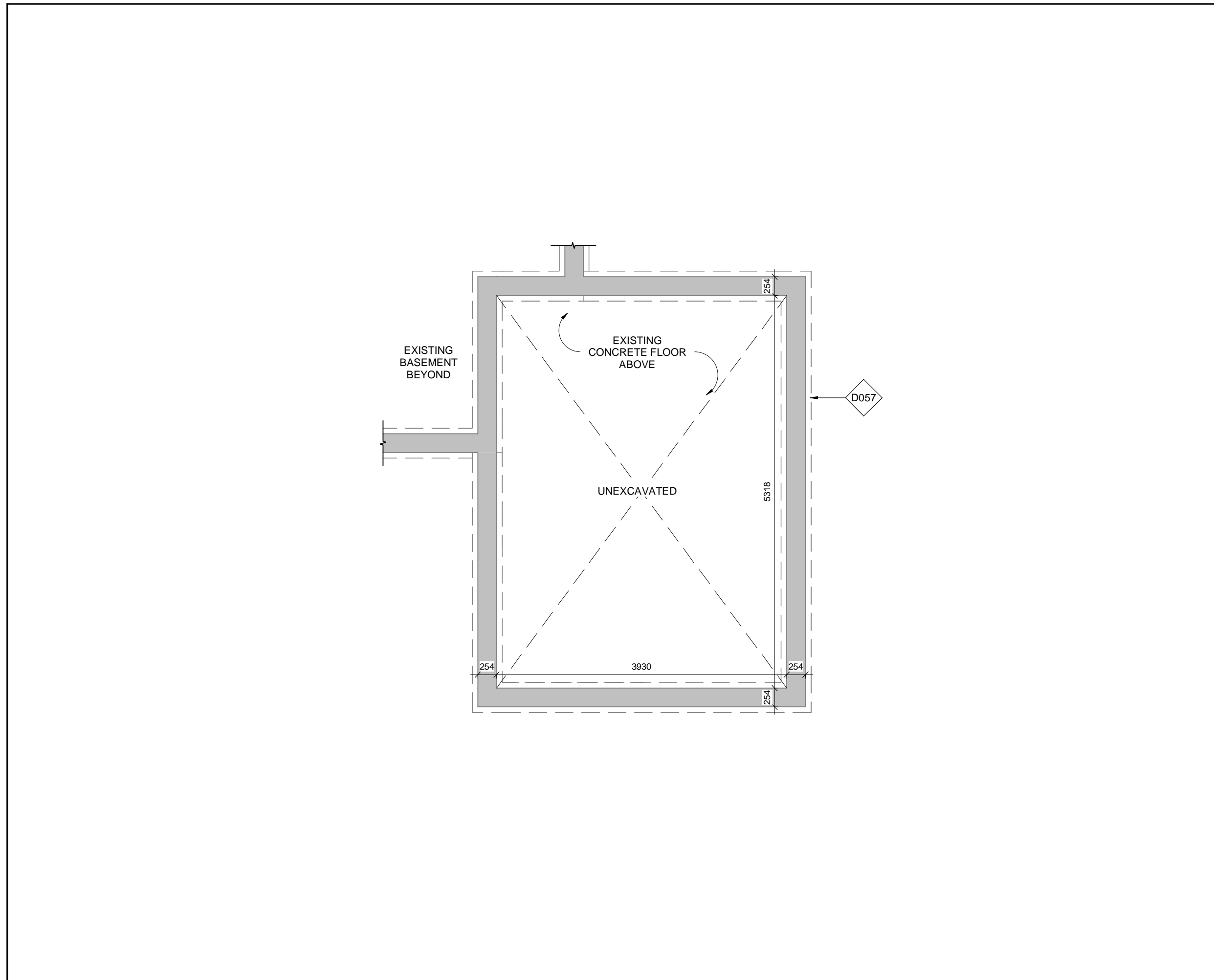
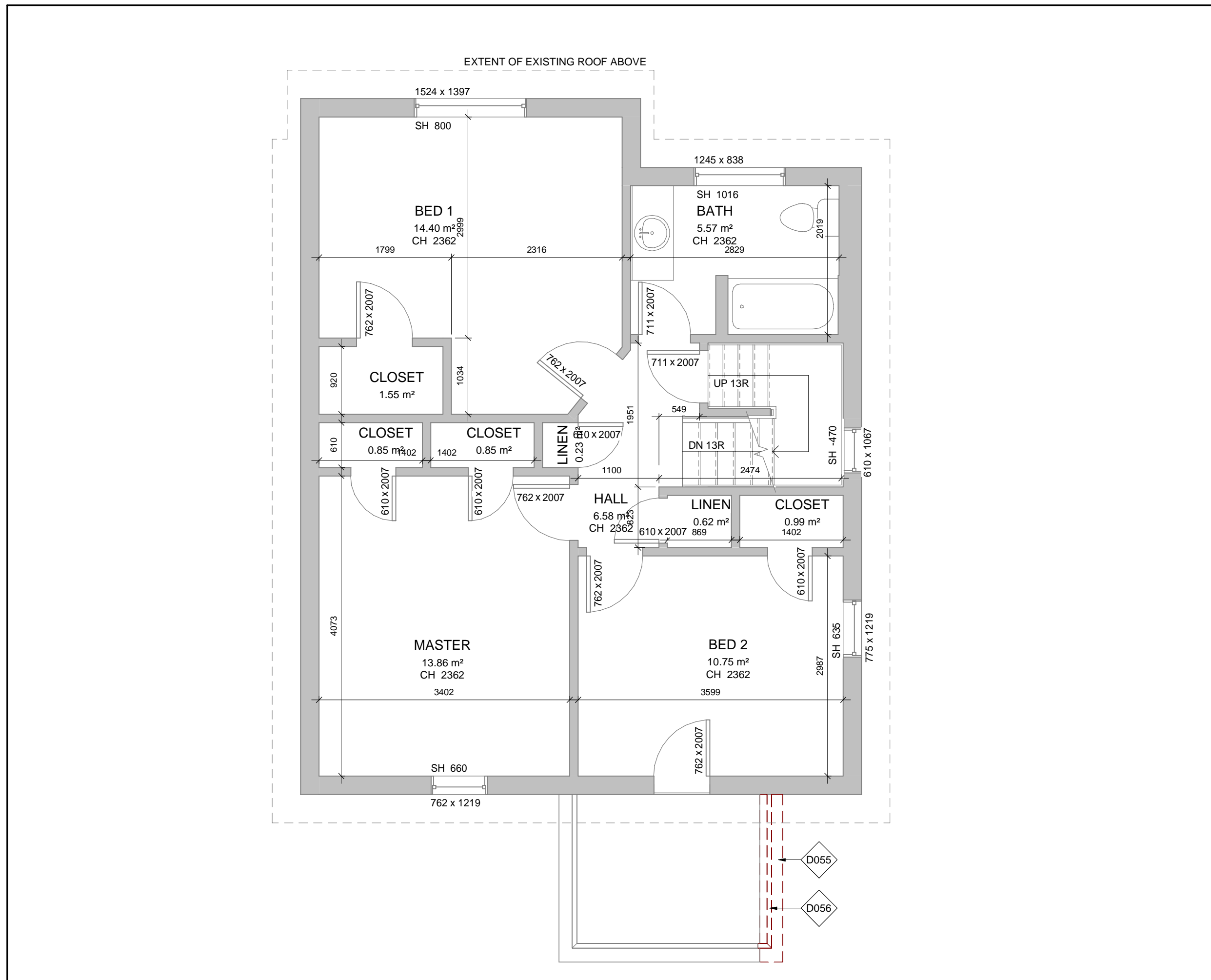


1 MAIN FLOOR PLAN - EXISTING AND DEMOLITION  
A2 A1 1: 50



2 PARTIAL FOUNDATION PLAN (BELOW EXISTING GARAGE) - EXISTING AND DEMOLITION  
A1 1: 50



3 SECOND FLOOR PLAN - EXISTING AND DEMOLITION  
A2 A1 1: 50

DEMOLITION LEGEND:	
	EXISTING TO BE REMOVED / MODIFIED
	EXISTING WALL TO REMAIN
	EXTENT OF CEILING BULKHEAD
	DENOTES BEAM OR LINTEL LOCATION
ABBREVIATIONS:	
CH	- CEILING HEIGHT
CW	- COMPLETE WITH
O.C.	- ON CENTER
SH	- SILL HEIGHT
U/S	- UNDERSIDE

KEYNOTES	
TAG	KEYNOTE
D001	REMOVE EXISTING EXTERIOR WALL TO THE EXTENT INDICATED.
D002	REMOVE EXISTING INTERIOR PARTITION TO THE EXTENT INDICATED.
D004	REMOVE EXISTING DOOR, JAMB AND ASSOCIATED HARDWARE IN ITS ENTIRETY.
D008	REMOVE EXISTING WINDOW, FRAME AND ASSOCIATED HARDWARE IN ITS ENTIRETY.
D053	LOCATION OF EXISTING SANITARY STACK. INCORPORATE INTO NEW WALL.
D054	SAW CUT EXISTING CONCRETE FLOOR AND EXCAVATE AS REQUIRED TO POUR NEW FOUNDATION WALL AND FOOTINGS.
D055	REMOVE/CUT BACK EXISTING ROOF/TOP OF WALL AS REQUIRED TO INSTALL NEW KNEE WALL.
D056	REMOVE EXISTING GUARDRAIL TO THE EXTENT REQUIRED FOR NEW CONSTRUCTION ACTIVITIES.
D057	EXISTING FOOTINGS BELOW, SITE VERIFY DEPTH AND SIZE.

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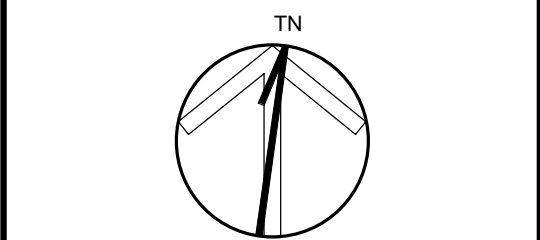
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Drawings are not to be scaled.

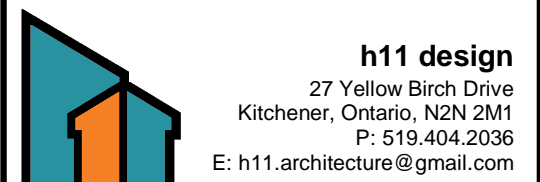
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No.	DESCRIPTION	DATE
0	ISSUED FOR MINOR VARIANCE	2023.03.30

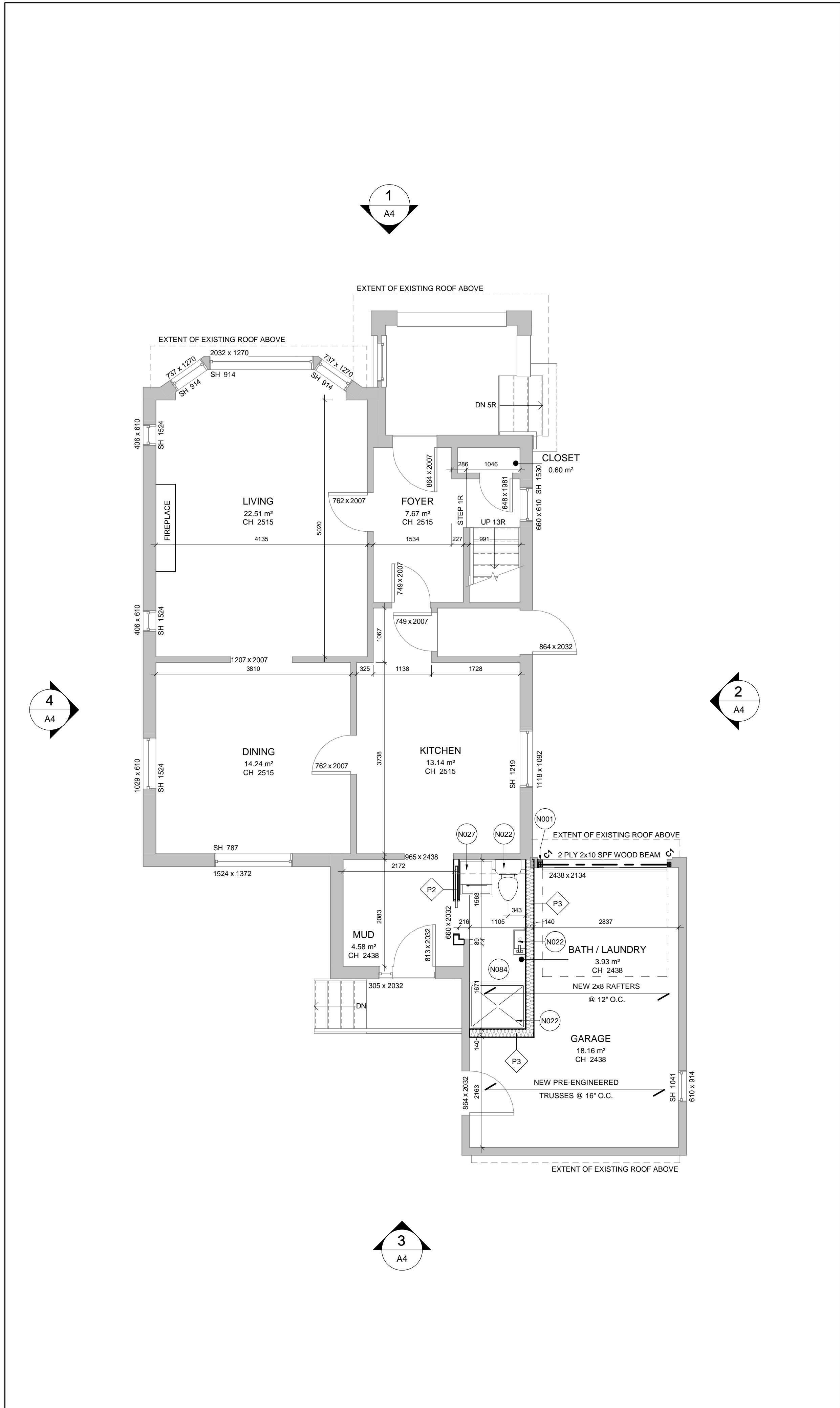
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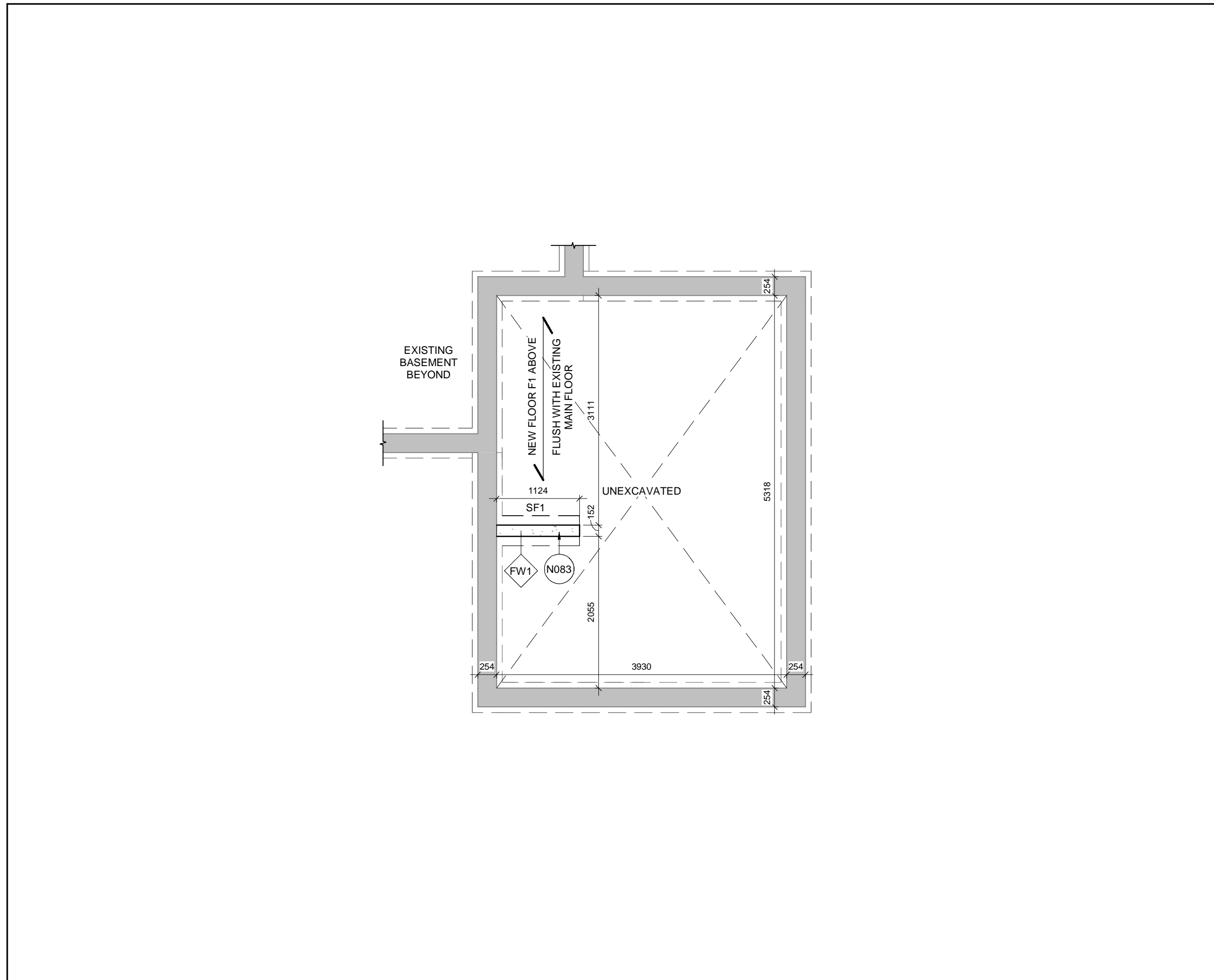
PROJECT TITLE:  
**GARAGE AND LAUNDRY ROOM RENOVATION**  
17 BROCK STREET  
KITCHENER, ONTARIO  
N2M 1X2

DRAWING TITLE:  
**FLOOR PLANS - EXISTING AND DEMOLITION**

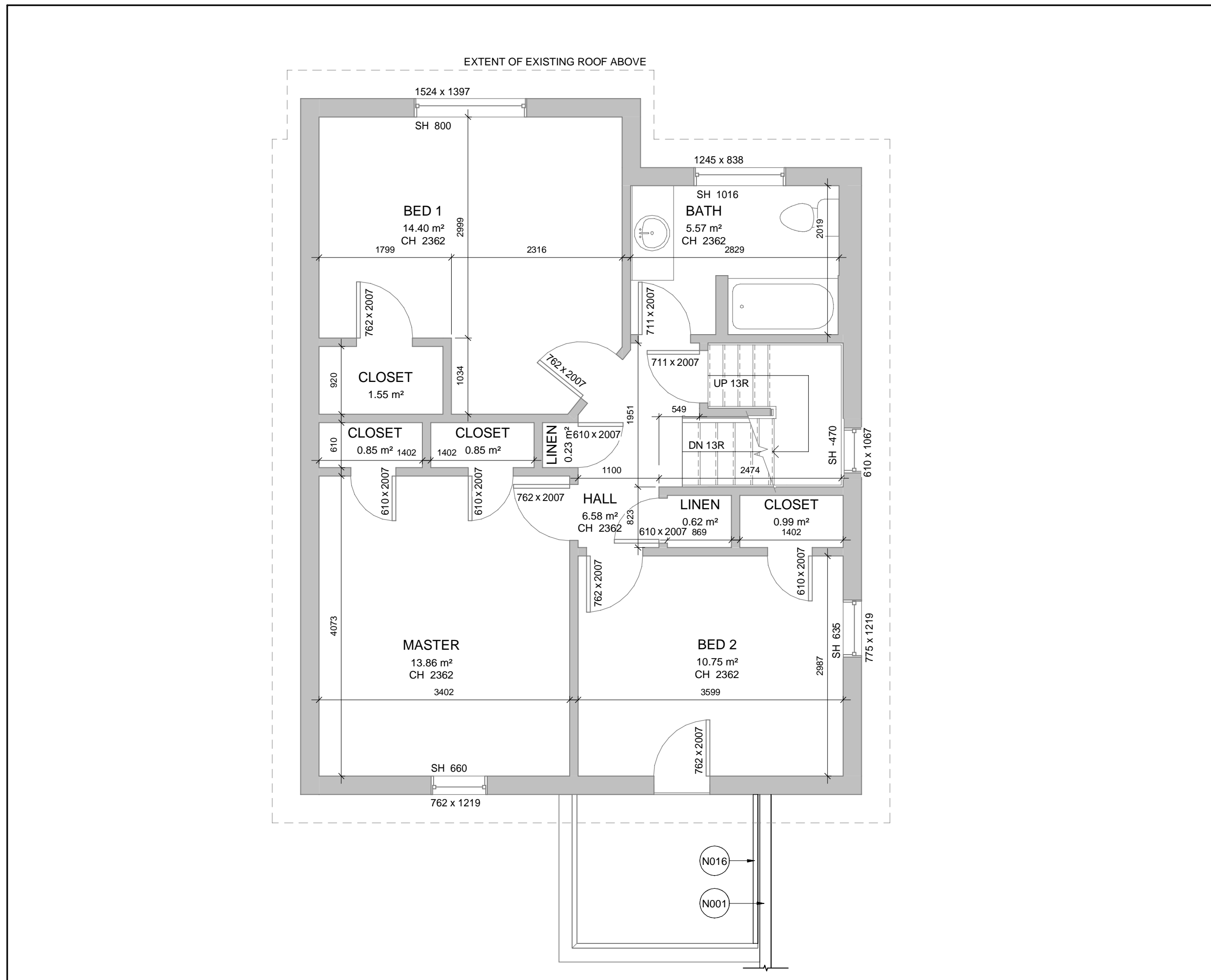
DRN:	JH
DATE:	2023-03-28
SCALE:	As indicated
PROJECT NO.	004
DWG NO.	A1



1 MAIN FLOOR PLAN - NEW CONSTRUCTION  
A2 A3 1:50



2 PARTIAL FOUNDATION PLAN (BELOW EXISTING GARAGE) - NEW CONSTRUCTION  
A3 1:50



3 SECOND FLOOR PLAN - NEW CONSTRUCTION  
A2 A3 1:50

**NEW CONSTRUCTION LEGEND:**

- EXISTING WALL TO REMAIN
- EXTENT OF CEILING BULKHEAD
- DENOTES BEAM OR LINTEL LOCATION

**ABBREVIATIONS:**

- CH - CEILING HEIGHT
- C/W - COMPLETE WITH
- O.C. - ON CENTER
- SH - SILL HEIGHT
- U/S - UNDERSIDE

**NEW STRUCTURAL:**

- SF1 16"x4" STRIP FOOTING
- C1 2 PLY 2x4 SPF WOOD COLUMN IN WALL SYSTEM

**WALL ASSEMBLIES**

**TYPICAL 6" CONCRETE FOUNDATION WALL**

- 6" CAST-IN-PLACE CONCRETE

**TYPICAL 2"x4" TWO SIDED PARTITION**

- 1/2" GYPSUM BOARD, TAPED AND SANDED
- 2"x4" SPF WOOD STUDS @ 16" O.C.
- 1/2" GYPSUM BOARD, TAPED AND SANDED

**TYPICAL 2"x6" TWO SIDED PARTITION**

- 1/2" GYPSUM BOARD, TAPED AND SANDED
- 2"x6" SPF WOOD STUDS @ 16" O.C.
- 5 1/2" MINERAL WOOL INSULATION, WHERE INDICATED ON DRAWINGS
- 1/2" GYPSUM BOARD, TAPED AND SANDED

**FLOOR ASSEMBLIES**

**TYPICAL INTERIOR 2x8" WOOD JOIST FLOOR**

- 3/4" PLYWOOD T&G SUBFLOORING
- MINERAL WOOL INSULATION (R31)
- 2"x8" WOOD FLOOR JOISTS @ 16" O.C.
- C/W BRIDGING

**ROOF ASSEMBLIES**

**TYPICAL SHINGLED TRUSS ROOF**

- 25 YEAR ASPHALT SHINGLES
- ICE AND WATERSHIELD EAVES
- STARTER UP 60" MIN FROM EDGE OF ROOF (PROVIDE THROUGHOUT ROOF FOR LOW SLOPE APPLICATION)
- 1/2" PLYWOOD ROOF SHEATHING
- PRE-ENGINEERED ROOF TRUSSES @ 16" O.C.

**TYPICAL SHINGLED STICK FRAMED ROOF**

- 25 YEAR ASPHALT SHINGLES
- ICE AND WATERSHIELD EAVES
- STARTER UP 60" MIN FROM EDGE OF ROOF (PROVIDE THROUGHOUT ROOF FOR LOW SLOPE APPLICATION)
- 1/2" PLYWOOD ROOF SHEATHING
- 2x8 SPF ROOF RAFTERS @ 12" O.C.
- BLOWN IN CELLULOSE INSULATION (R60), WHERE INDICATED ON DRAWINGS

KEYNOTES		
TAG	KEYNOTE	
N001	INFILL TO MATCH EXISTING ADJACENT EXTERIOR WALL ASSEMBLY. TIE IN ALL MEMBRANES AS REQUIRED.	
N016	NEW 42" HIGH MIN. GUARDRAIL PER OBC 9.8.8. INSTALLED PER 98-7 REQUIREMENTS.	
N022	NEW PLUMBING FIXTURE, BY OTHERS.	
N027	DIRECT VENT APPLIANCE TO EXTERIOR.	
N083	MATCH DEPTH OF FOUNDATION WALL TO EXISTING, SITE VERIFY.	
N084	PROVIDE BLOWN IN INSULATION (R60) ABOVE WASHROOM IN NEW ROOF CAVITY.	

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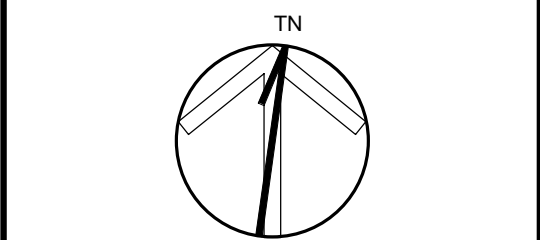
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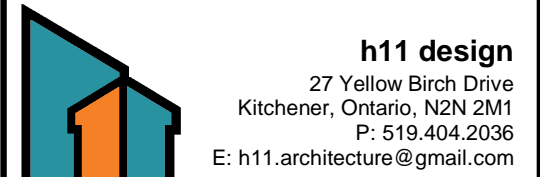
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**GARAGE AND LAUNDRY ROOM RENOVATION**  
17 BROCK STREET  
KITCHENER, ONTARIO  
N2M 1X2

DRAWING TITLE:  
**FLOOR PLANS - NEW CONSTRUCTION**

DRN:	JH
DATE:	2023-03-28
SCALE:	As indicated
PROJECT NO.	004
DWG NO.	A3