# Raida Chowdhury

From: noreply@esolutionsgroup.ca
Sent: Friday, April 28, 2023 12:56 PM

**To:** Great Places (SM)

**Subject:** New Response Completed for Great Places Awards - 2023

**Attachments:** 2023-04-28-079.pdf

Hello,

Please note the following response to Great Places Awards - 2023 has been submitted at Friday April 28th 2023 12:50 PM with reference number 2023-04-28-079.

## Nomination type

Mike & Pat Wagner heritage award

# · Mike & Pat Wagner heritage award

Preservation / restoration of cultural heritage resources

# Has this project been nominated before?

No

### Name of project being nominated

87 Scott Street

# Project address/location

87 Scott Street, Kichener, ON

### Why are you nominating this project?

As many of the historic homes surrounding 87 Scott St were demolished, it is critical that this building is acknowledged and respected as a record of Kitchener's growth. There are many examples in this city of historic buildings that have been demolished due to neglect when they could have become great spaces. Conversely, there are structures that have been rehabilitated and are now cherished parts of the city's infrastructure. We feel this nomination speaks to the tremendous reward associated with protecting a historical resource that is a functional part of the City of Kitchener, and the responsibility we all have as stewards of the built environment.

### Main contact name

Carrie Curtis

### Address (main contact)

50 Westmount Road N., Suite 230, Waterloo ON, N2L 6N9

# • Phone number (main contact)

519-224-0202

### Email (main contact)

ccurtis@killamreit.com

# Name (nominator)

ABA Architects Inc.

### Street address (nominator)

101 Randall Drive

# City (nominator)

Waterloo

# Province (nominator)

ON

# Postal code (nominator)

N2V1C5

## Phone (nominator)

5198842711

# Email (nominator)

office@abarchitect.ca

### Nominator confirmation

By checking this box, I as nominator confirm I have notified the nominee /property owner and have received their permission to make this nomination.

### Enter answer below:

The two-storey home at 87 Scott St is an asset to the City of Kitchener in its encapsulation of an architecture that is rich with detail, robustness, and a sophistication lent for the simple purpose of domesticity. The property stands as a living resource for the people who inhabit the city; it is a unique example of Italianate architecture that was prevalent in Kitchener in the 1860s, up to the 1890s. The Italianate style, as it was imported from overseas in the 1800s, is defined by wide, overhanging eaves, paired eave brackets, and tall, segmentally arched windows. At the time of its inception, this style of architecture was applicable to multiple different sizes of homes so that it could be available to the domestic class, thus disseminating the merits of craftsmanship in a manner that was gracious and versatile. The property at 87 Scott St is particularly notable for its buff brick walls and rubble stone foundation, signature Italianate brackets and fascia, narrow double-pane windows, and hipped roof with overhanging eaves. It incorporates an original square shape and asymmetrical south elevation, although the front porch with pediment and 1 ½ storey addition at the rear were built after the original structure. Internally, it is divided into an upper and lower apartment that reflects the building's history as a boarding house from the 1930s.

Despite the need for conservation, this property fell into disrepair as it was badly weathered and poorly maintained. The overall condition of the façade became compromised as its various components were subject to rot and water damage. Using the Standards and Guidelines for the Conservation of Historic Places in Canada, ABA and their consulting team determined that the recommended methodology for the primary treatment of the building was rehabilitation. Rehabilitation ensures that a historic place such as 87 Scott St can still be compatible with contemporary uses while preserving heritage value. With these considerations, the work undertaken by ABA did not substantially alter the character-defining elements and heritage attributes of this building,

but rather recognized that this historic place is a record of an identity that is both part of its time and should be available far into the future. The justice we speak to as builders of the physical environment must testify to the idea that we are creating a landscape for the City that is imbued with forethought and permanence. The buildings we construct must be worthy of conservation in their significance as we perceive their lives through time. This is clearly demonstrated by the rehabilitation of 87 Scott St into a duplex; what was becoming a derelict, languishing monument was elevated to a modern standard through both the retention and replacement of original materials while maintaining the integrity of the home's character to the greatest degree possible. Much of the work undertaken by ABA on the exterior of the building was cosmetic to ensure that the craftsmanship of the 1800s was faithfully captured. Internally, the design utilizes the building's tall, Italianate windows to create bright, inviting spaces. Interior finishes are selected and installed to a level of detail redolent of the exterior, replacing the damaged elements that were not previously maintained. Regular maintenance is the best way to ensure that a cultural heritage resource is appropriately conserved over the long term, and so ABA respects that a long-term conservation plan, including annual inspections, is integral to the longevity of this incredible place.

As many of the historic homes surrounding 87 Scott St were demolished, it is critical that this building is acknowledged and respected as a record of Kitchener's growth. There are many examples in this city of historic buildings that have been demolished due to neglect when they could have become great spaces. Conversely, there are structures that have been rehabilitated and are now cherished parts of the city's infrastructure. ABA believes that this nomination speaks to the tremendous reward associated with protecting a historical resource that is a functional part of the City of Kitchener, and the responsibility we all have as stewards of the built environment.

### Firm name

- 1. ABA Architects Inc.
- 2. Collaborative Structures Limited (CSL)
- 3. DEI Consulting Engineers
- 4. MTE Consultants
- 5. MHBC

### Contact name

- 1. Andrew Bousfield
- 2. Colin Thomson
- 3. Ann Demaiter
- 4. Kurt Ruhland
- 5. Dave Aston

### Telephone

- 1. 519-884-2711
- 2. 519-658-2750
- 3. 519-725-3555 Ext. 233
- 4. 519-743-6500 x1236
- 5. 519-576-3650 X 709

### Email

- 1. abousfield@abarchitect.ca
- 2. cthomson@collaborativestructures.com
- 3. ademaiter@deiassociates.ca

- 4. kruhland@mte85.com
- 5. daston@mhbcplan.com

# Upload documents containing all project material

- 1. 2019-016 87 Scott St.pdf [3.3 MB]
- 2. 2019-016 87 Scott St Heritage Elevations.pdf [1.7 MB]
- 3. After -7.jpg [1.4 MB]
- 4. After -4.jpg [3.4 MB]
- 5. Before-1.jpg [3.4 MB]

# Upload any additional supporting documentation here (not required)

- 1. <u>Before-4.jpg [4.1 MB]</u>
- 2. <u>Before-9.jpg [455.6 KB]</u>
- 3. <u>Before-2.jpg [3.1 MB]</u>
- 4. After -1.jpg [1.8 MB]
- 5. After Int 7.jpg [66.3 KB]

[This is an automated email notification -- please do not respond]



# **87 SCOTT STREET**

87 SCOTT STREET, KITCHENER, ON. N2H 2R4

# HERITAGE REVITILIZATION

- 3.1 EXISTING WEST ELEVATION
- 3.2 EXISTING NORTH ELEVATION
- 3.3 EXISTING EAST ELEVATION
- 3.4 EXISTING SOUTH ELEVATION
- 3.5 PROPOSED WEST ELEVATION
- 3.6 PROPOSED NORTH ELEVATION
- 3.7 PROPOSED EAST ELEVATION
- 3.8 PROPOSED SOUTH ELEVATION



# T/O ROOF 127' - 6" ATTIC 120' - 0" LEVEL 2 110' - 2" LEVEL 1 100' - 0" AVG. GRADE 97' - 7" BASEMENT NOTE: ALL ELEMENTS TO BE REPAIRED OR REPLACED SHOULD REPLICATE STYLE OF OTHER ORIGINAL HERITAGE ELEMENTS IN THE ITALIANATE STYLE.

# **ELEVATION NOTES**

- ROOF GUTTERS TO BE ENTIRELY REPLACED (ALL LOCATIONS)
- 2 REPLACE DAMAGED OR DISCONNECTED DOWNSPOUTS
- REPAIR/REPLACE ROTTED OR DAMAGED FASCIA, FRIEZE AND SOFFIT DETAILS
- (4) REPAIR/REPLACE CRACKED BRICK, STONE OR CONCRETE
- Tepair/replace rotted or damaged and door window frames (all instances)
- REPAIR/REPLACE DAMAGED WOOD OR PLYWOOD COLUMNS
- REPAIR/REPLACE DAMAGED OR NON-COMPLIANT WOODEN HANDRAILS
- 8 REPLACE DAMAGED BASEMENT WALKOUT DOOR WITH SECURE ALTERNATIVE
- (9) REPLACE PORCH DECKING AND STAIRS
- REPAIR AND PAINT FRONT PEDIMENT DETAILING AND DECORATIVE MOTIF
- REPAIR AND REPLACE PORCH STRUCTURE. CLAD WITH PAINTED VERTICAL SKIRTING
- (12) REPAIR AND PAINT ALL SAW TOOTH FASCIA DETAILING
- (13) REPAIR AND PAINT ALL CORBEL DETAILING
- POTENTIAL REINSTATEMENT OF WINDOW OPENINGS PENDING STRUCTURAL REVIEW AND APPROVAL OF REQUIRED FACADE MODIFICATIONS



- REPAIR/REPLACE DAMAGED WOOD OR PLYWOOD
- REPAIR/REPLACE DAMAGED OR NON-COMPLIANT WOODEN HANDRAILS

LOCATIONS)

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REPAIR/REPLACE CRACKED BRICK, STONE OR CONCRETE

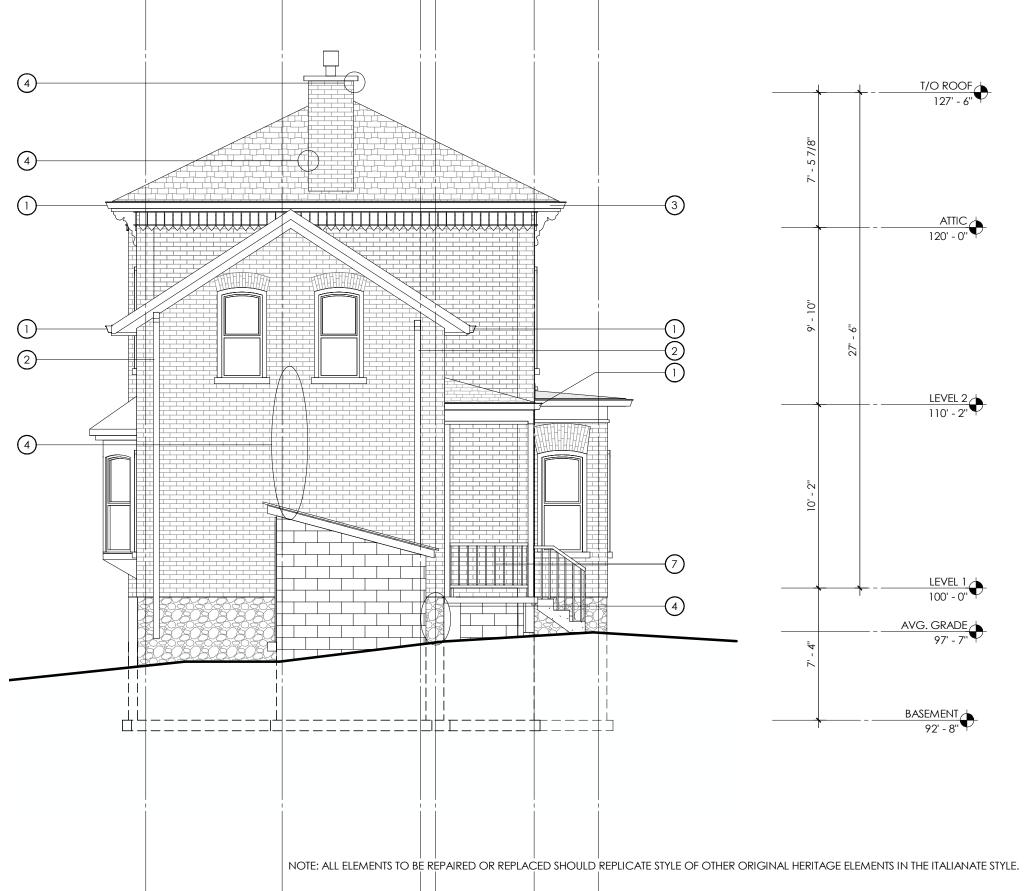
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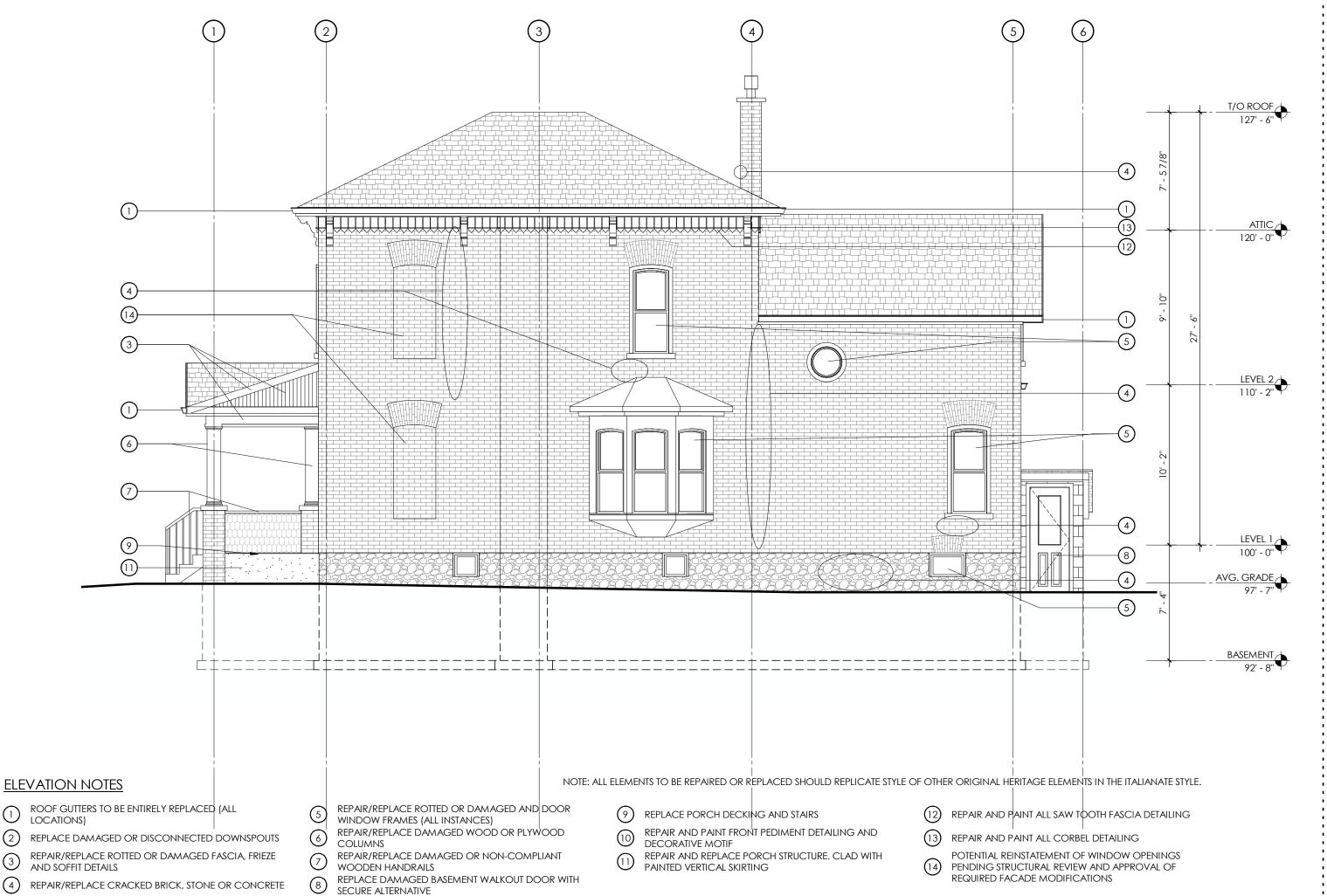


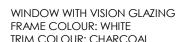
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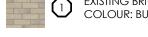
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ACCENT COLOUR 2: NAVY/GREY BLUE

ACCENT COLOUR 3:

**ENTRY DOOR** DOOR COLOUR: BLACK TRIM COLOUR: CHARCOAL



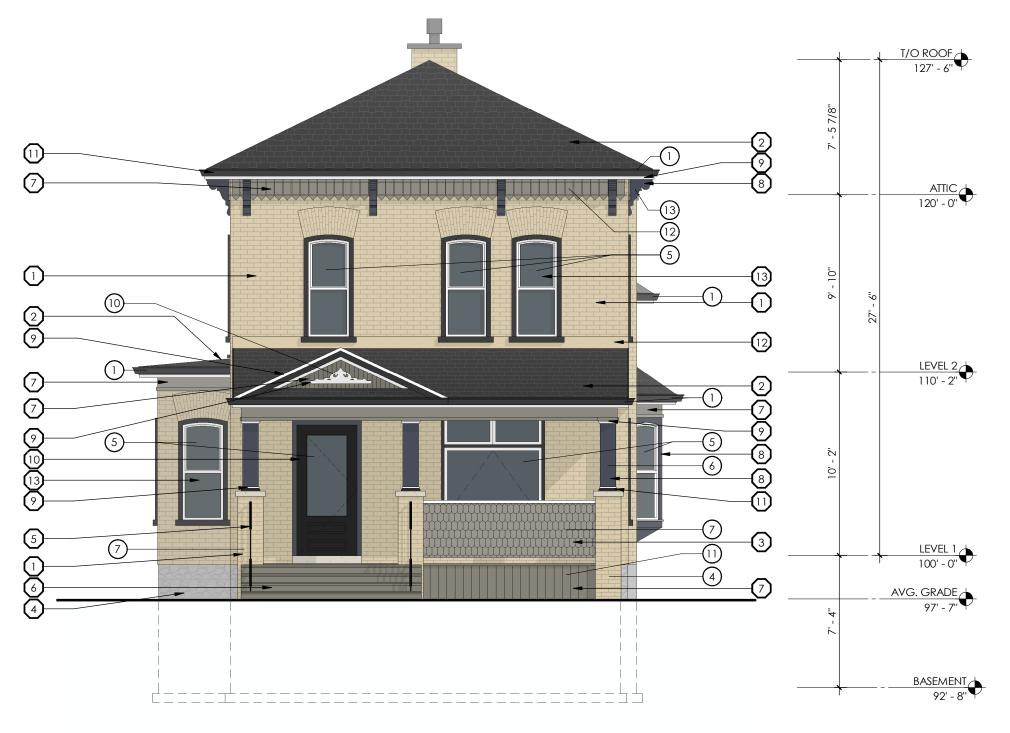
GUTTERS/DOWNSPOUTS/FLASHING COLOUR: CHARCOAL



METAL FLASHING COLOUR: BUFF



TRIM COLOUR: CHARCOAL



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PROJECT NO. 2019-016

87 SCOTT STREET

# MATERIAL LEGEND

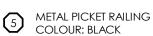
















VERTICAL SKIRTING COLOUR: MEDIUM GREY



ACCENT COLOUR 1: MEDIUM GREY



ACCENT COLOUR 2: NAVY/GREY BLUE

ACCENT COLOUR 3:



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GUTTERS/DOWNSPOUTS/FLASHING COLOUR: CHARCOAL



METAL FLASHING COLOUR: BUFF



WINDOW WITH VISION GLAZING FRAME COLOUR: WHITE TRIM COLOUR: CHARCOAL



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EXISTING BRICK COLOUR: BUFF









METAL PICKET RAILING COLOUR: BLACK





VERTICAL SKIRTING COLOUR: MEDIUM GREY





ACCENT COLOUR 1: MEDIUM GREY



ACCENT COLOUR 3: WHITE



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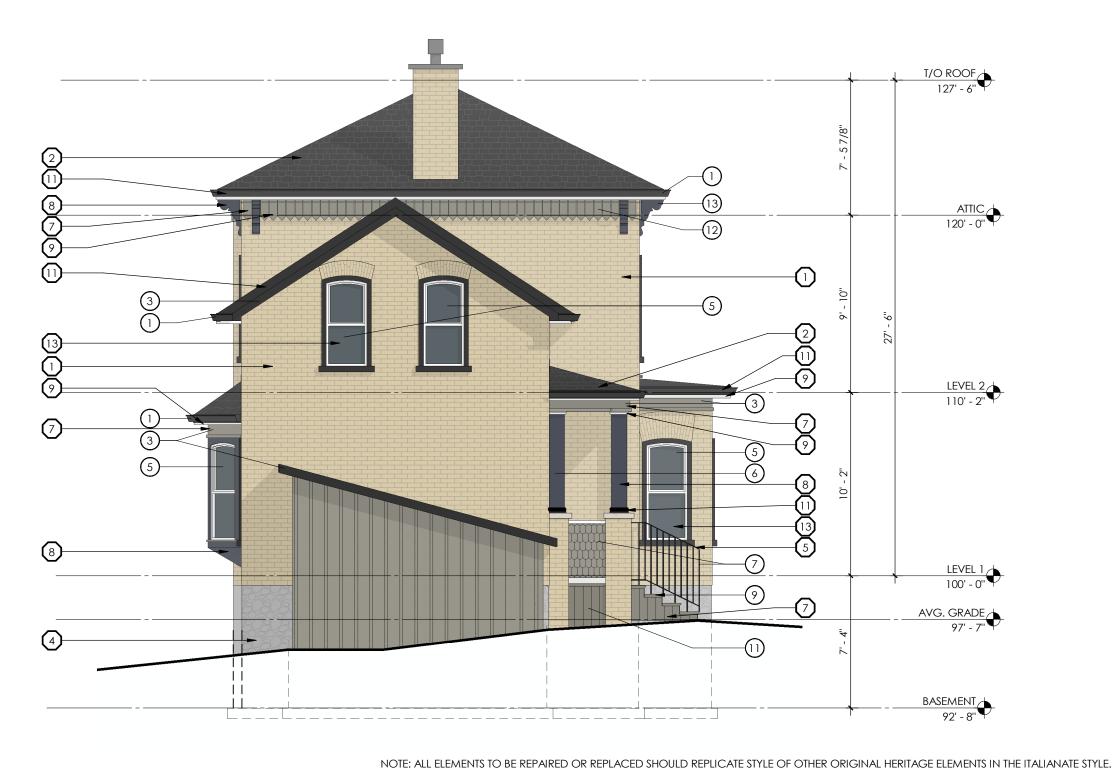
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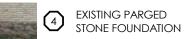
87 SCOTT STREET

**EXISTING BRICK** COLOUR: BUFF

















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PROPOSED SOUTH ELEVATION

# 87 SCOTT STREET, KITCHENER, ON. N2H 2R4











STRUCTURAL

MECHANICAL/ELECTRICAL

# LIST OF DRAWINGS

# ARCHITECTURAL

A0.1 GENERAL PROJECT INFORMATION
A0.2 OBC PLANS, ELEVATIONS & MATRIX
A1.1 DEMOLITION PLANS

A2.1 FLOOR PLANS

A3.1 REFLECTED CEILING PLANS
A5.1 NORTH & SOUTH ELEVATIONS
A5.2 EAST & WEST ELEVATIONS
A6.1 BUILDING SECTIONS

A7.1 PORCH DETAILS
A7.2 PLAN & SECTION DETAILS
A10.1 ASSEMBLIES & SCHEDULES

# STRUCTURAL

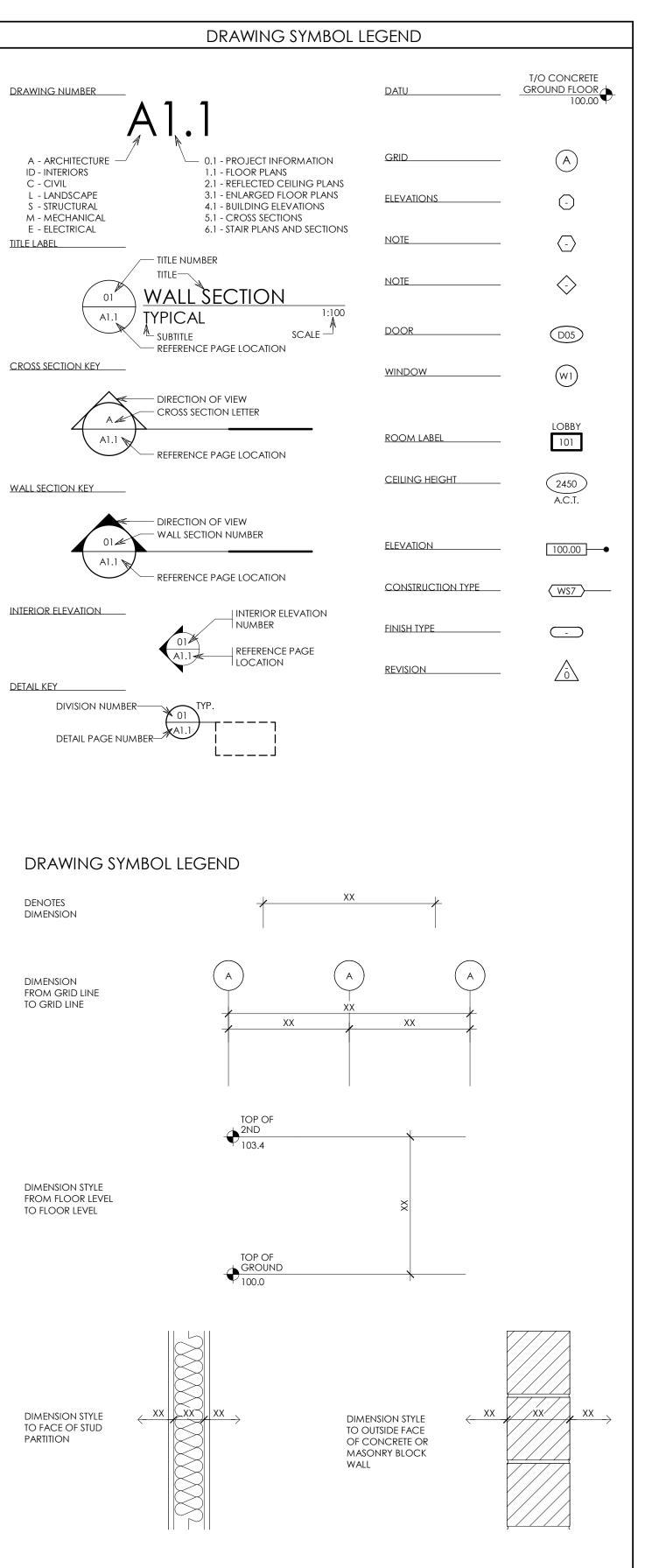
\$1.0 CONSTRUCTION NOTES \$2.0 FRAMING PLANS \$2.1 SECTIONS

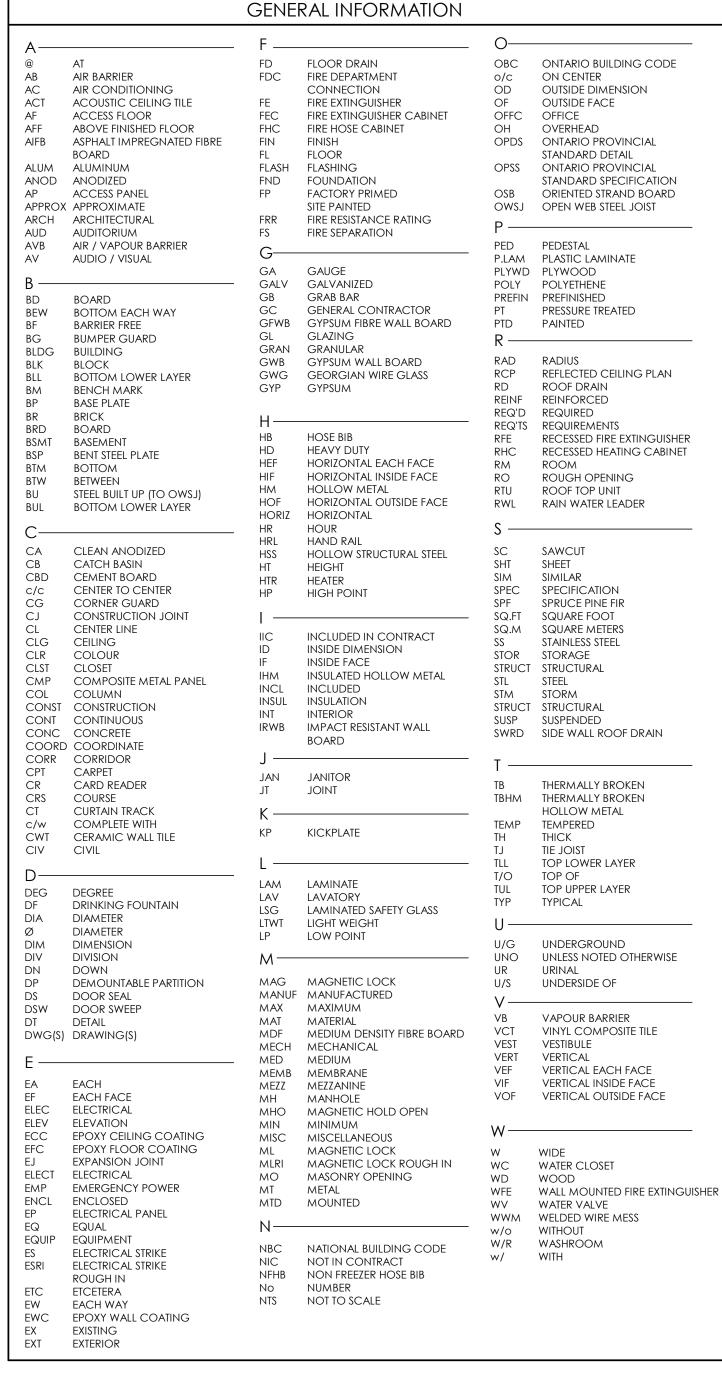
# MECHANICAL

M101 MECHANICAL LEGEND & SCHEDULES
M201 FLOOR PLANS - DEMOLITION
M301 FLOOR PLANS - DRAINAGE
M302 FLOOR PLANS - PLUMBING
M401 FLOOR PLANS - VENTILATION
M501 DETAILS
M502 MECHANICAL SPECIFICATIONS

# ELECTRICAL

E101 LEGEND & SCHEDULES
E201 FLOOR PLANS - DEMOLITION
E301 FLOOR PLANS - RENOVATION
E401 ELECTRICAL SPECIFICATIONS





# GENERAL INFORMATION

- DO NOTE SCALE DRAWINGS.
- . THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS ON SITE AND SHALL REPORT ALL DISCREPANCIES TO THE CONSULTANT BEFORE PROCEEDING WITH THE WORK.
- 3. DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE CIVIL, LANDSCAPE, STRUCTURAL, MECHANICAL, ELECTRICAL DRAWINGS, AND GEOTECHNICAL REPORT.
- 4. ALL MATERIAL AND WORKMANSHIP SHALL COMPLY WITH ALL APPLICABLE CANADIAN CONSTRUCTION STANDARDS AND THE ONTARIO BUILDING CODE (2012).
- 5. WORK SHALL BE PERFORMED IN A MANNER THAT WILL MINIMIZE THE INTERRUPTION OF ACCESS IN ALL AREAS AFFECTED BY CONSTRUCTION, EMERGENCY EXITING SHALL BE MAINTAINED AT ALL TIMES.
- 6. ALL CUTTING AND PATCHING OF EXISTING FINISHES WILL BE DONE TO THE HIGHEST STANDARD.
- 7. ALL MATERIAL USED FOR NEW CONSTRUCTION SHALL BE NEW AND FREE OF DEFECTS. CONTRACTOR WILL BE RESPONSIBLE TO PATCH, REPAIR AND MAKE GOOD ALL AREAS AFFECTED BY THE WORK INCLUDING MECHANICAL AND ELECTRICAL PATCH AND REPAIRS.
- 8. SUPPLY AND MAINTAIN ON A DAILY BASIS ALL INTERIOR AND EXTERIOR TEMPORARY COVERINGS, FENCING, TARPING, HOARDING, FLOOR PLATES, SIGNAGE AND OTHER SEPARATIONS REQUIRED TO MAINTAIN THE SAFETY OF THE PUBLIC AND PROVIDE ACCESS TO STORES AND SHOPS DURING WORK OF THIS CONTRACT. COORDINATE THESE PROTECTIVE MEASURES WITH OWNER AND INDIVIDUAL STORE AND SHOP OWNERS. REMOVE AND/OR DISPOSE OF ALL FROM SITE AFTER COMPLETION OF WORK OF THIS CONTRACT.
- 9. MAINTAIN A CLEAN AND ORDERLY SITE AT ALL TIMES.

TO MATCH ADJACENT SURFACE.

- 10. COORDINATE WITH OWNER STAGING AREAS FOR SITE TRAILER AND MATERIALS STORAGE.
- 11. COORDINATE WITH OWNER AREA(S) FOR GARBAGE BIN LOCATION. SUPPLY AND INSTALL PROTECTIVE MEASURES TO ENSURE THE GENERAL PUBLICS SAFETY.
- 12. COORDINATE WITH OWNER ANY STAGING OF WORK AND/OR THE DISRUPTION OF PARKING AND TRAFFIC FLOW.13. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND HIS SUBCONTRACTORS TO VISIT THIS SITE AND FAMILIARIZE
- THEMSELVES WITH ALL ASPECTS OF THIS PROJECT.

  14. ALL NEW SIGNAGE TO BE COORDINATED WITH OWNER'S REQUIREMENTS. ALL PERMITS AND DRAWINGS BY OTHERS.
- 15. GENERAL CONTRACTOR TO ENSURE ALL FLOOR AREAS ARE FREE OF HAZARDS AFTER DEMOLITION AND DURING CONSTRUCTION.
- 16. GENERAL CONTRACTOR IS PESPONSIBLE TO ENSURE THAT ALL CONSTRUCTION CONFORMS TO THE PEOPLE OF
- 17. GENERAL CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL CONSTRUCTION CONFORMS TO THE REQUIREMENTS OF THE CURRENT APPLICABLE BUILDING CODE AND GOVERNING REGULATIONS.
- 18. PARTITIONS WHICH SUPPORT FIXTURES, MILLWORK AND/OR ACCESSORIES ARE TO BE REINFORCED WITH WOOD STUDS, BLOCKING AND PLYWOOD AS REQUIRED TO PROVIDE RIGID SUPPORT AND A FASTENING SURFACE.
- 19. SITE VERIFY ALL DIMENSIONS PRIOR TO FABRICATION OF DOORS, WINDOWS AND MILLWORK.

  20. ALL WALLS, CEILINGS AND SURFACES THAT ARE TO BE PAINTED SHALL BE REPAIRED, PATCHED AND SANDED SMOOTH, AS
- REQUIRED, READY FOR PAINT.

  21. PORTABLE FIRE EXTINGUISHERS TO BE INSTALLED IN CONFORMANCE WITH THE OFC 6.2 AND MUST HAVE A
- MINIMUM RATING OF 2A10BC AS PER MUNICIPAL BYLAW.

  22. SUPPLY AND INSTALL SEALANT AT LOCATIONS OF ABUTTING DISSIMILAR MATERIALS AND EQUIPMENT, VISIBLE OR OTHERWISE, TO PROTECT BUILDING COMPONENTS FROM AIR INFILTRATION AND MOISTURE PROTECTION. COLOUR
- 23. INTERIOR DIMENSIONS ARE TO/FROM FACE OF WOOD STUD, TO/FROM FACE OF CONCRETE WALL.
- 24. THE DRAWINGS INDICATE THE PHYSICAL DIMENSIONS, EXISTING LEVELS AND SIMILAR ITEMS BEING INDICATED WHERE KNOWN. ALL INFORMATION RELATIVE TO EXISTING CONDITIONS IS OFFERED TO ASSIST THE CONTRACTOR IN EVALUATION OF THE WORK, BUT WITH NO SPECIFIC REPRESENTATION EITHER EXPRESSED OR IMPLIED, AS TO COMPLETENESS OR ACCURACY. BE RESPONSIBLE FOR ANY DEDUCTIONS OR CONCLUSIONS MADE ON THE BASIS OF THIS INFORMATION AND THAT OF ANY ADDITIONAL SITE INSPECTIONS IF MADE.
- 25. ALL AREAS DESIGNATED AS MECHANICAL SPACE TO RECEIVE FIRE STOPPING AND DAMPERS AT ALL FLOOR
- 26. THE CONTRACTOR SHALL ENSURE THAT ALL PORTIONS OF EXPOSED FOUNDATIONS WALLS ARE TO BE CAREFULLY FORMED AND POURED AND THAT ALL SURFACE IMPERFECTIONS, SCUFFS, CHIPS, ABRASIONS, INCLUDING FORM TIES ARE REMOVED AND THE SURFACE IS MADE GOOD.
- 27. REPLACE 13mm GYPSUM BOARD WITH 16mm GYPSUM IN NECESSARY LOCATIONS TO KEEP GYPSUM BOARD THICKNESS CONSISTENT.
- 28. ALL GYPSUM BOARD IN ALL WASHROOMS, KITCHENS, AND MECHANICAL/ELECTRICAL ROOMS IS TO BE MOISTURE RESISTANT GYPSUM BOARD AS SPECIFIED.
- 29. ALL GYPSUM BOARD IN SHOWER AREAS IS TO BE MOISTURE RESISTANT TILE BACKER GYPSUM BOARD.

	HATCHING LEGEND	
BRICK	SPRAY FOAM INSULATION	RIGID INSULATION
EXISTING	GYPSUM WALL BOARD	SHEATHING/ FIBREBOARD
SOILS UNDISTURBED SOILS	PLYWOOD	WOOD BLOCKING
BATT INSULATION	CONCRETE	CONCRETE BLOCK
ROOFING	PRECAST CONCRETE PANEL	RESERVED
FINISH WOOD	STEEL	GRANULAR
SPRAY APPLIED FIRE PROOFING	FIRESTOPPING	

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THE CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE AND REPORT ANY DISCREPANCIES TO THE ARCHITECT, BEFORE PROCEEDING WITH THE WORK.

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NO.	KEVISIONS	DAIE

ISSUED FOR TENDER	YYYY.MM.D
ISSUED FOR RFP	2019.10.30
UILDING PERMIT APPLICATION	2019.09.20
CHRONOLOGY	DATE



a b a architects inc.

101 Randall Drive, Unit B, Waterloo ON. TEL 519 884 2711 www.abarchitect.ca

CLIENT



PROJECT NAME

87 SCOTT STREET

87 SCOTT STREET, KITCHENER, ON. N2H 2R4

RAWING TITLE

GENERAL PROJECT

DRA'
EET SIZE
24X36

2019-016

A0.1



FIRE RATING LEGEND

3/4 HOUR FIRE RATING
-AS PER OBC ARTICLE 9.10.9.14.(4)

**OBC MATRIX** Ontario Building Code Data Matrix □ New □ Addition □ Part 3 ■ Part 9 □ Part 11 Project Description: ------☐ Change of Use ■ Alteration 2.1.1. 2.1.1. Location: 87 Scott St., Kitchener ON N2H 2R4 9.10.3. Major Occupancy(s): Group C 3.1.2.1.(1) 9.10.2. Building Area (m²): Existing: 96.0 New: -Gross Floor Area (m²): Existing: 182.1 New: -Number of Storeys: Above Grade: 2 Below Grade: 1 Height of Building (m): 9.12m Number of Streets / Access Routes: 1 3.2.2.10.&3.2.5.5. 9.10.20. Building Classification: Group C - Part 9 3.2.2.20-83 9.10.2. Sprinkler System Proposed: 3.2.2.20-83 9.10.8.2. □ Basement Only 3.2.1.5. ☐ In Lieu of Roof Rating 3.2.2.17. Not Required 3.2.4. 9.10.18. Fire Alarm Required: 3.2.5.7. Water Service / Supply is Adequate High Building: ☐ Combustible ☐ Non-Combustible ■ Both 3.2.2.20-83 ☐ Combustible ☐ Non-Combustible ■ Both 3.1.17.1. 9.9.1.3. Occupant Load: N/A  $\square$   $m^2/$  person  $\blacksquare$  Design of Building Load: 2 Persons per Bedroom Load: -----Group -- Occupancy: ----Load: Total = 8 Persons Barrier-free Design: 3.3.1.2.(1) & 9.10.1.3.(4) 3.3.1.19.(1) Hazardous Substances: Horizontal Assemblies FRR (Hours) Listed Design No. or Description (SB-2) Required 3.2.2.20-83 & Fire 3.2.1.4. 9.10.9. Floor 3/4 HR. 9.10.9.4.(2) Resistance Rating Supporting Members FRR (Hours) Listed Design No. or Description (SB-2) Floor 3/4 HR. Roof N/A Mezz. N/A Spatial Separation - Construction of Exterior Walls: (Note 1) | COMPAR- | Area of EBF | L.D. (m) | L/H Ratio | Permitted | Proposed | FRR | Listed Design | Combustible | Construction | Non-Combustible | Non-Co The existing building and existing openings are to remain 'as is'. Spatial Separation calculations noted in this chart cover the rebuilding of the new stairwell enclosure from the first level to the basement.

FLOOR AREAS		NUME	BER OF SU	ITES	
	m²	ft²		NO. OF UNITS	NO. OF BEDROOMS
BASEMENT FLOOR	80.3	864.3	BASEMENT FLOOR	-	-
FIRST FLOOR	96.0	1,033.3	FIRST FLOOR	1	2
SECOND FLOOR	86.1	926.8	SECOND FLOOR	1	2
TOTAL AREA (ABOVE GRADE)	182.1	1,960.1		_	
TOTAL AREA	262.4	2,824.4	TOTAL	2	4

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No.	REVISIONS	DATE
	l	

YYYY.MM.DD
2019.10.30
2019.09.20
DATE





PROJECT NAM

87 SCOTT STREET
87 SCOTT STREET, KITCHENER, ON. N2H 2R4

DRAWING TITL

OBC PLANS, ELEVATIONS & MATRIX

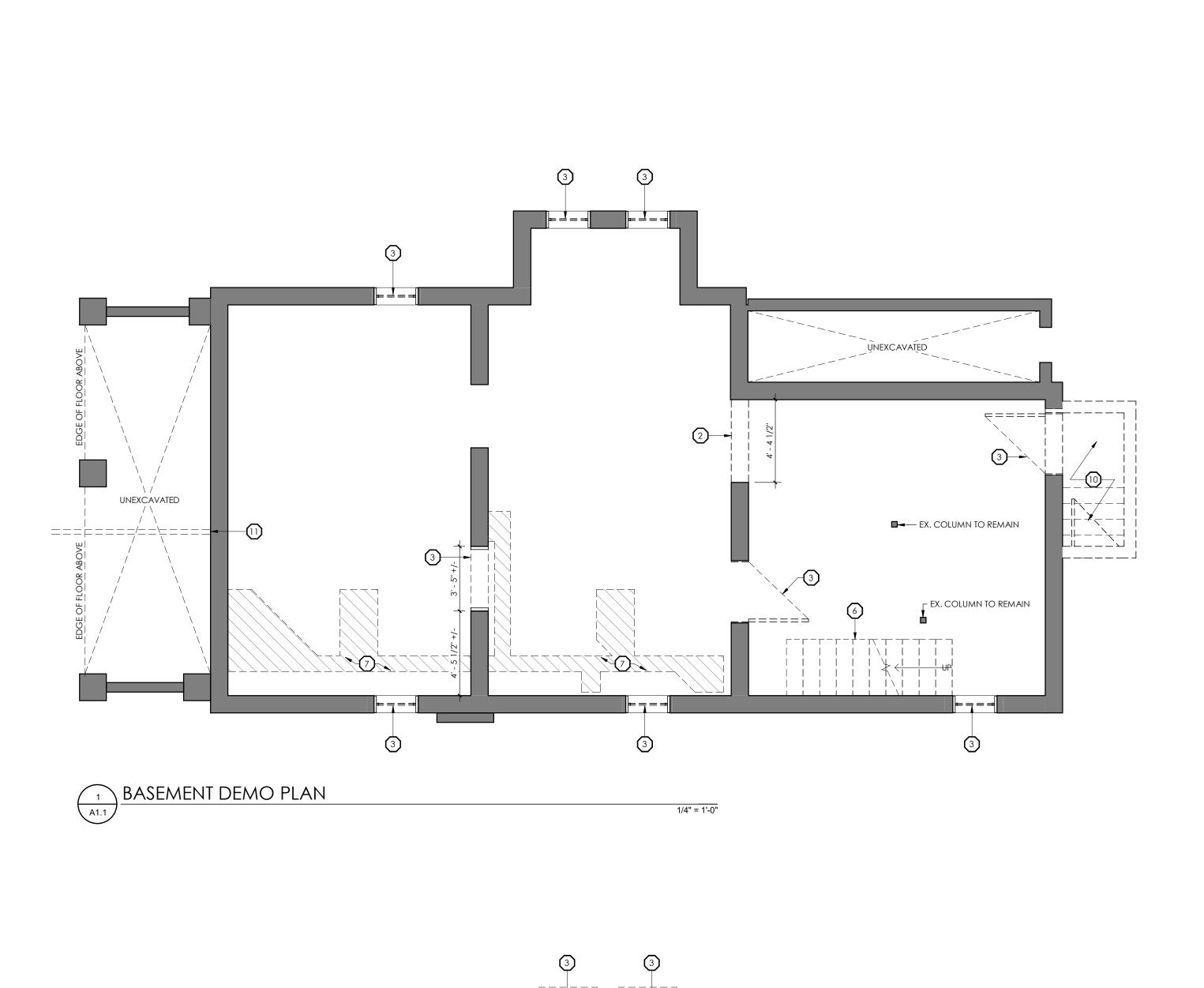
As indicated

SIZE

24X36

2019-016

A0.2



1/4" = 1'-0"

# DEMOLITION KEY NOTES

- DEMOLISH EXISTING WALLS INDICATED IN THEIR ENTIRETY. MAKE GOOD AFFECTED WALL, FLOOR & CEILING SURFACES TO REMAIN AND PREPARE FOR NEW FINISHES. COORDINATE W/ STRUCTURAL ENGINEER TEMPORARY SUPPORTS WHEN DEMOLISHING LOAD BEARING WALLS.
- DEMOLISH PORTION OF EXISTING WALLS INDICATED. MAKE GOOD AFFECTED WALL, FLOOR, & CEILING SURFACES TO REMAIN AND PREPARE FOR NEW FINISHES.
- DISMANTLE/DEMOLISH EXISTING DOORS, WALL OPENINGS, FRAMES, WINDOWS AND ALL ASSOCIATED HARDWARE. DISPOSE FROM SITE. MAKE GOOD AFFECTED WALL, FLOOR & CEILING SURFACES TO REMAIN AND PREPARE FOR NEW FINISHES.
- DISMANTLE/DEMOLISH EXISTING PLUMBING FIXTURES & EQUIPMENT. DISPOSE FROM SITE. DECOMMISSION EXISTING SERVICES IN A SAFE MANNER.
- DISMANTLE/DEMOLISH EXISTING MILLWORK, DISPOSE FROM SITE, MAKE GOOD AFFECTED WALL, FLOOR & CEILING SURFACES TO REMAIN AND PREPARE FOR NEW FINISHES.
- DISMANTLE/DEMOLISH EXISTING STAIR IN ITS ENTIRETY. FILL OPENING IN FLOOR & MAKE GOOD AFFECTED WALL & FLOOR SURFACES TO REMAIN AND PREPARE FOR NEW FINISHES. REFER TO STRUCT. DWGS.
- SAWCUT & REMOVE EXISTING SLAB ON GRADE TO ACCOMMODATE FOR MECHANICAL CONNECTIONS. PATCH/MAKE GOOD FLOOR SLAB AND PREP. FOR FLOOR FINISH. REFER TO MECH. DWGS. (SHOWN HATCHED).
- REMOVE BRICKED-IN AREA TO REINSTATE ORIGINAL WINDOW OPENING. REMOVE WALL BEHIND BRICK AND PLACE NEW WINDOW IN OPENING. SALVAGE BRICKS FOR REUSE ON EXTERIOR REPAIRS TO FRONT PORCH. MAKE GOOD AFFECTED WALL SURFACES TO REMAIN AND PREPARE FOR NEW FINISH.
- PEMOVE ALL LATHE & PLASTER ON EXISTING WALLS & CEILINGS. PREP. SURFACES FOR NEW FINISHES/CONSTRUCTION. MAKE GOOD ANY REMAINING WALL & CEILING SURFACES.
- DEMOLISH EXISTING BASEMENT ENTRY STAIR, INCLUDING EXISTING WALLS, CONC. STEPS, CONC. SLAB ON GRADE, CEILINGS, ROOFS, DOORS & DOOR FRAMES & ACCESSORIES ETC. AS NEEDED. MAKE GOOD WALL & FLOOR SURFACES TO REMAIN, & PREP. FOR CONSTRUCTION OF NEW ENTRY STAIR.
- CLEANLY CUT/CORE OPENING IN EXISTING WALLS TO ACCOMMODATE FOR INSTALLATION OF NEW WATER SERVICE LINE. PATCH/MAKE GOOD EXISTING WALLS TO REMAIN. REFER TO MECH. DWGS.
- DISMANTLE/DEMOLISH EXISTING WOOD POSTS. COORDINATE W/ STRUCT. ENG. PROVISION OF TEMPORARY SUPPORTS. PREP. FOR THE INSTALLATION OF NEW POSTS. REFER TO STRUCT. DWGS.
- REMOVE EXISTING WOOD HANDRAIL IN ITS ENTIRETY. PATCH/MAKE GOOD REMAINING WALL & FLOOR SURFACES & PREP. FOR NEW CONSTRUCTION.
- REPAIR/REPLACE & REPAINT EXISTING WOOD FLOOR DECKING AS NEEDED.
- EXISTING COLUMNS TO BE REPAIRED & REPAINTED AS NEEDED.
- REPLACE ALL EXISTING ROOF SHINGLES. REPAIR/REPLACE DAMAGED UNDERLAYMENT & SHEATHING AS NEEDED.
- REPLACE ALL EXISTING EAVESTROUGH. SUPPLY & INSTALL NEW PREFIN. ALUM. EAVES. PATCH/MAKE GOOD ANY AFFECTED AREAS.
- (18) EXISTING ENTRY DOOR TO BE REPAIRED & REPAINTED.
- REMOVE/DEMOLISH EXISTING PORCH STAIR IN IT'S ENTIRETY. MAKE GOOD AFFECTED SURFACES TO REMAIN.

# **DEMOLITION NOTES**

- DISPOSE OF REMOVED ITEMS IN A LAWFUL MANNER IN ACCORDANCE WITH THE RULES
   AND REGULATIONS OF THE MUNICIPALITY HAVING JURISDICTION.
- 2. ALL EXISTING WALLS AND ITEMS TO BE REMOVED ARE SHOWN DASHED.
- 3. ALL EXISTING WALLS TO REMAIN SHOWN SHADED.
- 4. OWNER TO HAVE THE RIGHT TO FIRST REFUSAL OF ALL ITEMS REMOVED. ALL REMOVED ITEMS SHALL BE DISPOSED OF AS PER NOTE No. 1.
- 5. COORDINATE WITH STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS ALL RELATED COMPONENTS OF DEMOLITION, MODIFICATION AND NEW INSTALLATION.
- SAWCUT AND REMOVE THE EXISTING SLAB ON GRADE TO FACILITATE ANY BURIED MECHANICAL AND/OR ELECTRICAL ITEMS. PATCH AND MAKE GOOD SLAB ON GRADE AFTER NEW SERVICES ARE IN PLACE. COORDINATE WITH MECHANICAL AND ELECTRICAL
- DRAWINGS.

  7. REMOVE, RELOCATE AND/OR RE-ROUTE ALL MECHANICAL AND ELECTRICAL SERVICES AND CONNECTIONS AS REQUIRED TO ACCOMMODATE DEMOLITION OR AS NECESSARY
- AS A RESULT OF DEMOLITION. REFER TO MECH. DWGS.

  8. SUPPLY AND INSTALL ALL NECESSARY SHORING AND/OR BRACING AS REQUIRED FOR
- TEMPORARY SUPPORT OF EXISTING STRUCTURE. COORDINATE WITH A STRUCTURAL ENGINEER AS REQUIRED.

  9. ENSURE ALL FLOOR AREAS ARE FREE OF HAZARDS AFTER DEMOLITION IS COMPLETE.
- SURFACE READY TO RECEIVE FLOOR FINISH.

LEVEL, PATCH, FILL AND GRIND FLOOR AS REQUIRED TO ACHIEVE A SMOOTH SANITARY

10. CARE SHALL BE TAKEN TO MINIMIZE DAMAGE TO EXISTING ABUTTING WALLS, SURFACES AND FINISHES TO REMAIN.

PROTECT SALVAGED AND/OR ITEMS TO REMAIN FROM DAMAGE. PROVIDE ADEQUATE

COVERINGS AND/OR STORAGE AS REQUIRED.

12. MAINTAIN A CLEAN, SAFE AND ORDERLY SITE AT ALL TIMES.

- 3. COORDINATE WITH OWNER AREA(S) FOR WASTE BIN LOCATION. SUPPLY AND MAINTAIN PROTECTIVE MEASURES TO ENSURE PUBLIC SAFETY.
- 4. SHOULD MATERIAL RESEMBLING SPRAY OR TROWEL APPLIED ASBESTOS OR OTHER TOXIC OR HAZARDOUS MATERIALS BE ENCOUNTERED IN THE COURSE OF DEMOLITION, STOP WORK, TAKE PREVENTATIVE MEASURES AND NOTIFY ARCHITECT AND/OR OWNER IMMEDIATELY. DO NOT PROCEED UNTIL WRITTEN INSTRUCTIONS HAVE BEEN RECEIVED.
- 15. THE DRAWINGS INDICATE THE PHYSICAL DIMENSIONS, EXISTING LEVELS AND SIMILAR ITEMS BEING INDICATED WHERE KNOWN. ALL INFORMATION RELATIVE TO EXISTING CONDITIONS IS OFFERED TO ASSIST THE CONTRACTOR IN EVALUATION OF THE WORK, BUT WITH NO SPECIFIC REPRESENTATION EITHER EXPRESSED OR IMPLIED, AS TO COMPLETENESS OR ACCURACY. BE RESPONSIBLE FOR ANY DEDUCTIONS OR CONCLUSIONS MADE ON THE BASIS OF THIS INFORMATION AND THAT OF ANY ADDITIONAL SITE INSPECTIONS IF MADE.

DRAWING LEGEND

REVISIONS

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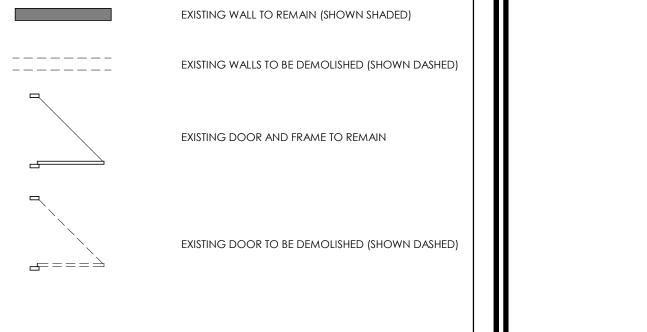
THE CONTRACTOR MUST VERIFY ALL DIMENSIONS

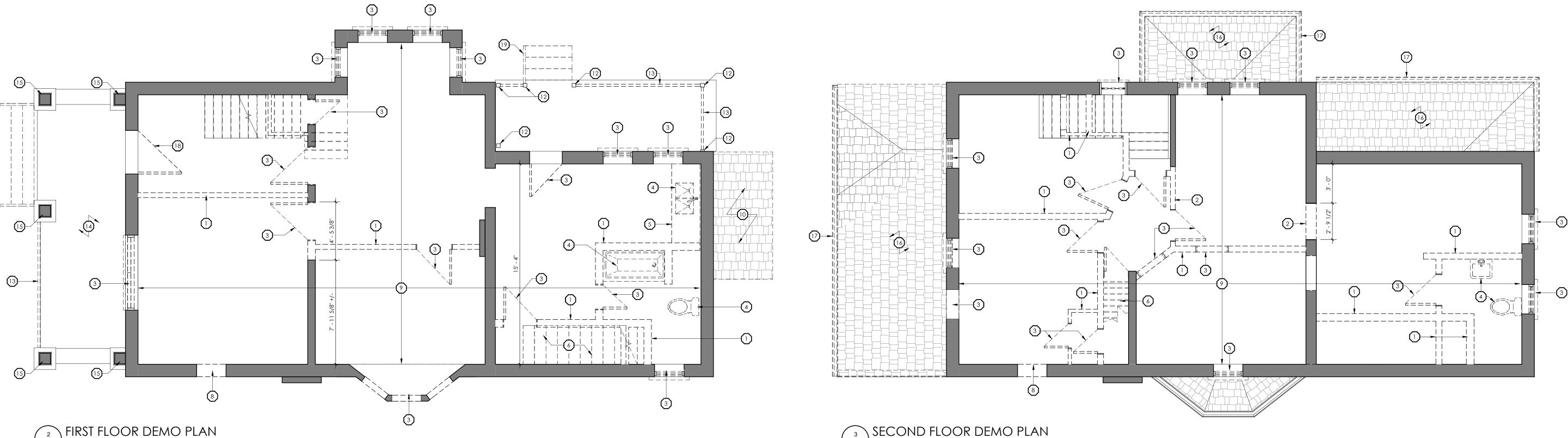
ON SITE AND REPORT ANY DISCREPANCIES TO THE

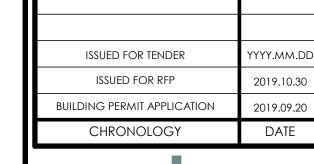
ARCHITECT, BEFORE PROCEEDING WITH THE WORK.

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101 Randall Drive, Unit B, Waterloo ON. TEL 519 884 2711 www.abarchitect.ca



ROJECT NAME

87 SCOTT STREET

87 SCOTT STREET, KITCHENER, ON. N2H 2R4

DRAWING TITLE

DEMOLITION PLANS

SCALE

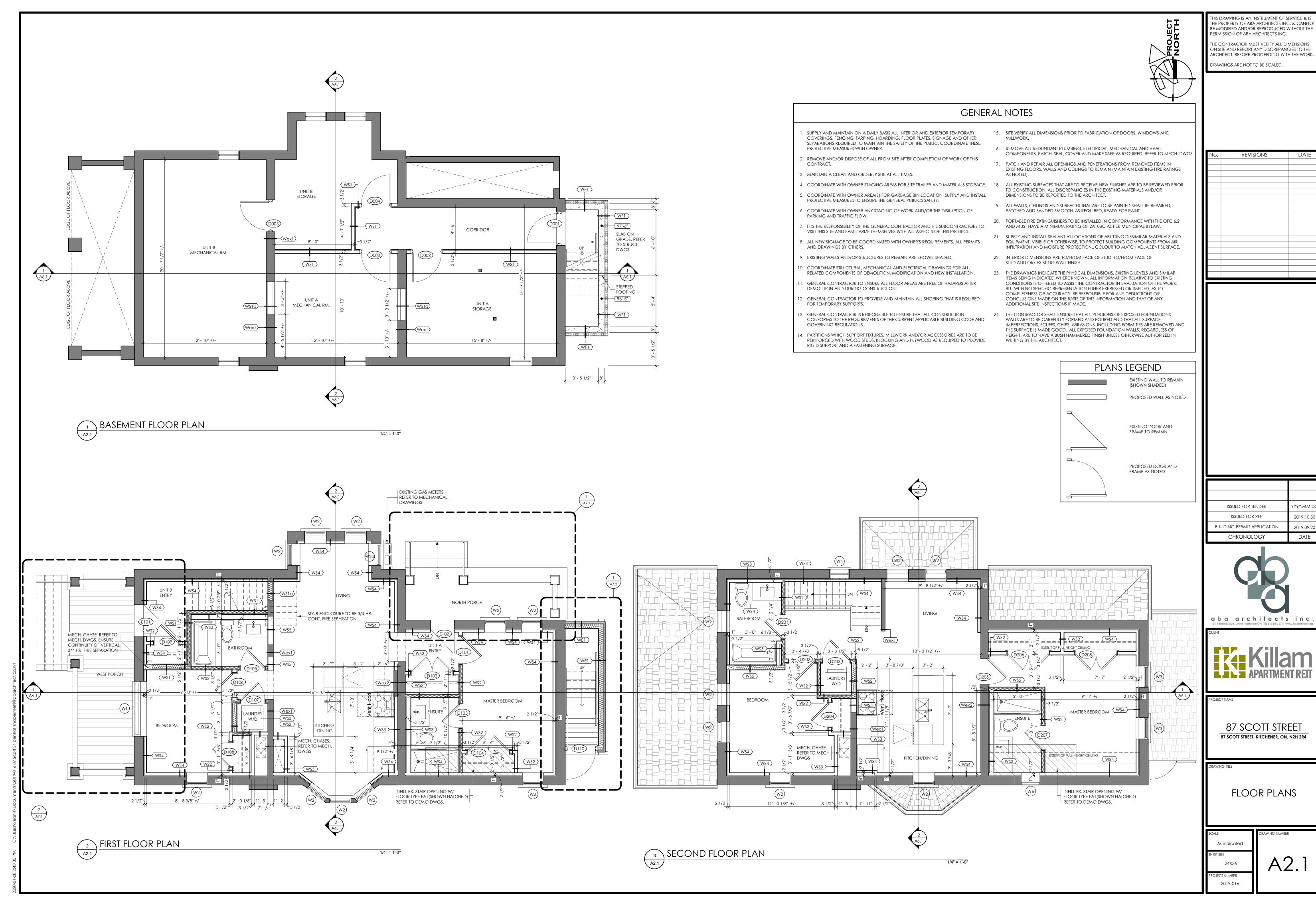
\$\text{A1/8"} = 1'-0"d

SHEET SIZE

24X36

2019-016

A1.1

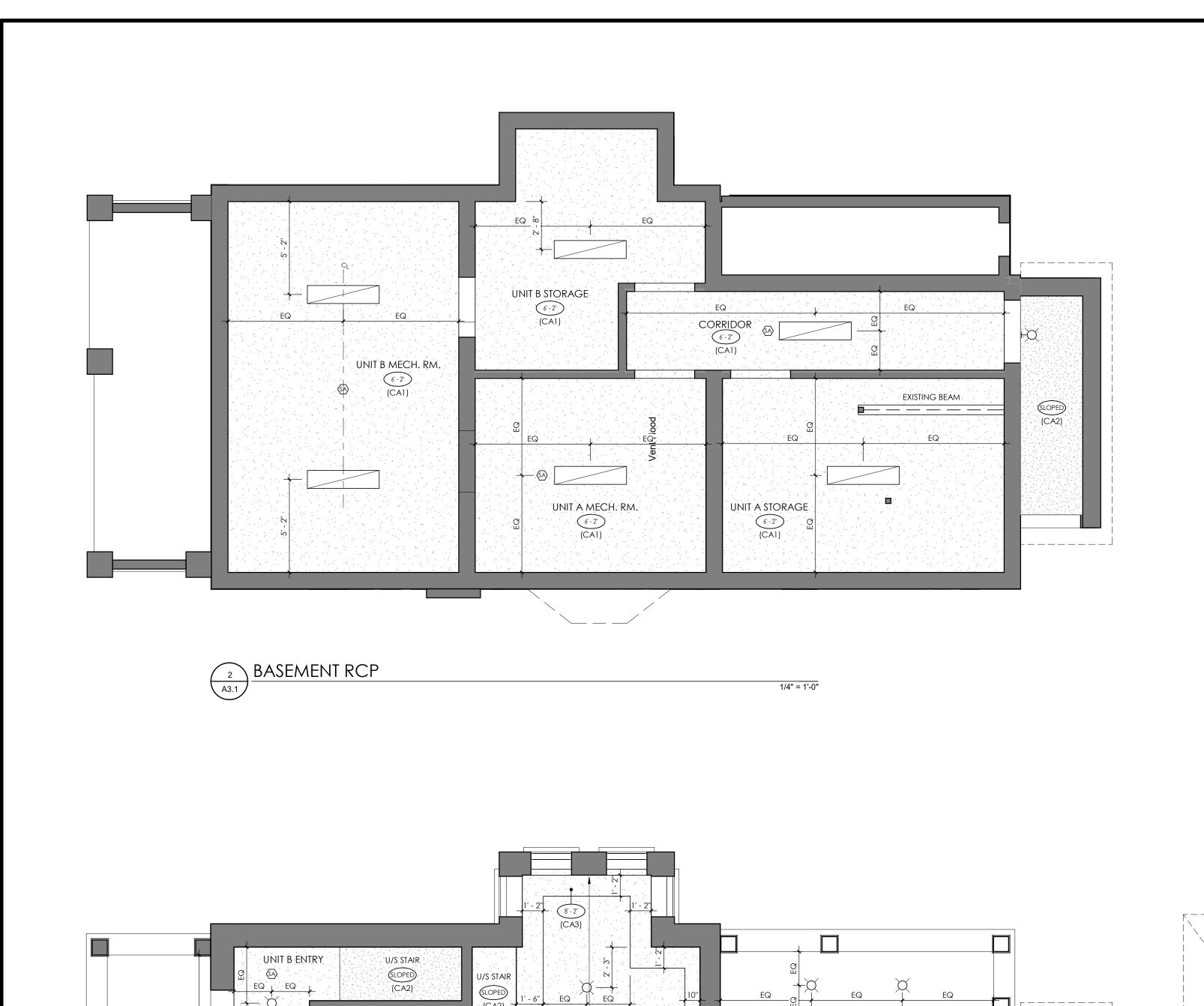


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2019.10.30



87 SCOTT STREET, KITCHENER, ON. N2H 2R4



LIVING

DINING/KITCHEN

BH. 8 - 2" (CA3)

7 (CA2)

9' - 0" (CA1)

FIRST FLOOR RCP

REPAIR/REPLACE \

EX. VENTED WOOD SOFFIT

1'-21/4" EQ EQ EQ

1/4" = 1'-0"

MASTER BEDROOM

(CA3)



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REVISIONS

REMARKS

ALL LIGHT FIXTURES ARE TO BE CENTRED WITHIN ROOM UNLESS NOTED OTHERWISE.

2. ALL CEILINGS ARE GYPSUM BOARD U.N.O.

BULKHEAD

C<sub>1</sub> — CENTRELINE OF LIGHT FIXTURES

- 3. REFER TO ELECTRICAL DRAWINGS FOR FULL SCOPE OF ELECTRICAL DEVICES AND SPECIFICATIONS. NOTIFY THE ARCHITECT OF ANY FOUND DISCREPANCIES AND/OR CONFLICTS.
- 4. REFER TO MECHANICAL DRAWINGS FOR FULL SCOPE OF MECHANICAL DEVICES AND SPECIFICATIONS. NOTIFY THE ARCHITECT OF ANY FOUND DISCREPANCIES AND/OR CONFLICTS.
- 5. LIGHT FIXTURES AND MECHANICAL DUCKWORK/
  DIFFUSERS/RETURN AIR GRILLES/EQUIPMENT SHOWN
  FOR COORDINATION ONLY. NOT ALL FIXTURES ARE
  SHOWN. REFER TO MECHANICAL AND ELECTRICAL
  DRAWINGS FOR MORE INFORMATION/
  QUANITY/MOUNTING HEIGHTS/ETC.

ISSUED FOR TENDER	YYYY.MM.DD
ISSUED FOR RFP	2019.10.30
BUILDING PERMIT APPLICATION	2019.09.20
CHRONOLOGY	DATE



aba architects inc.



PROJECT NAME

87 SCOTT STREET
87 SCOTT STREET, KITCHENER, ON. N2H 2R4

DRAWING TITL

REFLECTED CEILING PLANS

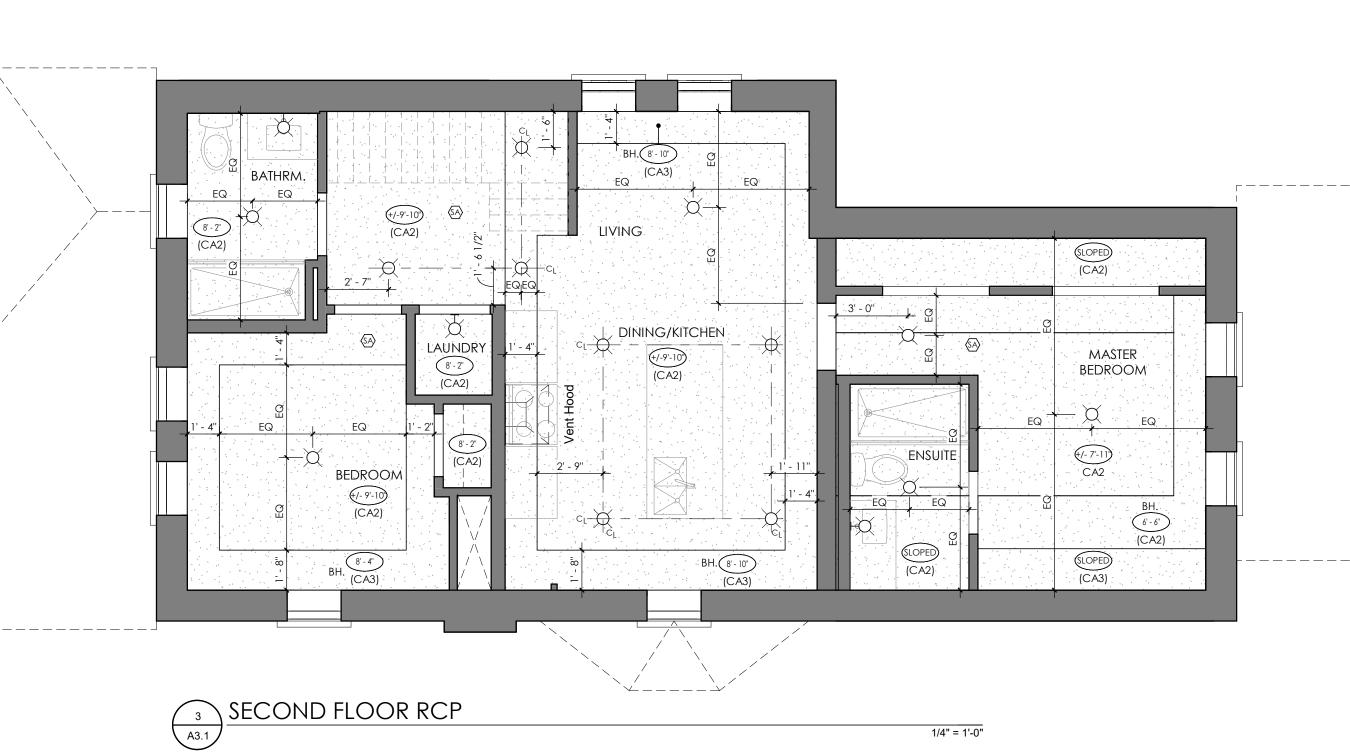
As indicated

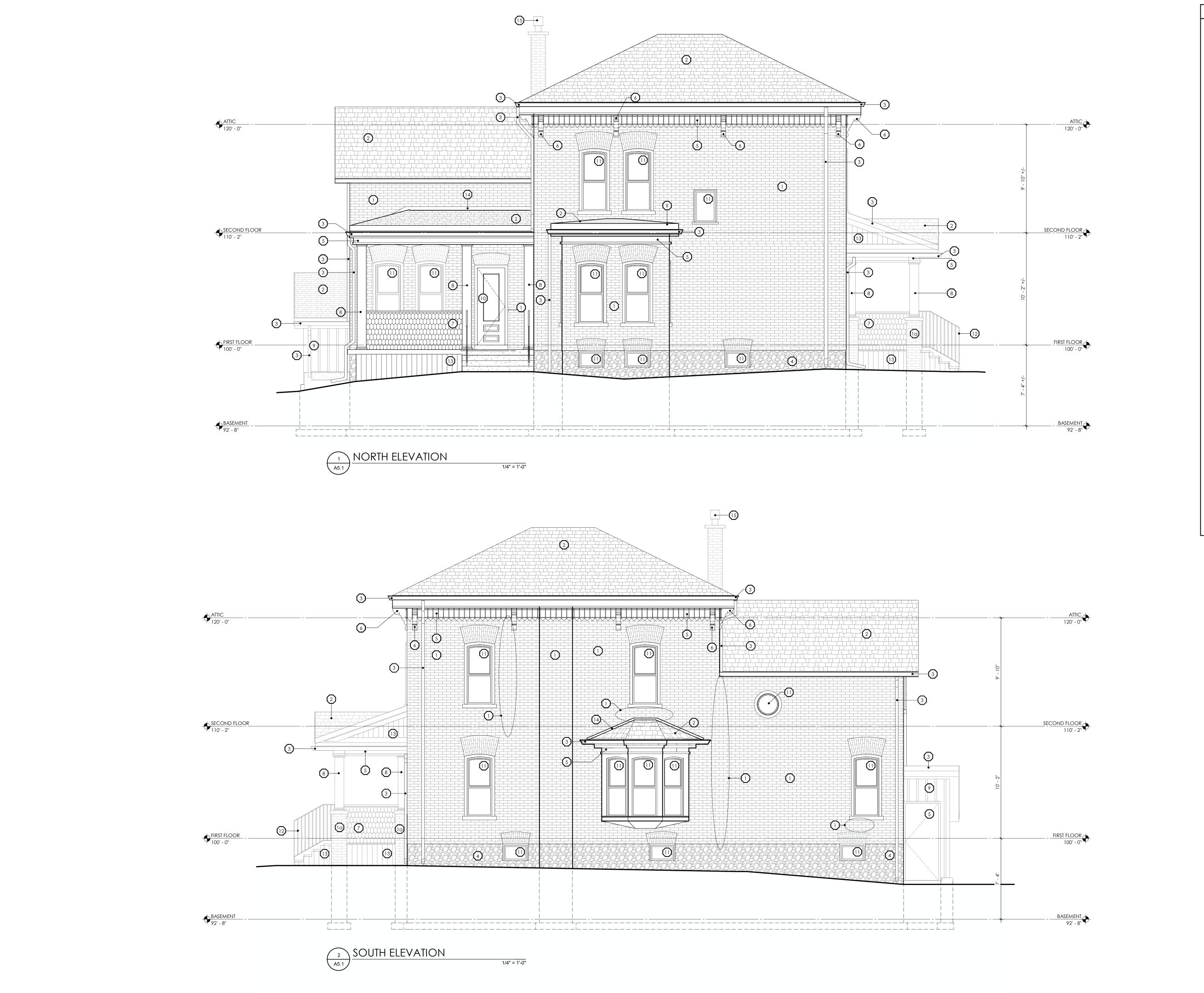
SHEET SIZE

24X36

24X36

JECT NUMBER
2019-016





**MATERIALS LEGEND** 

REPAIR/REPLACE & REPAINT DAMAGED & CRACKED BRICKS AS NEEDED COLOUR: TO MATCH EXISTING \*AREAS INDICATED ARE FOR REFERENCE ONLY. CONTRACTOR IS RESPONSIBLE TO VERIFY ALL LOCATIONS WHICH REQUIRE REPAIR.

BRICK

NEW BRICK VENEER

COLOUR: TO MATCH EXISTING (BUFF)

SIZE: TO MATCH EXISTING

EXISTING/NEW ASPHALT SHINGLES
REPLACE ALL EXISTING ROOF SHINGLES W/
45YR ASPHALT SHINGLES. REPAIR/REPLACE
DAMAGED UNDERLAYMENT, SHEATHING
AND ALUM. VALLEY FLASHINGS AS NEEDED

COLOUR: GREY

EAVESTROUGHS, DOWNSPOUTS & FASCIA
REPLACE ALL EXISTING EAVESTROUGHS &
DOWNSPOUTS. INSTALL NEW PREFIN. ALUM.
FASCIA TO MATCH TROUGH & DOWNSPOUT.

COLOUR: CHARCOAL

CONC. FOUNDATION WALL
SANDBLAST EXISTING FOUNDATION WALL TO

FRIEZE BOARD

FRIEZE BOARD COLOUR: MEDIUM GREY
TOP TRIM COLOUR: WHITE
BOTTOM TRIM COLOUR: NAVY/GREY BLUE

REMOVE LOOSE PARGING.

DECORATIVE CORBEL

REPAIR/REPLACE DAMAGED CORBELS.

REPAINT.

COLOUR: NAVY/GREY BLUE

PORCH GUARD

REPAIR PORCH GUARD STRUCTURE & RE-CLAD W/ SCALLOPED-DESIGN SIDING, PAINTED COLOUR: GREY

WOOD COLUMNS
REPAIR/REPLACE/REPAINT EXISTING
WOOD CLADDIN ON COLUMNS
COLOUR: WHITE

9 BOARD & BATTEN WOOD SIDING
COLOUR: ACCENT COLOUR 1:
MEDIUM GREY
EXTERIOR ENTRY DOORS

REPAIR/REPAINT EX. WOOD DOORS.
GLAZING: REPLACE EX. GLASS
FRAME COLOUR: BLACK
TRIM COLOUR: CHARCOAL

WINDOW GLAZING & FRAME
GLAZING: CLEAR VISION PANEL
FRAME COLOUR: WHITE
TRIM COLOUR: CHARCOAL

METAL PICKET RAILING
ALUMINUM PICKETS & RAILING
SPEC.: TBD
COLOUR: BLACK

3 VERTICAL METAL SIDING
SPEC.: TBD
COLOUR: MEDIUM GREY

PREFIN. METAL FLASHING
REPLACE EXISTING FLASHINGS
COLOUR: BUFF

EXISTING CHIMNEY
REPAIR CHIMNEY BRICK VENEER AND
REPAIR/REPLACE VENT, AS NEEDED

EXISTING SCROLL
EXISTING SCROLL TO REMAIN
PAINTED, COLOUR: WHITE

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PROJECT NAM

87 SCOTT STREET

87 SCOTT STREET, KITCHENER, ON. N2H 2R4

DRAWING TITI

NORTH & SOUTH ELEVATIONS

SCALE

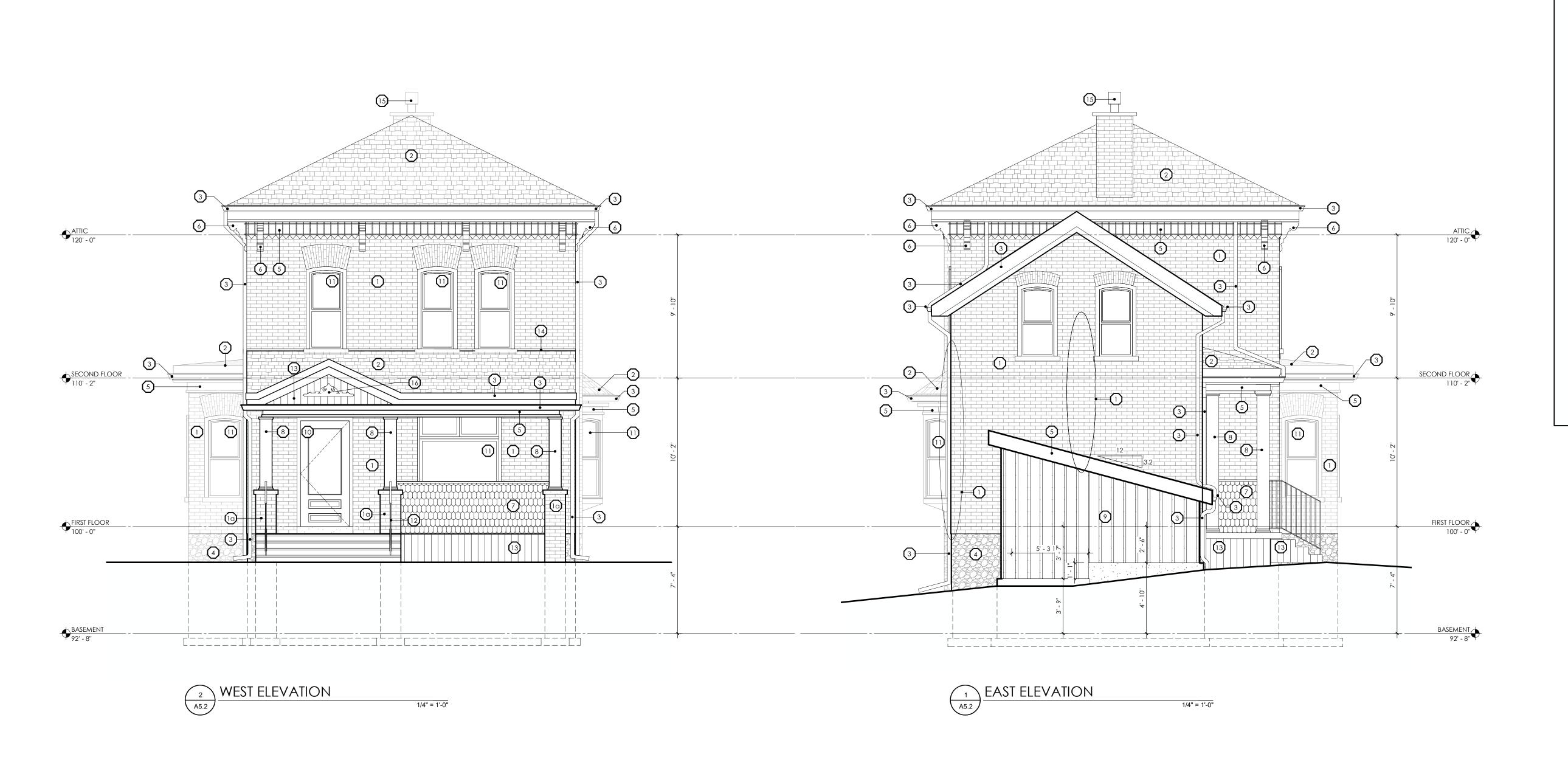
As indicated

SHEET SIZE

2019-016

DRAWING NUME

A5.1



# MATERIALS LEGEND

# BRIC

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BRICK

NEW BRICK VENEER
COLOUR: TO MATCH EXISTING (BUFF)
SIZE: TO MATCH EXISTING

EXISTING/NEW ASPHALT SHINGLES
REPLACE ALL EXISTING ROOF SHINGLES W/
45YR ASPHALT SHINGLES. REPAIR/REPLACE
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AND ALUM. VALLEY FLASHINGS AS NEEDED
COLOUR: GREY

EAVESTROUGHS, DOWNSPOUTS & FASCIA
REPLACE ALL EXISTING EAVESTROUGHS &
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FASCIA TO MATCH TROUGH & DOWNSPOUT.
COLOUR: CHARCOAL

CONC. FOUNDATION WALL
SANDBLAST EXISTING FOUNDATION WALL TO
REMOVE LOOSE PARGING.

FRIEZE BOARD
FRIEZE BOARD COLOUR: MEDIUM GREY
TOP TRIM COLOUR: WHITE

BOTTOM TRIM COLOUR: NAVY/GREY BLUE

DECORATIVE CORBEL

REPAIR/REPLACE DAMAGED CORBELS.

REPAINT.

COLOUR: NAVY/GREY BLUE

PORCH GUARD

REPAIR PORCH GUARD STRUCTURE & RE-CLAD W/ SCALLOPED-DESIGN SIDING, PAINTED COLOUR: GREY

WOOD COLUMNS

REPAIR/REPLACE/REPAINT EXISTING
WOOD CLADDIN ON COLUMNS
COLOUR: WHITE

BOARD & BATTEN WOOD SIDING
COLOUR: ACCENT COLOUR 1:
MEDIUM GREY

EXTERIOR ENTRY DOORS
REPAIR/REPAINT EX. WOOD DOORS.
GLAZING: REPLACE EX. GLASS

FRAME COLOUR: BLACK
TRIM COLOUR: CHARCOAL

WINDOW GLAZING & FRAME
GLAZING: CLEAR VISION PANEL
FRAME COLOUR: WHITE

TRIM COLOUR: CHARCOAL

METAL PICKET RAILING
ALUMINUM PICKETS & RAILING
SPEC.: TBD

COLOUR: BLACK

VERTICAL METAL SIDING
SPEC.: TBD
COLOUR: MEDIUM GREY

PREFIN. METAL FLASHING
REPLACE EXISTING FLASHINGS
COLOUR: BUFF

EXISTING CHIMNEY
REPAIR CHIMNEY BRICK VENEER AND
REPAIR/REPLACE VENT, AS NEEDED

EXISTING SCROLL
EXISTING SCROLL TO REMAIN
PAINTED, COLOUR: WHITE

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PROJECT N

87 SCOTT STREET
87 SCOTT STREET, KITCHENER, ON. N2H 2R4

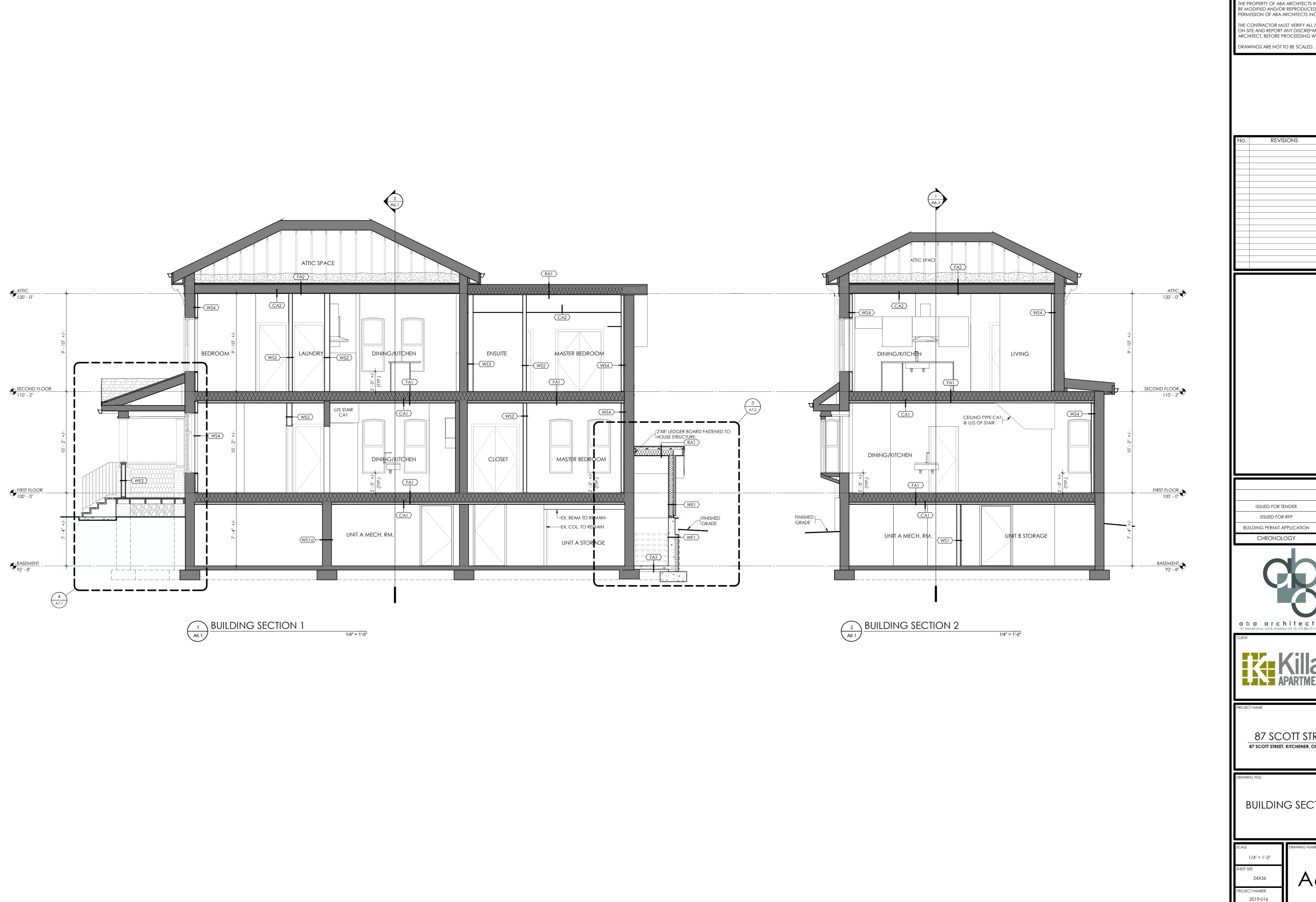
DRAWING TITI

EAST & WEST ELEVATIONS

ALE DRAWING NUMBER As indicated
EET SIZE
24X36

24X36

UECT NUMBER
2019-016



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	•	•

issued for tender	YYYY.MM.DD
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aba architects inc.

101 Randall Drive, Unit B, Waterloo ON. TEI. 519 884 2711 waxay charabitest

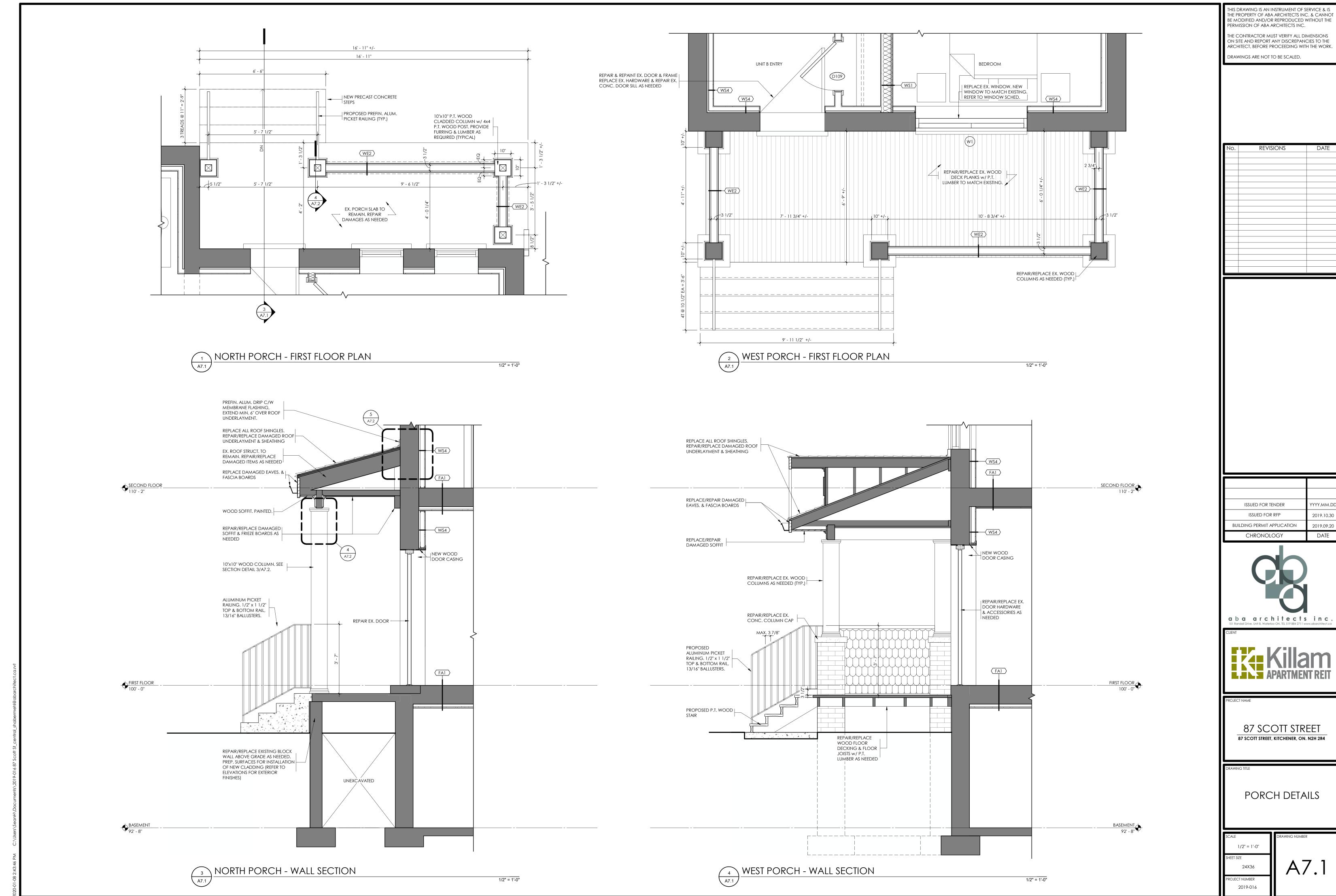


87 SCOTT STREET 87 SCOTT STREET, KITCHENER, ON. N2H 2R4

**BUILDING SECTIONS** 

1/4" = 1'-0" 24X36

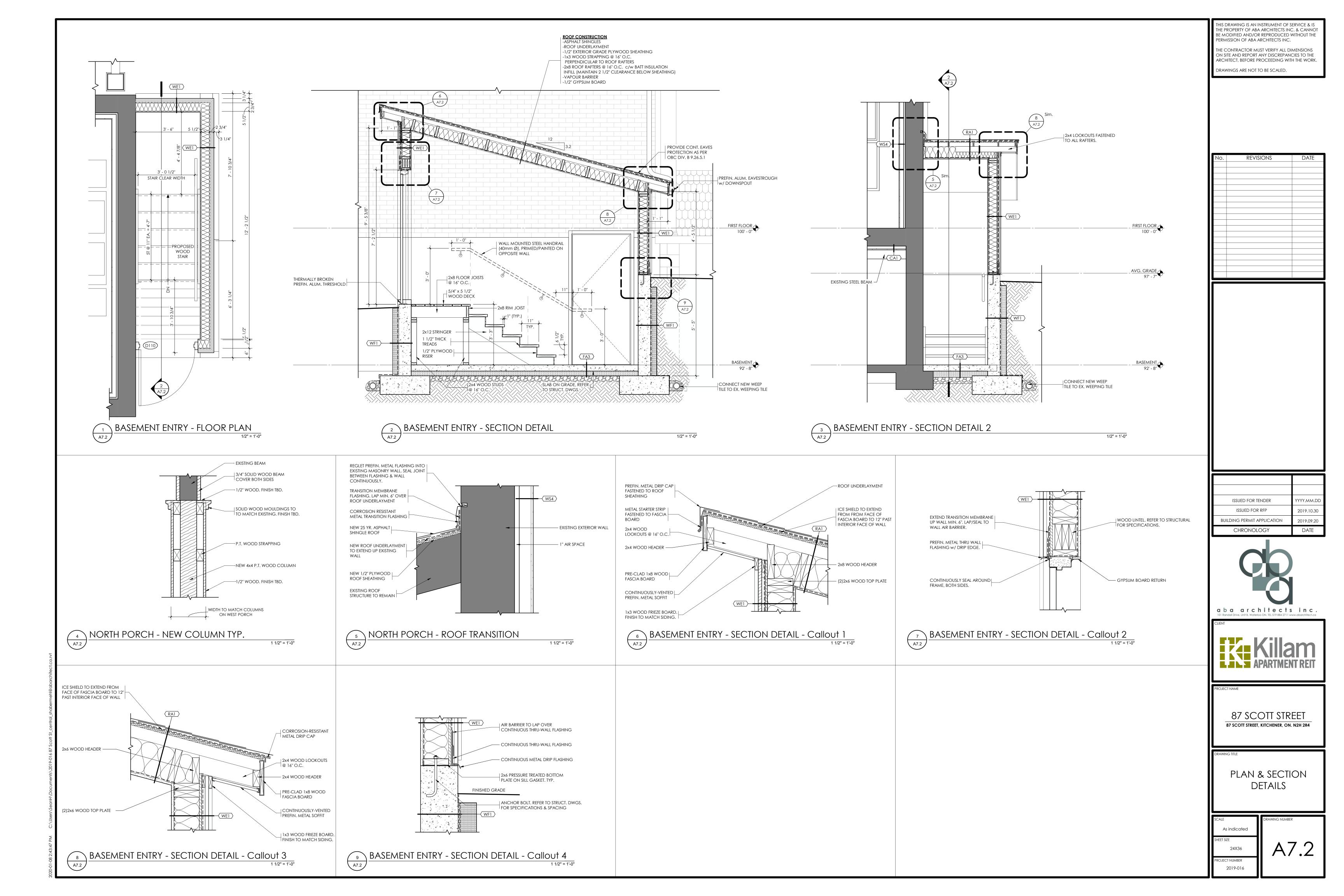
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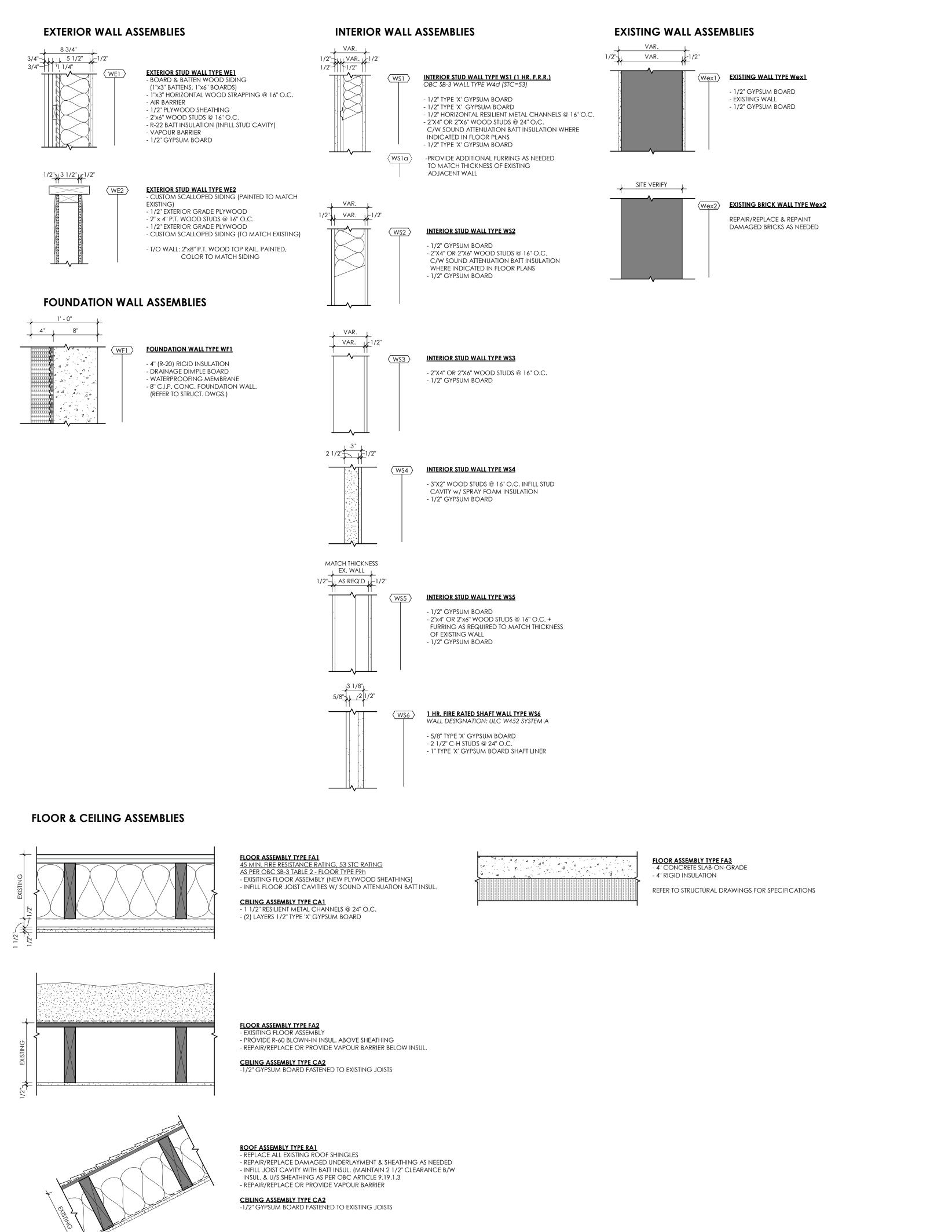


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2019.10.30 2019.09.20





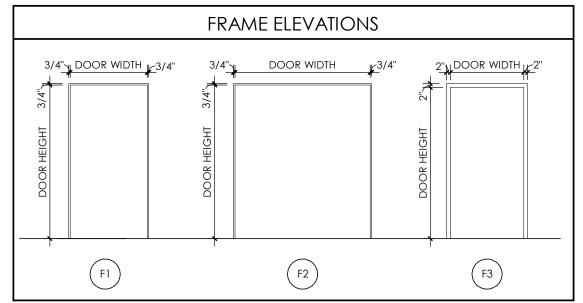


HARDWARE SCHEDULE			
H1	- BUTT HINGES - STOREROOM LOCKSET - DOOR SWEEP - ALUMINUM THRESHOLD - FLOOR STOP - CLOSER	H5 H6	- BUTT HINGES - PRIVACY SET - FLOOR STOP RESERVED
H2 H3	- BUTT HINGES - STOREROOM LOCKSET - FLOOR STOP - CLOSER - BUTT HINGES - PASSAGE SET - HINGE STOP	H7	- BUTT HINGES - STOREROOM LOCKSET & CYLINDER - DEAD BOLT & CYLINDER - DOOR SWEEP - ALUMINUM THRESHOLD - WEATHERSTRIPPING - CLOSER W/ INTEGRAL STOP *DOOR TO BE THERMALLY BROKEN & INSULATED
H4	- BUTT HINGES - DUMMY SET - BALL CATCH LATCH - HINGE STOP	Н8	-EXISTING EXTERIOR DOORS REPLACE ALL EXISTING DOOR HARDWARE &



D004 20 MIN. A 3'-0" x 6-0"

D005 45 MIN. A 3'-0" x 6-0" HM



# DOOR SCHEDULE NOTES

- DO NOT SCALE DRAWINGS.
- all material and workmanship shall comply with all applicable canadian construction standards and THE ONTARIO BUILDING CODE (2012).
- OVERALL DIMENSIONS PROVIDED FOR DOOR SCHEDULE ARE ROUGH-OPENING SIZES. OVERALL FRAME DIMENSIONS SHALL BE SIZED ACCORDINGLY.
- THE CONTRACTOR SHALL SITE VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS ON SITE AND SHALL REPORT ALL DISCREPANCIES TO THE CONSULTANT PRIOR TO DOOR FABRICATION.
- GENERAL CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ALL DOORS AS FOLLOWS: 5.1. FINISH HARDWARE SCHEDULE PREPARED BY AN ARCHITECTURAL HARDWARE CONSULTANT (AHC), IN VERTICAL

DOOR & FRAME SCHEDULE

BASEMENT FLOOR

FIRST FLOOR

 D001
 A
 3'-0" x 6-0"
 HM
 PAINT
 F3
 SEE FRAME ELEV.
 HM
 PAINT
 HI

 D002
 20 MIN.
 A
 3'-0" x 6-0"
 HM
 PAINT
 F3
 SEE FRAME ELEV.
 HM
 PAINT
 H2

 D003
 45 MIN.
 A
 3'-0" x 6-0"
 HM
 PAINT
 F3
 SEE FRAME ELEV.
 HM
 PAINT
 H2

MATERIAI FINISH

 PAINT
 F3
 SEE FRAME ELEV.
 HM
 PAINT
 H2

 PAINT
 F3
 SEE FRAME ELEV.
 HM
 PAINT
 H2

F2 SFF FRAME FLEV WD PAINT H4

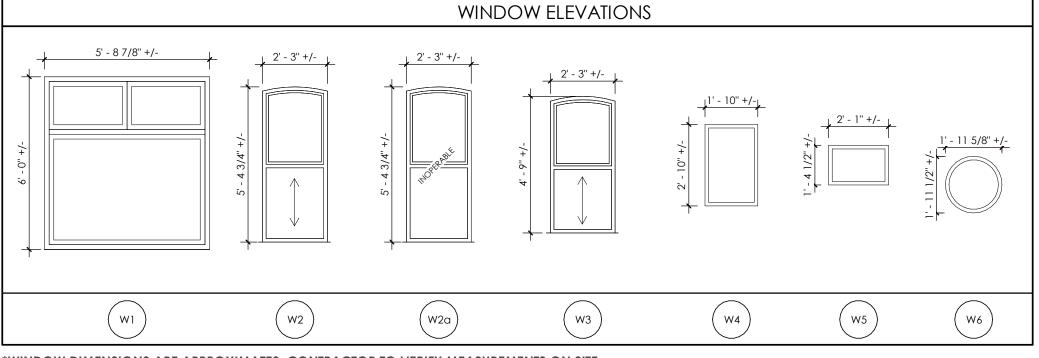
 WD
 PAINT
 F1
 SEE FRAME ELEV.
 WD
 PAINT
 H3

 WD
 PAINT
 F2
 SEE FRAME ELEV.
 WD
 PAINT
 H4

 WD
 PAINT
 F1
 SEE FRAME ELEV.
 WD
 PAINT
 H5

MATERIAL FINISH GLAZ. ELEV.

- FORMAT TO DHI SEQUENCE AND FORMAT FOR THE HARDWARE SCHEDULE. 5.2. KEYING SCHEDULE PREPARED BY AN ARCHITECTURAL HARDWARE CONSULTANT (AHC), TO DHI KEYING SYSTEMS AND NOMENCLATURE, INCLUDING ALL SPECIAL KEYING NOTES AND STAMPING INSTRUCTIONS.
- PROVIDE LAMINATED SAFETY GLASS IN ALL PANES BELOW 1000 A.F.F. TO RESIST SIMILAR STRUCTURAL LOADS AS GLASS
- GUARD (AS PER OBC SB-13 REQUIREMENTS) PROVIDE SIGN OFF FROM G.C. STRUCTURAL ENGINEER.
- PROVIDE ALL APPLICABLE CLOSURE TRIM TO SUIT OPENINGS AS REQUIRED. COLOUR OF TRIM TO MATCH COLOUR OF
- PROVIDE SEALANT AROUND DOOR FRAMES INSIDE AND OUT. SEALANT COLOUR TO MATCH COLOUR OF FRAMES.
- 9. COORDINATE WITH OWNER KEYING OF ALL DOORS.
- 10. Door hardware supplier is responsible for supplying & installing all door hardware.
- 11. ALL HARDWARE IS TO BE LEVER STYLE.
- 12. ALL INTERIOR HARDWARE IS TO BE BRUSHED NICKEL FINISH.
- 13. CONFIRM ALL HARDWARE PRIOR TO CONSTRUCTION.
- 14. ALL QUANTITIES TO BE CONFIRMED BY CONTRACTOR PRIOR TO CONSTRUCTION.



\*WINDOW DIMENSIONS ARE APPROXIMATES, CONTRACTOR TO VERIFY MEASUREMENTS ON SITE.

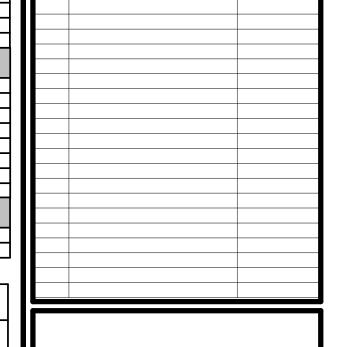
# WINDOW SCHEDULE NOTES

- 1. DO NOT SCALE DRAWINGS.
- 2. ALL MATERIAL AND WORKMANSHIP SHALL COMPLY WITH ALL APPLICABLE CANADIAN CONSTRUCTION STANDARDS AND THE ONTARIO BUILDING CODE (2012).
- 3. OVERALL DIMENSIONS PROVIDED FOR WINDOW SCHEDULE ARE ROUGH-OPENING SIZES. OVERALL FRAME DIMENSIONS SHALL BE SIZED ACCORDINGLY.
- THE CONTRACTOR SHALL SITE VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS ON SITE AND SHALL REPORT ALL DISCREPANCIES TO THE CONSULTANT PRIOR TO WINDOW FABRICATION.
- 5. GENERAL CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ALL WINDOWS.
- 6. WINDOW FRAMES TO BE ALUMINUM CLAD WOOD.
- 7. PROVIDE OPERABLE WINDOWS WHERE INDICATED ON WINDOW SCHEDULE AND ELEVATIONS.
- 8. PROVIDE WINDOW RESTRICTORS ON OPERABLE WINDOWS IN COMPLIANCE WITH O.B.C. 3.7.2.2 (3) WHERE
- PROVIDE LAMINATED SAFETY GLASS IN ALL PANES BELOW 1000 A.F.F. TO RESIST SIMILAR STRUCTURAL LOADS AS GLASS GUARD (AS PER OBC SB-13 REQUIREMENTS) - PROVIDE SIGN OFF FROM G.C. STRUCTURAL ENGINEER.
- 10. PROVIDE ALL APPLICABLE CLOSURE TRIM TO SUIT OPENINGS AS REQUIRED. COLOUR OF TRIM TO MATCH
- COLOUR OF WINDOW FRAMES. 11. PROVIDE SEALANT AROUND WINDOW FRAMES INSIDE AND OUT. SEALANT COLOUR TO MATCH COLOUR OF
- 12. REFER TO PLANS AND ELEVATIONS FOR VERTICAL MULLION ORIENTATION (MIRRORED CONDITION) AND INCIDENTAL SPANDREL CONDITIONS
- 13. MECHANICAL VENTS IN-LIEU OF SPANDREL PANEL, WHERE INDICATED ON ELEVATIONS
- 14. WHERE NEW WINDOWS ARE TO MATCH EXISTING WINDOWS, WINDOW SCHEDULE ELEVATIONS ARE SHOWN FOR GENERAL CONFORMANCE AND REPRESENTATION ONLY. ALL INFORMATION RELATIVE TO EXISTING CONDITIONS IS OFFERED TO ASSIST THE CONTRACTOR IN EVALUATION OF THE WORK, BUT WITH NO SPECIFIC REPRESENTATION EITHER EXPRESSED OR IMPLIED, AS TO COMPLETENESS OR ACCURACY. GENERAL CONTRACTOR IS RESPONSIBLE FOR ANY DEDUCTIONS, DIRECTIONS, OR CONCLUSIONS MADE ON THE BASIS OF THIS INFORMATION.

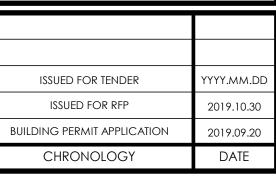
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THE CONTRACTOR MUST VERIFY ALL DIMENSIONS

ON SITE AND REPORT ANY DISCREPANCIES TO THE ARCHITECT, BEFORE PROCEEDING WITH THE WORK. DRAWINGS ARE NOT TO BE SCALED.



REVISIONS





aba architects inc.



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**ASSEMBLIES & SCHEDULES** 

As indicated

2019-016



