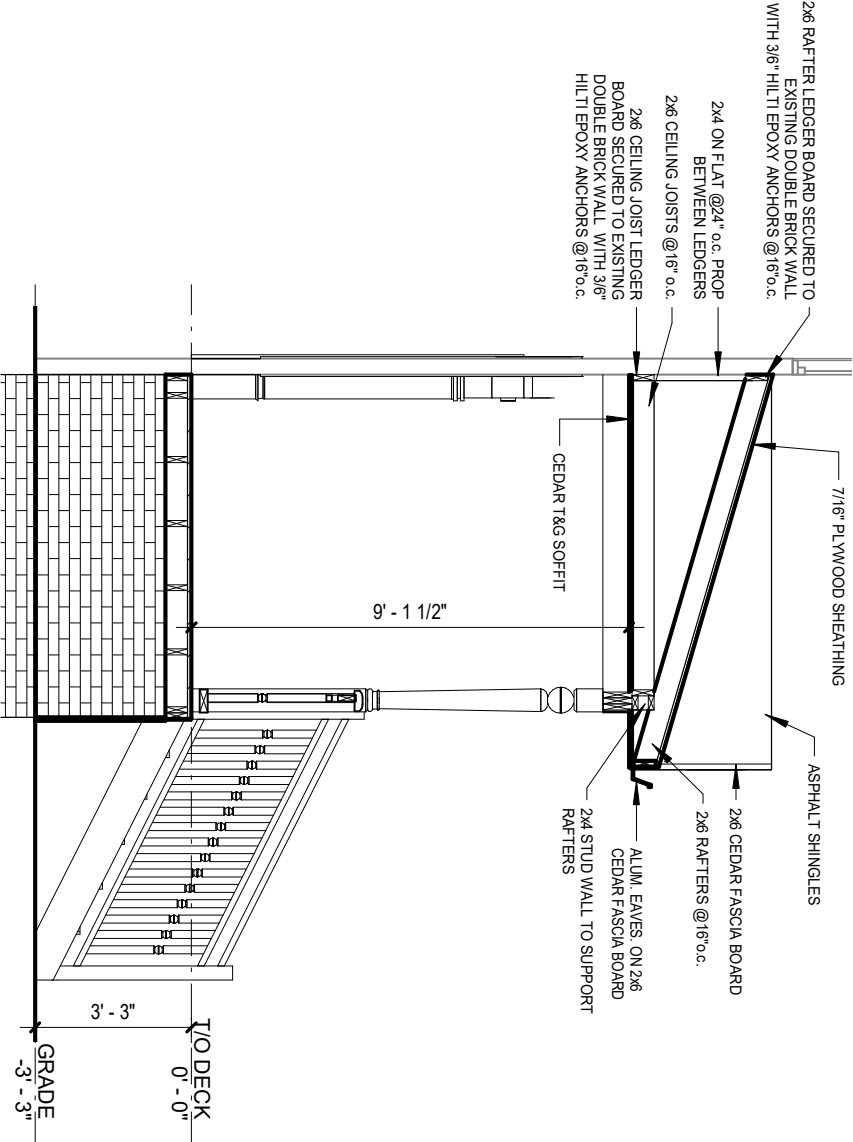
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| |
|---------------------------|
| 17 Ahrens St W, Kitchener |
| FRONT PORCH |

| | | |
|----------------|------------|---------------------|
| LEFT ELEVATION | | |
| Project number | 21027 | A2.2 |
| Date | 07/12/2021 | |
| Drawn by | TT | |
| Checked by | JM | Scale 3/16" = 1'-0" |



1
SECTION
1/4" = 1'-0"

All work shall conform to the Ontario Building Code 2012, local bylaws and regulations for the geographical location of the project. Any discrepancies between the drawings and site conditions shall be brought to the attention of the designer prior to start of the work. Any discrepancies between architectural, mechanical, structural, etc. drawings shall be brought to the attention of the designer. The use of these plans shall be restricted to the original project site for which they were created, and publication thereof is expressly limited to such use. Reuse, reproduction or publication by any method, in whole or in part, is prohibited. This drawing is classified as part of an unpublished collection of visual. It is an exclusive work of original authorship. None of the pictorial graphic or technical charts or drawings depicted on this sheet may be reproduced by any method, including tracing or photocopying, stored in a retrieval system, or transmitted in any form or by means electronic, mechanical or otherwise: nor may they be used or re-used for any purpose without the express prior written permission of the author. Title and ownership remains with the author without prejudice. Visual contact with these plans shall constitute prima facie evidence of the acceptance of these restrictions.

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| |
|---------------------------|
| 17 Ahrens St W, Kitchener |
| FRONT PORCH |

| | |
|----------------------|------------------------------|
| SECTION | |
| Project number 21027 | A2.3 |
| Date 07/12/2021 | |
| Drawn by TT | |
| Checked by | Checker's scale 1/4" = 1'-0" |

17 Ahrens Street West, Kitchener Front Porch Specifications

Page | 1 of 11

1. Removals

- Remove and dispose of entire front porch including roof and floor structure. Structure is deteriorated beyond repair.
- Save components needed for replication such as support posts, sunrise details and handrail system.
- Dispose of all demolition

2. Repair existing brick foundations as required to support new floor structure.

3. Install Landscaping Cloth and 2" of $\frac{3}{4}$ stone underneath new porch and stairs.

4. Framing as per drawing and the O.B.C.

- Micro Pro Sienna PT framing for floor structure including 2" x 8" joist @ 16" o.c. c/w standard blocking
- 6"x6" Accoya support posts turned to match existing. (Turned portion of post will need to shorten up and move up a bit to accommodate new 36" high railings to meet O.B.C. code)
- 3 ply 2"x8" spruce porch beams
- 2"x6" spruce rafters including ceiling joist
- 2"x4" PT skirt framing @ 16" o.c. c/w rodent screen around porch and stairs
- 2"x12" PT stair stringers @ 16" o.c.
- All fasteners used with PT to be pre-painted or galvanized

5. Roofing

- Biltmore Limited Lifetime Architectural Shingles (six nailed) by CRC to front porch c/w flashings as required.

6. Electrical

- Remove existing light fixture
- Add 3 LED pot lights, tie into existing light. Color to pot lights TBD biased on ceiling color selected.

7. Decking

- Gtape joist protector to top of all joists, beams, and stair stringers to protect from rott.
- Azek (Slate Gray) 3 1/8" T&G PVC porch plank c/w Azek PVC 1" x 5 1/2" stair treads. Fastened using stainless steel fasteners.
- 3/4" thick cellular PVC on rim joists, stair stringer covers, risers, and 3/4" x 3 1/2" vertical skirting. Fasten using cortex hidden fastener system.

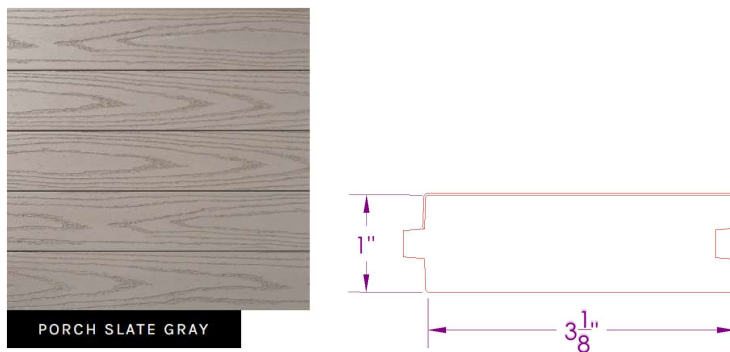
17 Ahrens Street West, Kitchener Front Porch Specifications

Page | 2 of 11

<https://www.timbertech.ca/products/decking/porch>

Azek porch planks are a great alternative to the traditional clear pine porch boards for the following reasons;

- Azek PVC porch boards offer the homeowner a one-time installation and a maintenance free product, unlike clear pine porch planks which would need to be painted yearly and replaced again in 10-15 years due to today's poor quality fast growth pine.*
- Because the Azek PVC has a slight wood grain texture, it creates a much safer non-slip surface area than painted wood.*
- The Azek PVC porch plank is very similar in size to traditional clear pine material used.*
- Porch planks could be milled from Accoya. However, cost is similar to the Azek PVC and you still have the slippery porch deck and step issue.*



Porch Collection



**17 Ahrens Street West, Kitchener
Front Porch Specifications**

Page | 3 of 11



Photo above from a recent project showing Azek slate grey t&g porch plank, Azek 1"x 5 1/2" decking on stair, PVC risers and skirting, and Accoya railing system that was milled to match this particular project.

**17 Ahrens Street West, Kitchener
Front Porch Specifications**

Page | 4 of 11



Photo above from a recent project showing Azek slate grey t&g porch plank, Azek 1"x 5 1/2" decking on stair, PVC risers and skirting, and Accoya railing system that was milled to match this particular project.

**17 Ahrens Street West, Kitchener
Front Porch Specifications**

Page | 5 of 11



Photo above from a recent project showing Azek slate grey t&g porch plank, and Accoya railing system that was milled to match this particular project.

17 Ahrens Street West, Kitchener Front Porch Specifications

Page | 6 of 11

8. Support Posts, Newel Posts, Railings

- 6"x6" Accoya support posts turned to match existing. (Turned portion of post will need to shorten up and move up a bit to accommodate new 36" high railings to meet O.B.C. code)
- 2 new newel posts at base of stairs to match support post turnings.
- Accoya 4 1/2" x 3" shaped top rail to match existing
- Accoya 4 1/2" x 3 1/2" shaped bottom rail to match existing
- Accoya 2 1/2" x 2 1/2" horizontal pickets to match existing railing c/w 1" arch board between spindles
- Accoya 2 1/2" x 2 1/2" spindles lengthened as per drawing to suite 36" high railing to meet O.B.B
- All fasteners to be stainless steel to avoid rust.

9. Beam wraps, porch ceiling, sunrise details, new door surround

- Cover sides and bottom of support beams with Accoya c/w moulding at bottom and under soffit to match existing
- False beams between posts using 1" x 8" Accoya sides and bottom w/ moulding at bottom edge including 2 1/2" pine crown mold and 1 1/2" pine molding at bottom to match existing.
- Accoya Sunrise details in front and side gables to match existing c/w 2 1/2" pine crown mold
- 3 1/2" Clear T&G V match pine or cedar porch ceiling
- Front door surround: Accoya 12" wide pilasters, design as per drawing, turned to match existing. Accoya 14" high pediment with sunrise detail, match existing above door.
- All fasteners to be stainless steel to avoid rust.

<https://www.accoya.com/why-accoya/benefits/>

Accoya brings unprecedented reliability for timber; it is checked and trusted not to visibly swell, shrink or distort, with minimal movement. Highly durable, it withstands the test of any climate and is a highly rot resistant wood. And what's more, it stays that way – a 50 year above ground, and 25 year below ground and freshwater warranty are testament to the fact that you can expect to enjoy your Accoya wood for many decades to come.

Using cellular PVC for skirting and stair riser and stringer components provides better durability than painted Accoya when touching grade, washing, and abuse from foot traffic. Cellular PVC looks identical to Accoya when painted.

17 Ahrens Street West, Kitchener Front Porch Specifications

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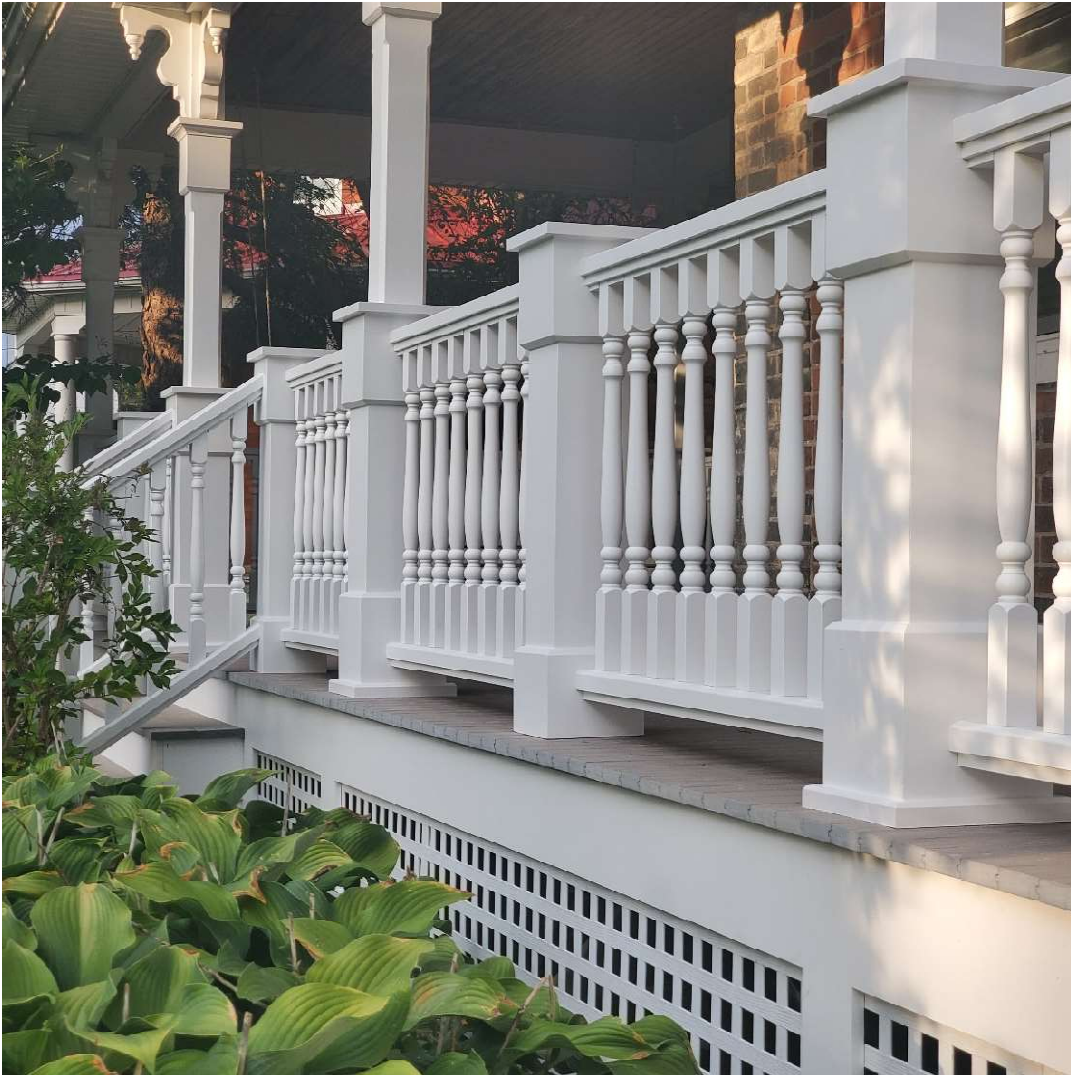


Photo above from a recent project showing an Accoya railing system that was milled to match this particular project, and cellular PVC skirting detail.

10. Aluminum 8" pan vented soffit, fascia, and eavestrough (Gentek Black to match remainder of house)

11. Paining

- Prime all new Accoya materials and paint two coats finish white to match existing house color.
- Paint all PVC skirting and rim board stringers and risers with AquaSurTech heat reflective paint to match existing house color.
- Porch Ceiling: Prime and paint two coats finish, or stain and finish as per client preference.

17 Ahrens Street West, Kitchener Front Porch Specifications

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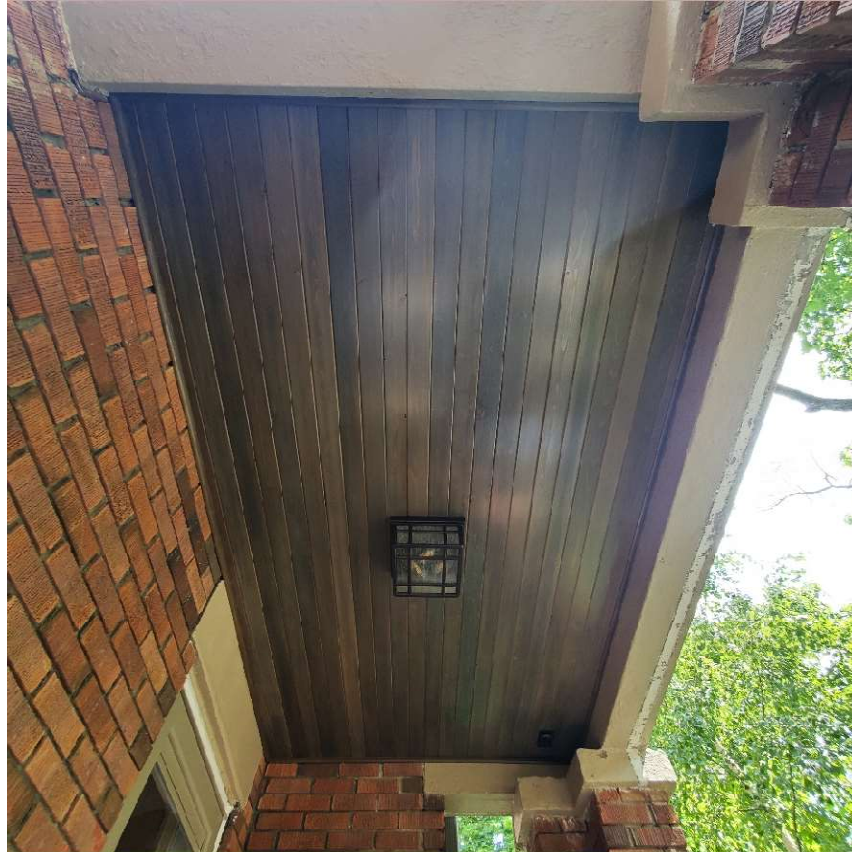


Photo above shows example of 3 ½" stained t&g cedar ceiling.

12. Front door Replacement

- Remove worn screen door and damaged/air leaky front door
- Install new 2 ½" smooth limestone door sill to replace rotten wood door sill
- Install new insulated steel Entryguard door c/w executive style panel style to mimic the look of wood and match the panel layout of the storm door. Glass to have applied mullions. Door painted Gentek Black.
- Install black Mirage roll screen to new front door in lieu of storm door.

**17 Ahrens Street West, Kitchener
Front Porch Specifications**

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Above photo shows the Existing storm door style to be matched for main door.

17 Ahrens Street West, Kitchener Front Porch Specifications

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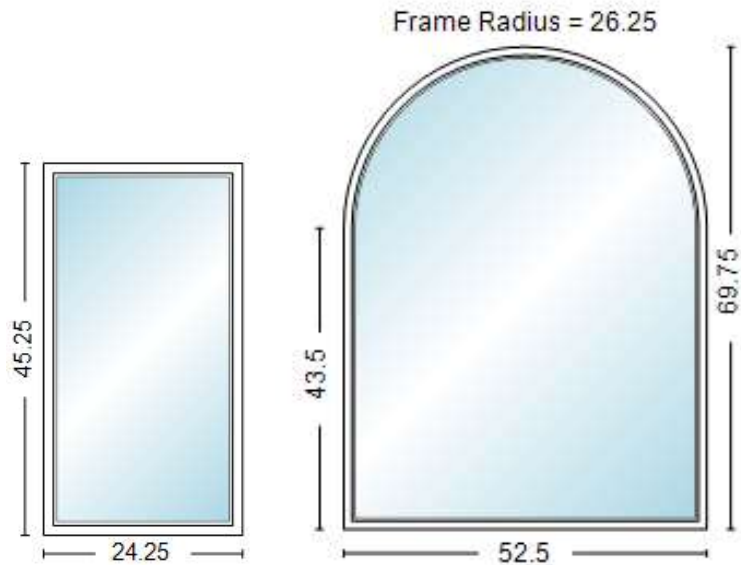
Above photos are from heritage house renovation completed across the street. Photo on the left shows the existing door. Photo on the right shows the new Entry guard insulated steel door with Mirage roll screen applied.

13. Replace two front porch windows.

- Remove two windows. Exterior wood sills and Interior casing to remain.
- Supply and install two fixed sash Strassburger vinyl windows – direct set c/w built out Accoya brick mould and mouldings to match existing and fit to masonry opening. Wood Windows and Accoya moldings all painted Gentek Black.
- Foam air seal around window from exterior.
- Caulk exterior of window and mouldings as required.

Note: All existing upper windows on face of house are vinyl windows.

17 Ahrens Street West, Kitchener
Front Porch Specifications



Photos above show existing fixed windows being replaced.

REPORT TO: Heritage Kitchener

DATE OF MEETING: April 4, 2023

SUBMITTED BY: Garrett Stevenson, Interim Director of Planning, 519-741-2200 ext. 7070

PREPARED BY: Deeksha Choudhry, Heritage Planner, 519-741-2200 ext. 7291

WARD(S) INVOLVED: Ward 10

DATE OF REPORT: March 8, 2023

REPORT NO.: DSD-2023-116

SUBJECT: Notice of Intention to Designate 369 Frederick Street under Part IV of the *Ontario Heritage Act*

RECOMMENDATION:

That pursuant to Section 29 of the *Ontario Heritage Act*, the Clerk be directed to publish a Notice of Intention to Designate the property municipally addressed as 369 Frederick Street as being of cultural heritage value or interest.

REPORT HIGHLIGHTS:

- The purpose of this report is to request that Council publish a Notice of Intention to designate 369 Frederick Street under Part IV of the *Ontario Heritage Act*.
- The key finding of this report is that 369 Frederick Street meets all three criteria for designation under *Ontario Heritage Act regulation 9/06* and has been confirmed to be a significance cultural heritage resource.
- There are no financial implications.
- Community engagement included informing residents by posting this report with the agenda in advance of the Heritage Kitchener Committee meeting, consulting and collaborating with the owner regarding implementation of the recommendations of the Heritage Impact Assessment (HIA), and consultation with Heritage Kitchener. In addition, should Council choose to give notice of its intention to designate, such notice will be served on the owner and Ontario Heritage Trust, and published in the local newspaper.
- This report supports the delivery of core services.

BACKGROUND:

The property municipally addressed as 369 Frederick Street is located on the south side of Frederick Street near the intersection of Frederick Street and East Avenue (Fig. 1). Built in 1993 in the International Modern Style of architecture, this building is included on the Inventory of Historic Buildings in Kitchener. The existing building is also known as the A.R.

Goudie Eventide Home and is currently being used as a long-term care home by PeopleCare Inc. (Fig. 2).

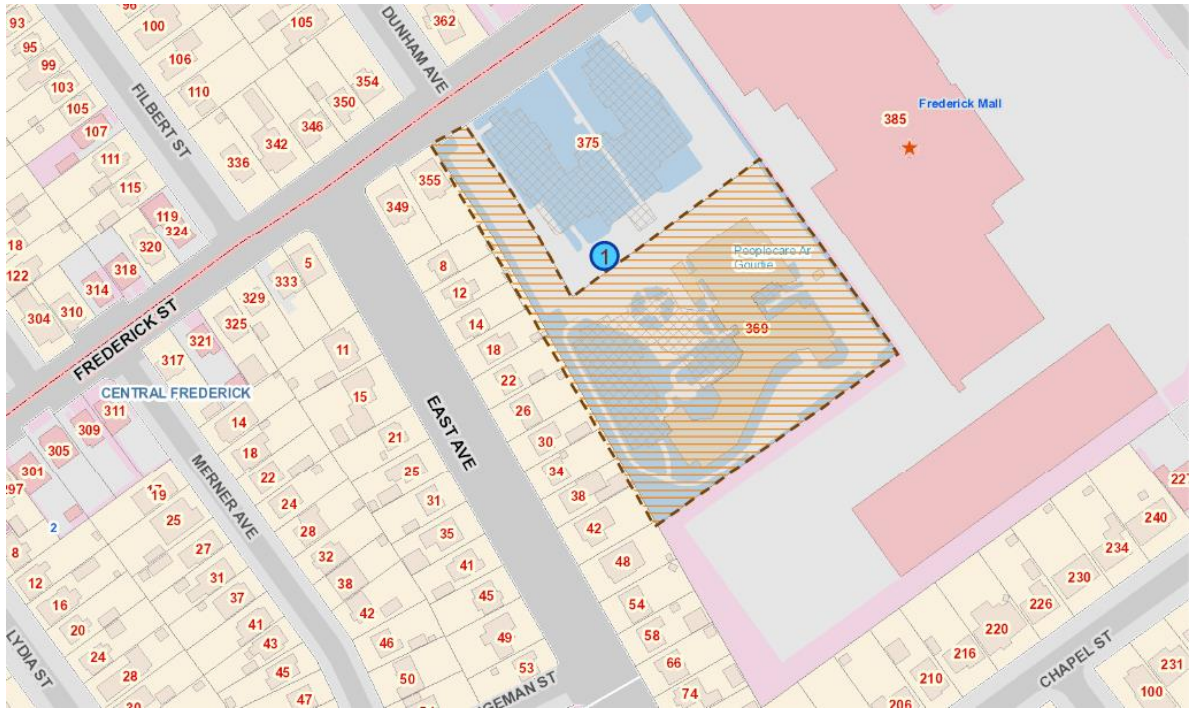


Figure 1: Location Map of 369 Frederick Street area



Figure 2: Front elevation of the A.R. Goudie Eventide Home

The submission and approval of a Scoped Heritage Impact Assessment (HIA) was made a requirement of a proposed Site Plan, Severance of Land, and Minor Variance applications that were submitted to the City in 2017. The scoped HIA dated March 16, 2017 and updated May 8, 2017, was submitted to the City in support of these application and was presented to the Heritage Kitchener Committee at its May 2, 2017 meeting. These applications related to the construction of a five (5) – storey Retirement Home and a three (3)-storey addition to the existing building. The proposed changes also included modifying the entrance canopy by decreasing its current size, as well as removing a section of the curtain wall on the northern elevation to facilitate the installation of a service elevator. The scoped HIA did receive approval from the Director of Planning on October 11, 2017.

In March 2021, the Ministry of Health and Long-Term Care awarded an additional 80 long-term care beds to Peoplecare Inc. As a result, the maximum building height needed to be increased, prompting the need for a Stamp Plan 'A' application and the request for a revised HIA. An updated HIA dated May 3, 2022, was submitted to the City. Since the updated HIA included minor changes, and with time constraints associated with processing Stamp Plan 'A' applications, the revised HIA could not be circulated to Heritage Kitchener again. The HIA concluded that the subject property is a significant cultural heritage resource that meets all three criteria for designation under *Ontario Heritage Act Regulation 9/06* (Since the applications were submitted prior to the changes enacted by Bill 23, the property has been assessed according to *O. Reg. 9/06*) with the proposed modifications having no effect on its heritage value. As a result, heritage planning staff provided comments as part of the stamp plan A application requesting that the property be designated under Part IV of the *Ontario Heritage Act* to conserve its cultural heritage value and heritage attributes.

REPORT:

Identifying and protecting cultural heritage resources within the City of Kitchener is an important part of planning for the future, and helping to guide change while conserving the buildings, structures, and landscapes that give our City its unique identity. The City plays a critical role in the conservation of cultural heritage resources. The designation of property under the *Ontario Heritage Act* is the main tool to provide long-term protection of cultural heritage resources for future generations. Designation recognizes the importance of a property to the local community; protects the property's cultural heritage value; encourages good stewardship and conservation; and, promotes knowledge and understanding about the property. Designation not only publicly recognizes the promotes awareness, it also provides a process for ensuring that changes to a property are appropriately managed and that these changes respect the property's cultural heritage value and interest.

The property municipally addressed as 369 Frederick Street is recognized for its design/physical, historical/associative, and contextual values. The existing building is comprised broadly of three elements – a free standing canopy which leads to the administration and reception area, which then leads to the three-storey residential wing situated perpendicularly to the administration and reception area (Fig. 3).

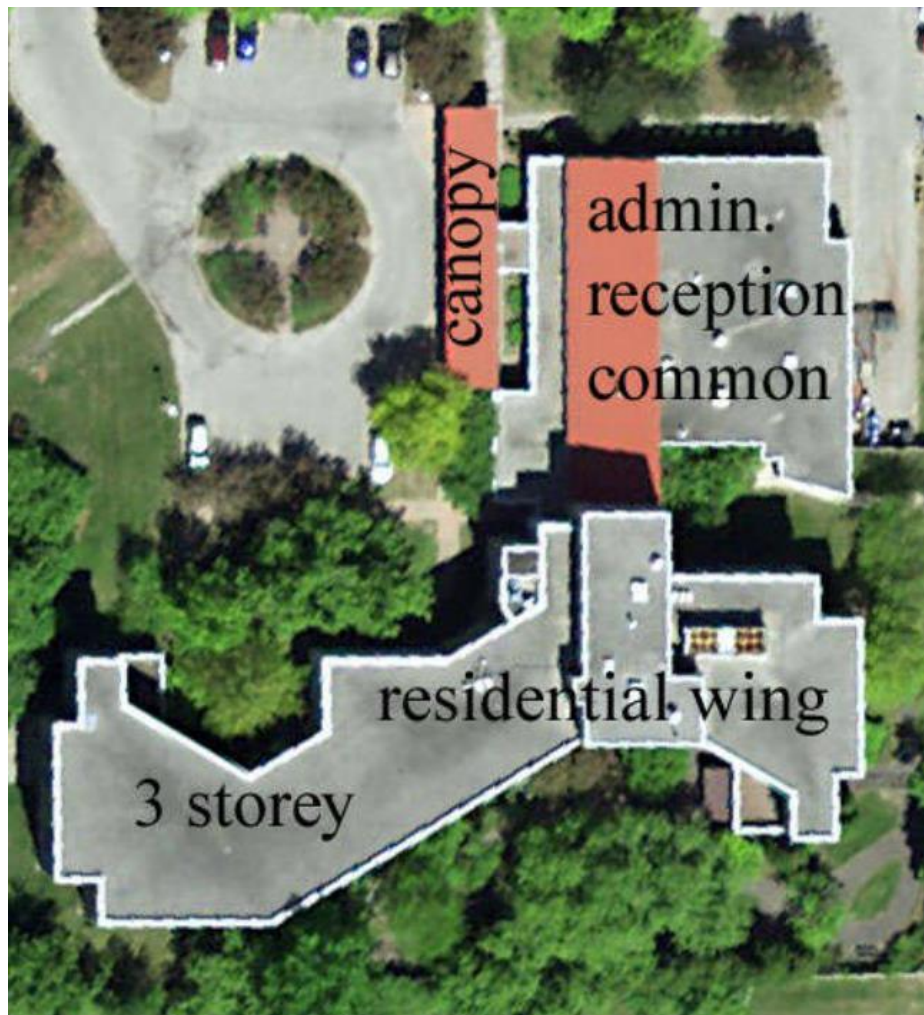


Figure 3: Plan view of 369 Frederick Street. Source: Draft HIA

Design/ Physical Value

The existing building was designed by Montgomery and Sisam Architects in the 'International Style' of modernist architecture for the Salvation Army in 1991 and was constructed in 1993. It has been featured in the *Images of Progress: Modern Architecture in Waterloo Region 1946-1996* and described as having "a crisp stucco and glass exterior (that) pays homage to the modern architectural expression of many Salvation Army projects in Canada since the 1950s. The plan is irregular, to preserve the existing mature trees, but also in the modern tradition of bending the plan to suit spatial and functional needs. The residential wing is set furthest from Frederick Street. In front, a suite of public rooms looks toward the entry court through glass walls. A free-standing entrance canopy in concrete, steel and timber provides a sheltered verandah at the entry."

According to the HIA, the existing building is made of curtain walls with a fairly smooth acrylic rendering in a medium grey colour. There are yellow panels and red-painted shed roofs with pre-finished, red metal flashing and downspouts which contrasts nicely with the grey. The glazing is comprised of punched windows, with curtain wall section that incorporate the yellow panels (Fig. 4). Furthermore, from a design perspective, the building has 'pure, simple geometric, clean lines' and is in impeccable condition even after 24 years with little to no alterations to the original structure.



Figure 4: View of the entry canopy with the yellow panels.

Even though the International Style of modernist architecture is usually considered from the 1940s to the 1960s, the existing building exhibits many of the design features of that style. For a modern building to be considered of heritage significance, it must satisfy many criteria, including but not limited to whether it is representative of the modern aesthetic, does it contribute to the historical development of Kitchener and whether it contributes to community identity. This building satisfies all of these criteria through its historical and contextual value.

The existing building was designed by Montgomery Sisam Architects, an award-winning architecture firm based in Toronto who specialize in healthcare and sustainable design.

The heritage attributes that were identified as part of the HIA include:

- The scale and irregular massing of the one and three-storey building;
- The entry canopy;
- The acrylic stucco non-load bearing walls;
- The glazed and solid panel curtain wall sections;
- The pre-finished metal shed roofs of the administration wing and entry canopy; and
- The clerestory form and glazing in the administration wing, filling the space with light and marrying the indoors with the outdoors.

Historical/Associative Value

The subject property has significant historical value. Historically, this building sits on a site which has a history of long-term care homes since 1869, starting with the House of Industry and Refuge. The original House of Industry and Refuge was built after the passing of the *1867 Municipal Act* which required all municipalities to provide support for residents 'requiring assistance'. The House was in use from 1869 when unwed mothers and poor homeless children were first admitted on June 15, 1869. Since then, this site continued to evolve, transitioning from a 'poor house' to an 'old-aged home' in 1947. The existing building represents a symbol of continuum of a pattern of social, political, cultural, and economic status of the community, contributing to our understanding of Kitchener's history and development. It also has its associations with Arthur R. Goudie, who was a department store founder and a major donor for the construction of this building, and the Salvation Army.

Contextual Value

This building has contextual value as it is the fourth building in succession of care homes on the site since 1869, yields information that contributes to the understanding of the community, and it is physically, functionally, and historically linked to its surroundings.

A complete Statement of Significance (Attachment A) including the list of heritage attributes will form part of the Designation By-law.

Some of the changes proposed by the applicant do modify some heritage attributes, such as the entry canopy and one section of the northern curtain wall to accommodate a new elevator (Fig. 5 &6). These changes have already been approved as part of the previous site plan application that was submitted in 2017. However, the HIA has concluded that these modifications result in a moderate, but acceptable negative impact on the heritage attributes, and that these modifications do not affect the designation criteria of the building (Attachment B). Staff are generally in agreement with this assessment and are of the opinion that notwithstanding these minor alterations, the building should be designated under Part IV of the *Ontario Heritage Act* due to its otherwise significant design, historical and contextual value .

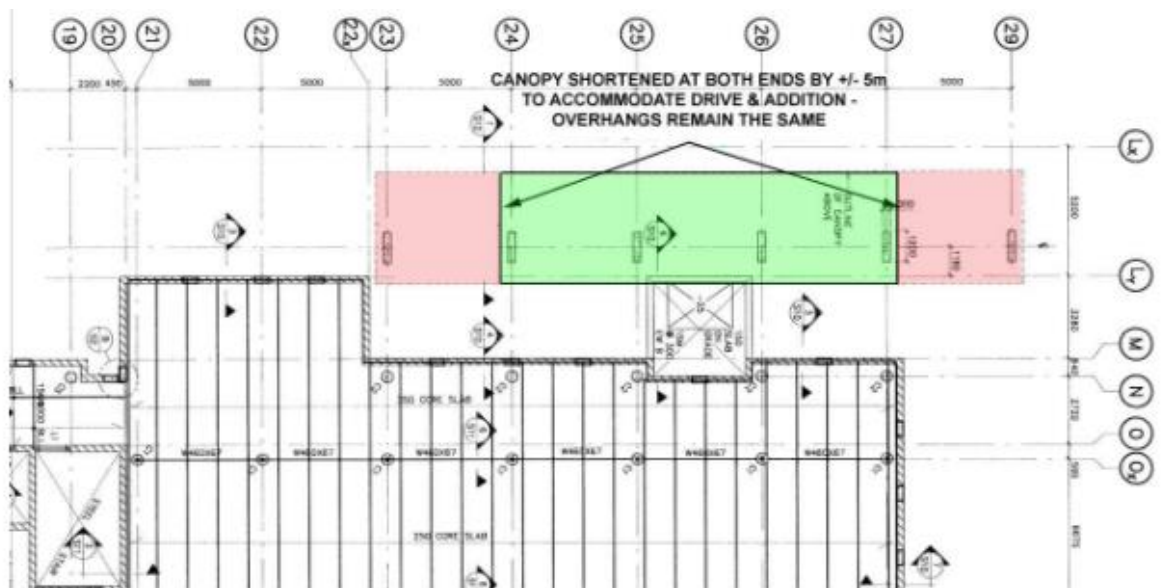


Figure 5: Plan view of the proposed alterations to the canopy. Source: Draft HIA

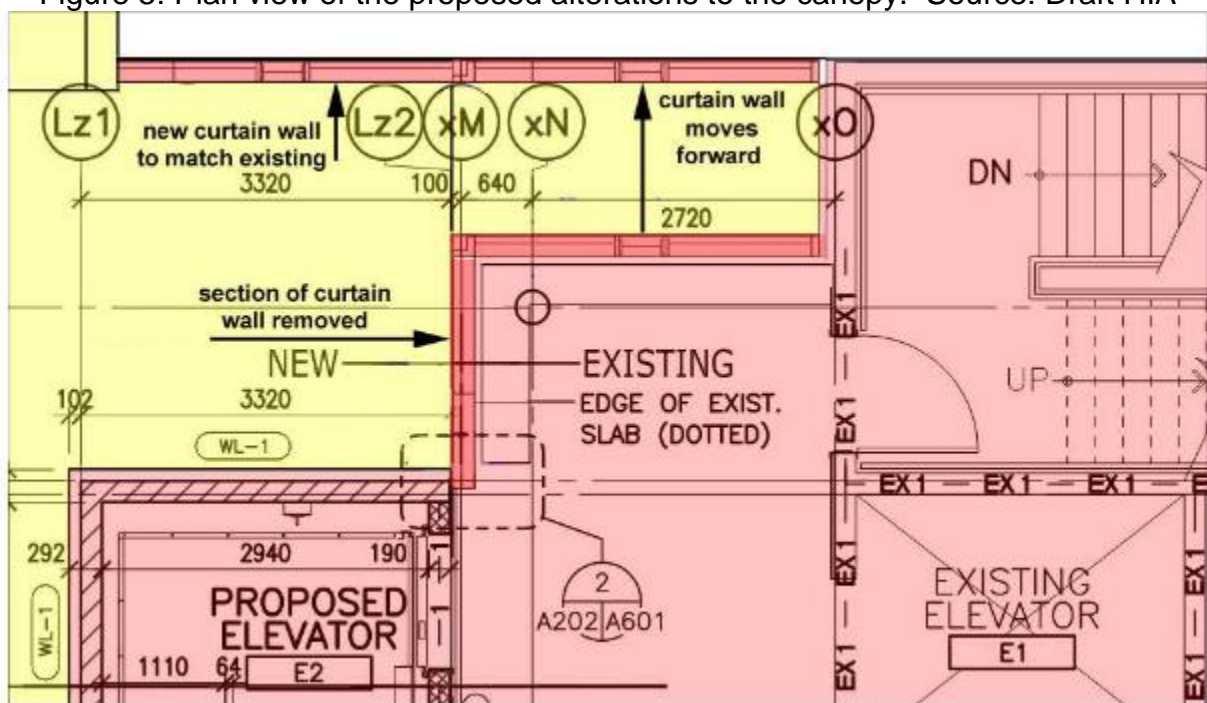


Figure 6: Proposed changes to the northern curtain wall. Source: Draft HIA

The Stamp Plan 'A' application has received conditional approval and one of the conditions required to be fulfilled prior to final site plan approval is the designation of this building under Part IV of the *Ontario Heritage Act* in accordance with the heritage attributes identified in the HIA dated May 3, 2022, prepared by CHC Limited. In order to satisfy this condition, it is recommended that the City Clerk be directed to publish a Notice of Intention to Designate 369 Frederick Street.

STRATEGIC PLAN ALIGNMENT:

This report supports the delivery of core services.

FINANCIAL IMPLICATIONS:

Capital Budget – The recommendation has no impact on the Capital Budget.

Operating Budget – The recommendation has no impact on the Operating Budget.

COMMUNITY ENGAGEMENT:

INFORM – This report has been posted to the City's website with the agenda in advance of the Heritage Kitchener committee meeting.

CONSULT and COLLABORATE – Heritage Planning staff have consulted and collaborated with the applicant and owner regarding implementation of the recommendations of the HIA, including designation under the *Ontario Heritage Act*. The owner has confirmed their support for designation subject to consideration by Heritage Kitchener and Council.

Section 29(2) of the *Ontario Heritage Act* requires Council to consult with the Municipal Heritage Committee (Heritage Kitchener) before giving notice of its intention to designate a property. Heritage Kitchener will be consulted via circulation and consideration of this report (see INFORM above). Members of the community will be informed via circulation of this report to Heritage Kitchener and via formal consideration by Council. In addition, should Council choose to give notice of its intention to designate, such notice will be served on the property owner and the Ontario Heritage Trust, and published in the local newspaper (The Record). Once notice has been served, the owner has the right of appeal to the Ontario Land Tribunal.

PREVIOUS REPORTS/AUTHORITIES:

- *Ontario Heritage Act, 2021*

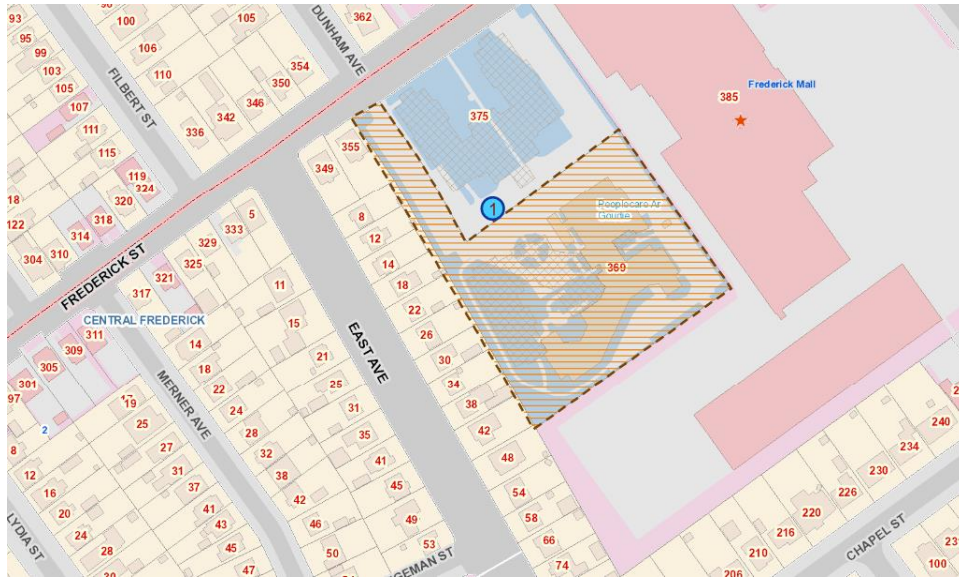
APPROVED BY: Justin Readman, General Manager, Development Services

ATTACHMENTS:

- Attachment A – Proposed Statement of Significance for 369 Frederick Street
- Attachment B – Scoped HIA for 369 Frederick Street

STATEMENT OF SIGNIFICANCE

369 FREDERICK STREET



Summary of Significance

- | | |
|--|--|
| <input type="checkbox"/> Design/Physical Value | <input type="checkbox"/> Social Value |
| <input type="checkbox"/> Historical Value | <input type="checkbox"/> Economic Value |
| <input type="checkbox"/> Contextual Value | <input type="checkbox"/> Environmental Value |

Municipal Address: 369 Frederick Street

Legal Description: TCT GERMAN COMPANY SUB LT 3 PT LT 9 PL 414 PATK LTX 58R-20004 PTS 5 &6

Year Built: 1993

Architectural Style: International Style

Original Owner: Salvation Army

Original Use: Institutional - Long-Term Care Home

Condition: Excellent Condition

Description of Cultural Heritage Resource

369 Frederick Street is a late 20th century stucco clad institutional building built in the International Style of modernist architecture. The building is situated on a 2.6 acre of land located on the south side of Frederick Street between Frederick Street and East Avenue in the Central Frederick Neighborhood of the City of Kitchener within the Region of Waterloo. The principal resource that contributes to the heritage value is the 1993 A.R. Goudie Eventide Home building.

Heritage Value

369 Frederick Stret is recognized for its design/physical, historical/associative, and contextual values.

Design/Physical Value

The building is a notable example of the International Style of modernist architecture in Kitchener. The building is in good condition with many intact original elements since it was built in 1993. The building can broadly be divided into three main elements: the entrance canopy, the one-storey administration wing, and the three-storey residential wing perpendicular to the administration wing. The irregular plan of the building was done so to preserve the mature trees on site. The building features include: curtain walls made of smooth acrylic rendering in medium grey colour, yellow panels and red-painted shed roofs with pre-finished, red metal flashing, and curtain wall sections incorporating the yellow panels. Even though the International Style of modernist architecture is usually considered from the 1940s to the 1960s, the existing building exhibits many of the design features of that style.

The existing building was designed by Montgomery Sisam Architects, an award-winning architecture firm based in Toronto who specialize in healthcare and sustainable design. The existing building is the forth building in a succession of buildings that have been built for long-term home care.

Historical Value

The subject property has significant historical value. Historically, this building sits on a site which has a history of long-term care homes since 1869, starting with the House of Industry and Refuge. The original House of Industry and Refuge was built after the passing of the *1867 Municipal Act* which required all municipalities to provide support for residents 'requiring assistance'. In 1867, The County purchased a 141- acre farm from John Eby for \$9,024. Then, advertisements were published for a contractor to plan and building the House from plans made by Joseph Hobson, County Engineer. Lewis Kribs was the successful contractor who was hired in 1868 for \$8.908.

The House of Industry and Refuge opened in 1869, when it first admitted poor homeless children and unwed mothers, with the original building housing 100 people. The institution was originally intended to be self-sufficient by the residents contributing towards the farm and household chores. However, farming in a rapidly growing town of Berlin/Kitchener became increasingly problematic. Significant amounts of farmland ended up being lost, and to make up for those, three other farms were purchased, including the Shuh and Weber farms, and farming continued at the House until 1956.

The House began transitioning in 1919 from a “poor house” to an “old aged home” in 1947 when the *Ontario Home for the Aged Act* mandated service for seniors. The House was then changed to “Waterloo County Home for the Aged”.

The buildings were expanded on and new buildings added over the course of its existence. In 1956, a new home for senior was built on Franklin Street (now the current site of Sunnyside Homes). This property was then sold to the Salvation Army, who in 1962 constructed another building on the property. To meet rising demands, another building was built in 1993, which is the current A.R. Goudie Eventide Home. The building built in 1962 was demolished in the 1990s, leaving the A.R. Goudie Eventide Home as the only building on the property for a long time. This building was named after Arthur R. Goudie, who was a department store owner, and had made a major donation towards the construction of this building.

The building was then sold to its current owner, PeopleCare, in 2013 after the Salvation Army made the decision to withdraw its operations due to resourcing issues.

Contextual Value

This building has contextual value as it is the fourth building in succession of care homes on the site since 1869, yields information that contributes to the understanding of the community. It is also physically, functionally, and historically linked to its surroundings, existing on the original site of the House of Industry and Refuge. It also yields information that is important to the Kitchener’s history, and how the city has developed.

Other Values

Social Value

The existing property has social value because of its original institutional use. The property has been a site of refuge and assistance since the original building of the House of Industry and Refuge was built. The property, along with the existing building has made significant social contribution to the City as a place that initially provided a place of care for residents of Berlin/Kitchener, and till today provides a space for long-term care and assistance of residents of Kitchener.

Heritage Attributes

The heritage value of 369 Frederick Street resides in the following heritage attributes:

- All elements related to the International Style of modernist architecture of the building, including:
 - The scale and irregular massing of the one and three-storey building;
 - The entry canopy;
 - The acrylic stucco non-load bearing walls;
 - The glazed and solid panel curtain wall sections;
 - The pre-finished metal shed roofs of the administration wing and entry canopy; and
 - The celestory form and glazing in the administration wing
- Its contextual value as a building that has been on the site with a history of long-term care and assistance.

References

Scott, O. (May 3, 2022) *Updated Scoped Heritage Impact Assessment in support of proposed Site Specific Zoning Conditions & Revised Site Plan – 369 Frederick Street, Kitchener, ON*. CHC Limited.

Photographs



North (front) Elevation



Front and Side Elevation



Detailing of the yellow panels and the red metal roofs



Underside of the canopy has tongue and groove wood.



South (rear) façade

Source: Draft HIA for 369 Frederick Street



West Façade

Source: Draft HIA for 369 Frederick Street



East Façade

Source: Draft HIA for 369 Frederick Street

City of Kitchener
Cultural Heritage Resource Evaluation Form

Address 369 Frederick St. Period _____ Recorder Name Grayson John Stevens

Description A.R. Goudie Eventide Home

Photographs: Front Façade ☐ Left Façade ☐ Right Façade ☐ Rear Façade ☐ Details ☐ Setting ☐ Date 8/26/2014

Design or Physical Value

| | | RECORDER | EVALUATION SUBCOMMITTEE |
|--------------|---|---|--|
| Style | Is this a notable, rare or unique example of a particular architectural style or type? | N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> | N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> |
| Construction | Is this a notable, rare, unique or early example of a particular material or method of construction? | N/A <input type="checkbox"/> Unknown <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> | N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> |
| Design | Is this a particularly attractive or unique structure because of the merits of its design, composition, craftsmanship or details? | N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> | N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> |
| | Does this structure demonstrate a high degree of technical or scientific achievement? | N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> | N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> |
| Interior | Is the interior arrangement, finish, craftsmanship and/or detail noteworthy? | N/A <input type="checkbox"/> Unknown <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> | N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> |

Notes

Contextual Value

| | | RECORDER | EVALUATION SUBCOMMITTEE |
|--------------|---|--|--|
| Continuity | Does this structure contribute to the continuity or character of the street, neighbourhood or area? | N/A <input type="checkbox"/> Unknown <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> | N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> |
| Setting | Is the setting or orientation of the structure or landscaping noteworthy? | N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> | N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> |
| | Does it provide a physical, historical, functional or visual link to its surroundings? | N/A <input type="checkbox"/> Unknown <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> | N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> |
| Landmark | Is this a particularly important visual landmark within the region, city or neighbourhood? (indicate degree of importance) | <input type="checkbox"/> R N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> <input type="checkbox"/> C <input type="checkbox"/> N | N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> |
| Completeness | Does this structure have other original outbuildings, notable landscaping or external features that complete the site? | N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> | N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> |

Notes

Integrity

| | | RECORDER | EVALUATION SUBCOMMITTEE |
|-------------|---|---|--|
| Site | Does the structure occupy its original site? <i>Note: if relocated, i.e. relocated on its original site, moved from another site, etc.</i> | N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> | N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> |
| Alterations | Does this building retain most of its original materials and design features? | N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> | N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> |
| | Is this a notable structure due to sympathetic alterations that have taken place over time? | N/A <input type="checkbox"/> Unknown <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> | N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> |
| Condition | Is this building in good condition? | N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> | N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> |

Notes

**City of Kitchener
Cultural Heritage Resource Evaluation Form**

Historical or Associative Value & Significance

Does this property or structure have strong associations with and/or contribute to the understanding of a belief, person, activity, organization or institution that is significant or unique within the City?

RECORDER

Unknown ☐ No ☐ Yes ☒

EVALUATION SUBCOMMITTEE

Unknown ☐ No ☐ Yes ☐

Is the original, previous or existing use significant?

Unknown ☐ No ☐ Yes ☒

Unknown ☐ No ☐ Yes ☐

Does this property meet the definition of a significant built heritage resource or cultural heritage landscape, as identified in the Provincial Policy Statement under the Ontario Planning Act?

No ☐ Yes ☐ Unknown ☒

No ☐ Yes ☐ Unknown ☐

A property or structure valued for the important contribution it makes to our understanding of the history of a place, an event, or a people?

Notes

Further Action/Follow Up

Recorder

- ☒ Add to Heritage Register
 - ☐ High Priority for Designation
 - ☐ Heritage District Potential
 - ☐ Additional Research Required
 - ☐ Additional Photographs Required
 - ☐ Request Permission to Access Property
- Setting ☐ All Façades ☐ Details ☐

Other _____

Evaluation Sub-Committee

- ☐ Add to Heritage Register *
- ☐ High Priority for Designation
- ☐ Heritage District Potential
- ☐ Additional Research Required
- ☐ Additional Photographs Required
- ☒ Request Permission to Access Property

Other _____

General Comments

* Date of Property Owner Notification _____

Property Owner Name and Address _____

Recommendation

Heritage Kitchener Committee Recommendation

- ☐ Add to Heritage Register
- ☐ No Action - Keep on File

Date _____

Council Decision

- ☐ Add to Heritage Register
- ☐ No Action - Keep on File

Date _____

**Updated Scoped Heritage Impact Assessment
in support of proposed
Site Specific Zoning Conditions & Revised Site Plan
369 Frederick Street, Kitchener, ON**



CHC Limited

87 Liverpool Street, Guelph, ON N1H 2L2 (519) 824-3210
oscott87@rogers.com

May 3, 2022

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All photographs taken by the author March 1, 2017 unless otherwise noted.

1.0 BACKGROUND - REQUIREMENT for a HERITAGE IMPACT ASSESSMENT (HIA)

A Scoped Heritage Impact Assessment in support of proposed Site Plan, Severance of Land, and Minor Variances for 369 Frederick Street, Kitchener, ON (HIA), dated May 8, 2017 was submitted to the City of Kitchener. In February 2019, Site Plan Approval was issued for a 148-bed, 5 storey Retirement Home and a 192-bed, 3-storey addition to the Long-Term Care facility. In March 2021, the Ministry of Health and Long-Term Care awarded Peoplecare an additional 80 long-term care beds. To accommodate the additional beds, the approved building addition to the Long-term Care facility needs to be modified. As a result, site-specific zoning considerations including increasing the maximum building height; thus, the need for this update to the original HIA. A Pre-Submission Consultation meeting on November 25, 2021 (Appendix 1) determined that a revised Heritage Impact Assessment will be required to address the proposed site plan modifications as well as assess the proposed changes to the window spandrels.

The property at 369 Frederick Street is of cultural heritage interest, having been placed on the Heritage Kitchener Inventory of Historic Buildings. Information in the City's file shows this 1993 modern building, designed by Montgomery Sisam Architects, was featured in *Images of Progress: Modern Architecture in Waterloo Region 1946-1996*.¹ The listing states, "The Salvation Army has been a consistent patron of modern architecture. Here the 'crisp stucco and glass exterior pays homage to the modern architectural expression of many Salvation Army projects built in Canada since the 1950s'. The plan is irregular, to preserve the existing mature trees, but also in the modern tradition of bending the plan to suit spatial and functional needs. The residential wing is set furthest from Frederick Street. In front, a suite of public rooms look toward the entry court through glass walls. A free-

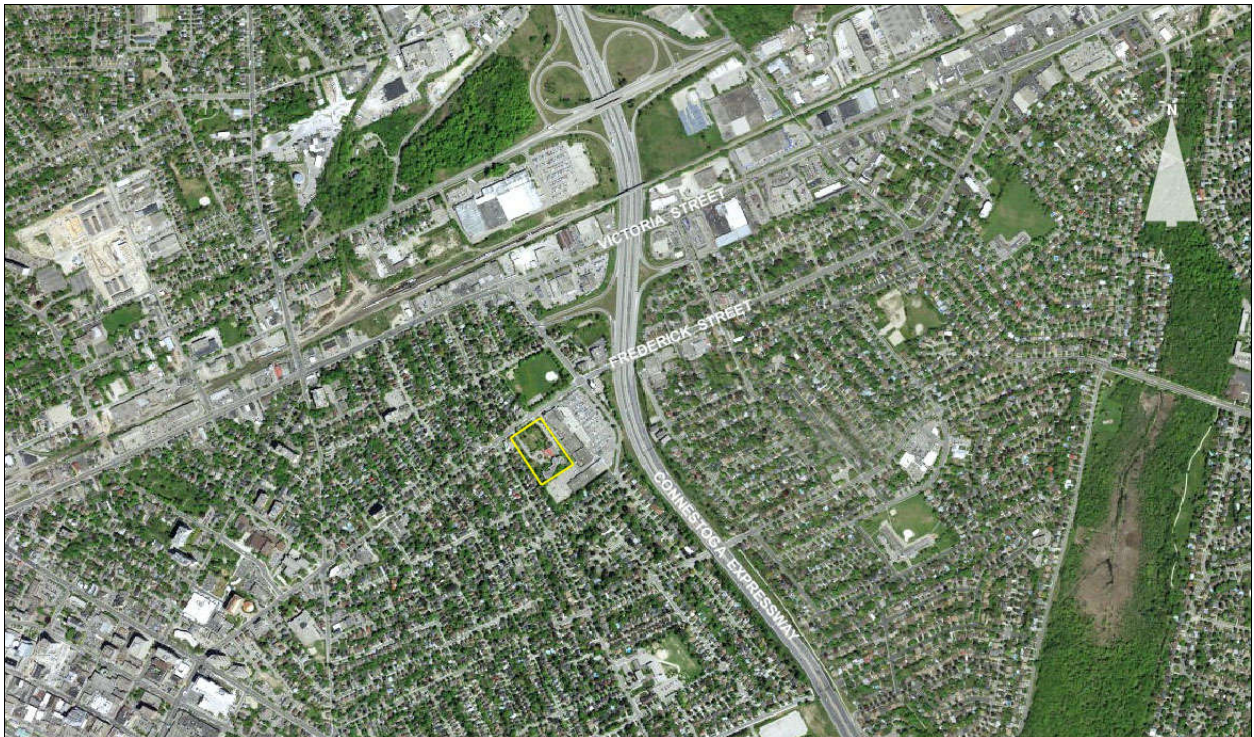


Figure 1 subject property location (yellow rectangle) - GRCA mapping (2015)

¹ *Images of Progress: Modern Architecture in Waterloo Region 1946-1996*. Kitchener Waterloo Art Gallery, 1996

standing entrance canopy in concrete, steel and timber provides a sheltered verandah at the entry.” The subject property is also located adjacent to a protected heritage property - 362 Frederick Street is designated under Part IV of the *Ontario Heritage Act*. Further consultation with heritage staff scoped the HIA requirements to exclude the need for a Land Registry search and the need to address the adjacent protected heritage property.²

The subject property is 1.7 ha (4.2 acres) in area and is located on the south side of Frederick Street, between Edna Street and East Avenue (Figures 1 & 2).



Figure 2

369 Frederick Street environs - GRCA mapping (2015)

² emails from, and telephone conversation with Sandra Parks, January 30, 2017

1.1 Current Owner Contact Information

peopleCare Inc
735 Bridge Street West
Waterloo, ON N2V 2H1
attention: Wade Stever, wstever@peoplecare.ca 519 998-2394

1.2 Site History

369 Frederick Street became the site of the “House of Industry and Refuge” in 1869. The House of Industry and Refuge was built based on the requirements of the 1867 Municipal Act which stated that all municipalities were to provide support for residents requiring assistance. In 1867, the County purchased a 141-acre farm from John Eby for \$9,024 (\$64 per acre), then advertised for a contractor to plan and construct the House from plans by Joseph Hobson, County Engineer. The contract was awarded to Lewis Kribs in 1868 for \$8,908 when construction began. All of the work and resources to build the main building was done by members of the local community, many of whom were from or family members of the County Council.³

The House was in operation from 1869 when poor homeless children and unwed mothers were first admitted June 15, 1869. The original building housed 100.⁴

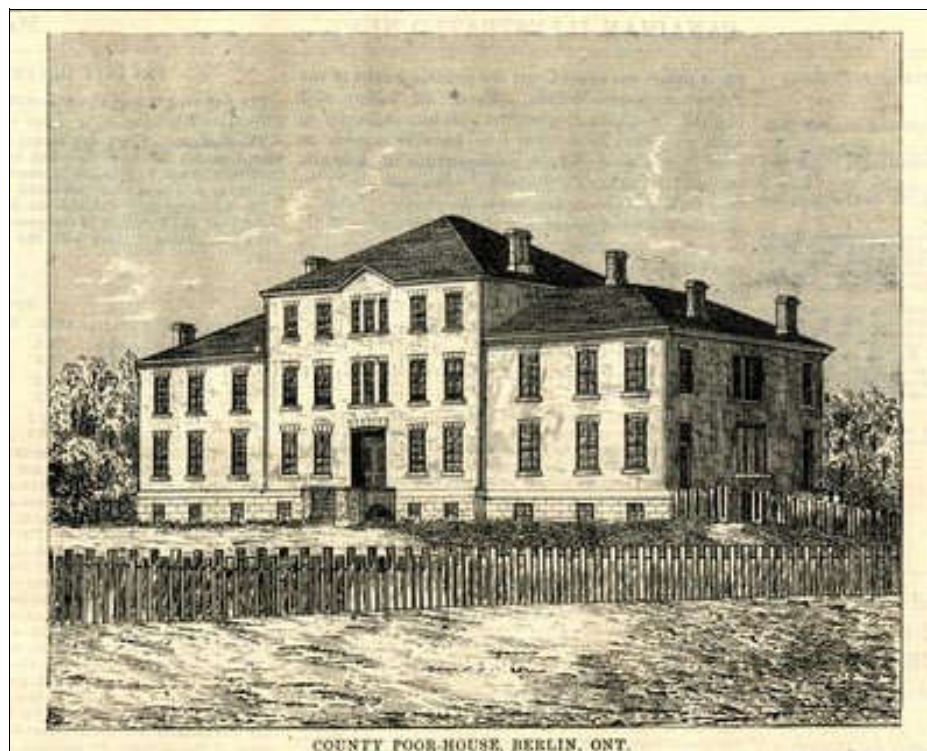


Figure 3 County Poor House, Berlin, *Canadian Illustrated News*, 23 March 1872.

³ historical case study of the Waterloo County House of Industry and Refuge (1869-1950), Social Innovation Research Group, Wilfrid Laurier University, <http://waterloohouseofrefuge.ca/house/>

⁴ *Region of Waterloo Archives*



Figure 4 House of Refuge and Industry, undated, c. 1890 - , <http://waterloohouseofrefuge.ca/house/>



Figure 5 House of Refuge, Berlin, 1908 postcard - *Kitchener Public Library*

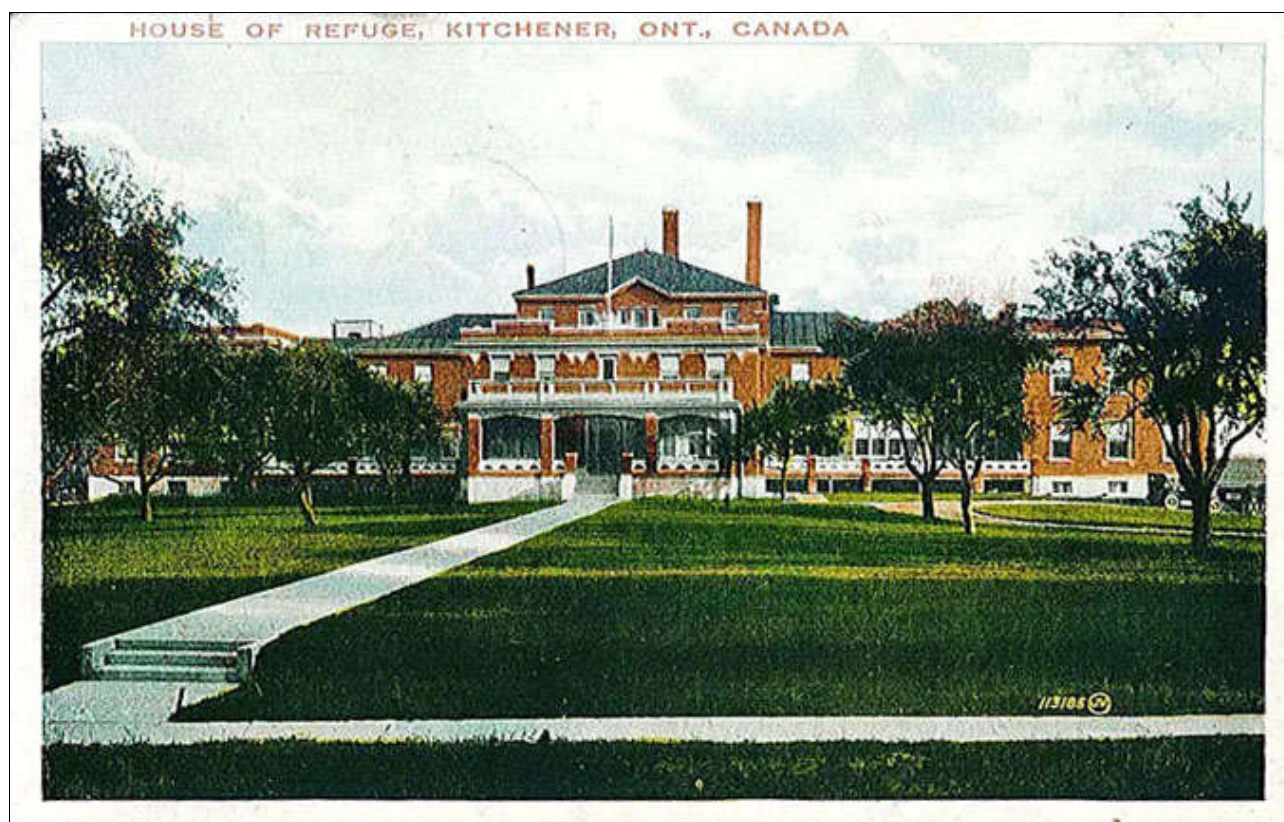


Figure 6 House of Refuge, Kitchener - undated postcard (after 1916) - <http://waterloohouseofrefuge.ca/house/>

The institution was originally intended to be self sufficient by means of operating a farm. Residents were expected to contribute to farm and household tasks. The sale of farm goods was intended to cover the costs of the institution.⁵ The practicality of a self-sufficient farm in the growing town of Berlin/Kitchener became increasingly problematic. Three other farms were purchased to replace the lost farmland from the Frederick Street location, including the Shuh and Weber farms. The Frederick Street facility looked after the chronically ill, while the destitute worked and lived on the farms.⁶ Farming continued at the House until 1956.

The House began a transition in 1919 from “poor house” to an “old aged home” by 1947. In 1947 the *Ontario Home for the Aged Act* mandated services for seniors. The home’s name was changed to “Waterloo County Home for the Aged”.⁷ The term “Industry” had been dropped from the title of the House at the beginning of the 20th century.

⁵ *Ibid*

⁶ County of Waterloo: House of Industry and Refuge Now the site of the A. R. Goudie Eventide Home, Self-guided walking tour: Made in Berlin. Matured in Kitchener. Posted by James Howe on May 8, 2014 in *Arts & Culture, Heritage, Kitchener*
<https://kingandottawa.wordpress.com/2014/05/08/self-guided-walking-tour-made-in-berlin-matured-in-kitchener/>

⁷ Auxiliary celebrates 50 years, *Waterloo Region Record* · 14 Oct 2014 · Valerie Hill, Record staff



Figure 7 map of House of Refuge properties, 1924 - <http://waterloohouseofrefuge.ca/house/>

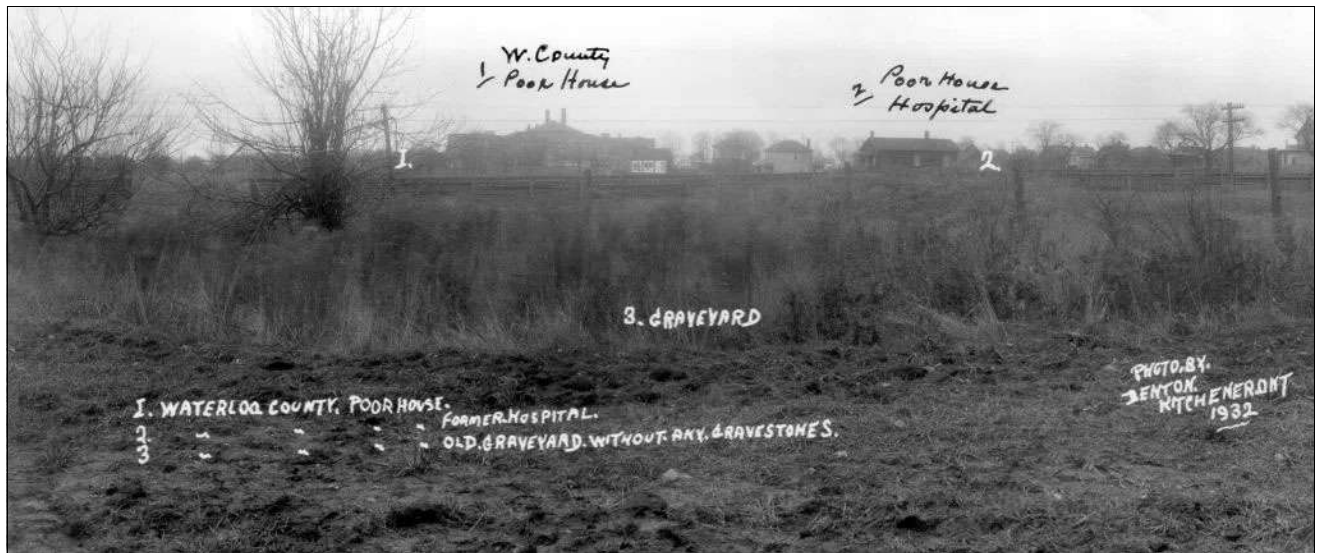


Figure 8 Waterloo County Poor House, hospital & graveyard, 1932 - *Mennonite Archives of Ontario*
Ernest Denton-1932-CA MAO 1994-1 10



Figure 9 Waterloo County Home for the Aged, September 2, 1949 - *Doris Lewis Rare Book Room, Waterloo Library*
The building was expanded over the course of its existence (Figures 6 & 9) until a new home for the aged building

was built on Franklin Street in 1956, the current site of Sunnyside Home. In 1957, people residing at the House either stayed there, or depending on their reason for being at the House, were sent to an insane asylum in the area, such as the Orillia Insane Asylum.

The following airphotos⁸ (Figures 10 - 12) show the evolution of the Home and its surroundings from 1945 to 1963.

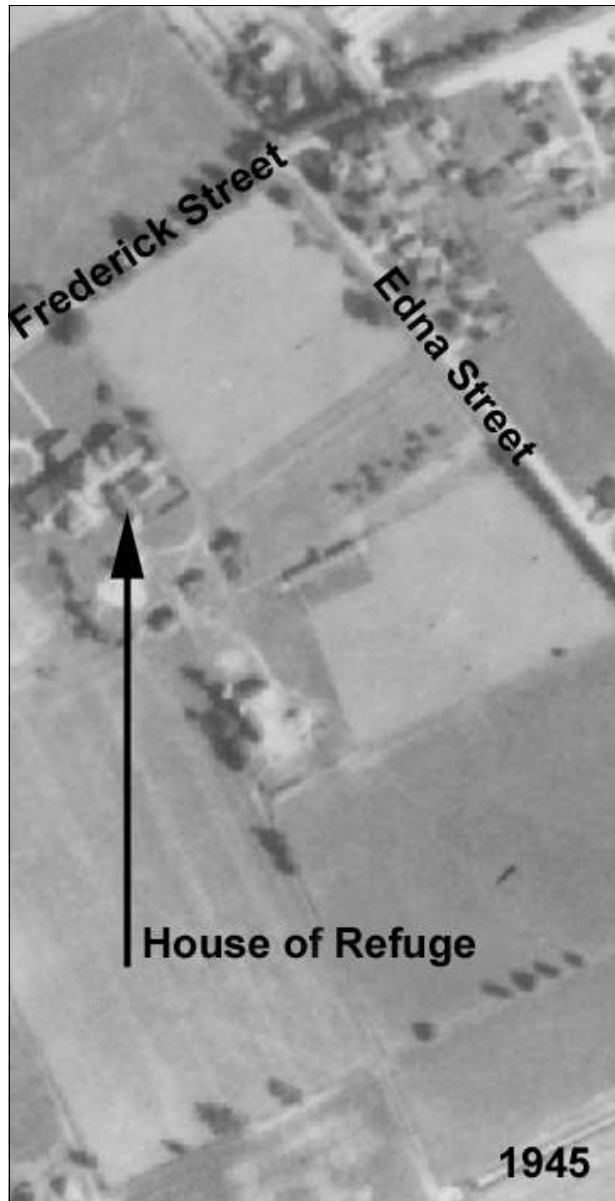


Figure 10

University of Waterloo

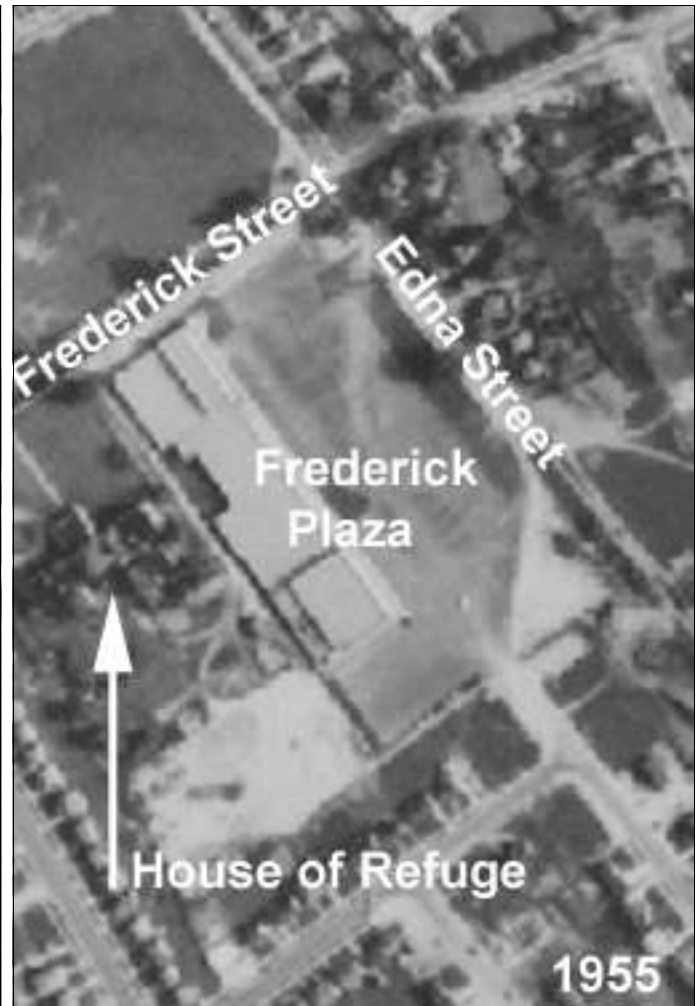


Figure 11

University of Waterloo

⁸ Digital Historical Air Photos of KW and Surrounding Area, University of Waterloo
<http://www.lib.uwaterloo.ca/locations/umd/project/>



The House property was sold to the Salvation Army for the construction of the A. R. Goudie Eventide Home in 1962 on the site of the 19th century House of Industry and Refuge/Waterloo County Home for the Aged at 369 Frederick Street. The evolution of the property is portrayed in Figure 13, showing the various buildings from 1869 to the present.

A Site Plan from the City of Kitchener files, dated 1991 (Figure 14), shows the location of the 1962 Waterloo County Home for the Aged (also seen in Figure 12) and the A. R. Goudie Eventide Home built for the Salvation Army in 1993. Both buildings occupied the property for a time until the 1962 Home was demolished in the 1990s.

Figure 12
University of Waterloo

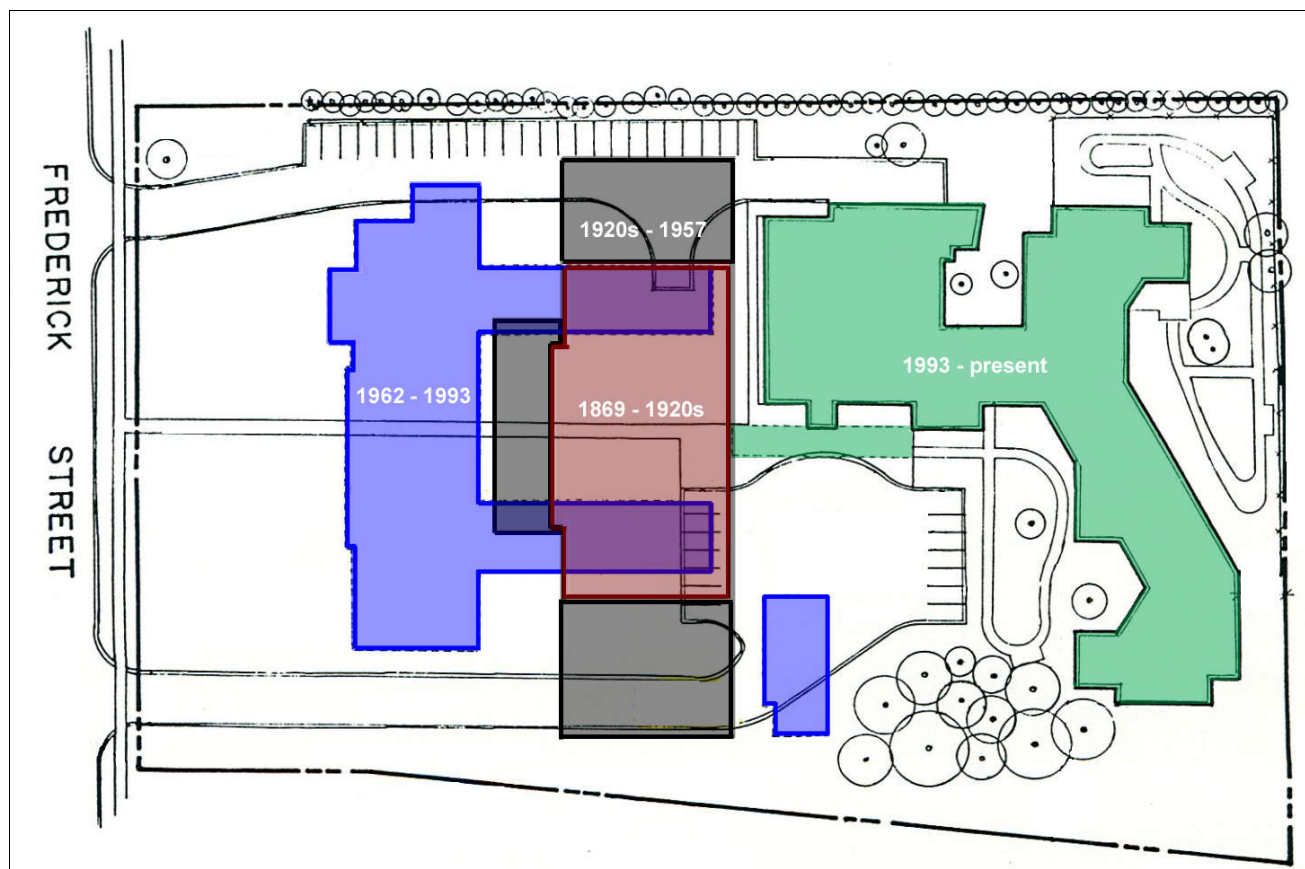


Figure 13 Evolution of 369 Frederick Street property: 1869-1920s, 1920s-1957, 1962-1993 & 1993-present

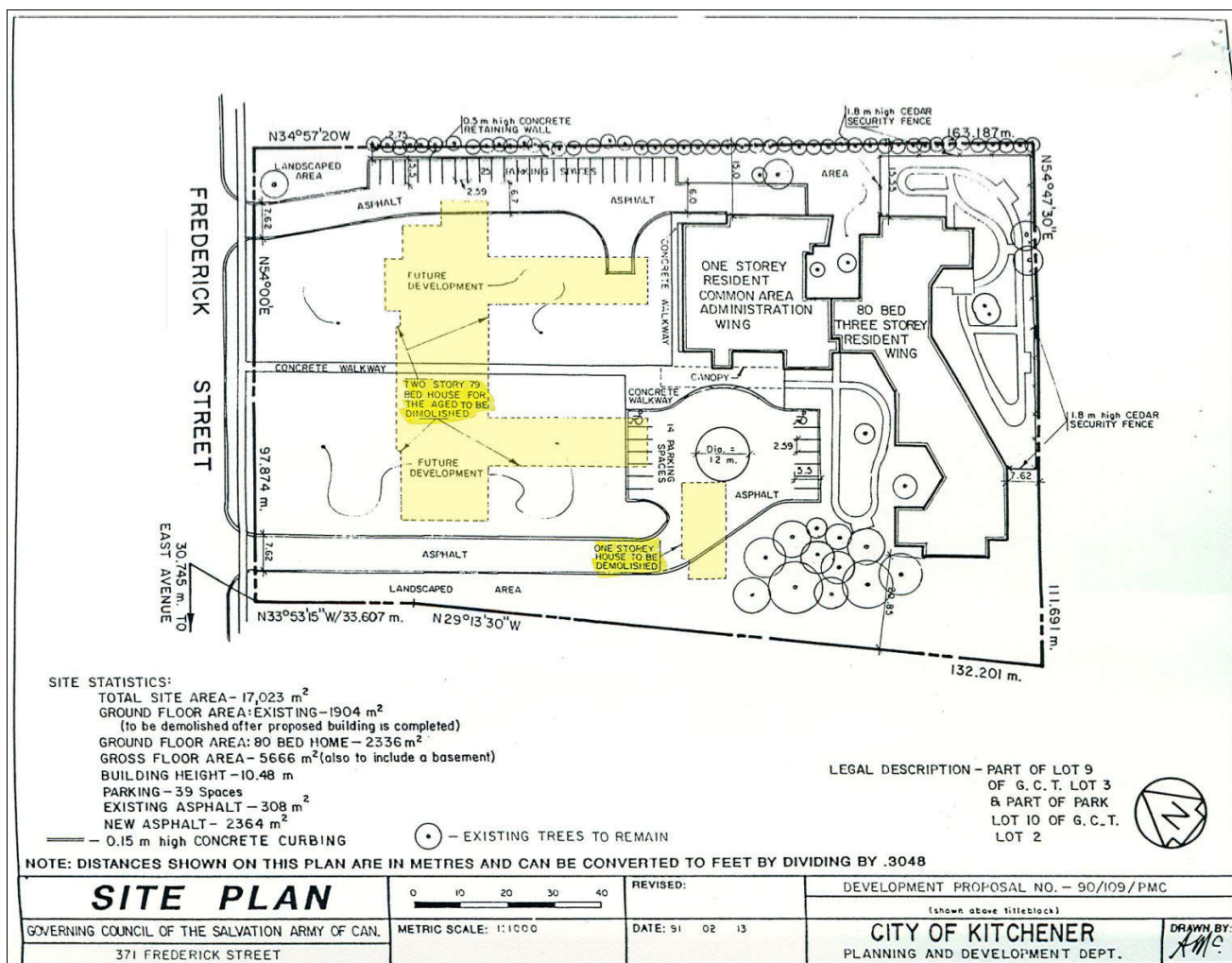


Figure 14 Site Plan, Governing Council of the Salvation Army of Canada, 371 Frederick Street, 91-02-13
City of Kitchener files

The current building at 369 Frederick Street was designed by architects Montgomery and Sisam of Toronto and built in 1993 for the Salvation Army (Figures 15 & 16). It was named the A. R. Goudie Eventide Home for Arthur R. Goudie, a department store founder who made a significant donation towards the construction costs.

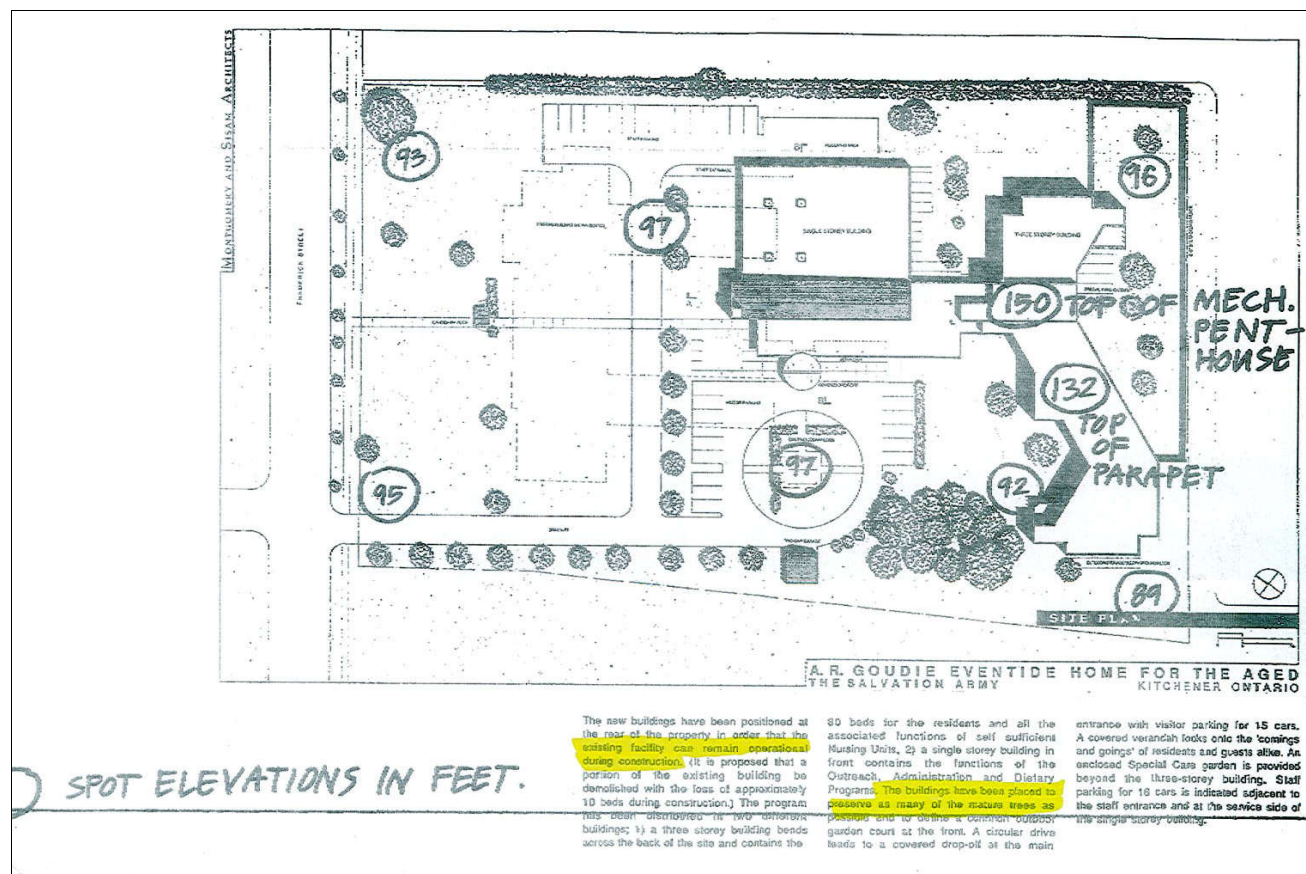


Figure 15 Site Plan, A. R. Goudie Eventide Home for the Aged, c. 1991 - Montgomery and Sisam Architects City of Kitchener files



Figure 16 from: *Images of Progress: Modern Architecture in Waterloo Region 1946-1996*, p 3 Kitchener Waterloo Art Gallery

It became a part of the peopleCare family in January 2013 when the Salvation Army, after much consideration

and deliberation, withdrew from its operations at the A. R. Goudie Eventide Home, citing resource issues.⁹

1.3 Description of surrounding context and landscape features

Surrounding Context

Bordering the property on the east and south is the Frederick Street Plaza/Frederick Mall, opened August 24, 1955, the City's first self-contained shopping centre, a \$2 million project (Figures 17 & 18). The plaza was enclosed *circa* 1980.



Figure 17

Frederick Mall looking west on Frederick Street



Figure 18

Frederick Mall looking east from subject property

⁹ <http://www.salvationarmy.ca/blog/2011/04/07/salvation-army-to-withdraw-from-operations-at-a-r-goudie-eventide-home/> April 7, 2011

The subject property is across Frederick Street from 362 Frederick Street (Figure 19), a property designated under Part IV of the *Ontario Heritage Act*¹⁰. Known as Eby House, it was built in 1837. It is the oldest residential house in Berlin/Kitchener occupied by a single family. Built for John and Rebecca Eby, the farm house was occupied by them shortly after their marriage. Rebecca was the daughter of Samuel Bricker who was famous for getting a loan from friends and relatives in Pennsylvania to pay the mortgage on the Beasley Tract, which is now the lands occupied by Waterloo. He sold all of the farmland in 1869 when the House of Industry and Refuge was built across the street. John's daughter Magedeline became owner in 1887 and moved from Harriston with her husband Martin Dunham. Dr. Mabel Dunham was their daughter, the first professionally trained librarian in Ontario. One of Canada's most noted authors, B. Mabel Dunham, was always conscious of the value of history and enriched Canadian literature with her books: *The Trail of the Conestoga*; *Toward Sodom*; *The Trail of the King's Men*; *Grand River and Kristli's Trees*. Dunham was librarian of the Kitchener Public Library from 1908 until her retirement in 1944, the first trained librarian to be in charge of a public library in Ontario. She developed one of the first children's library departments in Ontario at the Kitchener Library.¹¹



Figure 19

Eby House, 362 Frederick Street

¹⁰ *It is the opinion of Heritage Planning staff that the proposed planning applications will not negatively impact the adjacent protected heritage property, 362 Frederick Street, and so will not require the HIA to assess potential impacts on it.* Internal Memo, Sandra Parks, Heritage Planner to Andrew Pinnell, Planner re: Pre-Submission Consultation - Committee of Adjustment & Site Plan, 369 Frederick St. January 13, 2017

¹¹ Self-guided walking tour: Made in Berlin. Matured in Kitchener. Posted on May 8, 2014 by James Howe, A walk though the heritage of Kitchener's Central Frederick neighbourhood
<http://www.fredandlanc.ca/2014/05/self-guided-walking-tour-made-in-berlin-matured-in-kitchener/>

Other properties adjacent include two six-plexes, now office-residential use, at the corner of East Avenue and Frederick Street (Figure 20) and single family residences on the north side of Frederick (Figure 21) and on East Avenue (Figure 22).



Figure 20 office-residential six-plexes on Frederick Street, west side of subject property



Figure 21 single family homes, north side of Frederick at Dunham Avenue (formerly East Avenue)



Figure 22 rear of homes on East Avenue from subject property

Weber Park is also on the north side of Frederick Street (Figure 23).



Figure 23 Weber Park, opposite subject property on Frederick Street

Landscape

The landscape features of the property consist of a number of semi-mature and mature trees dating from the last two periods of construction, 1962 and 1993, set in a swarth of mown lawn (Figures 24 - 29).



Figure 24

sign in landscaped bed



Figure 25

central walkway bordered by mature trees



Figure 26
central walkway bordered by mature trees which screen the building at 369 Frederick Street -Google Streetview

The building is placed at the rear of the property, not for aesthetic or contextual reasons, but because the 1962 building occupied the grass and trees area and was retained until the 1993 building was constructed (Figures 13 & 14) . Until 1962 there was a building in the foreground occupying the street view.



Figure 27
looking northeast from entry court



Figure 28

looking north from interior of the administration wing



Figure 29

looking southeast from Frederick Street

1.4 Documentation of the heritage resource

The existing building (Figures 30 - 41), as noted earlier, was designed by Montgomery and Sisam Architects for the Salvation Army in 1991 and constructed in 1993. It has been described as having a *crisp stucco and glass exterior (that) pays homage to the modern architectural expression of many Salvation Army projects built in Canada since the 1950s. The plan is irregular, to preserve the existing mature trees, but also in the modern tradition of bending the plan to suit spatial and functional needs. The residential wing is set furthest from Frederick Street. In front, a suite of public rooms look toward the entry court through glass walls. A free-standing entrance canopy in concrete, steel and timber provides a sheltered verandah at the entry.*¹²



Figure 30

north (Frederick Street) facade



Figure 31

south (rear) facade from Frederick Mall parking lot

¹² *Images of Progress: Modern Architecture in Waterloo Region 1946-1996*, Kitchener Waterloo Art Gallery, p 3



Figure 32

west facade, residential wing



Figure 33

east facade, service & residential



Figure 34

entrance canopy to reception and games room



Figure 35

glazed common rooms wall, residential wing

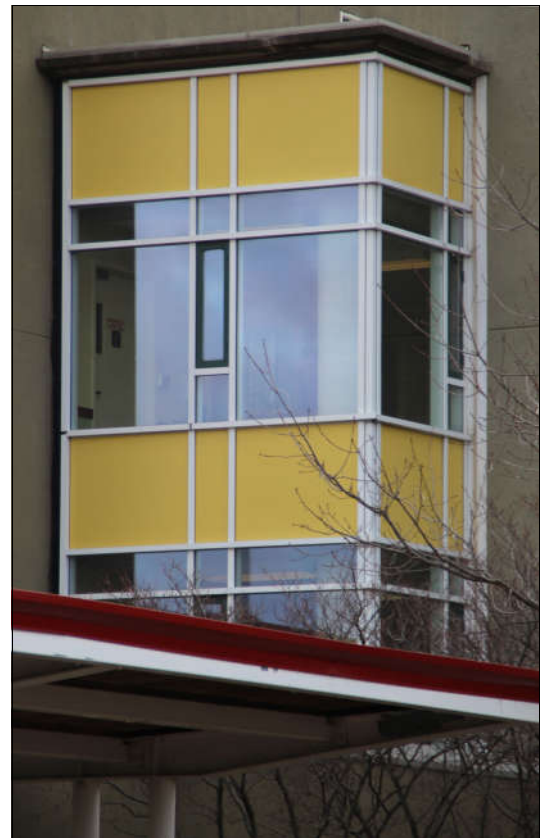


Figure 36

glazed stair tower

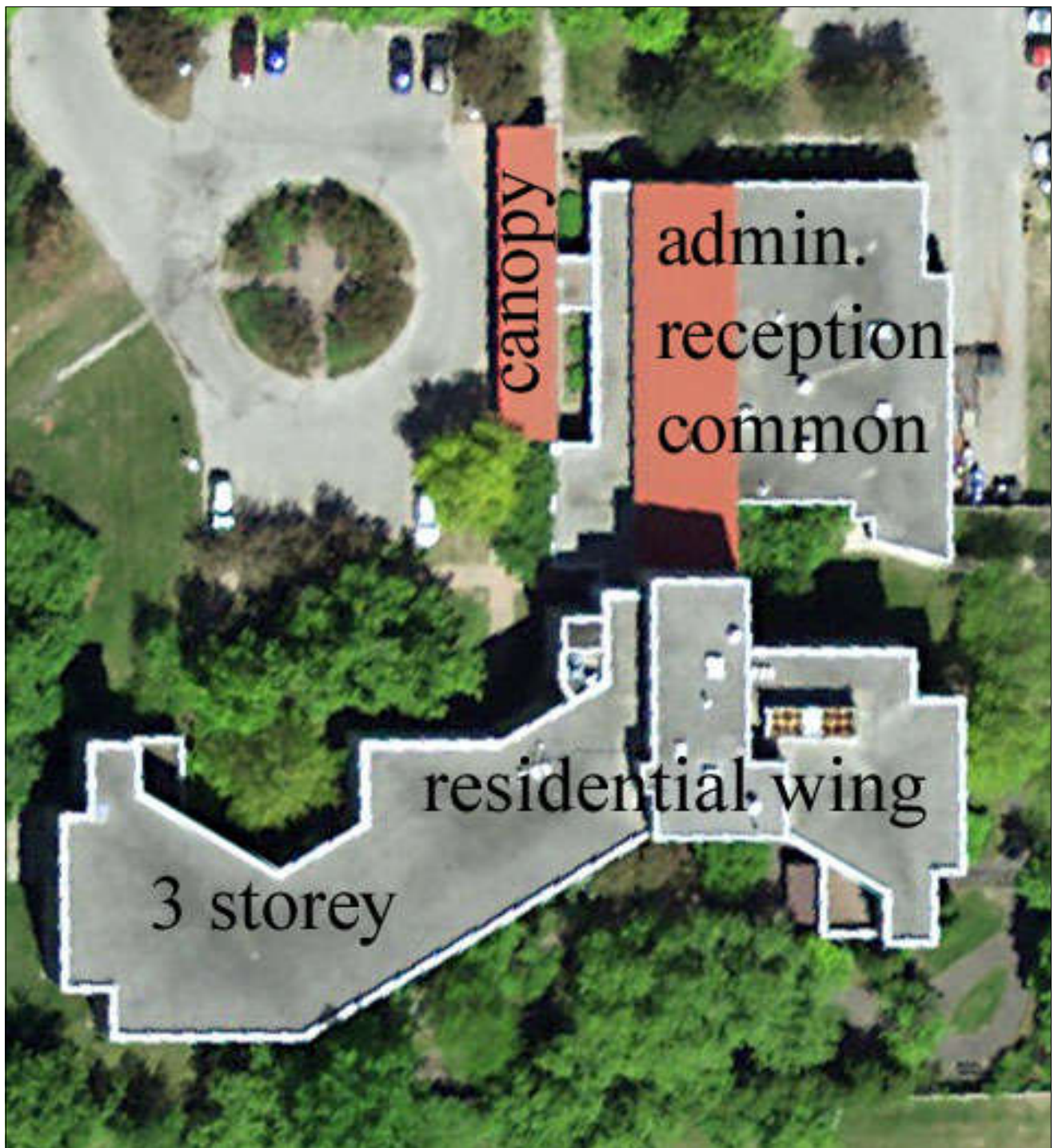


Figure 37

plan view - GRCA mapping

The building is comprised of three elements (Figure 37), a free-standing canopy leading to the reception, administration and games room wing which is at a right angle to the 3-storey residential wing.

The canopy (Figure 38) is supported by massive concrete posts and a combination of steel I-beams, round and square tubular steel columns and beams. The pre-finished metal batten shed roof contrasts the grey, rendered walls of the building like the shed roof of the administration wing. The underside is tongue and groove wood.



Figure 38

entry canopy

The 1-storey administration wing has a clerestory (Figure 40) with large windows placed at the upper level on the east side to provide light and glazing throughout the lower walls on the west and part of the north side, providing views of the landscape (Figures 39 & 41). The ceiling exposes the metal batten roof and is supported by large concrete columns (Figure 40).



Figure 39

view through canopy to entry court

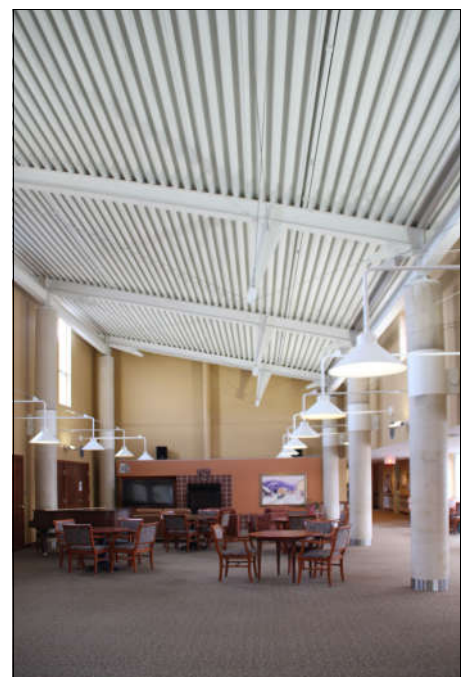


Figure 40 clerestory administration wing



Figure 41

view from administration to front landscape & Frederick Street

The building is of curtain wall construction with a fairly smooth acrylic rendering in a medium grey colour. Yellow panels and red-painted shed roofs with pre-finished, red metal flashing and downspouts contrasts nicely with the grey. Glazing is comprised of punched windows, with curtain wall sections (Figures 34 & 35) that incorporate the yellow panels. A similar treatment is used for the stair tower (Figure 36). The east, west and south walls are plain (Figures 31 - 33) with simple punched windows.

Issued for tender drawings of the building elevations (Figures 42, 43 & 44) are found on the next pages.

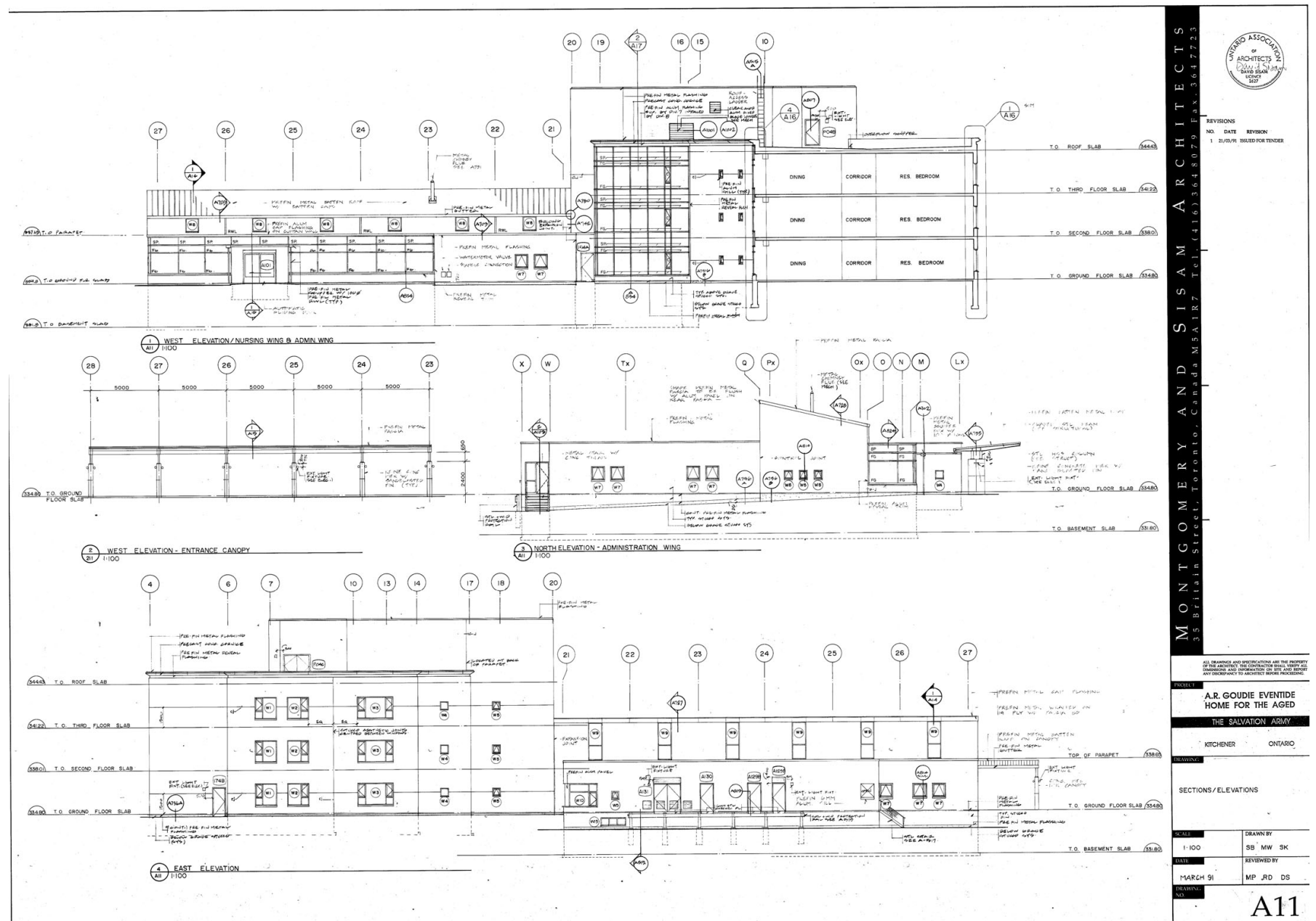


Figure 42

A. R. Goudie Eventide Home - sections/elevations (A11), Montgomery and Sisam March 21, 1991 issued for tender

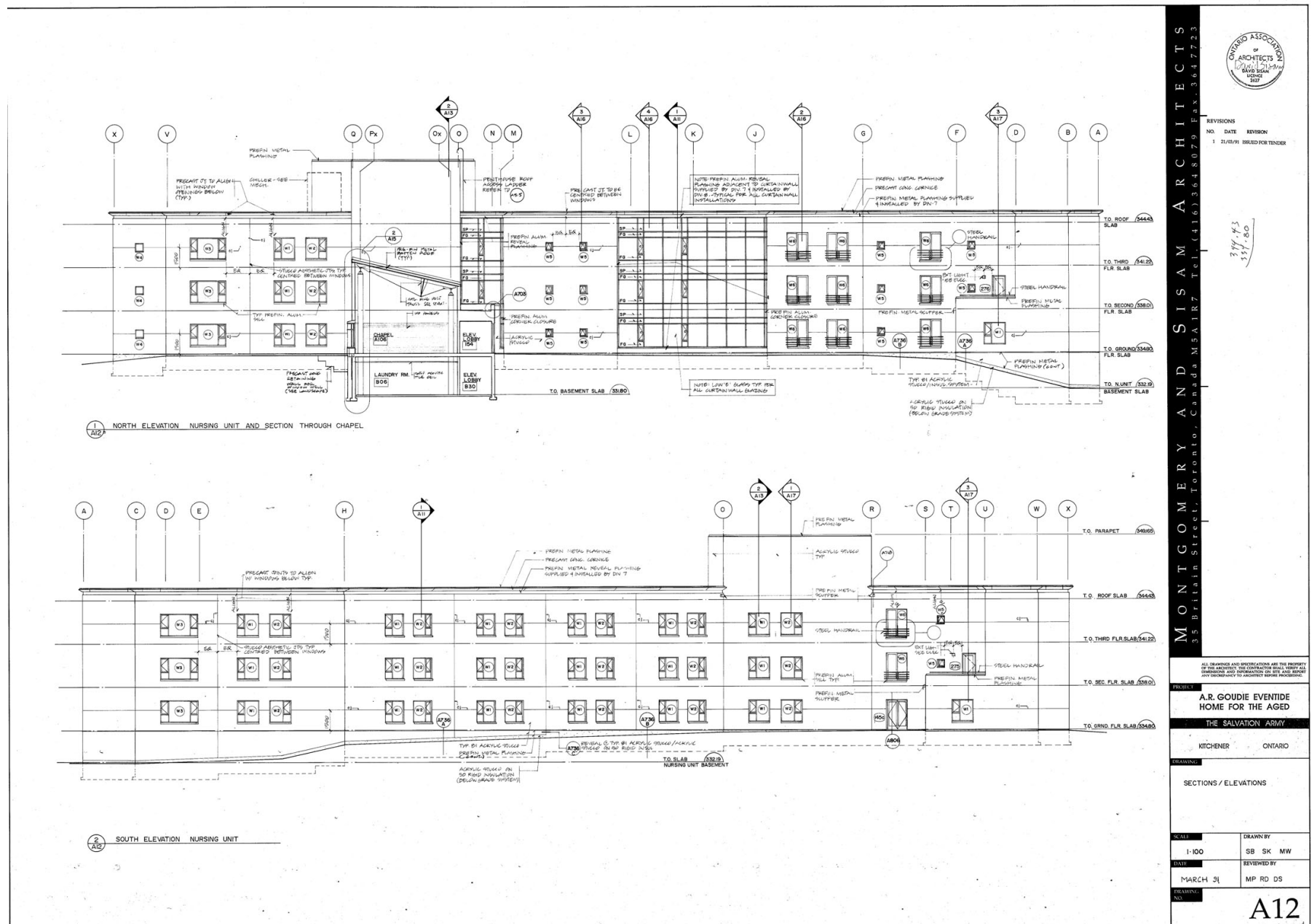


Figure 43

A. R. Goudie Eventide Home - sections/elevations (A12), Montgomery and Sisam March 21, 1991 issued for tender

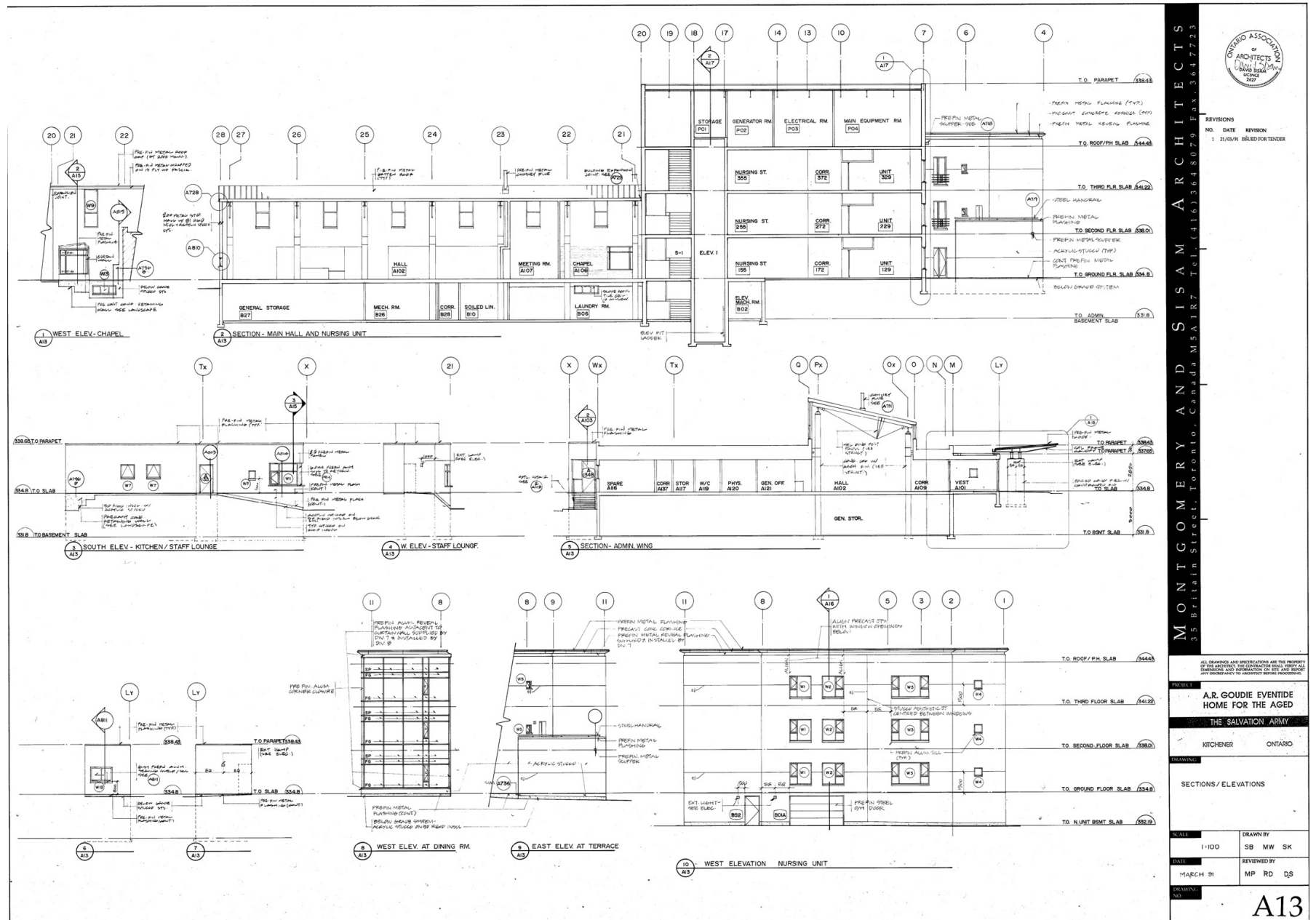


Figure 44

A. R. Goudie Eventide Home - sections/elevations (A13), Montgomery and Sisam March 21, 1991 issued for tender

Although the ‘International Style’ of modernist architecture in Canada is usually considered to be from the 1940s through the 1960s, 369 Frederick Street exhibits many of the design features of that style, including:

- uninterrupted surface volumes,
- non-load bearing walls and internalized structure,
- flat and angled roof lines,
- sense of visual weightlessness with the use of pilotis and extensive glazing,
- single unobstructed clear spans with unitary volumes,
- volumes wrapped in textureless, unarticulated skin.

For a modern building to be considered of heritage significance, it must satisfy several of the following conditions.¹³

| | |
|-----------------------|--|
| Philosophy | Does the project represent the philosophy of the modern movement? |
| Design | Does the design of the project reflect the most salient characteristics of the Modern aesthetic? |
| Materials | Is the material palette treated in a distinctively modern way? |
| Construction | Is the structure of the project particularly innovative or representative of Modern technology of construction? |
| Alterations | Does the project retain its most salient design features, or have alterations been sensitive to the original intentions of the design? |
| Architect | Was the project designed by an important and influential architect who made a significant contribution to the Modern Movement? |
| Historic Significance | Has the project contributed to the historical development of Kitchener? |
| Influence | Has the project influenced the development of architecture locally, nationally, or internationally? |
| Awards | Has the project received recognition through publication or awards? |
| Context | Does the project contribute to community identity? |

Application of Criteria

Philosophically, the building provides an aesthetic that enhances the arts, architecture, and lifestyles of the machine age; it provides modern space filled with light and fresh air to promote health and vitality.

From a design perspective, the building has pure, simple geometries, clean lines. It appears fresh and immaculate (even 24 years after its construction). Its interior volumes have a sense of visual weightlessness through suspension on pilotis and the use of extensive glazing. It sports flat roofs, unadorned finishes, and elegantly machined details. It is devoid of decoration. The interior and exterior of the administration wing become ambiguous with the opening up of the ground plan and the extensive use of glazing. The emphasis is on volume rather than mass and symmetry has been avoided, relieving static composition. The form of the building somewhat reflects and reveals its function.

Materials used are synthetic, including acrylics, aluminum, concrete, glass, and steel.

The building’s structure expresses the elements that are structurally necessary with exterior walls being merely a skin to clad the envelope of the building rather than being load bearing.

¹³ *North York’s Modernist Architecture, A reprint of the 1997 City of North York publication*, Presented by E.R.A. Architects 2009, Prepared for the North York Modernist Architecture Forum held at North York Civic Centre on October 27, 2009

Little or no alterations have been made to the original structure.

Founded in 1978, Montgomery Sisam Architects Inc. is a mid-sized architectural firm based in Toronto with a specialty in healthcare, education and sustainable design. Their numerous awards include a number of senior and long-term care homes. The body of work produced by the firm over nearly four decades is a comprehensive cross-section of Modern design.

Historically, the building is the latest in a series of structures on this property specifically designed and built for the care of people in the City, starting with the 1869 House of Industry and Refuge. It is a symbol of a continuum of a pattern of cultural, social, political and economic status of the community, contributing to the identity of the municipality and its landscape. Its association with the major donor, A. R. Goudie¹⁴, and the Salvation Army is important to the City's history.

The building has received recognition through the publication of *Images of Progress: Modern Architecture in Waterloo Region 1946-1996*.

The property's architectural features, massing, landscaping, and siting enhances the character of the surrounding neighbourhood.

Heritage Attributes

The cultural heritage attributes of the property are:

- the scale and irregular massing of the one and three-storey building, including the entry canopy;
- the entry canopy in its entirety;
- the acrylic stucco non-load bearing walls;
- the glazed and solid panel curtain wall sections;
- the pre-finished metal shed roofs of the administration wing and entry canopy;
- the clerestory form and glazing in the administration wing, filling the space with light and marrying the indoors with the outdoors.

1.5 Proposed development and impacts

The subject lands are approximately 1.70 hectares (4.21 acres) in area with approximately 98 metres of frontage along Frederick Street to the north. The proposal is to sever part of the Frederick Street frontage from the area of the existing facility to facilitate the construction of a retirement home on the severed portion. Access to the A. R. Goudie Eventide Home and its proposed addition will be from Frederick on the new P-shaped lot.

¹⁴ ARTHUR RUSSEL GOUDIE, 1884-1960 was founder of one of western Ontario's largest family-owned department stores, Goudies, Ltd. He was among the first in Canada to encourage employees to be shareholders. A charter member of the Ontario Pioneer Community Foundation, he donated the Dry Goods and Grocery Store to Doon Pioneer Village. A native of Hespeler, he began his career as an apprentice to the Forbes woollen mills. He later travelled for the Ontario Button Company. In 1909, he became manager and vice-president of Weseloh-Goudies, Ltd. When the store was destroyed by fire in 1918, Mr. Goudie rebuilt it as Goudies, Ltd. He served as Ontario and national president of the Ontario Retail Merchants Association. An active supporter of many community organizations, Goudie's generosity made possible the building of the A. R. Goudie Eventide Home in Kitchener. Waterloo Region Museum, Region Hall of Fame

The proposed addition and retirement home building are shown in the Site Plan in Figure 45.

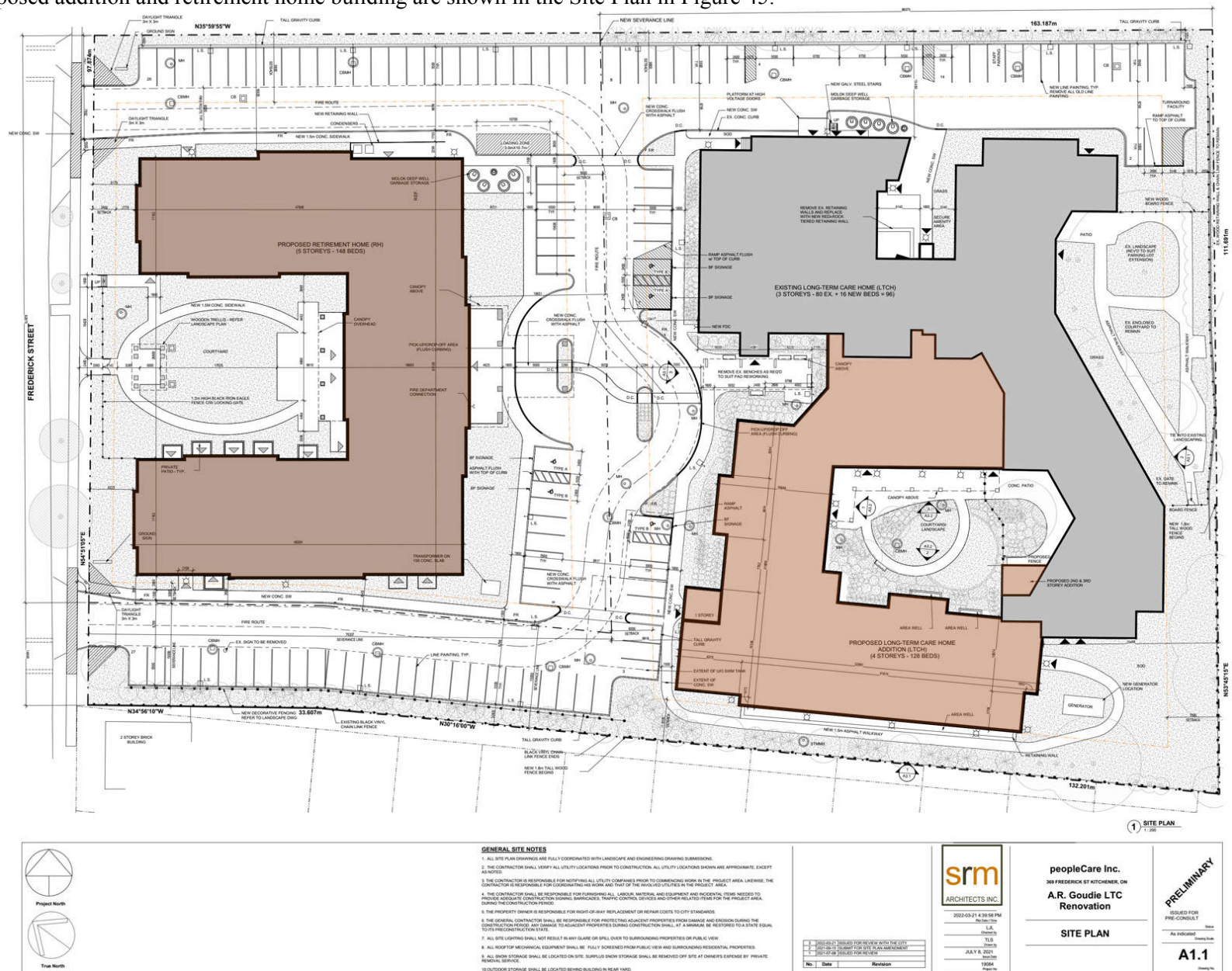


Figure 45

Concept Site Plan - srm Architects March 21, 2022

Frederick Street (north) elevations of the proposed addition and the existing building are illustrated in Figure 46.

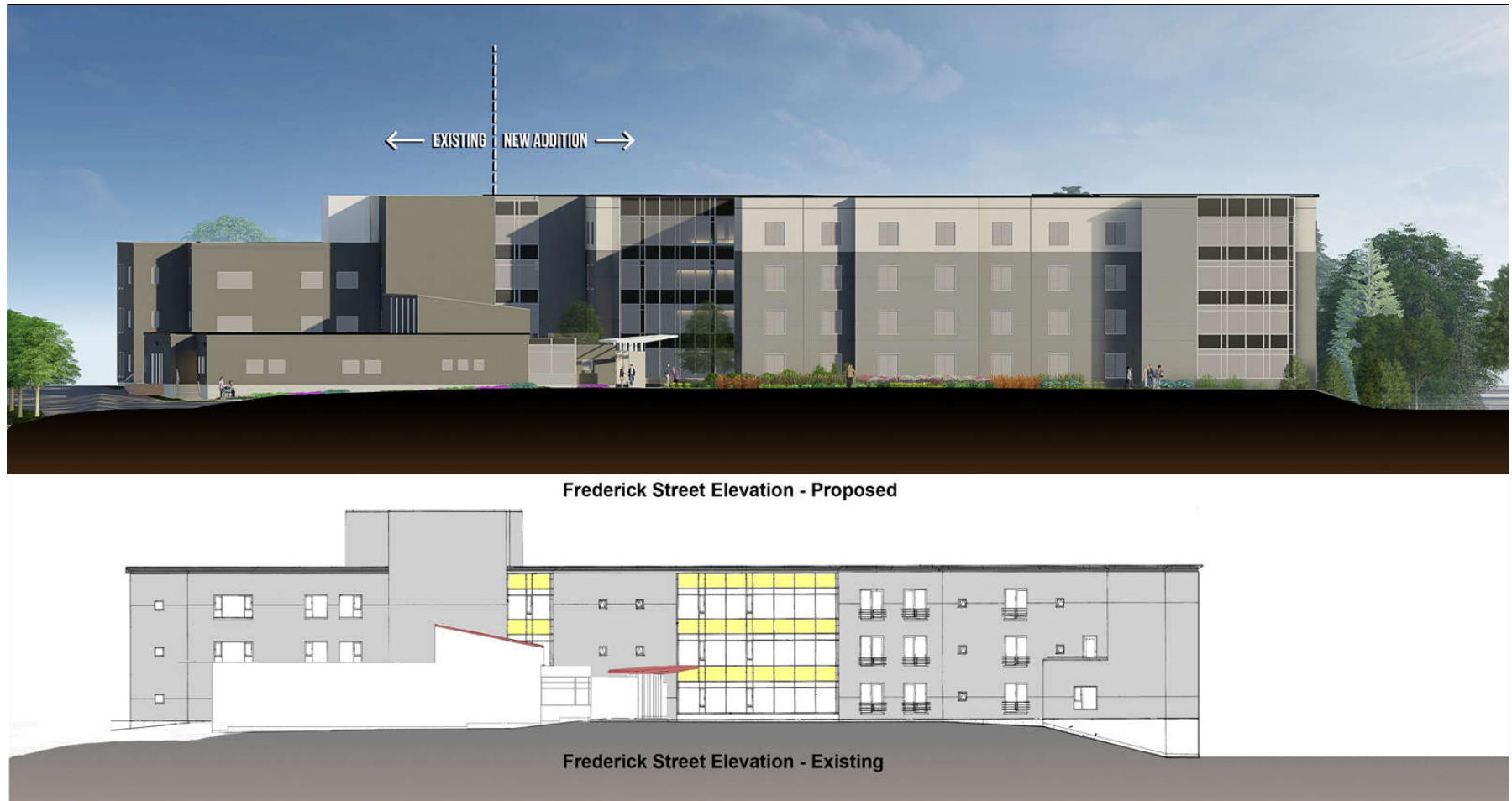


Figure 46

Frederick Street elevations - proposed and existing - *srm Architects*, May 2022

Note: The existing yellow spandrel colour has been proposed to be changed to a different colour to be determined.

Figure 47 illustrates the east elevation and Figure 48, the west elevation.



Figure 47

east elevation of proposed addition - srm Architects, May 2022



Figure 48

west elevation of proposed addition - srm Architects, May 2022

Figure 49 is a perspective view of the proposed addition.



Figure 49

perspective view of proposed addition, - srm Architects, May 2022



Figure 50

north (front) elevation: proposed retirement home - *Robert Dyck Architect*



Figure 51

east elevation: proposed retirement home - *Robert Dyck Architect*

Figures 50 and 51 are elevations of the proposed retirement home fronting on Frederick Street.

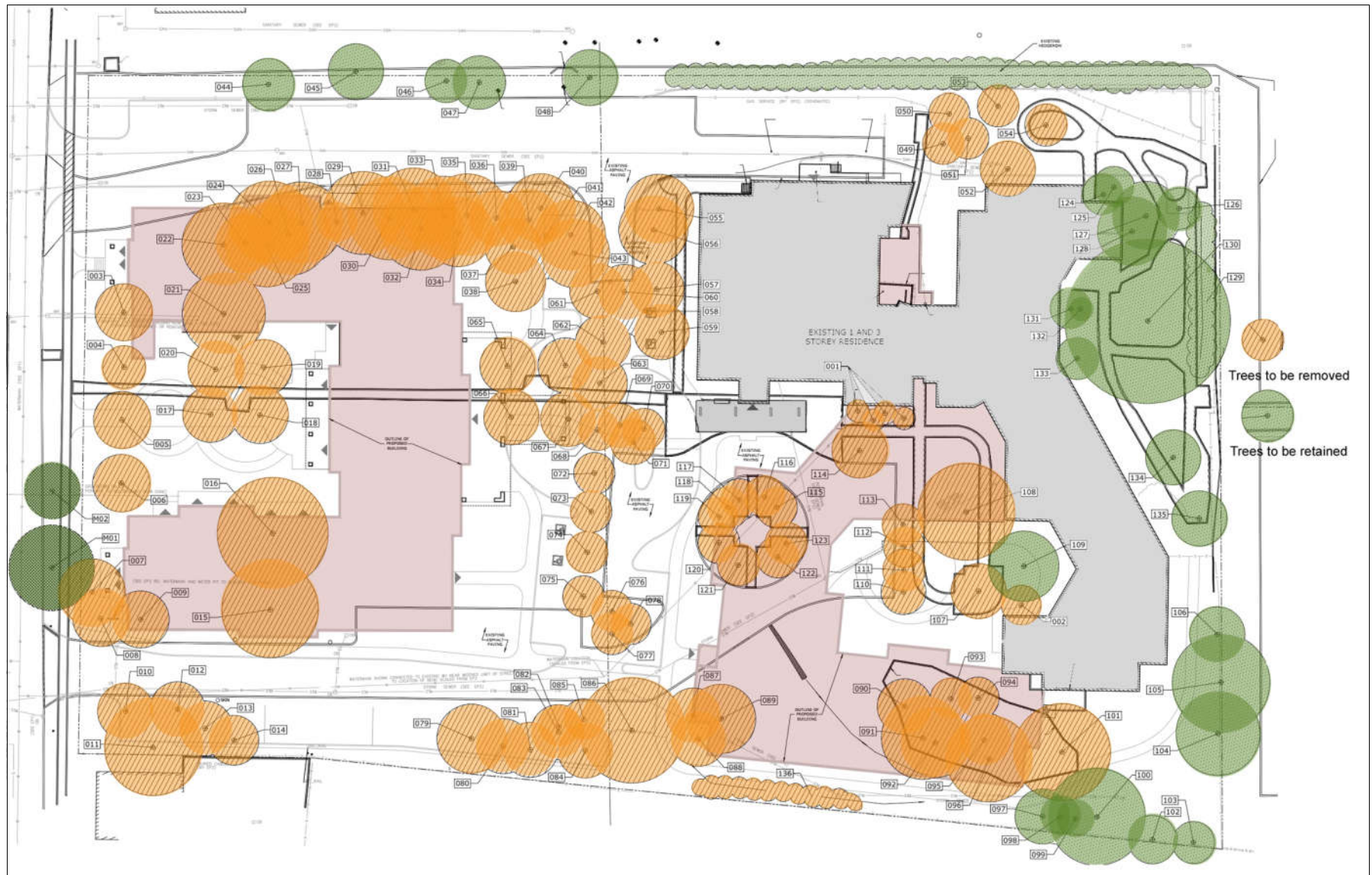


Figure 52

Tree Preservation Plan - Roth Associates Landscape Architecture Inc.

A tree preservation plan (Figure 52) shows the majority of trees on the Frederick Street frontage being removed to facilitate the construction of the addition, new building, site grading, circulation and servicing. Most of the trees to be removed are the vintage of the previous (1962) and current buildings (1993). Trees have been continually replaced on this site since 1869.

A landscape plan (Figure 53) replaces the existing institutional landscape of turf and trees with a more human scale residential landscape.



Figure 53

Proposed Landscape Plan - GSP Group, May 2022

The proposed addition wraps around the west side of the existing building, enclosing the current entry turning circle to create an internal courtyard. The canopied entrance, shortened on either end to accommodate the new drive and addition (Figure 54), remains the visual and main entry to the long-term care home. Materials are stucco (EIFS), like the existing. To differentiate it from the original, the colour will be a warmer and lighter tone. It is also differentiated by picking up the existing and proposed curtain wall vertical and horizontal lines as V-grooves in the EIFS. The building outline follows the contoured shape of the existing building and the topography of the site. The large glazed and solid curtain wall on the north side of the building will be relocated to the interior to facilitate the addition to the building and the curtain wall stair tower is modified by moving the wall slightly northward and adding a new piece to accommodate a new elevator (Figure 55). The northerly portion of the curtain wall remains visible. (Figure 46) as does the administration wing glazed and solid curtain wall.

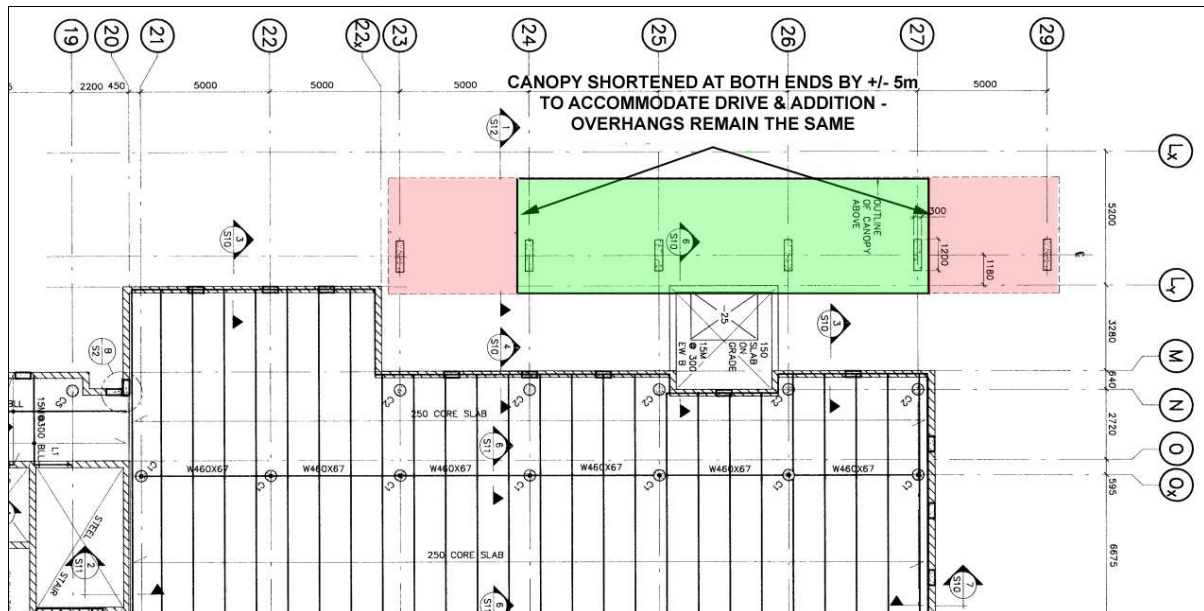


Figure 54

existing canopy modified - Robert Dyck Architect

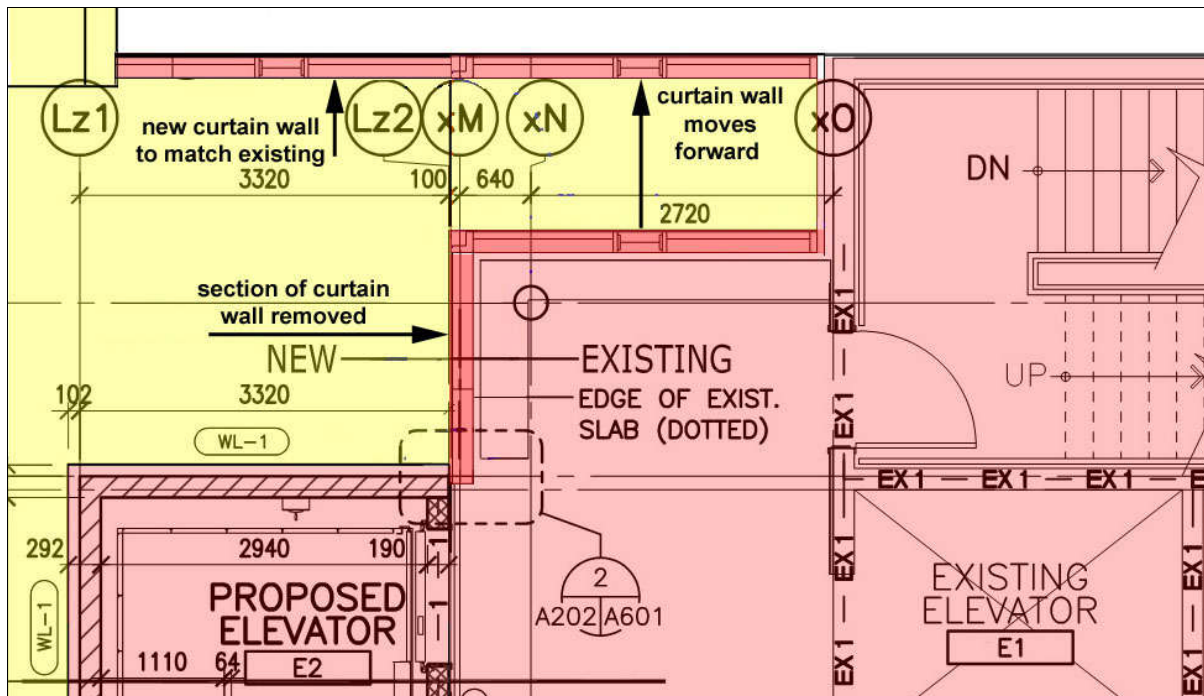


Figure 55

stair tower curtain wall modification - Robert Dyck Architect

The new building, a retirement home, is located on the site of the 1962 retirement home (Figures 14 & 45) with its main entrance on the same axis as the 1869 and 1962 buildings. The proposed building is almost a mirror image in form and in the same location as the 1962 building. The new building is also in red brick with a cultured stone base. This building will effectively screen the existing building and its proposed addition from Frederick Street. Visitors to the long-term care home will pass by the new retirement home to the original entrance to the 1993 building.

The following assessment of potential impact the proposed redevelopment or site alteration may have on the cultural heritage resource(s) is based on the possible negative impacts as stated in the *Ontario Heritage Tool Kit*.

| <i>Potential Negative Impact</i> | <i>Assessment</i> |
|---|---|
| Destruction of any, or part of any, significant heritage attributes or features | approximately 1/3 of the entry canopy is removed - the glazed and solid stair tower curtain wall is modified |
| Alteration that is not sympathetic, or is incompatible, with the historic fabric and appearance | the alteration to the existing building is an addition relates to, but differentiated from the historic fabric and is compatible with it |
| Shadows created that alter the appearance of a heritage attribute or change the viability of an associated natural feature or plantings, such as a garden | shadows created do not alter the appearance of heritage attributes, nor change the viability of plantings |
| Isolation of a heritage attribute from its surrounding environment, context or a significant relationship | the heritage resource, (the 1993 building), is not isolated from its environment |
| Direct or indirect obstruction of significant views or vistas within, from, or of built and natural features | views from the public realm of the building are screened by the proposed residential building and become private realm vs. public realm views |
| A change in land use (such as rezoning a church to a multi-unit residence) where the change in use negates the property's cultural heritage value | no change in land use |
| Land disturbances such as a change in grade that alters soils, and drainage patterns that adversely affect a cultural heritage resource, including archaeological resources | no alteration of drainage patterns |

There is a moderate, but acceptable negative impact on the cultural heritage resource, and no impact to the adjacent cultural heritage resource from the proposed addition and new residential building.

1.6 Conservation - principles and mitigating measures

The 1993 building is preserved *in situ*; its use remains as a residence for seniors. Methods of minimizing or avoiding negative impact on cultural heritage resources, noted by the Ministry of Culture, include but are not limited to the following:

- *Alternative development approaches*
Four alternative development approaches were formulated and assessed (Figures 56 - 59).



Figure 56 Option 1 - Robert Dyck Architect



Figure 57 Option 2 - Robert Dyck Architect



Figure 58 Option 3 - Robert Dyck Architect



Figure 59 Option 4 - Robert Dyck Architect

From these alternatives and through discussion with City staff, a preferred option that met the criteria for both functionality and heritage conservation was selected (Figure 46).

- *Isolating development and site alteration from the significant built and natural heritage features and vistas*
The built heritage features, with the exception of retaining the north-facing curtain wall as an interior feature, removing portions of the entry canopy, and a modification to the stair tower curtain wall, remain intact; views are changed from the public realm (in the winter months only) to the private realm (see Figure 26).
- *Design guidelines that harmonize mass, setback, setting and materials*
Massing, setting and materials are harmonized with the existing building.
- *Limiting height and density*
Height of the addition is consistent with the existing building. Density is substantially increased by making use of the open space,
- *Allowing only compatible infill and additions*
Infill and the addition are compatible.
- *Reversible alterations*
Not applicable.

1.7 Proposed alterations justified and explained

The alterations are designed to provide a substantial number of new long-term care and seniors' residences, fulfilling an important need in the community.

The loss of the ends of the entry canopy is partially offset by retaining most of the canopy and retaining its symmetry on the doorway as well as the overhangs at each end. Retention of the more visible portion of the stair tower curtain wall, albeit moved slightly north, somewhat compensates for the loss of a slightly smaller portion

of the wall. The visible glazed and solid administration wing curtain wall at the main entrance is retained.

1.8 Recommendations

The addition and new building, their locations on the site, and their landscape shall conform to the plans in this impact assessment. More specifically:

- originally it was recommended that as much of the existing large glazed and solid panel curtain wall as possible should be salvaged to be used as an interior feature as a dividing wall between interior spaces - however, according to the project architect, it is not salvageable;
- to ensure that the addition is a product of its own time, without a blurred distinction between old and new, and is physically and visually compatible with the 1993 building, the proposed cladding should be stucco (EIFS) carried to the foundation without a distinct base like the original and differentiated from the 1993 building with a warmer and lighter tone to be established at Site Plan Approval stage;
- differentiation may also be accomplished by picking up the existing and proposed curtain wall vertical and horizontal lines as V-grooves in the EIFS, lending a more residential feel to the building;
- new curtain wall sections at points of internal communal and circulation spaces should retain the dimensions and form of the originals, but the solid panels constructed in natural aluminum rather than the yellow of the original, again to not be a copy, but pay homage;
- to suit the needs of the residents there is no air conditioning in the units, only in the hallways and common areas; therefore, windows must be operable with a restricted opening - details of the type and style of window on the north elevation should be deferred to the approval of the building elevations at Site Plan Approval;

As some of the heritage attributes are to be modified, commemoration in the form of interpretive panels with text and images outlining the history of the property and photographs showing the 1993 building before the addition be placed in the reception area or some other public room.

In order to promote the retention of historic information, copies of this report should be deposited with a local repository of historic material. Therefore, it is recommended that this report be deposited at the Kitchener Public Library, Grace Schmidt Room.

1.9 Qualifications of the author completing the Heritage Impact Assessment

See Appendix 2.

2.0 SUMMARY STATEMENT and CONSERVATION RECOMMENDATIONS

- With respect to “the significance and heritage attributes of the subject property”, the significance is limited to the existing building and the history of the property and its former occupants. Some of the heritage attributes are affected as is noted. None of the history is lost by the proposed development; rather, another chapter in the property’s history of care-giving opens.
- Regarding “impact the proposed development will have on the heritage attributes of the subject properties and on the attributes of surrounding protected heritage property”, although the site is proposed to house significantly more density, moderate negative impact on the heritage attributes of the heritage resource is expected.
- As far as “what conservation or mitigative measures, or alternative development, or site alteration approaches

are recommended”, if the conservation principles espoused in the recommendations above are adhered to, no other mitigating measures, additional alternative developments, or site alterations are recommended.

- Respecting “clarification as to why specific conservation or mitigative measures, or alternative development or site alteration approaches are not appropriate”, the proposal generally meets the existing zoning by-laws and it conforms to the Conservation Principles in the *Ontario Heritage Toolkit*. Recommended mitigating measures are limited to deposit of this report at the Kitchener Public Library, Grace Schmidt Room and implementation of the architectural and landscape architectural designs as found in this report. Additional alternative development or site alteration approaches are not necessary as the proposal meets policies and by-laws and has a moderate negative impact on the heritage resource, most of which can be successfully mitigated.

3.0 MANDATORY RECOMMENDATION

Section 2 of the *Planning Act* indicates that Council shall have regard to matters of Provincial interest such as the conservation of features of significant architectural, cultural, historical, archaeological or scientific interest. In addition, Section 3 of the *Planning Act* requires that decisions of Council shall be consistent with the *Provincial Policy Statement 2014 (PPS)*. Policy 2.6.1 of the *PPS* requires that significant built heritage resources and significant cultural heritage landscapes shall be conserved.¹⁵

The *PPS* defines “built heritage resource” as one or more significant buildings, structures, monuments, installations or remains associated with architectural, cultural, social, political economic or military history and identified as being important to a community. These resources may be identified through designation or heritage conservation easement under the *Ontario Heritage Act*, or listed by local provincial or federal jurisdictions. The term “significant” means resources **valued for the important contribution they make to our understanding of the history of a place, an event, or a people**.

“Conserved” means the **identification, protection, use and/or management of cultural heritage and archaeological resources in such a way that their heritage values, attributes and integrity are retained**. This may be addressed through a conservation plan or heritage impact assessment.

*Ontario Regulation 9/06 ‘Criteria for Determining Cultural Heritage Value or Interest’*¹⁶ states for a property to be considered of cultural heritage value or interest, it must meet one or more of the following criteria:

1. have **design value or physical value** because it,
 - is a rare, unique, representative or early example of a style, type, expression, material or construction method,
 - displays a high degree of craftsmanship or artistic merit, or
 - demonstrates a high degree of technical or scientific achievement.
2. have **historical value or associative value** because it,
 - has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community,

¹⁵ *Provincial Policy Statement (PPS, 2014) Cultural Heritage and Archaeology Policies 2.6, InfoSheet #5, Heritage Impact Assessments and Conservation Plans, Winter 2006*

¹⁶ *Ontario Heritage Act, Ontario Regulation 9/06 ‘Criteria for Determining Cultural Heritage Value or Interest’ January 25, 2006*

- yields, or has the potential to yield, information that contributes to an understanding of a community or culture, or
 - demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.
3. have **contextual value** because it,
- is important in defining, maintaining or supporting the character of an area,
 - is physically, functionally, visually or historically linked to its surroundings, or
 - is a landmark.

The potential built heritage resource and potentially significant heritage resource on this property is the **1993 A. R. Goudie Eventide Home**. The home is of cultural heritage interest, having been placed on the Heritage Kitchener Inventory of Historic Buildings. The house **has design value or physical value**. It is a representative example of a style, type, expression, material and construction method (the International Style of Modernism); it displays a high degree of style, craftsmanship and artistic merit (see paragraph 1.4, page 28). The property **has historical value or associative value** as it has direct associations with a theme, event, belief, persons, activity, organization and institution that is significant to the community. It has the potential to yield information that would contribute to an understanding of the community or culture, and it demonstrates and reflects the work of an architectural firm and a former owner who are significant to the community. The Home retains its form, mass, outline, and materials, and is considered to have **contextual value** as it is the fourth building in a succession of care homes on this site since 1869.

It is the opinion of this author that the building meets the criteria for designation under Part IV of the *Ontario Heritage Act*. This opinion is not compromised by the proposed modifications to the building if the recommendations of this report are carried out.

This updated scoped heritage impact assessment is respectfully submitted by:

CHC Limited



per: Owen R. Scott, OALA, FCSLA, CAHP

A. R. Goudie Eventide Home - sections/elevations, Montgomery and Sisam, March 21, 1991, issued for tender

Auxiliary celebrates 50 years, *Waterloo Region Record* · 14 Oct 2014 · Valerie Hill, Record staff

County of Waterloo: House of Industry and Refuge Now the site of the A. R. Goudie Eventide Home, Self-guided walking tour: Made in Berlin. Matured in Kitchener. Posted by James Howe on May 8, 2014 in *Arts & Culture, Heritage, Kitchener*

<https://kingandottawa.wordpress.com/2014/05/08/self-guided-walking-tour-made-in-berlin-matured-in-kitchener/>

Digital Historical Air Photos of KW and Surrounding Area, University of Waterloo

<http://www.lib.uwaterloo.ca/locations/umd/project/>

Doris Lewis Rare Book Room, Waterloo Library

historical case study of the Waterloo County House of Industry and Refuge (1869-1950), Social Innovation Research Group, Wilfrid Laurier University, <http://waterloohouseofrefuge.ca/house/>

Images of Progress: Modern Architecture in Waterloo Region 1946-1996. Kitchener Waterloo Art Gallery, 1996

Internal Memo, Sandra Parks, Heritage Planner to Andrew Pinnell, Planner re: Pre-Submission Consultation - Committee of Adjustment & Site Plan, 369 Frederick St. January 13, 2017

Mennonite Archives of Ontario

North York's Modernist Architecture, A reprint of the 1997 City of North York publication, Presented by E.R.A. Architects 2009, Prepared for the North York Modernist Architecture Forum held at North York Civic Centre on October 27, 2009

Parks Canada, *Standard & Guidelines for the Conservation of Historic Places in Canada*, www.pc.gc.ca 2003.

Region of Waterloo Archives

Salvation Army blog, April 7, 2011

<http://www.salvationarmy.ca/blog/2011/04/07/salvation-army-to-withdraw-from-operations-at-a-r-goudie-eventide-home/>

Self-guided walking tour: Made in Berlin. Matured in Kitchener. Posted on May 8, 2014 by James Howe, A walk though the heritage of Kitchener's Central Frederick neighbourhood

<http://www.fredandlanc.ca/2014/05/self-guided-walking-tour-made-in-berlin-matured-in-kitchener/>

Waterloo Region Museum, Region Hall of Fame



Date: January 13, 2017
To: Andrew Pinnell, Planner
From: Sandra Parks, Heritage Planner
cc: Leon Bensason, Coordinator, Cultural Heritage Planning
Subject: Pre-Submission Consultation - Committee of Adjustment & Site Plan
369 Frederick St

Heritage Planning staff provide the following comments in relation to the proposed addition to the existing Long Term Care Facility and new Retirement Home building at 369 Frederick Street, to be discussed at a Pre-Submission Consultation meeting on January 19, 2017.

The property at 369 Frederick Street is of cultural heritage interest, having been placed on the Heritage Kitchener Inventory of Historic Buildings. Correspondence with the owner in January 2015 requested permission to access the property to take exterior photographs of the building and evaluate the property for possible listing on the City's Municipal Heritage Register. A response was not received at that time.

Information on file shows this 1993 modern building, designed by Montgomery Sisam Architects, was featured in ***Images of Progress: Modern Architecture in Waterloo Region 1946-1996***, by the Kitchener Waterloo Art Gallery. The listing states, "The Salvation Army has been a consistent patron of modern architecture. Here the "crisp stucco and glass exterior pays homage to the modern architectural expression of many Salvation Army projects built in Canada since the 1950s." The plan is irregular, to preserve the existing mature trees, but also in the modern tradition of bending the plan to suit spatial and functional needs. The residential wing is set furthest from Frederick Street. In front, a suite of public rooms look toward the entry court through glass walls. A free-standing entrance canopy in concrete, steel and timber provides a sheltered verandah at the entry."

The subject property is also located adjacent to a protected heritage property - 362 Frederick Street is designated under Part IV of the *Ontario Heritage Act*.

Section 2 of the Planning Act identifies matters of provincial interest, which includes the conservation of significant features of architectural, cultural, historical, archaeological or scientific interest. Section 3 of the Planning Act requires that decisions of Council be consistent with the Provincial Policy Statement (PPS). Policy 2.6.1 of the PPS states that *significant built heritage resources* and *significant cultural heritage landscapes* shall be *conserved*. Policy 2.6.3 states that authorities shall not permit development and site alteration on adjacent lands to protected heritage property except where the proposed development and site alteration has been evaluated and it has been demonstrated that the heritage attributes of the protected heritage property will be conserved. The PPS defines significant as resources that have been determined to have cultural heritage value or interest for the important contribution they make to our understanding of the history of a place, an event, or a people, and notes that while some significant resources may already be identified and inventoried by official sources, the significance of others can only be determined after evaluation.

Regional and municipal policies and guidelines also address the conservation of cultural heritage resources. The Regional Official Plan contains policies that require the conservation of cultural heritage resources. The City's Official Plan contains policies that require development to have regard for and incorporate cultural heritage

resources into development. These policies establish the requirement for the submission of studies, such as Heritage Impact Assessments (HIA) and Conservation Plans (CP), as part of complete planning applications. The Official Plan also acknowledges that not all cultural heritage resources have been identified; a property does not have to be listed or designated to be considered as having cultural heritage value or interest.

In considering the above, the City will require the submission of an HIA and a CP as part of complete planning applications. The HIA will need to assess the potential impact of the subject applications (CofA and SP) and the proposed development on the existing cultural heritage resources on the subject property. If an impact is identified, the HIA must recommend mitigative measures to avoid or reduce those impacts. These measures should be reflected in the planning applications and the design of the development proposal submitted to the City for consideration.

It is the opinion of Heritage Planning staff that the proposed planning applications will not negatively impact the adjacent protected heritage property, 362 Frederick Street, and so will not require the HIA to assess potential impacts on it. Heritage Planning staff will avail themselves to review building elevations and provide input and comment to Urban Design and Development Review staff, as required, to ensure the design of the future Retirement Home building complements the adjacent protected heritage property, 362 Frederick Street.

In keeping with Ministry and City guidelines on the preparation of HIAs, the following key components will need to be addressed:

- a) historic research, site analysis and evaluation;
- b) identification of the significance and heritage attributes of all cultural heritage resources;
- c) description of the proposed development;
- d) measurement of development impact to the existing cultural heritage resources on the subject property;
- e) identification of alternatives, mitigation and conservation methods;
- f) identification of preferred and recommended conservation, mitigation or avoidance measure(s), together with appropriate implementation and monitoring strategies; and
- g) concluding value and summary statements.

Note that HIAs may be circulated to the City's Heritage Kitchener Committee for information and discussion. A Site Plan Review Committee meeting may not be scheduled until Heritage Kitchener has been provided an opportunity to review and provide feedback to City staff. Approval of the HIA by the Director of Planning will be required prior to Site Plan Approval in Principle.

A CP is required where a cultural heritage resource worthy of retention is identified and recommended in the HIA. In keeping with Ministry and City guidelines on the preparation of Conservation Plans, the following key components will need to be addressed:

1. analysis of the cultural heritage resource, including documentation, identification of cultural heritage attributes, assessment of resource conditions and deficiencies;
2. short-, medium- and long-term maintenance and conservation measures including appropriate conservation principles and practices, qualifications of contractors and trades people that should be applied, and an implementation strategy;
3. security requirements, including measures to protect the resource during phases of construction or related development; and
4. cost estimates for short-term maintenance and mitigation measures to be used to determine sufficient monetary amounts for letters of credit or other securities as may be required.

The submission of a CP may be waived by City staff in instances where an HIA does not recommend Listing or Designation of a cultural heritage resource, has been reviewed by City staff and is deemed acceptable.

In summary, the City will require the submission of a Heritage Impact Assessment and a Conservation Plan as part of complete planning applications. The terms of reference will be consistent with the City's generic terms of reference for HIAs and CPs. Contact Heritage Planning staff for copies.

City of Kitchener

PRE-SUBMISSION CONSULTATION COMMENT FORM

Project Address: 369 & 375 Frederick Street

Date of Meeting: November 25, 2021

Application Type: Minor Variance

Comments of: Heritage Planning

Commenter's Name: Victoria Grohn

Email: victoria.grohn@kitchener.ca

Phone: 519-741-2200 ext. 7041

Date of Comments: November 18, 2021

☒ I plan to attend the meeting (questions/concerns/comments for discussion)

☐ I do NOT plan to attend the meeting (no concerns)

1. Site Specific Comments & Issues:

Heritage Planning staff provide the following comments based on the pre-submission consultation application form signed September 23, 2021 and supporting documents including: cover letter prepared by Polocorp Inc. dated September 23, 2021; revised site plan prepared by SRM Architects dated September 15, 2021; elevations and angular plane prepared by SRM Architects; and shadow study prepared by SRM Architects.

The proposal contemplates modifications to an approved Site Plan, including increasing the maximum building height from 15.3 metres to 18.5 metres; reducing the interior side yard setback from 9.91 metres to 6.1 metres; reducing the minimum required parking from 78 spaces to 70 spaces; and increasing the maximum Floor Space Ratio from 1.0 to 1.25 to accommodate an additional 80 long-term care beds. In addition, the applicant is contemplating changing the colour of the existing yellow spandrels to a new colour.

The property municipally addressed as 369 Frederick Street is of cultural heritage value or interest, having been placed on the Heritage Kitchener Inventory of Historic Buildings. A Heritage Impact Assessment (HIA) prepared by CHC Limited dated March 16, 2017 and updated May 8, 2017 was submitted in support of the previous Site Plan applications. The HIA identified the following heritage attributes of the property:

- Scale and irregular massing of the one and three storey building, including the entry canopy;
- Entry canopy in its entirety;
- Acrylic stucco non-load bearing walls;
- Glazed and solid panel curtain wall sections;
- Pre-finished metal shed roof of the administration wing and entry canopy; and
- Clerestory form and glazing in the administration wing filling the space with light and marrying the indoors with the outdoors.

The HIA identified the previous development proposal had moderate, but acceptable, negative impacts on the cultural heritage resource, and recommended the following mitigating measures:

- As much of the existing large glazed and solid panel curtain wall as possible should be salvaged to be used as an interior feature;
- Proposed cladding should be stucco (EIFS) carried to the foundation with a warmer, lighter tone;
- and
- New curtain wall sections at points of internal communal and circulation spaces should retain the dimensions and form of the originals, but the solid panels constructed in aluminum rather than the yellow of the original.

In addition, the HIA goes on to recommend that commemoration in the form of interpretive panels with text and images outlining the history of the property and photographs showing the 1993 building before the addition be placed in the reception area or other public room.

A revised Heritage Impact Assessment will be required to address the proposed site plan modifications as well as assess the proposed changes to the window spandrels.

Heritage Planning staff will review and approve elevations in conjunction with Urban Design staff.

2. Plans, Studies and Reports to submit as part of a complete Minor Variance Application:

- Revised Heritage Impact Assessment addressing the changes to the development proposal
- Elevation drawings
- 3D massing model

3. Anticipated Requirements of full Site Plan Approval:

N/A

4. Policies, Standards and Resources:

N/A

5. Anticipated Fees:

N/

A City for Everyone

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Appendix 2

Qualifications of the Author

1

OWEN R. SCOTT, *OALA, FCSLA, CAHP*

Education:

Master of Landscape Architecture (MLA) University of Michigan, 1967

Bachelor of Science in Agriculture (Landscape Horticulture), (BSA) University of Guelph, 1965

Professional Experience:

1965 - present President, CHC Limited, Guelph, ON

1977 - present President, The Landplan Collaborative Ltd., Guelph, ON

1977 - 1985 Director, The Pacific Landplan Collaborative Ltd., Vancouver and Nanaimo, BC

1975 - 1981 Editor and Publisher, *Landscape Architecture Canada*, Ariss, ON

1969 - 1981 Associate Professor, School of Landscape Architecture, University of Guelph

1975 - 1979 Director and Founding Principal, Ecological Services for Planning Limited, Guelph, ON

1964 - 1969 Landscape Architect, Project Planning Associates Limited, Toronto, ON

Historical Research, Heritage Planning and Conservation Experience and Expertise

Current Professional and Professional Heritage Associations Affiliations:

Member: Alliance for Historic Landscape Preservation (AHLP) - 1978 -

Member: Canadian Association of Heritage Professionals (CAHP) - 1987 -

Member: Ontario Association of Landscape Architects (OALA) - 1968 - (Emeritus 2016)

Member: Canadian Society of Landscape Architects (FCSLA) - 1969 - (Fellow 1977, Life Member 2016)

Community and Professional Society Service (Heritage):

Director: Canadian Association of Heritage Professionals (CAHP), 2002 - 2003

Member: Advisory Board, Architectural Conservancy of Ontario, 1980 - 2002

Member: City of Guelph Local Architectural Conservation Advisory Committee (LACAC), 1987 - 2000 (Chair 1988 - 1990)

Member: Advisory Council, Centre for Canadian Historical Horticultural Studies, 1985 - 1988

Professional Honours and Awards (Heritage):

Merit Award 2016 Canadian Association of Heritage Professionals Awards, City of Kitchener Cultural Heritage Landscapes

National Award 2016 Canadian Society of Landscape Architects (CSLA), City of Kitchener Cultural Heritage Landscapes

Mike Wagner Award 2013 Heritage Award - Breithaupt Block, Kitchener, ON

People's Choice Award 2012 Brampton Urban Design Awards, Peel Art Gallery, Museum and Archives, Brampton, ON

Award of Excellence 2012 Brampton Urban Design Awards, Peel Art Gallery, Museum and Archives, Brampton, ON

National Award 2009 Heritage Canada Foundation National Achievement, Alton Mill, Alton, ON

Award of Merit 2009 Canadian Association of Heritage Professionals Awards, Alton Mill, Alton, ON

Award 2007 Excellence in Urban Design Awards, Heritage, Old Quebec Street, City of Guelph, ON

Award 2001 Ontario Heritage Foundation Certificate of Achievement

Award 1998 Province of Ontario, Volunteer Award (10 year award)

Award 1994 Province of Ontario, Volunteer Award (5 year award)

Regional Merit 1990 CSLA Awards, Britannia School Farm Master Plan

National Honour 1990 CSLA Awards, Confederation Boulevard, Ottawa

Citation 1989 City of Mississauga Urban Design Awards, Britannia School Farm Master Plan

Honour Award 1987 *Canadian Architect*, Langdon Hall Landscape Restoration, Cambridge, ON

Citation 1986 *Progressive Architecture*, The Ceremonial Routes (Confederation Boulevard), Ottawa,

National Citation 1985 CSLA Awards, Tipperary Creek Heritage Conservation Area Master Plan, Saskatoon, SK

National Merit 1984 CSLA Awards, St. James Park Victorian Garden, Toronto, ON

Award 1982 Ontario Ministry of Municipal Affairs Ontario Renews Awards, Millside, Guelph, ON

Selected Heritage Publications:

Appendix 2

Qualifications of the Author

2

- Scott, Owen R., The Southern Ontario "Grid", *ACORN* Vol XXVI-3, Summer 2001. *The Journal of the Architectural Conservancy of Ontario*.
- Scott, Owen R. *19th Century Gardens for the 20th and 21st Centuries*. Proceedings of "Conserving Ontario's Landscapes" conference of the ACO, (April 1997). Architectural Conservancy of Ontario Inc., Toronto, 1998.
- Scott, Owen R. *Landscapes of Memories, A Guide for Conserving Historic Cemeteries*. (19 of 30 chapters) compiled and edited by Tamara Anson-Cartright, Ontario Ministry of Citizenship, Culture and Recreation, 1997.
- Scott, Owen R. Cemeteries: A Historical Perspective, *Newsletter, The Memorial Society of Guelph*, September 1993.
- Scott, Owen R. The Sound of the Double-bladed Axe, *Guelph and its Spring Festival*. edited by Gloria Dent and Leonard Conolly, The Edward Johnson Music Foundation, Guelph, 1992. 2 pp.
- Scott, Owen R. Woolwich Street Corridor, Guelph, *ACORN* Vol XVI-2, Fall 1991. Newsletter of the Architectural Conservancy of Ontario Inc. (ACO)
- Scott, Owen R. guest editor, *ACORN*, Vol. XIV-2, Summer 1989. Cultural Landscape Issue, Newsletter of the ACO.
- Scott, Owen R. Heritage Conservation Education, Heritage Landscape Conservation, *Momentum 1989*, Icomos Canada, Ottawa, p.31.
- Scott, Owen R. Cultivars, pavers and the historic landscape, *Historic Sites Supplies Handbook*. Ontario Museum Association, Toronto, 1989. 9 pp.
- Scott, Owen R. Landscape preservation - What is it? *Newsletter*, American Society of Landscape Architects - Ontario Chapter, vol. 4 no.3, 1987.
- Scott, Owen R. Tipperary Creek Conservation Area, Wanuskewin Heritage Park. *Landscape Architectural Review*, May 1986. pp. 5-9.
- Scott, Owen R. Victorian Landscape Gardening. Ontario Bicentennial History Conference, McMaster University, 1984.
- Scott, Owen R. Canada West Landscapes. *Fifth Annual Proceedings Niagara Peninsula History Conference (1983)*. 1983. 22 pp.
- Scott, Owen R. Utilizing History to Establish Cultural and Physical Identity in the Rural Landscape. *Landscape Planning*, Elsevier Scientific Press, Amsterdam, 1979. Vol. 6, No. 2, pp. 179-203.
- Scott, Owen R. Changing Rural Landscape in Southern Ontario. *Third Annual Proceedings Agricultural History of Ontario Seminar (1978)*. June 1979. 20 pp.
- Scott, Owen R., P. Grimwood, M. Watson. George Laing - Landscape Gardener, Hamilton, Canada West 1808-1871. *Bulletin, The Association for Preservation Technology*, Vol. IX, No. 3, 1977, 13 pp. (also published in *Landscape Architecture Canada*, Vol. 4, No. 1, 1978).
- Scott, Owen R. The Evaluation of the Upper Canadian Landscape. Department of Landscape Architecture, University of Manitoba. 1978. (Colour videotape).

Following is a **representative listing of some of the heritage consultations undertaken by Owen R. Scott** in his capacity as a principal of The Landplan Collaborative Ltd., and principal of CHC Limited.

Cultural Heritage Evaluation Reports & Heritage Impact Assessments - Bridges

- Adams Bridge (Structure S20) Cultural Heritage Evaluation Report & Heritage Impact Assessment, Southgate Township, ON
- Belanger Bridge Cultural Heritage Evaluation Report & Heritage Impact Assessment, Casey Township, ON
- Bridge #9-WG Cultural Heritage Evaluation Report & Heritage Impact Assessment, Township of Centre Wellington, ON
- Bridge #20 Cultural Heritage Evaluation Report & Heritage Impact Assessment, Blandford-Blenheim Township, ON
- Bridge #25 Cultural Heritage Evaluation Report & Heritage Impact Assessment, Blandford-Blenheim Township, ON
- Bridge Street Bridge Cultural Heritage Evaluation Report & Heritage Impact Assessment, Wilmot Township, ON
- Holland Mills Road Bridge Cultural Heritage Evaluation Report & Heritage Impact Assessment, Wilmot Township, ON
- Irvine Street (Watt) Bridge Cultural Heritage Evaluation Report & Heritage Impact Assessment, Township of Centre Wellington, ON
- Oxford-Waterloo Bridge Cultural Heritage Evaluation Report & Heritage Impact Assessment, Wilmot Township, ON
- Uno Park Road Bridge, Cultural Heritage Evaluation Report & Heritage Impact Assessment, Harley Township, ON

Heritage Master Plans and Landscape Plans

- Alton Mill Landscape, Caledon, ON
- Black Creek Pioneer Village Master Plan, Toronto, ON
- Britannia School Farm Master Plan, Peel Board of Education/Mississauga, ON
- Confederation Boulevard (Sussex Drive) Urban Design, Site Plans, NCC/Ottawa, ON
- Doon Heritage Crossroads Master Plan and Site Plans, Region of Waterloo/Kitchener, ON

- Downtown Guelph Private Realm Improvements Manual, City of Guelph, ON
- Downtown Guelph Public Realm Plan, City of Guelph, ON
- Dundurn Castle Landscape Restoration Feasibility Study, City of Hamilton, ON
- Elam Martin Heritage Farmstead Master Plan, City of Waterloo, ON
- Exhibition Park Master Plan, City of Guelph, ON
- George Brown House Landscape Restoration, Toronto, ON
- *Grand River Corridor Conservation Plan*, GRCA/Regional Municipality of Waterloo, ON
- Greenwood Cemetery Master Plan, Owen Sound, ON
- Hamilton Unified Family Courthouse Landscape Restoration Plan, Hamilton, ON
- John Galt Park, City of Guelph, ON
- Judy LaMarsh Memorial Park Master Plan, NCC/Ottawa, ON
- Langdon Hall Gardens Restoration and Site Plans, Cambridge, ON
- London Psychiatric Hospital Cultural Heritage Stewardship Plan, London, ON
- McKay / Varley House Landscape Restoration Plan, Markham (Unionville), ON
- Museum of Natural Science/Magnet School 59/ Landscape Restoration and Site Plans, City of Buffalo, NY
- Muskoka Pioneer Village Master Plan, MNR/Huntsville, ON
- Peel Heritage Centre Adaptive Re-use, Landscape Design, Brampton, ON
- Phyllis Rawlinson Park Master Plan (winning design competition), Town of Richmond Hill, ON
- Prime Ministerial Precinct and Rideau Hall Master Plan, NCC/Ottawa, ON
- Queen/Picton Streets Streetscape Plans, Town of Niagara-on-the-Lake, ON
- Regional Heritage Centre Feasibility Study and Site Selection, Region of Waterloo, ON
- Rockway Gardens Master Plan, Kitchener Horticultural Society/City of Kitchener, ON
- St. George's Square, City of Guelph, ON
- St. James Cemetery Master Plan, Toronto, ON
- St. James Park Victorian Garden, City of Toronto, ON
- Tipperary Creek (Wanuskewin) Heritage Conservation Area Master Plan, Meewasin Valley Authority, Saskatoon, SK
- Whitehern Landscape Restoration Plan, Hamilton, ON
- Woodside National Historic Park Landscape Restoration, Parks Canada/Kitchener, ON

Cultural Heritage Evaluation Reports (CHER), Cultural Heritage Inventories and Cultural Heritage Landscape Evaluations

- Belfountain Area Heritage Inventory for Environmental Assessment, Peel Region, ON
- Chappell Estate / Riverside / Mississauga Public Garden Heritage Inventory, Mississauga, ON
- 8895 County Road 124 Cultural Heritage Opinion Report, Erin (Ospringe), ON
- County of Waterloo Courthouse Building Cultural Heritage Evaluation Report, Kitchener, ON
- Cruickston Park Farm & Cruickston Hall - Cultural Heritage Resources Study, Cambridge, ON
- Doon Valley Golf Course - Cultural Heritage and Archaeological Resources Inventory, Kitchener/Cambridge, ON
- Government of Ontario Light Rail Transit (GO-ALRT) Route Selection, Cultural and Natural Resources Inventory for Environmental Assessment, Hamilton/Burlington, ON
- Hancock Woodlands Cultural Heritage Assessment, City of Mississauga, ON
- Hespeler West Secondary Plan - Heritage Resources Assessment, City of Cambridge, ON
- Highway 400 to 404 Link Cultural Heritage Inventory for Environmental Assessment, Bradford, ON
- Highway 401 to 407 Links Cultural Heritage Inventory for Environmental Assessment, Pickering/Ajax/Whitby/ Bowmanville, ON
- Homer Watson House Cultural Heritage Evaluation Report, Kitchener, ON
- Lakewood Golf Course Cultural Landscape Assessment, Tecumseh, ON
- Landfill Site Selection, Cultural Heritage Inventory for Environmental Assessment, Region of Halton, ON
- Niska Road Cultural Heritage Landscape Addendum, City of Guelph, ON
- 154 Ontario Street, Historical - Associative Evaluation, Guelph, ON
- 35 Sheldon Avenue North, Cultural Heritage Evaluation Report, Kitchener, ON
- 43 Sheldon Avenue North, Cultural Heritage Evaluation Report, Kitchener, ON
- Silvercreek (LaFarge Lands) Cultural Landscape Assessment, Guelph, ON
- South Kitchener Transportation Study, Heritage Resources Assessment, Region of Waterloo, ON
- 53 Surrey Street East and 41, 43, 45 Wyndham Street South Cultural Heritage Evaluation Guelph, ON
- Swift Current CPR Station Gardens condition report and feasibility study for rehabilitation/reuse, Swift Current, SK
- University of Guelph, McNaughton Farm House, Cultural Heritage Resource Assessment, Puslinch Township, ON

Appendix 2

Qualifications of the Author

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- University of Guelph, Trent Institute Cultural Heritage Resource Assessment, Guelph, ON
- University of Guelph, 1 and 10 Trent Lane Cultural Heritage Resource Assessments, Guelph, ON
- 2007 Victoria Road South Heritage Evaluation, Guelph, ON
- Waterloo Valleylands Study, Heritage and Recreational Resources mapping and policies, Region of Waterloo
- 69 Woolwich Street (with references to 59, 63-67, 75 Woolwich Street) Cultural Heritage Evaluation Report, Guelph, ON

Cultural Heritage Resource Impact Assessments (CHRIA/CHIA/HIS/HIA) and Cultural Landscape Heritage Impact Statements

- 33 Arkell Road Heritage Impact Assessment, Guelph, ON
- 86 Arthur Street, Heritage Impact Assessment, Guelph, ON
- William Barber House, 5155 Mississauga Road, Heritage Impact Assessment, Mississauga, ON
- Barra Castle Heritage Impact Assessment, Kitchener, ON
- 72 Beaumont Crescent Heritage Impact Assessment, Guelph, ON
- Biltmore Hat Factory Heritage Impact Assessment, Guelph, ON
- 140 Blue Heron Ridge Heritage Impact Assessment, Cambridge, ON
- 25 Breithaupt Street Heritage Impact Assessment, Kitchener, ON
- 51 Breithaupt Street Heritage Impact Assessment, Kitchener, ON
- 215 Broadway Street Heritage Impact Statement, Mississauga, ON
- Cambridge Retirement Complex on the former Tiger Brand Lands, Heritage Impact Assessment, Cambridge, ON
- Cambridge Retirement Complex on the former Tiger Brand Lands, Heritage Impact Assessment Addendum, Cambridge, ON
- 27-31 Cambridge Street, Heritage Impact Assessment, Cambridge, ON
- 3075 Cawthra Road Heritage Impact Statement, Mississauga, ON
- 58 Church Street Heritage Impact Assessment, Churchville Heritage Conservation District, Brampton, ON
- City Centre Heritage Impact Assessment, Kitchener, ON
- 175 Cityview Drive Heritage Impact Assessment, Guelph, ON
- 12724 Coleraine Drive Cultural Heritage Impact Statement, Caledon (Bolton), ON
- 12880 Coleraine Drive Cultural Heritage Impact Statement, Caledon (Bolton), ON
- Cordingly House Heritage Impact Statement, Mississauga, ON
- 264 Crawley Road Heritage Impact Assessment (farmstead, house & barn), Guelph, ON
- 31-43 David Street (25 Joseph Street) Heritage Impact Assessment, Kitchener, ON
- 35 David Street (Phase II) Heritage Impact Assessment, Kitchener, ON
- 75 Dublin Street Heritage Impact Assessment, Guelph, ON
- 24, 26, 28 and 32 Dundas Street East Heritage Impact Statement, Mississauga, (Cooksville), ON
- 1261 Dundas Street South Heritage Impact Assessment, Cambridge, ON
- 172 - 178 Elizabeth Street Heritage Impact Assessment, Guelph, ON
- 19 Esandar Drive, Heritage Impact Assessment, Toronto, ON
- 70 Fountain Street Cultural Heritage Impact Assessment, Guelph, ON
- 14 Forbes Avenue Heritage Impact Assessment, Guelph, ON
- 369 Frederick Street Heritage Impact Assessment, Kitchener, ON
- 42 Front Street South Heritage Impact Assessment, Mississauga, ON
- Grey Silo Golf Course/Elam Martin Farmstead Heritage Impact Assessment, City of Waterloo, ON
- GRCA Lands, 748 Zeller Drive Heritage Impact Assessment Addendum, Kitchener, ON
- Hancock Woodlands Heritage Impact Statement, City of Mississauga, ON
- 132 Hart's Lane, Hart Farm Heritage Impact Assessment, Guelph, ON
- 9675, 9687, 9697 Keele Street Heritage Impact Assessment, City of Vaughan (Maple) ON
- 13165 Keele Street Cultural Heritage Resource Impact Assessment, King Township (King City), ON
- 151 King Street North Heritage Impact Assessment, Waterloo, ON
- Kip Co. Lands Developments Ltd. Cultural Heritage Resource Impact Assessment - Woodbridge Heritage Conservation District, City of Vaughan (Woodbridge) ON
- 20415 Leslie Street Heritage Impact Assessment, East Gwillimbury, ON
- 117 Liverpool Street Heritage Impact Assessment, Guelph, ON
- 36-46 Main Street Heritage Impact Assessment, Mississauga, ON
- 30 - 40 Margaret Avenue Heritage Impact Assessment, Kitchener, ON
- 19 - 37 Mill Street Scoped Heritage Impact Assessment, Kitchener, ON
- 2610, 2620 and 2630 Mississauga Road, Cultural Landscape Heritage Impact Statement, Mississauga, ON
- 4067 Mississauga Road, Cultural Landscape Heritage Impact Statement, Mississauga, ON

- 1142 Mona Road, Heritage Impact Assessment, Mississauga, ON
- 1245 Mona Road, Heritage Impact Statement, Mississauga, ON
- 15 Mont Street, Heritage Impact Assessment, Guelph, ON
- Proposed Region of Waterloo Multimodal Hub at 16 Victoria Street North, 50 & 60 Victoria Street North, and 520 & 510 King Street West, Heritage Study and Heritage Impact Assessment, Kitchener, ON
- 6671 Ninth Line Heritage Impact Statement, Cordingley House Restoration & Renovation, Mississauga, ON
- 266-280 Northumberland Street (The Gore) Heritage Impact Assessment, North Dumfries (Ayr), ON
- 324 Old Huron Road Heritage Impact Assessment, Kitchener, ON
- 40 Queen Street South Heritage Impact Statement, Mississauga, (Streetsville), ON
- Rockway Holdings Limited Lands north of Fairway Road Extension Heritage Impact Assessment, Kitchener, ON
- 259 St. Andrew Street East Cultural Heritage Assessment, Fergus, ON
- 35 Sheldon Avenue, Heritage Impact Assessment, Kitchener, ON
- 43 Sheldon Avenue, Heritage Impact Assessment, Kitchener, ON
- 2300 Speakman Drive Heritage Impact Assessment, Mississauga, ON
- 10431 The Gore Road Heritage Impact Assessment, Brampton, ON
- Thorny-Brae Heritage Impact Statement, Mississauga, ON
- 7 Town Crier Lane, Heritage Impact Assessment, Markham, ON
- University of Guelph, 3 - 7 Gordon Street Houses, Heritage Impact Assessment, Guelph, ON
- University of Guelph, Harrison House, Heritage Impact Assessment, Guelph, ON
- Victoria Park Proposed Washroom Cultural Heritage Impact Assessment, Kitchener, ON
- 927 Victoria Road South (barn) Heritage Impact Assessment, Guelph, ON
- 272-274 Victoria Street Heritage Impact Assessment, Mississauga, ON
- 26 - 32 Water Street North Heritage Impact Assessment, Cambridge (Galt), ON
- Winzen Developments Heritage Impact Assessment, Cambridge, ON
- 248-260 Woodbridge Avenue Cultural Heritage Resource Impact Assessment and Heritage Conservation District Conformity Report, Woodbridge Heritage Conservation District, City of Vaughan (Woodbridge)
- 35 Wright Street Cultural Heritage Resource Impact Assessment, Richmond Hill, ON
- 1123 York Road Heritage Impact Assessment, Guelph, ON
- 14288 Yonge Street, Heritage Impact Assessment, Aurora, ON

Heritage Conservation Plans

- William Barber House, 5155 Mississauga Road , Heritage Conservation Plan, Mississauga, ON
- 51 Breithaupt Street Heritage Conservation Plan, Kitchener, ON
- Hamilton Psychiatric Hospital Conservation Plan, for Infrastructure Ontario, Hamilton, ON
- Harrop Barn Heritage Conservation Plan, Milton, ON
- 120 Huron Street Conservation Plan, Guelph, ON
- 324 Old Huron Road Conservation Plan, Kitchener, ON
- Sixth Line Cultural Heritage Landscape Conservation Plan, Oakville, ON
- 264 Woolwich Street Heritage Conservation Plan, Guelph, ON
- 14288 Yonge Street Heritage Conservation Plan, Aurora, ON
- 1123 York Road Heritage Conservation Plan, Guelph, ON

Heritage Conservation District Studies and Plans

- Downtown Whitby Heritage Conservation District Study and Plan, Town of Whitby, ON
- MacGregor/Albert Heritage Conservation District Study and Plan, City of Waterloo, ON
- Queen Street East Heritage Conservation District Study, Toronto, ON
- University of Toronto & Queen's Park Heritage Conservation District Study, City of Toronto, ON

Cultural Heritage Landscape Inventories/Studies

- Cultural Heritage Landscape Study, City of Kitchener, ON
- Cultural Heritage Landscape Inventory, City of Mississauga, ON
- Cultural Heritage Resources Scoping Study, Township of Centre Wellington, ON

Peer Reviews

- Acton Quarry Cultural Heritage Landscape & Built Heritage Study & Assessment Peer Review, Acton, ON
- Belvedere Terrace - Peer Review, Assessment of Proposals for Heritage Property, Parry Sound, ON
- Forbes Estate Heritage Impact Assessment Peer Review, Cambridge (Hespeler), ON
- Heritage Square Heritage Impact Assessment Peer Review for Township of Centre Wellington (Fergus), ON
- Little Folks Heritage Impact Assessment Peer Review for Township of Centre Wellington (Elora), ON
- Potter Foundry and the Elora South Condos Heritage Impact Assessment Peer Review for Township of Centre Wellington (Elora), ON
- 558 Welbanks Road, Quinte's Isle, miscellaneous heritage assessment documents, Prince Edward County, ON

Expert Witness Experience

- Oelbaum Ontario Municipal Board Hearing, Eramosa Township, ON, 1988
- Roselawn Centre Conservation Review Board Hearing, Port Colborne, ON, 1993
- Halton Landfill, Joint Environmental Assessment Act and Environmental Protection Act Board Hearing, 1994
- OPA 129 Ontario Municipal Board Hearing, Richmond Hill, ON, 1996
- Diamond Property Ontario Municipal Board Hearing, Aurora, ON, 1998
- Harbour View Investments Ontario Municipal Board Hearing, Town of Caledon, ON, 1998
- Aurora South Landowners Ontario Municipal Board Hearing, Aurora, ON, 2000
- Ballycroy Golf Course Ontario Municipal Board Hearing, Palgrave, ON, 2002
- Doon Valley Golf Course Ontario Municipal Board Hearing, Cambridge, ON, 2002
- Maple Grove Community Ontario Municipal Board Hearing, North York, ON, 2002
- Maryvale Crescent Ontario Municipal Board Hearing, Richmond Hill, ON, 2003
- LaFarge Lands Ontario Municipal Board Mediation, Guelph, ON, 2007
- 255 Geddes Street, Elora, ON, heritage opinion evidence - Ontario Superior Court of Justice, 2010
- Downey Trail Ontario Municipal Board Hearing, Guelph, ON, 2010
- Wilson Farmhouse Conservation Review Board Hearing, Guelph, ON, 2014
- 85 Victoria Street, Churchville Heritage Conservation District, Ontario Municipal Board Hearing, Brampton, ON, 2016
- Haylock / Youngblood Development OMB Mediation Hearing, Centre Wellington, ON, 2018
- Riverbank Drive LPAT Mediation Hearing, Cambridge, ON, 2019
- 50 Brookside Drive Ontario Land Tribunal Hearing, Kitchener, ON, 2021
- 70 Fountain Street Skydevco Ontario Land Tribunal Hearing, Guelph, ON, 2022



REPORT TO: Heritage Kitchener

DATE OF MEETING: April 4, 2023

SUBMITTED BY: Garrett Stevenson, Interim Planning Director, 519-741-2200 ext. 7070

PREPARED BY: Jessica Vieira, Heritage Planner, 519-741-2200 ext. 7041

DATE OF REPORT: March 17, 2023

REPORT NO.: DSD-2023-142

SUBJECT: Memo: Kitchener Great Places Awards 2023

BACKGROUND:

In 1997, the City of Kitchener established the Mike Wagner Heritage Awards to pay tribute to property owners, businesses and individuals who have contributed to the conservation of the City's cultural heritage resources. The program was named after former City Councillor Mike Wagner who served on City Council from 1989 to 1997, and who was a strong advocate for heritage, culture, and the arts. In 2017, the heritage awards were renamed **The Mike & Pat Wagner Heritage Awards** in recognition of the many contributions of Pat Wagner, who was a long-time member of Heritage Kitchener and a recipient of the Lieutenant Governor's Ontario Heritage Award for Lifetime Achievement.

In 2015, Council approved the reorganization of the City's comprehensive planning awards program to celebrate a broader range of categories under one program event, known as the Kitchener Great Places Awards (KGPA's). The biennial KGPA's includes presentation of the City's urban design and sustainability awards, as well as the City's heritage awards.

The first KGPA since 2019 is scheduled to be celebrated in the Fall of 2023. Nominations are being accepted until April 28, 2023 at 4:00 PM. Nominations may be received from the general public, including from members of the Heritage Kitchener Committee.

REPORT:

Kitchener Great Places Awards 2023 is commencing March 22nd, 2023. Nominations are being accepted until April 28th, 2023, at 4:00 PM.

Eligibility Requirements

The Mike & Pat Wagner Heritage Award are open to all individuals, businesses, organizations and institutions that have conserved *cultural heritage resources* or have demonstrated commitment to the conservation of cultural heritage resources within the City of Kitchener. For the purpose of the award program, *cultural heritage resources* are defined as:

- properties designated under the Ontario Heritage Act;

- properties listed as a non-designated property of cultural heritage value or interest on the Municipal Heritage Register; or
- properties identified on the Heritage Kitchener Inventory of Historic Buildings.

Up to 4 heritage awards may be presented in a given award year, and nominations may be received in one of three categories as follows:

Preservation / Restoration of Cultural Heritage Resources

Preservation projects involve protecting, maintaining and stabilizing the existing form, material and integrity of a cultural heritage resource while protecting its heritage attributes and values. Preservation projects generally relate to cultural heritage resources that are intact and do not require extensive repair, extensive replacement, alterations or additions.

Restoration projects involve revealing, recovering or representing the state of a cultural heritage resource or of an individual heritage attribute as it appeared at a particular period in its history, as accurately as possible, while protecting its heritage value. Restoration projects are based on physical and documentary or oral evidence.

Rehabilitation / Adaptive Reuse of Cultural Heritage Resources

Rehabilitation and Adaptive Reuse projects involve the sensitive adaptation of a cultural heritage resource or of an individual heritage attribute for a continuing or compatible contemporary use, while protecting its heritage value. This may be achieved through repairs, replacements, alterations and/or additions.

Individual Contributions to the Field of Heritage Conservation

Awarded to individuals, businesses, organizations, institutions who have made exceptional and/or long lasting contributions to the conservation of cultural heritage resources.

Nominations for a Mike Wagner Heritage Award must demonstrate that:

- The conservation project involves a cultural heritage resource;
- The conservation project conserves the heritage attributes and values associated with the cultural heritage resource;
- The conservation project is located within the City of Kitchener;
- The conservation project is complete;
- The conservation project obtained all required approvals such as Building Permits and Heritage Permits;
- The conservation project has not received a previous Mike Wagner Heritage Award for the same work;
- The individual, business, organization or institution nominated has made exceptional or long lasting contributions to the conservation of cultural heritage resources within the City of Kitchener.

Eligible Mike & Pat Wagner Heritage Award nominees will also be eligible to be nominated and receive an award under two other KGPA award categories:

1. **People's Choice Award:** given to a project that receives the most number of votes from the community through a variety of polling options. Projects for consideration will be short-listed to a group of up to 10 projects from those eligible in the Urban Design, Neighbourhood

Design, Urban Elements, Mike & Pat Wagner Heritage and Sustainable Kitchener award categories that contribute to making Kitchener a great city.

2. **Schmalz Award for Design Leadership:** given to an exceptional project that achieves overall excellence in meeting the City's objectives in two or more categories - urban design, heritage conservation, and sustainable design. It represents the best overall project of the awards program. Named after W.H.E. Schmalz, the architect who designed Kitchener's first City Hall and clock tower (which is now a landmark in Victoria Park) along with numerous other buildings in the City. His father, W.H. Schmalz, was mayor when the Town of Berlin became a City.

At the April 4, 2023 Heritage Kitchener Meeting, City staff will make a brief presentation on the award program and highlight some previous heritage award winners. Mike & Pat Wagner Heritage Award nominations forms will be distributed. Nominations may also be made online. Eligible nominations received before the April 28th, 2023 deadline will be reviewed and considered by Heritage Kitchener at the June 6, 2023 committee meeting, at which time Heritage Kitchener will be asked to make its recommendations on the Mike & Pat Wagner Heritage Award winners to Council.

To make a nomination online and for more information on the Kitchener Great Places Awards and the Mike & Pat Wagner Heritage Award, visit www.kitchener.ca/greatplaces.

APPROVED BY: Justin Readman, General Manager, Development Services Department

| 2023 HERITAGE PERMIT APPLICATIONS (HPA) | | | | | | | | |
|--|--------------------|------------------|---------------|----------------|------------|------------------------------------|---|--|
| Legend: Unanimously approved by Heritage Kitcheners permits an HPA to be approved through delegated authority. | | | | | | | | |
| # | Application Number | Property Address | Date Complete | Staff Report # | HK Meeting | Heritage Kitcheners Recommendation | Council Meeting Date / Delegated Approval | HPA Description |
| 1 | | | | | | | | |
| 2 | HPA-2023-V-002 | 17 Ahrens St W | | DSD-2023-134 | 4-Apr-23 | | | Reconstruction of porch, replacement of front door and two windows |
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