

# Internal memo

Development Services Department



www.kitchener.ca

**Date:** March 29, 2023  
**To:** Craig Dumart  
**From:** Nolan Beatty  
**Subject:** Zoning By-Law Amendment and Official Plan Amendment Application  
1770 King Street East, 815 and 825 Weber Street E  
King Weber Kitchener Holdings Inc.  
**ZBA23/005/K/CD**  
**OPA23/002/K/CD**

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The below comments have been prepared through the review of the supplied Site Servicing Feasibility Study "SBM Functional Servicing Report.pdf", dated January 23, 2023 prepared by Strik Baldinelli Moniz Ltd.; in support of the above noted applications.

General Comments:

1. **Engineering is in support of the above applications.** Any comments below can be used to direct detailed design.

Sanitary:

2. Proposed flows for a potential building population of 1330 persons (larger population derived from Ontario Building Code) was verified in the City's model and indicate no impacts downstream of this development.

Water (Angela Mick, Kitchener Utilities):

3. Any buildings over 84m tall require a second water service in accordance with Ontario Building Code section 3.2.9.7 (4). There should be a valve between the two services to allow for a feed from either service.
4. Water servicing should be from the 300mm PVC watermain on King Street E. (Regional Road 15).

Stormwater Management (SWM):

5. A more thorough review of the site SWM will be conducted with detailed design.
6. Note: SWM fees with respect to retention or quality are assessed and calculated in the year in which they are to be paid.

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Nolan Beatty, C.E.T.  
Engineering Technologist

## Craig Dumart

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**From:** Mike Seiling  
**Sent:** Tuesday, March 21, 2023 11:46 AM  
**To:** Craig Dumart  
**Subject:** FW: Circulation for Comment - 1770 King Street East & 815-825 Weber Street East (OPA/ZBA)  
**Attachments:** department & agency letter - 1770 King Street East.pdf

Building; no concerns. A Record of Site Condition will be required for this project as part of the building permit process. The Consultant and owner likely know this but just in case they are not aware or in the process of securing.

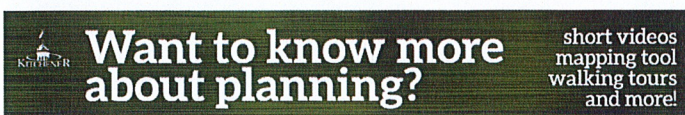
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**From:** Christine Kompter <Christine.Kompter@kitchener.ca>  
**Sent:** Tuesday, March 21, 2023 11:41 AM  
**To:** MTO - Jeremiah Johnston (Jeremiah.Johnston@ontario.ca) <jeremiah.johnston@ontario.ca>; \_DL\_#\_DSD\_Planning <DSD-PlanningDivision@kitchener.ca>; Bell - c/o WSP <circulations@wsp.com>; Carlos Reyes <Carlos.Reyes@kitchener.ca>; Darren Kropf <Darren.Kropf@kitchener.ca>; Dave Seller <Dave.Seller@kitchener.ca>; David Paetz <David.Paetz@kitchener.ca>; Ellen Straus <Ellen.Straus@kitchener.ca>; Enova Power Corp. - Greig Cameron <greig.cameron@enovapower.com>; Enova Power Corp. - Shaun Wang <shaun.wang@enovapower.com>; Feds <vped@feds.ca>; GRCA - Planning (planning@grandriver.ca) <planning@grandriver.ca>; Greg Reitzel <Greg.Reitzel@kitchener.ca>; Hydro One - Dennis DeRango <landuseplanning@hydroone.com>; Jim Edmondson <Jim.Edmondson@kitchener.ca>; Justin Readman <Justin.Readman@kitchener.ca>; Katherine Hughes <Katherine.Hughes@kitchener.ca>; Mike Seiling <Mike.Seiling@kitchener.ca>; Ontario Power Generation <Executivevp.lawanddevelopment@opg.com>; Park Planning (SM) <Park.Planning@kitchener.ca>; Region - Planning <PlanningApplications@regionofwaterloo.ca>; Property Data Administrator (SM) <PropDataAdmin@kitchener.ca>; Robert Morgan <Robert.Morgan@kitchener.ca>; Steven Ryder <Steven.Ryder@kitchener.ca>; Sylvie Eastman <Sylvie.Eastman@kitchener.ca>; WCDSB - Planning <planning@wcdsb.ca>; WRDSB - Board Secretary (elaine\_burns@wrdsb.ca) <elaine\_burns@wrdsb.ca>; WRDSB - Planning <planning@wrdsb.ca>  
**Cc:** Craig Dumart <Craig.Dumart@kitchener.ca>  
**Subject:** Circulation for Comment - 1770 King Street East & 815-825 Weber Street East (OPA/ZBA)

Please see attached. Additional documentation can be found in AMANDA folders 23-104888 & 23-104890 (City staff) and [ShareFile](#) (external agencies). Comments or questions should be directed to **Craig Dumart**, Senior Planner ([craig.dumart@kitchener.ca](mailto:craig.dumart@kitchener.ca); 519=741-2200 x7073).

### Christine Kompter

Administrative Assistant | Planning Division | City of Kitchener  
200 King Street West, 6<sup>th</sup> Floor | P.O. Box 1118 | Kitchener ON N2G 4G7  
519-741-2200 ext. 7425 | TTY 1-866-969-9994 | [christine.kompter@kitchener.ca](mailto:christine.kompter@kitchener.ca)



## Craig Dumart

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**From:** Johnston, Jeremiah (MTO) <Jeremiah.Johnston@ontario.ca>  
**Sent:** Friday, April 14, 2023 10:31 AM  
**To:** Craig Dumart  
**Subject:** Circulation for Comment - 1770 King Street East & 815-825 Weber Street East (OPA/ZBA)  
**Attachments:** Concept Site Plan.pdf

Hi Craig,

The Ministry of Transportation (MTO) has completed a review of the OPA/ZBA for the property located at 1770 King Street East & 815-825 Weber Street East received Tuesday, March 21, 2023, for the redevelopment of 815, 825 Weber St E, and 1770 King Street E. The site has been considered in accordance with the *Public Transportation and Highway Improvement Act* (PTHIA), MTO's Highway Corridor Management Manual (HCMM) and all related MTO policy. The following outlines our comments on the site overall:

The site is in close proximity to Highway 7/8 in the vicinity of the subject property is a **Class 1A – Provincial Freeway** and designated as a **Controlled Access Highway** (CAH), with a posted speed of 90km/hr. As such, all requirements, guidelines and best practices in accordance with this classification and designation shall apply.

The owner should be aware that the property falls within MTO's Permit Control Area (PCA), and as such, MTO Permits are required before any demolition, grading, construction or alteration to the site commences. In accordance with the Ontario Building Code, municipal permits may not be issued until such time as all other applicable requirements (i.e.: MTO permits/approvals) are satisfied. As a condition of MTO permit(s) MTO will require the following for review and approval:

### **Building and Land Use Permit**

MTO Building and Land Use (BLU) Permit(s) would be required. As a condition of permits MTO would require the following for review:

- The applicant would be required to submit an acceptable Site Plan, Grading Plan, Drainage Plan, Erosion Control Plan and Site Servicing Plan for MTO review and acceptance. These plans shall clearly identify all structures/works (existing and proposed). MTO would require all buildings, structures and features integral to the site to be located 7 metres from the existing MTO property limit, inclusive of parking lots, and stormwater management facilities.
- Access from Montgomery Rd would not be acceptable to MTO. The existing access on Montgomery should be labeled with a note "Access to be closed".

The 7.81 metre setback shown on the concept plan is sufficient.

### **Traffic Impact Study**

The submitted TIS is currently under review for anticipated volumes of traffic and its impact upon the provincial highway network. MTO will provide comments to the City and Applicant prior to or through the site plan review process.

Should Highway improvements be identified as warranted and as a condition of MTO permits, the improvements will be designed and constructed to the standards and approval of MTO at the cost of the applicant.

### **Sign Permit**

- MTO Sign Permit(s) would be required for any proposed signage visible from Highway 7/8. A MTO sign permit will be required prior to installation of signs. This is inclusive of any temporary signage.

Thank you,

[Jeremiah Johnston](#) Corridor Management Planner  
Corridor Management Section  
Ministry of Transportation Operations Branch West  
659 Exeter Road, London, ON N6E 1L3  
M: (226)-980-6407



**City of Kitchener**  
**Zone Change Comment Form**

**Address:** 1170 King Street- 815-825 Weber Street

**Owner:** Enter project address.

**Application #:** OPA 23/002/K/CD ZBA23/005/K/CD

**Comments Of:** City of Kitchener – Urban Design- Planning

**Commenter's Name:** Pegah Fahimian

**Email:** Pegah.fahimian@kitchener.ca

**Phone:** 519-741-2200 Ext. 7342

**Date of Comments:** April 11, 2023

☐ I plan to attend the meeting (questions/concerns/comments for discussion)

☒ No meeting to be held

☐ I do NOT plan to attend the meeting (no concerns)

**1. Documents Reviewed:**

- Cover Letter
- Urban Design Brief- March 2023
- Concept Site Plans – Feb 2023
- Wind Study - Pedestrian Wind Assessment –Boundary Layer Wind Tunnel, Feb 2023

**2. Site-Specific Comments & Issues:**

I have reviewed the documentation noted below submitted in support of an OPA and ZBA to add a Site Specific Special Policy to the King Street East Secondary Plan to allow for a floor space ratio of 6.0, and a Zoning By-law Amendment is proposed to add a Special Regulation Provision to permit a Floor Space Ratio of 6.0 and allow for a reduction in parking to 0.58 spaces per unit with 5% visitor parking being provided. The proposed amendments will allow for the development of 27 storey residential building with a floor space ratio of 6.0 with a total of 503 residential units. A total of 291 vehicle parking spaces and 406 bicycle parking spaces are provided in the development, with 270 spaces within two storeys of underground parking, and 21 spaces, including 15 visitor parking spaces, are proposed to be located on the surface.

Urban design staff are satisfied with the revised development concept. While the concept of residential intensification on this site is positive, and many previous staff comments have been incorporated into the proposal, some design modifications must be addressed in the Site Plan Application to create a development proposal that is well-designed and appropriate for this site and neighbourhood.

**3. Comments on Submitted Documents**

**Urban Design Brief- March 2023**

**Tall Building Design Analysis:** The tall building design guidelines are an excellent compatibility test for proposals exceeding their zoning permissions. The proposal meets the overall intent of the City's Design for Tall Buildings Guidelines.

**City of Kitchener**  
**Zone Change Comment Form**

**Building Design:** The proposed 8-storey pedestrian-scaled podium along Weber and Montgomery Street is distinguished by tall towers and intended architectural treatment. Contemporary architectural style, details and building elevations are to be refined through the site plan process.

- Given the location of this project, the proposed tower will be a city landmark and have a significant impact on the neighborhood. As a result, further design enhancement should be considered to improve its positive contribution to the local urban context.
- The proposed tower step back does not sufficiently define the podium from the proposed tower. The step back is to be increased to provide a more pronounced separation between the tower and the podium base. At a minimum, the Urban Design Guidelines require a 3.0m offset. This would also help with wind impacts due to the proposed large slab form.
- The proposed 17-storey slab building along Weber Street, due to its height, mass, and proximity to the ROW, will create an enclosed streetscape that hinders sky view and creates an overwhelming scale in the public realm. Additional setbacks /stepbacks should be provided to minimize the overwhelming scale at the pedestrian level.
- The proposed architectural details on the 3D massing perspectives are not coordinated with the proposed building elevations. Further detailing and architectural articulation are to be provided on the 3D renderings.

**On-site Amenity area:**

- Required amenity space calculations are contained in the Urban Design Manual and include two parts – one for a general amenity area and one for children’s play facilities in multiple residential developments.  $(2m^2 \times \#units) + (2.5m^2 \times \#bedrooms - \#units) = \text{outdoor amenity space}$ .
- The UDB did not provide any commentary or precedent images related to “the provision of robust on-site amenity space for all ages and abilities.” Additional information should be provided regarding the various on-site amenity spaces in the UDB (common, individual, indoor, and outdoor).

- **Shadow Studies**, Cusimano Architects, March 2023

The submitted shadow analysis is acceptable as it confirms that the proposal-maintained access to at least 5 hours of cumulative direct sunlight to nearby sidewalks and open spaces.

- **Wind Study - Pedestrian Level Wind** – Boundary Layer Wind Tunnel, Feb 2023

A full Wind Assessment should be provided for review at the site plan application stage. A revised design proposal should be developed that addresses the wind impacts outlined in the submitted wind study.



**City of Kitchener**  
**Zone Change Comment Form**

**Concept Site Plans- Cusimano Architects, Feb 2023**

- Active uses, including retails with outdoor patios or residential amenity areas, should be situated along Weber and Montgomery Road.
- The proposed long slab podiums along Weber Street should be broken down using enhanced detailing and articulation. According to Tall Building Design Guidelines, buildings longer than 70m should demonstrate enhanced streetscaping, materials and building articulation.



- The proposed corner treatment is to be further enhanced to create visual interest at Weber and Montgomery Road. This could be achieved by special massing and architectural treatments on both streets to give prominence along the frontages and visually distinguish these sites.



- The building facades fronting Weber, King and Montgomery Road should contain the primary residential entrances and the appropriate amount of glazing and articulation, particularly along the lower 5m where the building addresses the sidewalk.
- Consider setbacks for the upper storeys in the tower, both to increase articulation/visual interest in the building and create room for shared outdoor amenity space. This will also facilitate the transition to low-rise neighbourhoods.
- All at-grade parking should be wrapped with active uses.

**City of Kitchener**  
**Zone Change Comment Form**

- The area between the building's face and the property line should be well integrated with the street and public realm to deliver high-quality and seamless private, semi-private and public spaces.
- The tower should step back from its base a minimum of 3m along any street-facing elevations.
- The underground parking structure should have a sufficient setback from the property lines to accommodate the necessary soil volume to support required large-statured, high-canopied trees. Perimeter trees should not be located on the garage slab roof. Within the site, required tree plantings can be accommodated on the garage slab but will still require standard minimum soil volumes.
- Provide natural surveillance by employing high percentages of glazing, and active uses at ground level and incorporate more units with patios and windows/balconies on the main facade with views onto the Street.
- The proposed towers should have unique top features that are architecturally excellent, highly visible and makes a positive contribution to the image of Kitchener developing skyline.
- Provide materiality and texture shifts at the podium and across the towers and incorporate variations in tower setbacks from the base to distinguish the tower form from the podium.
- Wind assessment, shadow study and noise mitigation measures should be provided for outdoor amenities and the pedestrian realm.
- Residential entrances should be clearly identified and offer access from both the public realm and the private parking side of the building. The proposed main entrance is to be further enhanced to create visual interest at the street edge. (for example, cantilevered entrance canopy, corrugated-metal panels and fritted glass.
- Balconies may be staggered in a creative pattern to lighten the structure and provide private outdoor space for the units.
- Towers are highly visible elements of the urban environment and must meet Kitchener's highest standards for design excellence.
- All utilities should be coordinated with the landscape design and with building elevations to provide a high-quality pedestrian experience with the site and from the public realm. Infrastructure should be located within the building in mechanical/electrical rooms and exterior connections located discretely and incorporate physical screens or landscape plating as required. Surface transformers or service connections visible from the public realm are not supported.

**Summary Comments**

In summary, Urban Design staff are supportive of the zone change/official plan amendment. While the concept of residential intensification on this site is positive and many previous staff comments have been incorporated into the proposal, Urban Design staff recommend that the Urban Design Brief be endorsed, and that staff be directed to implement the Urban Design Brief through future Site Plan Approval processes.



City of Kitchener  
**OPA/ZBA COMMENT FORM**

**Project Address: 815/825 Weber St E & 1770 King Street East**

**Date of Meeting: No meeting scheduled - comments due April 12, 2023**

**Application Type: ZBA & OPA**

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Comments Of: Transportation Services

Commenter's Name: Steve Ryder

Email: steven.ryder@kitchener.ca

Phone: (519) 741 2200 ext. 7152

Date of Comments: March

- ☒ I plan to attend the meeting (questions/concerns/comments for discussion)
- ☐ I do NOT plan to attend the meeting (no concerns)
- 

1. Site Specific Comments & Issues:

**OPA/ZBA comments:**

The applicant is requesting Zoning By-law Amendments for this application located at 815 & 825 Weber St E & 1770 King St E. Transportation Services has reviewed the requested amendments and offer the following response:

- Seeking permission to amend Section 6.1.2 a) to permit parking at a rate of 0.58 per unit for Multiple Dwelling Units greater than 51.0 sq.m. in size.
  - **Transportation Services can support the above request to amend the required parking for Multiple Dwelling Units to a rate of 0.58 spaces per unit.**
- Seeking permission to amend Section 6.1.2 b) vi) C) to permit Visitor Parking at a rate of 4 % of required parking.
  - **Transportation Services cannot support a Visitor Parking rate of 4% of the required parking with the following being considered:**
    - An amendment to the visitor parking rate was not originally considered and therefore was not analyzed as part of the Parking Justification Study prepared by Paradigm Transportation Solutions Ltd (dated February 2023);
    - The proposed rate of 4% of required parking would yield (based on the current development concept of 291 parking spaces) only 12 visitor spaces. This is

- significantly deficient for a development that includes 503 residential units with no public paid parking options within a reasonable walking distance from the site.
- Although the parking study includes the use of unbundled parking as a consideration for the overall reduced parking rate, the applicant has not yet confirmed if they intend to implement this measure as part of the development. Additionally, there is no mention of unassigned parking which would effectively open the entire parking supply for visitor parking use.
  - It is also worth noting that there is nothing preventing the property owner from removing unbundled and unassigned parking from the site once constructed, which would result in only 12 required visitor parking spaces, which was noted as being severely deficient for a development of this nature.
  - The necessity to provide of adequate visitor parking, even with significantly reduced residential parking rates, is due to the fact that we cannot control where visitors come from or how they access the site (by vehicle or an alternate mode of travel). Residents who live there are able to utilize those alternate modes of travel (ie. transit, cycling, walking) in order to live and work in the city, whereas visitors can come from all over and may not have any reasonable options to do so by using transit or cycling/walking.
  - **Transportation Services can support a minimum of 7% of required parking to be dedicated to visitor parking, as this rate was previously approved for a similar development in close proximity to this site.**
  - **\*\*That being said, Transportation Services strongly recommends that visitor parking be set at a minimum of 10% of required parking in order to sufficiently accommodate 503 residential units on site. This will help prevent vehicles from overwhelming nearby neighbourhoods with on-street parking.\*\***
- In regard to the submitted Traffic Impact Study, also prepared by Paradigm Transportation Services Ltd., Transportation Services will defer to comments from both the Region of Waterloo and MTO. The Region of Waterloo owns both roadways with a proposed site access, in addition to them having authority over all traffic signal operations and timing.
  - As part of site plan approval, the applicant will be required to submit a **Letter of Understanding** outlining details of any Transportation Demand Management (TDM) measures that will be implemented as part of the development.
    - Transportation Services staff will review the Letter of Understanding and provide any redlines that may be required before it can be deemed satisfactory by the Director of Transportation Services.

## 2. Plans, Studies and Reports to submit as part of a complete Planning Act Application:

- N/A

## 3. Anticipated Requirements of full Site Plan Approval:

- Letter of Understanding

4. Policies, Standards and Resources:

- N/A

5. Anticipated Fees:

- N/A



PLANNING, DEVELOPMENT  
AND LEGISLATIVE SERVICES  
Community Planning

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www.regionofwaterloo.ca

Melissa Mohr 1-226-752-8622  
File: D17/2/23002  
C14/2/23005  
April 12, 2023

Craig Dumart  
Senior Planner  
City of Kitchener  
200 King Street West, 6<sup>th</sup> Floor  
P.O. Box 1118, Kitchener, ON  
N2G 4G7

Dear Mr. Dumart,

**Re: Proposed Official Plan Amendment OPA 23/02 and  
Zoning By-law Amendment ZBA 23/05  
1770 King Street East and 815-825 Weber Street East  
MHBC Planning Inc. (C/O Pierre Chauvin) on behalf of  
King Weber Kitchener Holding Inc. (C/O Vive  
Developments Corporation)  
CITY OF KITCHENER**

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MHBC Planning has submitted a site-specific Official Plan Amendment and Zoning By-law Amendment Application for a development proposal at 1770 King Street East and 815-825 Weber Street East (referred to as subject lands) in the City of Kitchener.

The applicant has proposed to demolish the existing commercial buildings on site to construct a mixed-use commercial and residential multi-tower development consisting of eight (8), seventeen (17) and twenty-seven (27) storeys with a total of 503 residential units. A total of 291 vehicle parking spaces and 406 bicycle parking spaces are proposed within the development with 270 spaces within the underground parking structure. Twenty-one (21) surface parking spaces (including 15 visitor parking spaces) have also been proposed on site with vehicular access proposed from King Street East and Weber Street East.

The subject lands are located in the Urban Area and designated Built Up Area in the Regional Official Plan. The site is designated Mixed Use Corridor in the King Street East Secondary Plan and in the City of Kitchener Official Plan and zoned High Intensity



Mixed Use Corridor Zone (MU-3) Zone with Special Use Provision 401U in the City of Kitchener Zoning By-law. The applicant has requested an **Official Plan Amendment** to add a site-specific special policy to the King Street East Secondary Plan to allow a Floor Space Ratio (FSR) of 6.0 (whereas a maximum FSR of 4.0 is permitted). The applicant has requested a **Zoning By-law Amendment** to add a Special Regulation Provision to permit a FSR of 6.0.

The Region has had the opportunity to review the proposal and offers the following:

## **Regional Comments**

### **Consistency with Provincial Legislation and Regional Official Plan Conformity**

The subject lands are designated “Urban Area” and “Built-Up Area” on Schedule 3a of the Regional Official Plan (ROP) and the site is designated Mixed Use Corridor in the King Street East Secondary Plan in the City of Kitchener Official Plan.

### Planned Community Structure:

The majority of the Region’s future growth will occur within the Urban Area designation with a substantial portion of this growth directed to the existing Built-Up Area of the Region through reurbanization. Focal points for reurbanization include Urban Growth Centres, Township Urban Growth Centres, Major Transit Station Areas, Reurbanization Corridors and Major Local Nodes (ROP Section 2.B).

Development occurring within the Urban Area shall be planned in a way that contributes to the creation of complete communities with development patterns densities and land uses that support walking, cycling and the use of transit which are serviced by a municipal drinking-water supply system and a municipal wastewater system. The development supports these policies as it proposes a higher density development with apartment style units connected by local water and sanitary services.

### ROPA 6:

The subject lands are located in the Built Up Area as designated through ROPA 6. The development concept proposes a higher density development that contributes to the minimum intensification target established for the Built Up Area of Kitchener of 60%. Section 2.F of ROPA 6 establishes policies to support the achievement of the minimum intensification targets within the delineated Built Up Area. Growth is directed to the Built Up Area of the Region to make better use of infrastructure that can assist in transitioning the Region into an energy efficient, low carbon community. Furthermore, intensification within the Built Up Area assists the gradual transition of existing neighbourhoods within the Region into 15 minute neighbourhoods that are compact, well connected places that allow all people of all ages and abilities to access the needs for daily living within 15 minutes by walking, cycling or rolling.

This development proposes a higher density development with apartment style housing, in proximity to transit along King Street East and Weber Street East, which is encouraged through the policy framework contained in ROPA 6.

In addition to the above planning comments, Regional staff have the following technical comments relating to the proposed Official Plan Amendment and Zoning By-law Amendment:

**Environmental Threats/Record of Site Condition:**

There are high environmental threats on and adjacent to the subject lands due to past/historic uses of the subject lands and adjacent sites. As a density increase of a sensitive land use has been proposed on the subject lands, a Record of Site Condition and Ministry Acknowledgement letter shall be required for the entirety of the subject lands in accordance with the Region of Waterloo's *Implementation Guideline for the Review of Development Applications on or Adjacent to Known and Potentially Contaminated Sites*.

As the Record of Site Condition and Ministry Acknowledgement Letter were not received as part of the Complete Application for the Zoning By-law Amendment and as a result the Region shall require a Holding Provision to be implemented as part of the Zoning By-law Amendment. The Holding Provision shall prohibit the proposed development until the submission of the RSC and the Ministry's Acknowledgement Letter have been received to the satisfaction of the Regional Municipality of Waterloo. The following wording is required for the holding provision:

*That a holding provision shall apply to the entirety of the subject lands until a Record of Site Condition (RSC) in accordance with O. Reg. 153/04, as amended, has been filed on the Ministry of Environment, Conservation and Parks (MECP) Environmental Site Registry and the RSC and Ministry's Acknowledgement letter is received to the satisfaction of the Regional Municipality of Waterloo.*

**Noise Study Peer Review (Transportation and Stationary Noise):**

As per the Region's pre-submission comments, the Region indicated that the noise study may be peer reviewed at the applicant's expense. The Region has implemented a standardized peer review process for environmental noise studies. The Environmental Noise Study entitled "Noise Feasibility Study, Traffic and Stationary Noise Sources, Proposed Residential Development; 815 and 825 Weber Street East and 1770 King Street East, Kitchener, Regional Municipality of Waterloo, Ontario" prepared by HCG Engineering is a noise feasibility study that recommends a further study once details regarding the building design are known. Therefore, the Region recommends that a Holding Provision be imposed to obtain a detailed Environmental Noise for both transportation and stationary noise. , **The detailed noise study shall be peer reviewed at the applicant's expense and the current fee for the peer review is \$4,520.00.**

Regional staff require that the following Holding Provision be imposed on the lands to ensure a detailed Environmental Noise Study has been submitted and that the study's

recommendation and implementation measures are to the satisfaction of the Region. The required wording for the holding provision is:

*That a holding provision shall apply to the entirety of the subject lands until a satisfactory detailed transportation (road) and stationary noise study has been completed and implementation measures addressed to the satisfaction of the Regional Municipality of Waterloo. The detailed stationary noise study shall review the potential impacts of noise (e.g. HVAC systems) on the sensitive points of reception and the impacts of the development on adjacent noise sensitive uses.*

**Region of Waterloo International Airport:**

The subject lands are located within the Airport Zoning Regulation (AZR). The existing AZR height limit is 430.50m ASL with a maximum height restriction of 111.5m. The proposed AZR is 407.00m ASL with a proposed maximum height limitation of 88m.

The developer has completed an aeronautical assessment, which justifies a maximum elevation of 457m ASL for the property and the concept plans submitted with the application show a maximum elevation of the building of 406.5m ASL. Therefore, there appears to be sufficient space for the operation of a future crane without reaching the maximum elevation of 457m ASL.

In accordance with the submitted aeronautical report, Regional staff recommend that the Zoning By-law for the subject lands contain a maximum height permitted on site for buildings and any associated structures (e.g. rooftop HVAC, communication towers/antennas) of 457m ASL. Please be advised that any construction cranes cannot exceed this limit.

In addition to the above, the applicant shall be required to complete and submit the following forms to NAV Canada and Transport Canada:

NAV CAN F-LDU-100 Land Use Form <https://www.navcanada.ca/en/aeronautical-information/land-use-program.aspx>

F-LDU-101 Crane Height Form <https://www.navcanada.ca/en/aeronautical-information/land-use-program.aspx>

Transport Canada Aeronautical Assessment Form 26-0427E (1812-09) at [https://www.wapps.tc.gc.ca/Corp-Serv-Gen/5/forms-formulaires/download/26-0427\\_BO\\_PX](https://www.wapps.tc.gc.ca/Corp-Serv-Gen/5/forms-formulaires/download/26-0427_BO_PX)

**Corridor Planning:**

Official Plan Amendment and Zoning By-law Amendment Stage:

Access Permit/TIS/Access Regulation:

Regional staff have received the Transportation Impact Study (TIS) entitled "Weber Street and Montgomery Road, Kitchener, ON, Transportation Impact Study, Parking



Study and Site Circulation Review” prepared by paradigm Transportation solutions Ltd. dated February 2023 and have found it acceptable at this stage (Official Plan Amendment and Zoning By-law Amendment stage). Additional technical comments will follow at the site plan stage.

The subject properties included in this application have numerous existing vehicular access locations to the municipal road network and the development concept provided with the application proposes a single full movement access to Weber Street East and King Street East. Region of Waterloo staff have no objections to the proposed access design at this stage and wish to advise that the King Street East access shall be a right-in/right-out access only due to the boulevard in the King Street East right-of-way.

In addition, please be advised that a Region of Waterloo Access Permit for the closure of the existing accesses at King Street East and Weber Street East will be required under a future Site Plan. The application can be found on the Region of Waterloo website (<https://forms.regionofwaterloo.ca/Planning-and-Economic-Development/Close-an-Access-Access-Permit-Application>). Please be advised that there is a \$230 fee associated with the application.

#### *Functional Servicing Report*

Regional staff have received the Functional Servicing Report entitled “Site Servicing Feasibility Study, Proposed Residential Development, 815 and 825 Weber Street East and 1770 King Street East, Kitchener, Ontario” dated January 23, 2023; prepared by SBM and accept the report at this stage (Official Plan Amendment and Zoning By-law Amendment stage).

Please be advised that detailed comments relating to servicing and stormwater management will follow through the detailed design of the building at the site plan stage.

#### Site Plan Application Stage:

##### *Access Permit/TIS/Access Regulation:*

A Regional Road Access Permit application will be required under a future Site Plan application for any alterations to the vehicular access locations to the Regional Road network. (<https://www.regionofwaterloo.ca/en/doing-business/applications-licences-and-permits.aspx>)

##### *Stormwater Management and Site Grading:*

Detailed civil engineering plans will be required for review and approval by Region of Waterloo staff through a future Site Plan application. Where possible, please coordinate with Region of Waterloo staff to ensure that any civil servicing requirements within the King Street East right of way are completed in advance or in association with the road re-construction project.



*Transit Planning:*

Please be advised that there are multiple bus routes adjacent to the site with Route 8 (Weber Street) and Route 7 (King Street) servicing Kitchener and Waterloo and Go Transit servicing the Region with stops along both King Street East and Weber Street East.

Please note that this application has been circulated to GRT Transit Planning staff and additional comments will follow at the site plan stage. Furthermore, please be advised that transit improvements and upgrades to existing services may be required at the site plan stage (e.g. new transit stops or the relocation of existing transit stops may be warranted at the applicant's expense).

*Regional Transportation Capital Program:*

This section of Weber Street East has been identified in the Region's 10-Year Transportation Capital Program (TCP) for reconstruction in 2029/2030. For further information related to this project please contact Jason Lane at [JLane@regionofwaterloo.ca](mailto:JLane@regionofwaterloo.ca).

*Site Plan Review Fee:*

The Region of Waterloo will require an \$805 fee at the time of a future Site Plan application.

**Hydrogeology and Source Water Programs**

The subject lands are located in Wellhead Protection Sensitive Area 8 (WPSA 8); therefore, Regional staff require a prohibition on geothermal energy to be written into the zoning by-law. The required wording for the prohibition is:

*Geothermal Wells are prohibited on site. A geothermal well is defined as a vertical well, borehole or pipe installation used for geothermal systems, ground-source heat pump systems, geo-exchange systems or earth energy systems for heating or cooling; including open-loop and closed-loop vertical borehole systems. A geothermal well does not include a horizontal system where construction or excavation occurs to depths less than five meters unless the protective geologic layers overlaying a vulnerable aquifer have been removed through construction or excavation.*

**Risk Management/Part 4 Area of the Clean Water Act**

Please be advised that the Section 59 Notices submitted with the application are invalid and Regional staff are working with the applicant to obtain an updated Risk Management Plan and Valid Section 59 Notices for each of the properties. This must be completed before City of Kitchener Council considers the applications.

**Housing Services**

The following Regional policies and initiatives support the development and maintenance of affordable housing:

- Regional Strategic Plan

- 10-Year Housing and Homelessness Plan
- Building Better Futures Framework
- Region of Waterloo Official Plan

The Region supports the provision of a full range of housing options, including affordable housing. Rent levels and house prices that are considered affordable according to the Regional Official Plan are provided below. Should this development application move forward, staff ask the Owner/Developer to consider providing a number of affordable housing units on the site, as defined in the Regional Official Plan.

In order for affordable housing to fulfill its purpose of being affordable to those who require rents or purchase prices lower than the regular market provides, a mechanism should be in place to ensure the units remain affordable and establish income levels of the households who can rent or own the homes.

For the purposes of evaluating the affordability of an ownership unit, based on the definition in the Regional Official Plan, the purchase price is compared to the least expensive of:

Housing for which the purchase price results in annual accommodation costs which do not exceed 30 percent of gross annual household income for low and moderate income households	\$385,500
Housing for which the purchase price is at least 10 percent below the average purchase price of a resale unit in the regional market area	\$576,347

\*Based on the most recent information available from the PPS Housing Tables (2021).

In order for an owned unit to be deemed affordable, the maximum affordable house price is \$385,500.

For the purposes of evaluating the affordability of a rental unit, based on the definition of affordable housing in the Regional Official Plan, the average rent is compared to *the least expensive of*:

A unit for which the rent does not exceed 30 per cent of the gross annual household income for low and moderate income renter households	\$1,470
A unit for which the rent is at or below the average market rent (AMR) in the regional market area	Bachelor: \$950 1-Bedroom: \$1,134 2-Bedroom: \$1,356 3-Bedroom: \$1,538 4+ Bedroom: \$3,997

\*Based on the most recent information available from the PPS Housing Tables (2021)

In order for a rental unit to be deemed affordable, the average rent for the proposed units which have fewer than 3 bedrooms must be at or below the average market rent in the regional market area as shown above. For proposed units with three or more bedrooms, the average rent for the units must be below \$1,470.

**Fees:**

Please be advised that the Region has yet to receive the Official Plan Amendment and Zoning By-law Amendment review fees totalling \$10,000. Regional staff understand that these fees have been submitted, but the Region has yet to formally receive the application fees.

**Follow Up:**

At this time, the following must be addressed prior to City of Kitchener Council considering the applications:

1. That the Region receives a Valid Section 59 Notice for each of the properties.
2. That the Region's review fees totaling \$10,000 be received.

**Conclusions:**

Once the above items have been addressed to the satisfaction of the Regional Municipality of Waterloo, the following shall be implemented within the site-specific Zoning By-law Amendment to the satisfaction of the Regional Municipality of Waterloo:

1. In accordance with the submitted aeronautical report, Regional staff recommend that the Zoning By-law for the subject lands contain a maximum height permitted on site for buildings and any associated structures (e.g. rooftop HVAC, communication towers/antennas) of 457m ASL. Please be advised that any construction cranes cannot exceed this limit.
2. The implementation of a holding provision to obtain a Record of Site Condition and Ministry Acknowledgement Letter for the entirety of the subject lands. The required wording for the holding provision is:

*That a holding provision shall apply to the entirety of the subject lands until a Record of Site Condition (RSC) in accordance with O. Reg. 153/04, as amended, has been filed on the Ministry of Environment, Conservation and Parks (MECP) Environmental Site Registry and the RSC and Ministry's Acknowledgement letter is received to the satisfaction of the Regional Municipality of Waterloo.*

3. The implementation of a holding provision to obtain an Environmental Transportation and Stationary Noise study to the satisfaction of the Regional Municipality of Waterloo. The required wording for the Holding Provision is:

*That a holding provision shall apply to the entirety of the subject lands until a satisfactory detailed transportation (road) and stationary noise study has been*

*completed and implementation measures addressed to the satisfaction of the Regional Municipality of Waterloo. The detailed stationary noise study shall review the potential impacts of noise (e.g. HVAC systems) on the sensitive points of reception and the impacts of the development on adjacent noise sensitive uses.*

and,

4. That a geothermal prohibition be implemented within the site specific Zoning By-law. The required wording for the prohibition is:

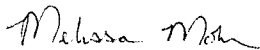
*Geothermal Wells are prohibited on site. A geothermal well is defined as a vertical well, borehole or pipe installation used for geothermal systems, ground-source heat pump systems, geo-exchange systems or earth energy systems for heating or cooling; including open-loop and closed-loop vertical borehole systems. A geothermal well does not include a horizontal system where construction or excavation occurs to depths less than five meters unless the protective geologic layers overlaying a vulnerable aquifer have been removed through construction or excavation.*

**Next Steps:**

Please be advised that any future development on the lands subject to the above-noted application will be subject to the provisions of Regional Development Charge By-law 19-037 or any successor thereof.

Further, please accept this letter as our request for a copy of the decision pertaining to this application. Should you have any questions, please do not hesitate to contact me.

Yours truly,



Melissa Mohr, MCIP, RPP  
Senior Planner

- C. MHBC Planning Inc. C/O Pierre Chauvin (Applicant)  
King Weber Kitchener Holding Inc. C/O Vive Development Corporation (Owner)



## Craig Dumart

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**From:** Brandon Coveney <planning@wrdsb.ca>  
**Sent:** Wednesday, April 12, 2023 5:07 PM  
**To:** Craig Dumart  
**Cc:** Christine Kompter; Planning  
**Subject:** Re: [Planning] Circulation for Comment - 1770 King Street East & 815-825 Weber Street East (OPA/ZBA)

You don't often get email from planning@wrdsb.ca. [Learn why this is important](#)

**April 12, 2023**

Re: Circulation for Comment - 1770 King Street East & 815-825 Weber Street East (OPA/ZBA)  
Municipality: Kitchener  
Location: 1770 King Street East & 815-825 Weber Street East  
Owner/Applicant: King Weber Kitchener Holdings Inc. / MHBC Planning Ltd.

Hi Craig,

The Waterloo Region District School Board (WRDSB) has reviewed the above-noted application that proposes the amendments of OPA 23/002 and ZBA 23/005 to facilitate the construction of 503 residential units within a 27 storey tower, 17 storey tower, and 8 storey podium. The WRDSB offers the following comments:

### Student Accommodation

At this time, the subject lands are within the boundaries of the following WRDSB schools:

- Sheppard PS (Junior Kindergarten to Grade 6);
- Sunnyside PS (Grade 7 to Grade 8); and
- Eastwood CI (Grade 9 to Grade 12).

The WRDSB's [2020-2030 Long-Term Accommodation Plan](#) provides information on student enrolment and accommodation at these schools. Eastwood CI is currently experiencing enrolment pressure and portable classrooms may be located on-site to provide additional capacity on an interim basis.

### Student Transportation

The WRDSB supports active transportation, and we ask that pedestrians be considered in the review of all development applications to ensure the enhancement of safety and connectivity.

Please be advised that Student Transportation Services of Waterloo Region (STSWR)'s school buses will not travel privately owned or maintained right-of-ways to pick-up/drop-off students. Transported students will be required to meet the bus at a congregated bus pick-up point. STSWR may have additional comments about student pick-up point(s) placement on municipal right-of-ways.

### Shadow Study

The WRDSB has reviewed the shadow study provided within the circulation materials to determine the impact of the proposed development on the Eastwood CI school site and sports field. Based on the provided modelling, there does not

# City of Kitchener - Comment Form

**Project Address:** 1770 King St E, 815 and 825 Weber St E

**Application Type:** OPA and ZBA

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**Comments of:** Environmental Planning (Sustainability) – City of Kitchener

**Commenter's name:** Kieran Luckhai

**Email:** Kieran.Luckhai@kitchener.ca

**Phone:** 519-741-2200 x 7078

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**Written Comments Due:** April 12, 2023

**Date of comments:** April 12, 2023

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**1. Plans, Studies and/or Reports submitted and reviewed as part of a complete application:**

- Sustainability Statement – 815, 825 Weber Street East, and 1770 King Street East, prepared by MHBC, dated March 21, 2023

**2. Comments & Issues:**

I have reviewed the documentation (as listed above) to support an Official Plan Amendment and a Zoning By-law Amendment for the proposed development of two multiple residential towers proposed at 17 and 27 storeys, 503 residential units in total, with 291 parking spaces provided in underground and surface parking, regarding sustainability and energy conservation and provide the following:

- Although the Ontario Building Code (OBC) is advanced, going forward all developments will need to include robust energy conservation measures as the City (and Region of Waterloo) strive to achieve our greenhouse gas reduction target.
- It is recommended that more progressive measures that go beyond the OBC be explored to further energy conservation, generation and operation, and benefit future residents/tenants.
- **Based on my review of the supporting documentation, the Official Plan and Zoning By-law Amendments can be supported as several sustainable measures have been proposed or are being considered for the development.**
- A Sustainability Statement (as per the City's Terms of Reference) will be required as part of a complete Site Plan Application which can further explore and/or confirm additional sustainability measures that are best suited to the development.
- The City of Kitchener recognizes and appreciates sustainable measures incorporated in the development such as:
  - The compact built form
  - The utilization of existing servicing
  - Control measures to improve stormwater runoff quantity and quality



- The consideration to encourage greater public transit use
- Pedestrian supportive design
- On-site secure bike parking promoting active transportation
- Proposed low-flush toilets and low-flow shower heads
- Building orientation for southern exposure reducing heating requirements
- Cool/light coloured roofing material
- Roof design to support future Solar Panel installation
- Consideration for the reuse and recycling of construction and building materials
- On-site garbage, recycling, and compost
- Potential items for consideration for Site Plan:
  - Opportunity for community / common gardens and urban agriculture
  - Use of alternative water supply and demand management systems such as rainwater harvesting and grey water reuse or readiness of the development to incorporate such systems in the future
  - Further opportunity to advance landscaping options that support air quality and reduction in stormwater runoff
  - Immediate implementation of renewable energy systems such as ground source or air source heat pumps, roof-top solar panels, and solar thermal hot water systems

### 3. **Policies, Standards and Resources:**

- Kitchener Official Plan Policy 7.C.4.5. The City will encourage and support, where feasible and appropriate, alternative energy systems, renewable energy systems and district energy in accordance with Section 7.C.6 to accommodate current and projected needs of energy consumption.
- Kitchener Official Plan Policy 7.C.6.4. In areas of new development, the City will encourage orientation of streets and/or lot design/building design with optimum southerly exposures. Such orientation will optimize opportunities for active or passive solar space heating and water heating.
- Kitchener Official Plan Policy 7.C.6.8. Development applications will be required to demonstrate, to the satisfaction of the City, energy is being conserved or low energy generated.
- Kitchener Official Plan Policy 7.C.6.27. The City will encourage developments to incorporate the necessary infrastructure for district energy in the detailed engineering designs where the potential for implementing district energy exists.

### 4. **Advice:**

- As part of the Kitchener Great Places Award program every several years there is a Sustainable Development category. Also, there are community-based programs to help with and celebrate and recognize businesses and sustainable development stewards (Regional Sustainability Initiative - <http://www.sustainablewaterlooregion.ca/our-programs/regional-sustainability-initiative> and TravelWise - <http://www.sustainablewaterlooregion.ca/our-programs/travelwise>).
- The '[Sustainability Statement Terms of Reference](#)' can be found on the City's website under 'Planning Resources' at ... <https://www.kitchener.ca/SustainabilityStatement>



## Craig Dumart

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**From:** Planning <planning@wcdsb.ca>  
**Sent:** Wednesday, April 12, 2023 3:55 PM  
**To:** Craig Dumart  
**Subject:** RE: Circulation for Comment - 1770 King Street East & 815-825 Weber Street East (OPA/ZBA)

Good Afternoon Craig,

The Waterloo Catholic District School Board has reviewed the subject application and based on our development circulation criteria have the following comment(s)/condition(s):

- A) That any Education Development Charges shall be collected prior to the issuance of a building permit(s).
- B) That the developer and the Waterloo Catholic District School Board reach an agreement regarding the supply and erection of a sign (at the developer's expense and according to the Board's specifications) affixed to the development sign advising prospective residents about schools in the area.
- C) That the developer shall include the following wording in the site plan agreement / any future condominium declaration to advise all purchasers of residential units and/or renters of same:

*"In order to limit risks, public school buses contracted by Student Transportation Services of Waterloo Region (STSWR), or its assigns or successors, will not travel on privately owned or maintained right-of-ways to pick up and drop off students, and so bussed students will be required to meet the bus at a congregated bus pick-up point."*

If you require any further information, please contact me by e-mail at [Jordan.Neale@wcdsb.ca](mailto:Jordan.Neale@wcdsb.ca).

Thank you,

**Jordan Neale**

Planning Technician, WCDSB

480 Dutton Dr, Waterloo, ON N2L 4C6

519-578-3660 ext. 2355

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**From:** Christine Kompter <Christine.Kompter@kitchener.ca>  
**Sent:** Tuesday, March 21, 2023 11:41 AM  
**To:** MTO - Jeremiah Johnston (Jeremiah.Johnston@ontario.ca) <jeremiah.johnston@ontario.ca>; \_DL\_#\_DSD\_Planning <DSD-PlanningDivision@kitchener.ca>; Bell - c/o WSP <circulations@wsp.com>; Carlos Reyes <Carlos.Reyes@kitchener.ca>; Darren Kropf <Darren.Kropf@kitchener.ca>; Dave Seller <Dave.Seller@kitchener.ca>; David Paetz <David.Paetz@kitchener.ca>; Ellen Straus <Ellen.Straus@kitchener.ca>; Enova Power Corp. - Greig Cameron <greig.cameron@enovapower.com>; Enova Power Corp. - Shaun Wang <shaun.wang@enovapower.com>; Feds <vped@feds.ca>; GRCA - Planning (planning@grandriver.ca) <planning@grandriver.ca>; Greg Reitzel <Greg.Reitzel@kitchener.ca>; Hydro One - Dennis DeRango <landuseplanning@hydroone.com>; Jim Edmondson <Jim.Edmondson@kitchener.ca>; Justin Readman <Justin.Readman@kitchener.ca>; Katherine Hughes <Katherine.Hughes@kitchener.ca>; Mike Seiling <Mike.Seiling@kitchener.ca>; Ontario Power Generation <Executivevp.lawanddevelopment@opg.com>; Park Planning (SM) <Park.Planning@kitchener.ca>; Region - Planning <PlanningApplications@regionofwaterloo.ca>; Property Data Administrator (SM) <PropDataAdmin@kitchener.ca>; Robert Morgan <Robert.Morgan@kitchener.ca>; Steven Ryder <Steven.Ryder@kitchener.ca>; Sylvie Eastman

## Zone Change / Official Plan Amendment Comment Form

**Address:** 1770 King Street East, 815 and 825 Weber Street East  
**Owner:** King Weber Kitchener Holdings Inc  
**Application:** OPA23/002/K/CD and ZBA23/005/K/CD

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**Comments Of:** Parks and Cemeteries  
**Commenter's Name:** Lenore Ross  
**Email:** Lenore.ross@kitchener.ca  
**Phone:** 519-741-2200 ext 7427

**Date of Comments:** April 05 2023

- ☒ I plan to attend the meeting (questions/concerns/comments for discussion)  
☐ No meeting to be held  
☐ I do NOT plan to attend the meeting (no concerns)
- 

### 1. Documents Reviewed:

I have reviewed the documentation noted below submitted in support of an OPA and ZBA to add a Site Specific Special Policy to the King Street East Secondary Plan to allow for a floor space ratio of 6.0 and a Zoning By-law Amendment is proposed to add a Special Regulation Provision to permit a Floor Space Ratio of 6.0 and allow for a reduction in parking to 0.58 spaces per unit with 5% visitor parking being provided. The proposed amendments will allow for the development of 27 storey residential building with a floor space ratio of 6.0 with a total of 503 residential units. A total of 291 vehicle parking spaces and 406 bicycle parking spaces are provided in the development with 270 spaces within two storeys of underground parking, and 21 spaces, including 15 visitor parking spaces are proposed to be located on the surface.

Planning Justification Report  
Urban Design Brief, Windy Study, Shadow Study, Building Elevations  
Noise Feasibility Study  
Concept Site Plan  
Completed Application forms

### 2. Site Specific Comments & Issues:

Parks and Cemeteries has no significant concerns with the proposed Official Plan and Zoning Bylaw amendments and can provide conditional support to the applications subject to the minor revisions noted below.

#### Parkland Dedication

Parkland dedication requirements will be deferred at the OPA and ZBA and assessed according to the approved land use and density at the required site plan application and taken as cash in lieu of land and required as a condition of Site Plan Approval.



## Zone Change / Official Plan Amendment Comment Form

Based on the preliminary site concept with a site area of 0.6384ha; 503 units; a multi-residential building of 27 storeys, 17 storeys and 8 storeys with an FSR of 6.0; **Parkland Dedication of \$1,261,989 will be required.**

503 units x \$11,862 caped rate = \$5,966,586 (Bylaw 2022-101)

**0.6384ha x \$19,768,000 x 0.1 = \$1,261,989 (More Homes Built Faster Act - 10% land value cap)**

### Street Trees

As part of a future site plan application street trees will be required along all City-owned streets (Montgomery Road) and along Regional roads (King St E and Weber St E). Parks and Cemeteries will coordinate with the Region of Waterloo and Urban Design for review and approval.

### **3. Comments on Submitted Documents**

The following comments should be addressed at this time.

#### **1) Urban Design Brief**

- a) It is positive that the preliminary site concept and the Urban Design Brief indicate that at-grade and podium-level common outdoor amenity spaces will be provided as there is limited active park capacity within the Eastwood Planning Community to address all the active park needs of the anticipated 900+ new residents from this development. Within Section 4.2 Compatibility Analysis (pdf page 35-36) it would be beneficial to elaborate on the anticipated outdoor amenities referenced in the response to the criteria set forth in 4.C.1.8 e). It is recognized that detailed site design will occur as part of the formal site plan application, but the UDB should provide clear direction for robust on-site amenity spaces and include text and representative precedent images to guide future site plan applications and site development
- b) The UDB should also include a clear commitment to providing:
  - i) all necessary noise and wind mitigation measures to allow the amenity spaces to function as proposed and
  - ii) the structural capacity and soil volumes to allow mature tree growth in amenity spaces and support vegetation identified for wind mitigation
- c) A revised UDB *or addendum* is required.

#### **4. Policies, Standards and Resources:**

- Kitchener Official Plan
- City of Kitchener Park Dedication Bylaw 2022-101 and Park Dedication Policy
- City of Kitchener Development Manual
- Cycling and Trails Master Plan (2020)
- Chapter 690 of the current Property Maintenance By-law

City of Kitchener

## Zone Change / Official Plan Amendment Comment Form

- Places & Spaces: An Open Space Strategy for Kitchener
- Multi-Use Pathways & Trails Masterplan
- Urban Design Manual

**5. Anticipated Fees:**  
**Parkland Dedication**

Parkland dedication requirements will be deferred at the OPA and ZBA and assessed according to the approved land use and density at the required site plan application and taken as cash in lieu of land and required as a condition of Site Plan Approval.

Based on the preliminary site concept with a site area of 0.6384ha; 503 units; a multi-residential building of 27 storeys, 17 storeys and 8 storeys with an FSR of 6.0) Parkland Dedication of **\$1,261,989** will be required.

503 units x \$11,862 per unit cap rate = \$5,966,586 (Bylaw 2022-101)

**0.6384ha x \$19,768,000 x 0.1 = \$1,261,989 (More Homes Built Faster Act - 10% land value cap)**

Dedication requirements are subject to the Parkland Dedication Bylaw, Policy and rates in effect.

## Craig Dumart

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**From:** Carrie Musselman  
**Sent:** Thursday, April 6, 2023 9:33 AM  
**To:** Craig Dumart  
**Subject:** RE: Circulation for Comment - 1770 King Street East & 815-825 Weber Street East (OPA/ZBA)

Hello Craig,

Environmental Planning has no concerns and/or comments regarding the proposed OPA/ZBA at 1770 King St E & 815-825 Weber St E.

Regards,

**Carrie Musselman** (she/her), BSc., Dip., MCIP, RPP  
Senior Environmental Planner | Planning | City of Kitchener  
519-741-2200 x 7068 | TTY 1-866-969-9994 | [carrie.musselman@kitchener.ca](mailto:carrie.musselman@kitchener.ca)

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**From:** Christine Kompter <Christine.Kompter@kitchener.ca>  
**Sent:** Tuesday, March 21, 2023 11:41 AM  
**To:** MTO - Jeremiah Johnston (Jeremiah.Johnston@ontario.ca) <jeremiah.johnston@ontario.ca>; \_DL\_#\_DSD\_Planning <DSD-PlanningDivision@kitchener.ca>; Bell - c/o WSP <circulations@wsp.com>; Carlos Reyes <Carlos.Reyes@kitchener.ca>; Darren Kropf <Darren.Kropf@kitchener.ca>; Dave Seller <Dave.Seller@kitchener.ca>; David Paetz <David.Paetz@kitchener.ca>; Ellen Straus <Ellen.Straus@kitchener.ca>; Enova Power Corp. - Greig Cameron <greig.cameron@enovapower.com>; Enova Power Corp. - Shaun Wang <shaun.wang@enovapower.com>; Feds <vpd@feds.ca>; GRCA - Planning (planning@grandriver.ca) <planning@grandriver.ca>; Greg Reitzel <Greg.Reitzel@kitchener.ca>; Hydro One - Dennis DeRango <landuseplanning@hydroone.com>; Jim Edmondson <Jim.Edmondson@kitchener.ca>; Justin Readman <Justin.Readman@kitchener.ca>; Katherine Hughes <Katherine.Hughes@kitchener.ca>; Mike Seiling <Mike.Seiling@kitchener.ca>; Ontario Power Generation <Executivevp.lawanddevelopment@opg.com>; Park Planning (SM) <Park.Planning@kitchener.ca>; Region - Planning <PlanningApplications@regionofwaterloo.ca>; Property Data Administrator (SM) <PropDataAdmin@kitchener.ca>; Robert Morgan <Robert.Morgan@kitchener.ca>; Steven Ryder <Steven.Ryder@kitchener.ca>; Sylvie Eastman <Sylvie.Eastman@kitchener.ca>; WCDSB - Planning <planning@wcdsb.ca>; WRDSB - Board Secretary (elaine\_burns@wrdsb.ca) <elaine\_burns@wrdsb.ca>; WRDSB - Planning <planning@wrdsb.ca>  
**Cc:** Craig Dumart <Craig.Dumart@kitchener.ca>  
**Subject:** Circulation for Comment - 1770 King Street East & 815-825 Weber Street East (OPA/ZBA)

Please see attached. Additional documentation can be found in AMANDA folders 23-104888 & 23-104890 (City staff) and [ShareFile](#) (external agencies). Comments or questions should be directed to **Craig Dumart**, Senior Planner ([craig.dumart@kitchener.ca](mailto:craig.dumart@kitchener.ca); 519=741-2200 x7073).

### Christine Kompter

Administrative Assistant | Planning Division | City of Kitchener  
200 King Street West, 6<sup>th</sup> Floor | P.O. Box 1118 | Kitchener ON N2G 4G7  
519-741-2200 ext. 7425 | TTY 1-866-969-9994 | [christine.kompter@kitchener.ca](mailto:christine.kompter@kitchener.ca)

