

Staff Report



Development Services Department

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REPORT TO: Heritage Kitchener

DATE OF MEETING: June 6, 2023

SUBMITTED BY: Deeksha Choudhry, Heritage Planner, 519-741-2200 ext. 7291

PREPARED BY: Garett Stevenson, Interim Director of Planning, 519-741-2200 ext. 7070

WARD(S) INVOLVED: Ward 10

DATE OF REPORT: May 9, 2023

REPORT NO.: DSD-2023-222

SUBJECT: HPA-2022-IV-008
97 Victoria Street North
Proposed Third-storey Addition and Existing Building Alterations

RECOMMENDATION:

That pursuant to Section 30 (2) and Section 33 of the *Ontario Heritage Act*, Heritage Permit Application HPA-2023-IV-008 be approved to permit building alterations, a third storey addition and a one-storey rear addition to the subject property municipally addressed as 97 Victoria Street North, subject to the following conditions:

1. That the final building permit be reviewed and heritage clearance provided by Heritage Planning Staff prior to the issuance of a building permit.
2. That the proposed window replacements for original front facade windows of the existing building be approved by Heritage Planning staff prior to installation.

REPORT HIGHLIGHTS:

- The purpose of this report is to present the proposed alterations a third storey addition, and a one-storey rear addition to 97 Victoria Street North.
- The key finding of this report is that the proposed work will not have an adverse negative impact on the cultural heritage value or interest of the property and is in keeping with provincial standards and guidelines.
- There are no financial implications associated with this report.
- Community engagement included posting this report and associated agenda in advance of the meeting and consultation with the Heritage Kitchener Committee.
- This report supports the delivery of core services.

EXECUTIVE SUMMARY:

Heritage Permit Application HPA-2023-IV-008 proposes alterations to the existing building at 97 Victoria Street North, as well as a third storey addition and a one-storey rear addition. The existing property is in the process of being designated under Part IV of the *Ontario Heritage Act (OHA)*. The alterations include window replacements of all the windows of the existing building in order to meet net-zero building requirements. Only the front façade windows have been identified as a heritage attribute for the building. The third storey will accommodate residential units and the one-storey addition will have a dining hall and outreach area. These modifications are necessary to adaptively re-use the building as affordable housing by The Working Centre. In reviewing the merits of this application, Heritage Planning staff note that the proposed alterations will not have an adverse negative impact on the heritage attributes of the building and that the additions will be compatible but distinguishable from the existing building.

BACKGROUND:

The Development Services Department is in receipt of Heritage Permit Application HPA-2023-IV-008 (Attachment A) seeking permission for the alterations and adding a third storey to the subject property municipally addressed as 97 Victoria Street North (Fig. 1). The subject property is currently listed as a non-designated property of cultural heritage interest or value and is in the process of being designated under Part IV of the OHA.

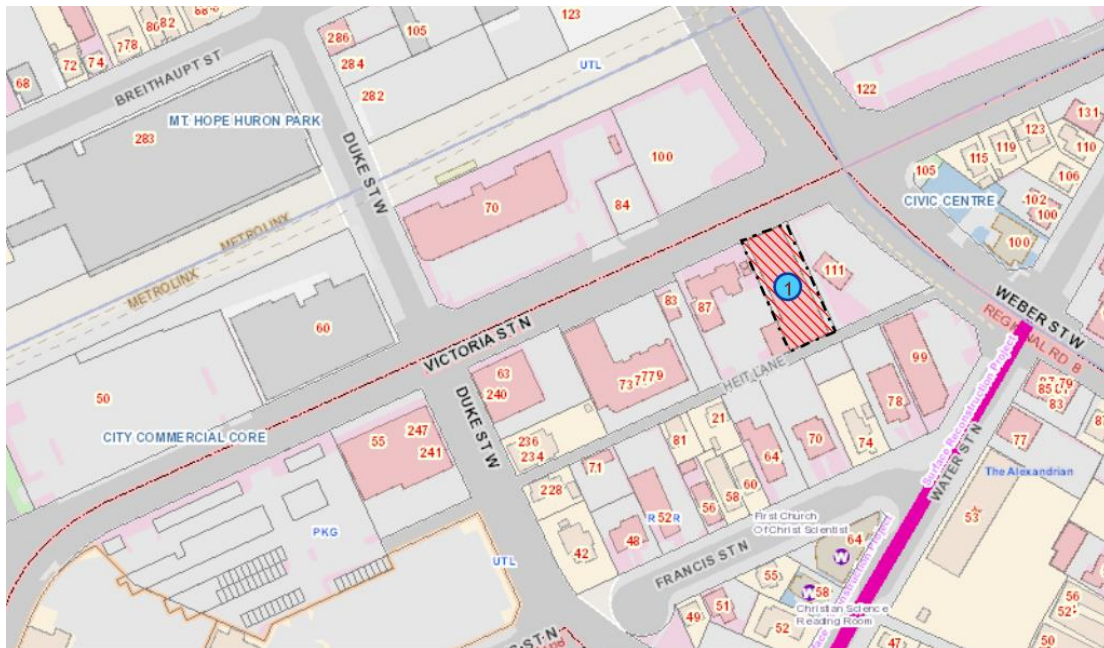


Figure 1: Location Map of 97 Victoria Street North.

The submission and approval of a Heritage Impact Assessment (HIA) was made a requirement of a proposed Site Plan, Severance of Land, and Minor Variance applications that were submitted to the City in 2022 for 83-97 Victoria Street North. Since 83 Victoria Street North has no heritage status, only 97 Victoria Street North was assessed in the HIA. The HIA dated December 2, 2022, prepared by LHC Heritage Planning and Archaeology was submitted to the City in support of these applications and was presented to the Heritage Kitchener Committee at its January 3, 2023 meeting. These applications related to the retention of the existing structures at 83 and 97 Victoria Street North, adding a third storey

to the to the existing structure at 97 Victoria Street North, and also a one-storey addition attached towards the rear of the existing building.

The proposed development includes 44 affordable rental housing units and relocating the St. John's Kitchen to a new one-storey dining hall and community clinic on-site for counselling and recreation. A severance application to divide the site for financing purposed was approved by the Committee of Adjustment on January 17, 2023. The development proposal has received conditional site plan approval, subject to several conditions, including final approval of the Heritage Impact Assessment by the Director of Planning, and that 97 Victoria Street North be designated under Part IV of the OHA.

Since the building will be designated under Part IV of the OHA, Section 30 (2) of the OHA gives municipalities interim control over alteration, demolition or removal. This heritage permit application and report accompanies the Notice of Intention to Designate 97 Victoria Street North under Part IV of the OHA, also on the Heritage Kitchener Agenda.

REPORT:

The subject property is located on the south side of Victoria Street North near the intersection of Victoria Street North. It was built c. 1927 in the Industrial Vernacular style of architecture (Fig.2 & 3). It is presently listed as a non-designated property of cultural heritage value or interest on the City's Municipal Heritage Register. It is also located within the Warehouse District Cultural Heritage Landscape (CHL). The subject property is also located adjacent to 70 Francis Street South, which is also listed as a non-designated property of cultural heritage value or interest on the City's Municipal Heritage Register. This building has been identified for its design/physical, historical/associative, and contextual values.



Figure 2: Front façade of 97 Victoria Street North.



Figure 3: Front and East façade of 97 Victoria Street North.

According to the draft HIA, the heritage attributes of this building include:

- All elements related the Industrial Vernacular architectural style of the building, including:
 - Two-storey height;
 - Symmetrical northwest (primary) façade;
 - Flat roof with shaped parapet on the northwest (primary) façade;
 - Shallow buttresses that define distinct bays along each of the building's elevations;
 - Brick construction comprising of red, yellow and beige brick;
 - Original window openings with soldier course brick headers and concrete sills;
 - Six-over-six windows on the northwest (primary) façade; and
 - Chimney set in stretcher bonded, yellow brick with concrete banding.
- All elements related to the contextual value, including:
 - Location of the building and contribution that it makes to the continuity and character of the Victoria Street streetscape and Warehouse District; and
 - The link to the surrounding Warehouse District.

Site Plan Application for the Proposed Development

As mentioned above, a Site Plan application was submitted for the proposed development in November 2022, along with an HIA in support of this application (Fig. 4). The site plan application received condition approval on February 9, 2023. As part of the final approval for the site, a number of heritage conditions have been included, with the designation of this property and obtaining a heritage permit for the proposed development being two of them.

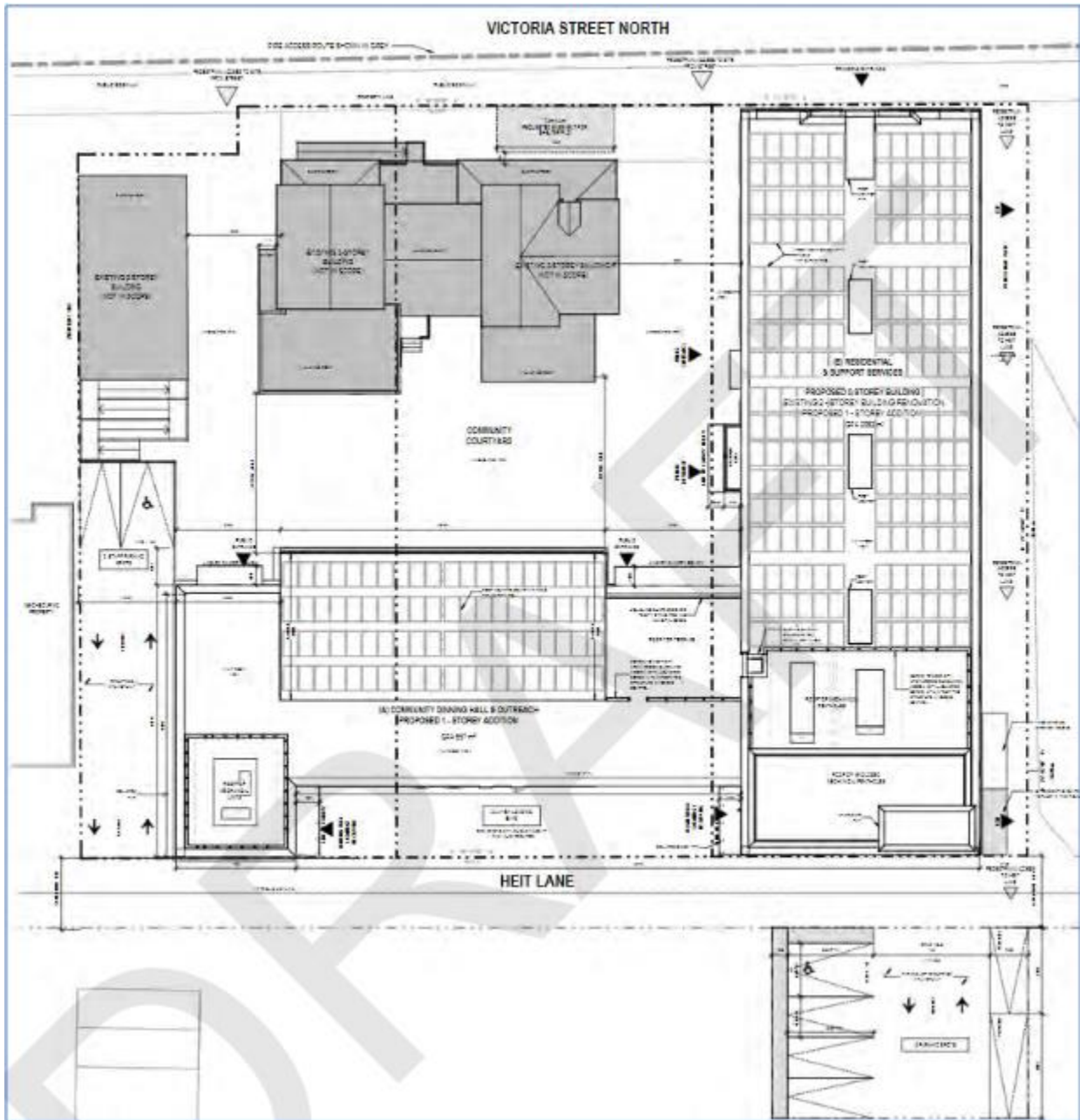


Figure 4: Proposed Site Plan for 83-97 Victoria Street North.

Draft Heritage Impact Assessment for 97 Victoria Street North

The draft HIA (Attachment B) that was submitted in support of this application makes the following conclusions and recommendations:

- That the building meets criteria for designation under Ontario Regulation 9/06 (amended by 569/22) for its design/physical, historical/associative, and contextual values.
- That the project team, in consultation with the City of Kitchener, review alternatives for replacement of the original windows on the front façade.
- That a Conservation Plan (CP) be prepared by a qualified heritage professional to minimize the potential for unintended impacts resulting from project consultation.

- The proposed development will not have an impact on either 70 Francis Street North or the Warehouse District CHL.

The HIA is still in its draft stage and has not yet been approved by the Director of Planning.

Proposed Window Alterations for the Building

Several alterations are proposed for the building, including replacing all the existing windows with new metal windows (Fig 5 & 6). Apart from the six-over-six windows on the front façade, none of the windows are original, and are also not listed as heritage attributes of the building. The windows are being replaced for two reasons:

1. In order to meet net-zero building standards.
2. To allow for maximum capacity per residential units. Also, an additional consideration was the ceiling height within the building. In order to update the building's systems to accommodate the proposed residential units, the ceiling must be dropped. After considering several window alternatives, it was ultimately decided to divide the extant windows into two bays.

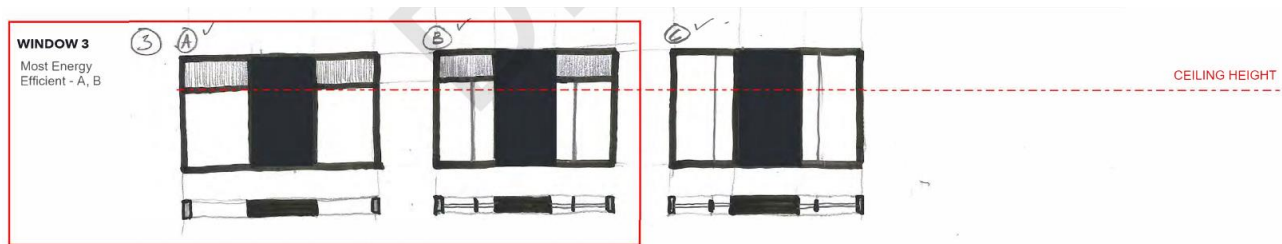


Figure 5: Architect drawing detailing window specifications with respect to building ceiling height.



Figure 6: Rendering showing the proposed window replacement.

However, it should be noted that although the configuration of the windows is changing, these windows will be inset into the existing window openings found along each elevation. The applicant is also proposing to replace the original front façade buildings and is still considering alternatives that would be an appropriate replacement for these windows in terms of style and material while still achieving net-zero requirements.

Proposed Third Storey Addition

A third storey addition is also being proposed for the existing building (Fig. 7). The proposed addition will be similar in size and height (3.8 m) to the existing two-storeys (height of the first storey is 3.7m and 4.1m of the second storey). This addition is proposed to be clad in metal panelling and will have a similar fenestration pattern as the two other storeys. In order to retain the existing building's parapet, the front elevation of the elevation is narrowly setback. According to the HIA, to create a visual buffer between the existing building and the new third storey, a narrow metal band circumnavigates the connection between the second and third storeys. Lastly, this addition will wrap around the existing chimney.



Figure 7: Rendering of the proposed third storey addition.

Proposed One-Storey Addition on the Southwest Corner

The current outreach wing located on the southwest corner of the building towards the rear of the property is proposed to be demolished. It will be replaced with a newer, larger southwest wing to be used as a dining hall and outreach area. This primary façade of this addition will include a curtain wall with metal panelling with exposed mass timber framing on the interior. The rear façade of this addition will be clad in masonry.



Figure 8: Rendering showing the proposed one-storey addition towards the rear of the building.

The proposed alterations and addition meets the “Eight Guiding Principles in the Conservation of Built Heritage Properties”, especially:

- Respect for original location – do not move buildings unless there is no other means to save them. Site is an integral component of a building or structure. Change in site diminishes cultural heritage value considerably.
- Respect for historical material – repair/conservate rather than replace building materials and finishes except where absolutely necessary. Minimal intervention maintains the heritage content of the built heritage resource.
- Respect for original fabric – repair to return the resource to its prior condition, without altering its integrity.
- Legibility – new work should be distinguished from old. Buildings should be recognized as products of their own time, and new additions should not blur the distinction between old and new.
- Maintenance – with continuous care, future restoration will not be necessary. With regular upkeep, major conservation projects and their high costs can be avoided.

The proposed alterations and addition meet Parks Canada’s *The Standards and Guidelines for the Conservation of Historical Places in Canada*, especially:

- Conserve the heritage value of an historic place. Do not remove, replace, or substantially alter its intact or repairable character defining elements. Do not move a part of a historic place if its current location is a character-defining elements.
- Conserve heritage value by adopting an approach calling for minimal intervention.
- Find a use for an historic place that requires minimal or no change to its character-defining elements.
- Make any intervention needed to preserve character-defining elements physically and visually compatible with the historic place identifiable on close inspection. Document any intervention for future reference.
- Create any new additions or related new construction so that the essential form and integrity of an historic place will not impaired if the new work is removed in the future.

Heritage Planning Comments

In reviewing the merits of this application, Heritage Planning staff note the following:

- The subject property municipally addressed as 97 Victoria Street North is currently listed as a non-designated property of cultural heritage value or interest. The building is in the process of being designated under Part IV of the OHA.
- The proposed development includes the replacement of all windows to meet net-zero building standards, as well as the addition of a third storey and a one-storey addition towards the rear of the building.
- These changes are necessary to adaptively re-use the building as an affordable housing project.
- The windows on the front façade have been identified as heritage attributes and are proposed to be replaced. Staff are currently working with the applicant to review alternatives so the final windows are appropriate replacements in design and style.
- The additions are distinguishable but compatible with the existing building.
- The proposed alteration and additions will not have an adverse negative impact on the character defining elements of the building.
- The proposed alteration and additions are generally consistent with Parks Canada's *The Standards and Guidelines for Historical Places in Canada*.
- The proposed alteration and additions will not adversely impact the reasons for designation of the property not the Victoria Street streetscape and the Warehouse District CHL.

In accordance with the Heritage Permit Application form, the approval of an application under the Ontario Heritage Act shall not be a waiver of any of the provisions of any by-law of the City of Kitchener or legislation, including but not limited to, the requirements of the Ontario Building Code and Zoning By-law. In this regard, staff confirm that a Building Permit will be needed for the proposed alterations and addition.

STRATEGIC PLAN ALIGNMENT:

This report supports the delivery of core services.

FINANCIAL IMPLICATIONS:

Capital Budget – The recommendation has no impact on the Capital Budget.

Operating Budget – The recommendation has no impact on the Operating Budget.

COMMUNITY ENGAGEMENT:

INFORM – This report has been posted to the City's website with the agenda in advance of the Heritage Kitchener Committee meeting.

CONSULT – Heritage Kitchener will be consulted regarding the subject Heritage Permit Application.

PREVIOUS REPORTS/AUTHORITIES:

- *Notice of Intention to Designate 97 Victoria Street North under Part IV of the Ontario Heritage Act – DSD-2023-223*
- *Draft Heritage Impact Assessment – 83-97 Victoria Street North – DSD-2023-049*
- *Ontario Heritage Act, 2022*

APPROVED BY: Justin Readman, General Manager, Development Services

ATTACHMENTS:

Attachment A – Heritage Permit Application HPA-2023-IV-008

Attachment B – Draft Heritage Impact Assessment – 97 Victoria St. N