

## Raida Chowdhury

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**From:** noreply@esolutionsgroup.ca  
**Sent:** Friday, April 28, 2023 12:56 PM  
**To:** Great Places (SM)  
**Subject:** New Response Completed for Great Places Awards - 2023  
**Attachments:** 2023-04-28-079.pdf

Hello,

Please note the following response to Great Places Awards - 2023 has been submitted at Friday April 28th 2023 12:50 PM with reference number 2023-04-28-079.

- **Nomination type**  
Mike & Pat Wagner heritage award
- **Mike & Pat Wagner heritage award**  
Preservation / restoration of cultural heritage resources
- **Has this project been nominated before?**  
No
- **Name of project being nominated**  
87 Scott Street
- **Project address/location**  
87 Scott Street, Kitchener, ON
- **Why are you nominating this project?**  
As many of the historic homes surrounding 87 Scott St were demolished, it is critical that this building is acknowledged and respected as a record of Kitchener's growth. There are many examples in this city of historic buildings that have been demolished due to neglect when they could have become great spaces. Conversely, there are structures that have been rehabilitated and are now cherished parts of the city's infrastructure. We feel this nomination speaks to the tremendous reward associated with protecting a historical resource that is a functional part of the City of Kitchener, and the responsibility we all have as stewards of the built environment.
- **Main contact name**  
Carrie Curtis
- **Address (main contact)**  
50 Westmount Road N., Suite 230, Waterloo ON, N2L 6N9
- **Phone number (main contact)**  
519-224-0202
- **Email (main contact)**  
ccurtis@killamreit.com

- **Name (nominator)**  
ABA Architects Inc.
- **Street address (nominator)**  
101 Randall Drive
- **City (nominator)**  
Waterloo
- **Province (nominator)**  
ON
- **Postal code (nominator)**  
N2V1C5
- **Phone (nominator)**  
5198842711
- **Email (nominator)**  
office@abarchitect.ca
- **Nominator confirmation**  
By checking this box, I as nominator confirm I have notified the nominee /property owner and have received their permission to make this nomination.
- **Enter answer below:**  
The two-storey home at 87 Scott St is an asset to the City of Kitchener in its encapsulation of an architecture that is rich with detail, robustness, and a sophistication lent for the simple purpose of domesticity. The property stands as a living resource for the people who inhabit the city; it is a unique example of Italianate architecture that was prevalent in Kitchener in the 1860s, up to the 1890s. The Italianate style, as it was imported from overseas in the 1800s, is defined by wide, overhanging eaves, paired eave brackets, and tall, segmentally arched windows. At the time of its inception, this style of architecture was applicable to multiple different sizes of homes so that it could be available to the domestic class, thus disseminating the merits of craftsmanship in a manner that was gracious and versatile. The property at 87 Scott St is particularly notable for its buff brick walls and rubble stone foundation, signature Italianate brackets and fascia, narrow double-pane windows, and hipped roof with overhanging eaves. It incorporates an original square shape and asymmetrical south elevation, although the front porch with pediment and 1 ½ storey addition at the rear were built after the original structure. Internally, it is divided into an upper and lower apartment that reflects the building's history as a boarding house from the 1930s.

Despite the need for conservation, this property fell into disrepair as it was badly weathered and poorly maintained. The overall condition of the façade became compromised as its various components were subject to rot and water damage. Using the Standards and Guidelines for the Conservation of Historic Places in Canada, ABA and their consulting team determined that the recommended methodology for the primary treatment of the building was rehabilitation. Rehabilitation ensures that a historic place such as 87 Scott St can still be compatible with contemporary uses while preserving heritage value. With these considerations, the work undertaken by ABA did not substantially alter the character-defining elements and heritage attributes of this building,

but rather recognized that this historic place is a record of an identity that is both part of its time and should be available far into the future. The justice we speak to as builders of the physical environment must testify to the idea that we are creating a landscape for the City that is imbued with forethought and permanence. The buildings we construct must be worthy of conservation in their significance as we perceive their lives through time. This is clearly demonstrated by the rehabilitation of 87 Scott St into a duplex; what was becoming a derelict, languishing monument was elevated to a modern standard through both the retention and replacement of original materials while maintaining the integrity of the home's character to the greatest degree possible. Much of the work undertaken by ABA on the exterior of the building was cosmetic to ensure that the craftsmanship of the 1800s was faithfully captured. Internally, the design utilizes the building's tall, Italianate windows to create bright, inviting spaces. Interior finishes are selected and installed to a level of detail redolent of the exterior, replacing the damaged elements that were not previously maintained. Regular maintenance is the best way to ensure that a cultural heritage resource is appropriately conserved over the long term, and so ABA respects that a long-term conservation plan, including annual inspections, is integral to the longevity of this incredible place.

As many of the historic homes surrounding 87 Scott St were demolished, it is critical that this building is acknowledged and respected as a record of Kitchener's growth. There are many examples in this city of historic buildings that have been demolished due to neglect when they could have become great spaces. Conversely, there are structures that have been rehabilitated and are now cherished parts of the city's infrastructure. ABA believes that this nomination speaks to the tremendous reward associated with protecting a historical resource that is a functional part of the City of Kitchener, and the responsibility we all have as stewards of the built environment.

- **Firm name**

1. ABA Architects Inc.
2. Collaborative Structures Limited (CSL)
3. DEI Consulting Engineers
4. MTE Consultants
5. MHBC

- **Contact name**

1. Andrew Bousfield
2. Colin Thomson
3. Ann Demaiter
4. Kurt Ruhland
5. Dave Aston

- **Telephone**

1. 519-884-2711
2. 519-658-2750
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5. 519-576-3650 X 709

- **Email**

1. abousfield@abarchitect.ca
2. cthomson@collaborativestructures.com
3. ademaiter@deiassociates.ca

4. kruhland@mte85.com
5. daston@mhbcplan.com

- **Upload documents containing all project material**

1. [2019-016 87 Scott St.pdf \[3.3 MB\]](#)
2. [2019-016 87 Scott St Heritage Elevations.pdf \[1.7 MB\]](#)
3. [After -7.jpg \[1.4 MB\]](#)
4. [After -4.jpg \[3.4 MB\]](#)
5. [Before-1.jpg \[3.4 MB\]](#)

- **Upload any additional supporting documentation here (not required)**

1. [Before-4.jpg \[4.1 MB\]](#)
2. [Before-9.jpg \[455.6 KB\]](#)
3. [Before-2.jpg \[3.1 MB\]](#)
4. [After -1.jpg \[1.8 MB\]](#)
5. [After Int - 7.jpg \[66.3 KB\]](#)

[This is an automated email notification -- please do not respond]

# 87 SCOTT STREET

87 SCOTT STREET, KITCHENER, ON. N2H 2R4

## HERITAGE REVITALIZATION



- 3.1 EXISTING WEST ELEVATION
- 3.2 EXISTING NORTH ELEVATION
- 3.3 EXISTING EAST ELEVATION
- 3.4 EXISTING SOUTH ELEVATION
  
- 3.5 PROPOSED WEST ELEVATION
- 3.6 PROPOSED NORTH ELEVATION
- 3.7 PROPOSED EAST ELEVATION
- 3.8 PROPOSED SOUTH ELEVATION



**ELEVATION NOTES**

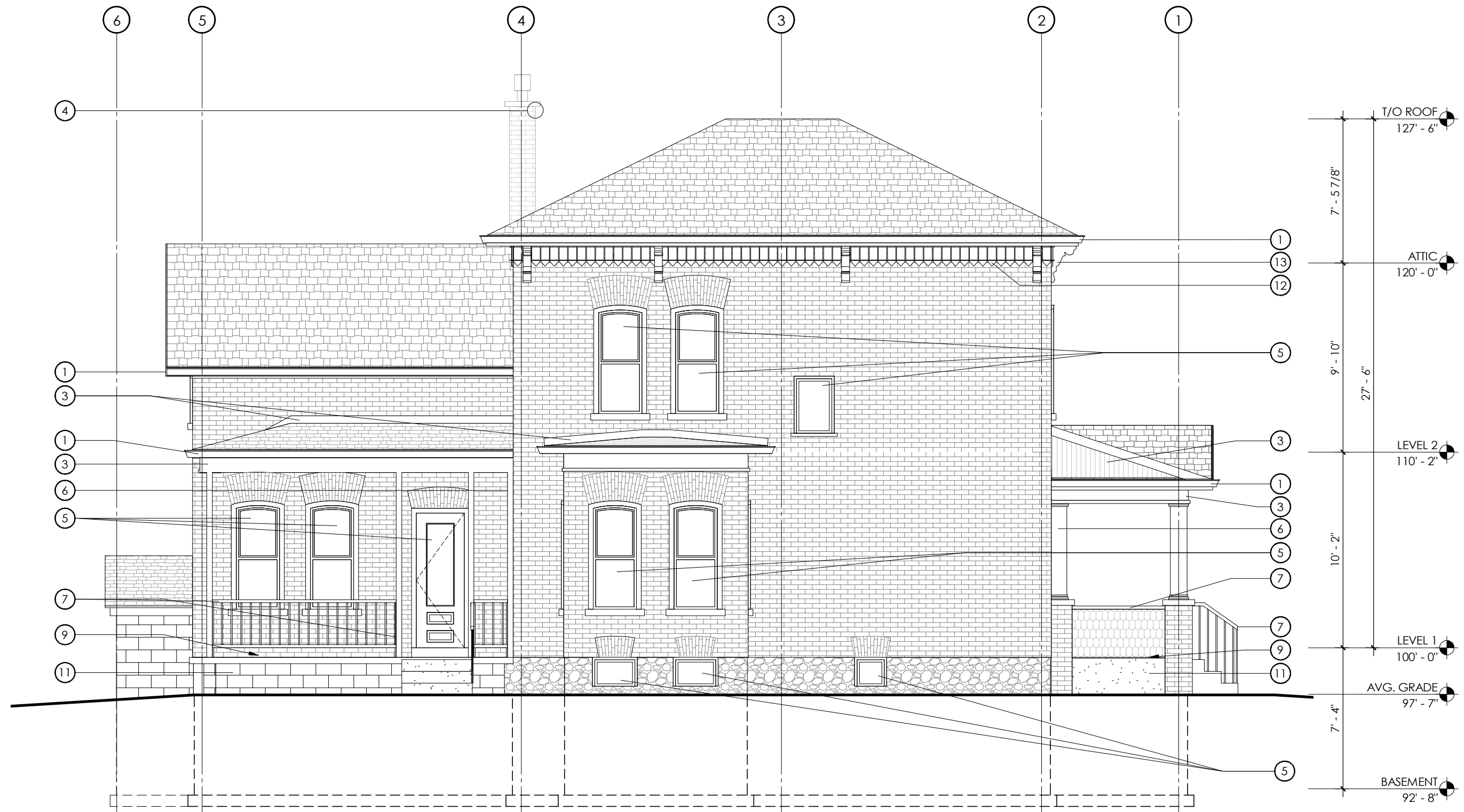
- ① ROOF GUTTERS TO BE ENTIRELY REPLACED (ALL LOCATIONS)
- ② REPLACE DAMAGED OR DISCONNECTED DOWNSPOUTS
- ③ REPAIR/REPLACE ROTTED OR DAMAGED FASCIA, FRIEZE AND SOFFIT DETAILS
- ④ REPAIR/REPLACE CRACKED BRICK, STONE OR CONCRETE

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- ⑥ REPAIR/REPLACE DAMAGED WOOD OR PLYWOOD COLUMNS
- ⑦ REPAIR/REPLACE DAMAGED OR NON-COMPLIANT WOODEN HANDRAILS
- ⑧ REPLACE DAMAGED BASEMENT WALKOUT DOOR WITH SECURE ALTERNATIVE

NOTE: ALL ELEMENTS TO BE REPAIRED OR REPLACED SHOULD REPLICATE STYLE OF OTHER ORIGINAL HERITAGE ELEMENTS IN THE ITALIANATE STYLE.

- ⑨ REPLACE PORCH DECKING AND STAIRS
- ⑩ REPAIR AND PAINT FRONT PEDIMENT DETAILING AND DECORATIVE MOTIF
- ⑪ REPAIR AND REPLACE PORCH STRUCTURE. CLAD WITH PAINTED VERTICAL SKIRTING

- ⑫ REPAIR AND PAINT ALL SAW TOOTH FASCIA DETAILING
- ⑬ REPAIR AND PAINT ALL CORBEL DETAILING
- ⑭ POTENTIAL REINSTATEMENT OF WINDOW OPENINGS PENDING STRUCTURAL REVIEW AND APPROVAL OF REQUIRED FACADE MODIFICATIONS



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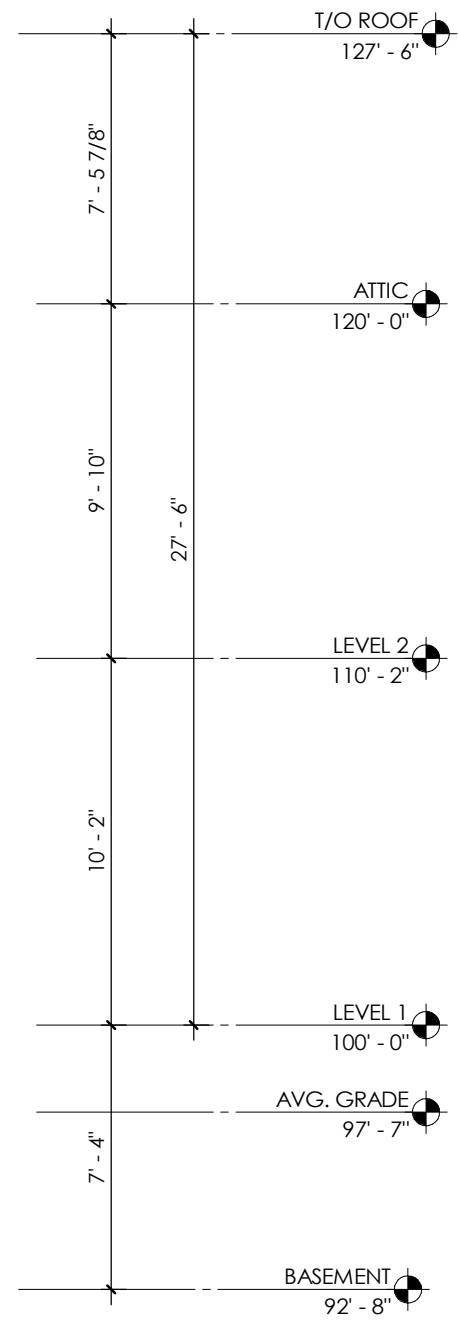
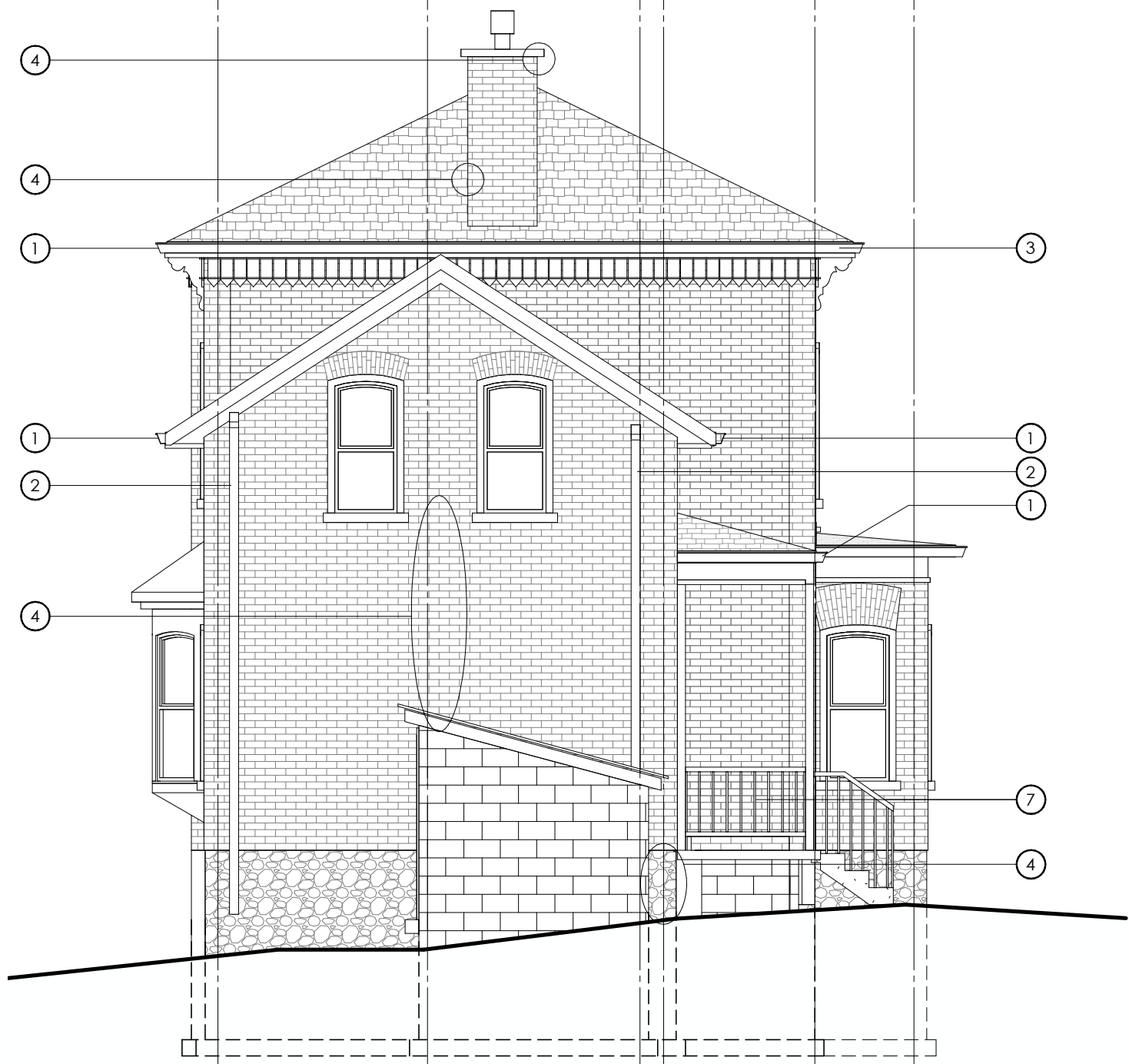
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EXISTING NORTH ELEVATION



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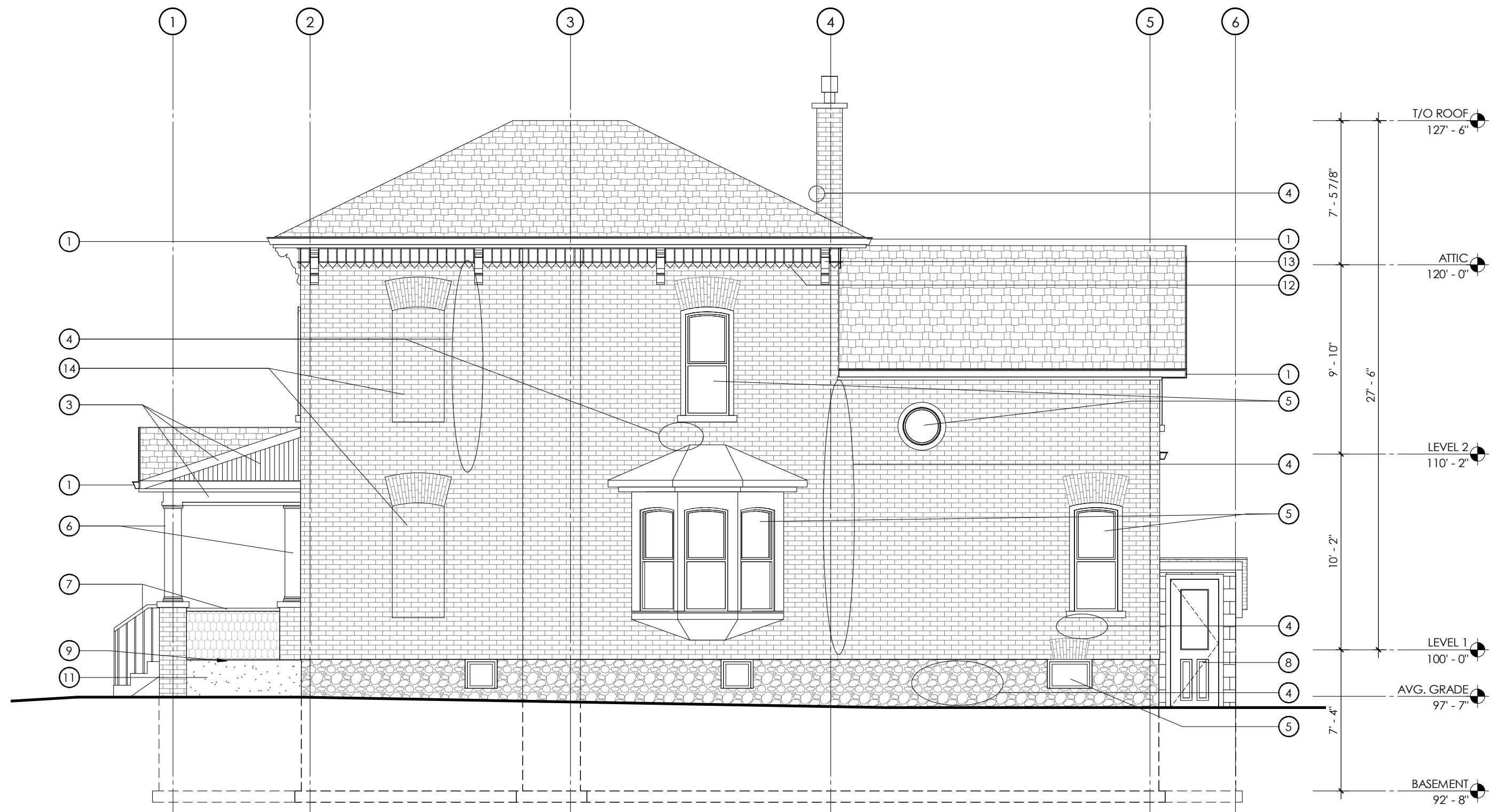
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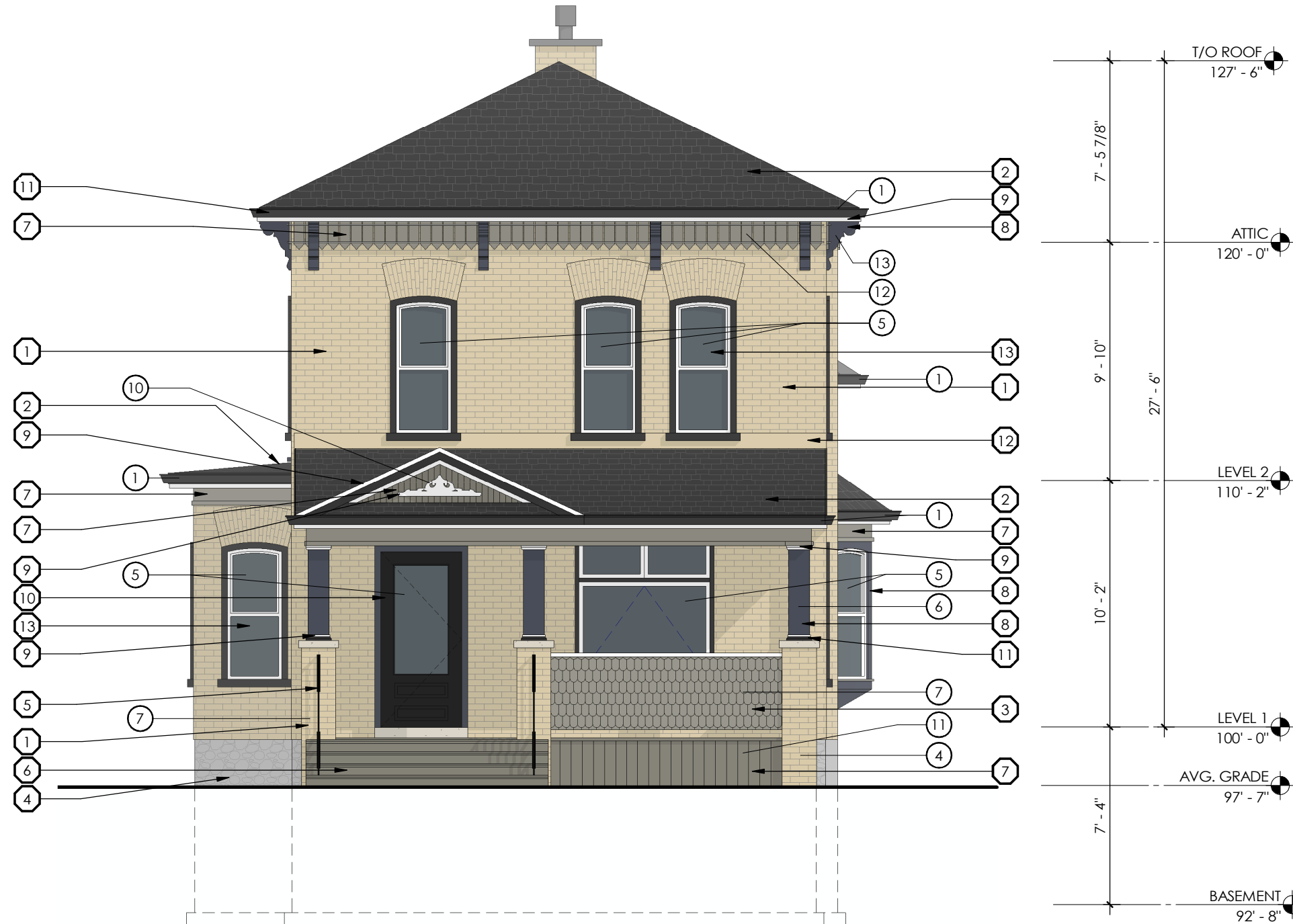
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# MATERIAL LEGEND

 1 EXISTING BRICK COLOUR: BUFF	 2 SHINGLE ROOF COLOUR: GREY	 3 SCALLOPED SIDING COLOUR: GREY	 4 EXISTING PARGED STONE FOUNDATION	 5 METAL PICKET RAILING COLOUR: BLACK	 6 JOINTED DECKING	 7 VERTICAL SKIRTING COLOUR: MEDIUM GREY
 7 ACCENT COLOUR 1: MEDIUM GREY	 8 ACCENT COLOUR 2: NAVY/GREY BLUE	 9 ACCENT COLOUR 3: WHITE	 10 ENTRY DOOR DOOR COLOUR: BLACK TRIM COLOUR: CHARCOAL	 11 GUTTERS/DOWNSPOUTS/FLASHING COLOUR: CHARCOAL	 12 METAL FLASHING COLOUR: BUFF	 13 WINDOW WITH VISION GLAZING FRAME COLOUR: WHITE TRIM COLOUR: CHARCOAL



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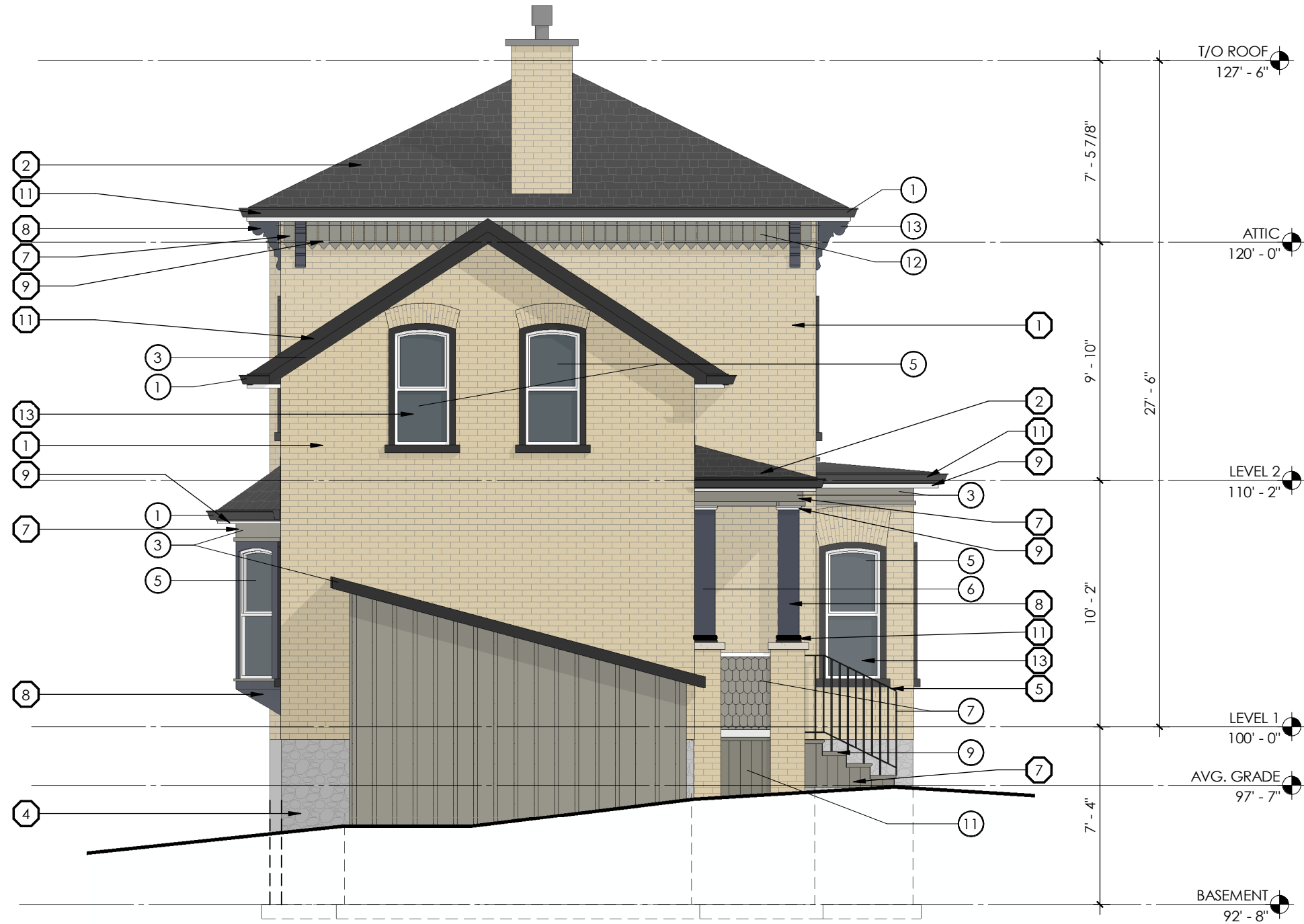
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PROJECT NO. 2019-016

87 SCOTT STREET

PROPOSED EAST ELEVATION

3/16"=1'-0"  
2019.06.27

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# 87 SCOTT STREET

87 SCOTT STREET, KITCHENER, ON. N2H 2R4



## LIST OF DRAWINGS

### ARCHITECTURAL

A0.1	GENERAL PROJECT INFORMATION
A0.2	OBC PLANS, ELEVATIONS & MATRIX
A1.1	DEMOLITION PLANS
A2.1	FLOOR PLANS
A3.1	REFLECTED CEILING PLANS
A5.1	NORTH & SOUTH ELEVATIONS
A5.2	EAST & WEST ELEVATIONS
A6.1	BUILDING SECTIONS
A7.1	PORCH DETAILS
A7.2	PLAN & SECTION DETAILS
A10.1	ASSEMBLIES & SCHEDULES

### STRUCTURAL

S1.0	CONSTRUCTION NOTES
S2.0	FRAMING PLANS
S2.1	SECTIONS

### MECHANICAL

M101	MECHANICAL LEGEND & SCHEDULES
M201	FLOOR PLANS - DEMOLITION
M301	FLOOR PLANS - DRAINAGE
M302	FLOOR PLANS - PLUMBING
M401	FLOOR PLANS - VENTILATION
M501	DETAILS
M502	MECHANICAL SPECIFICATIONS

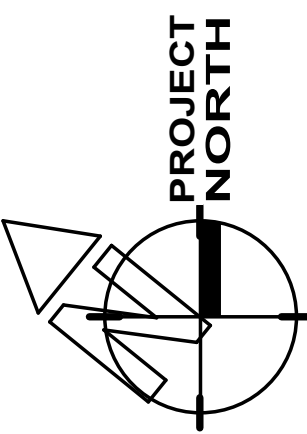
### ELECTRICAL

E101	LEGEND & SCHEDULES
E201	FLOOR PLANS - DEMOLITION
E301	FLOOR PLANS - RENOVATION
E401	ELECTRICAL SPECIFICATIONS









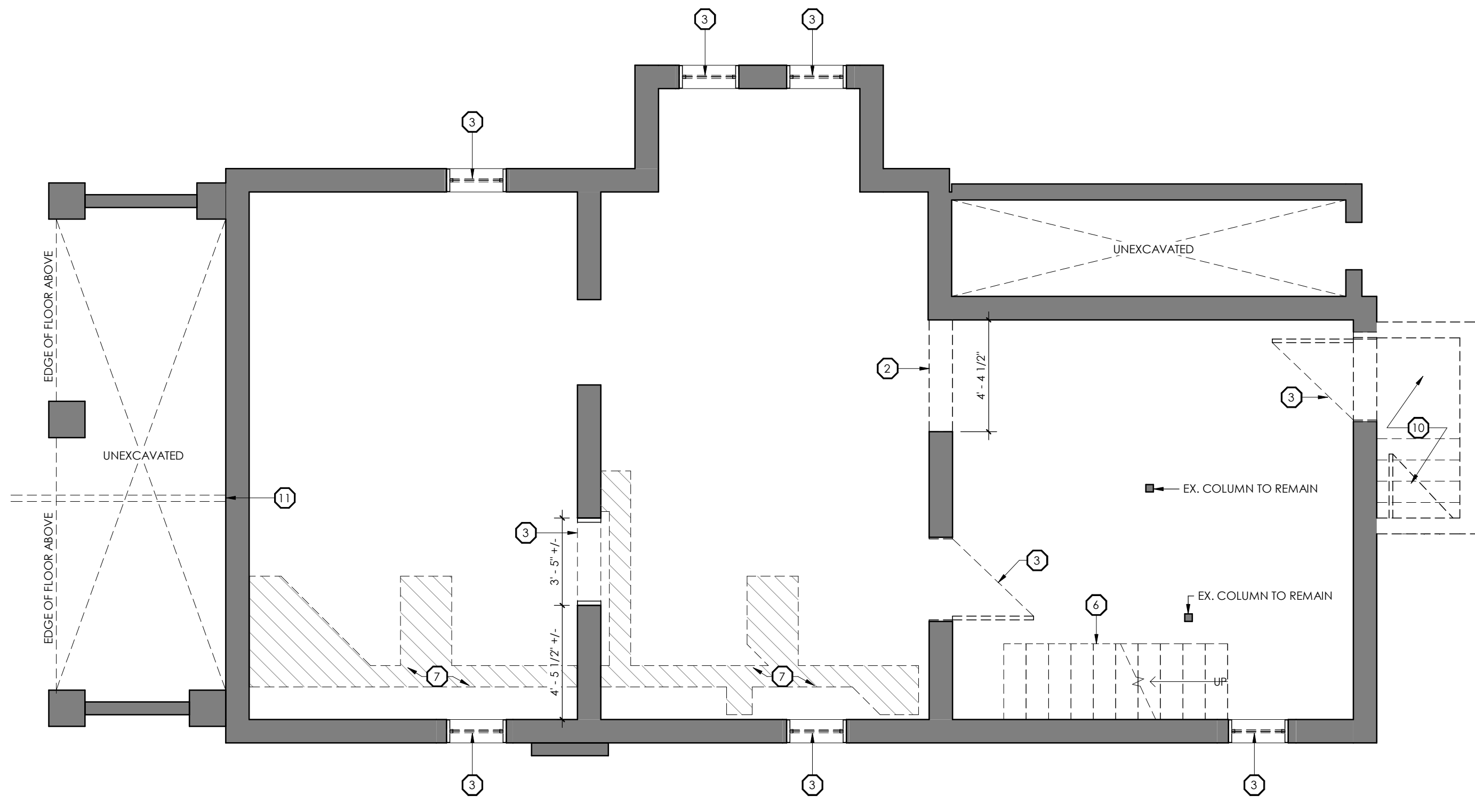
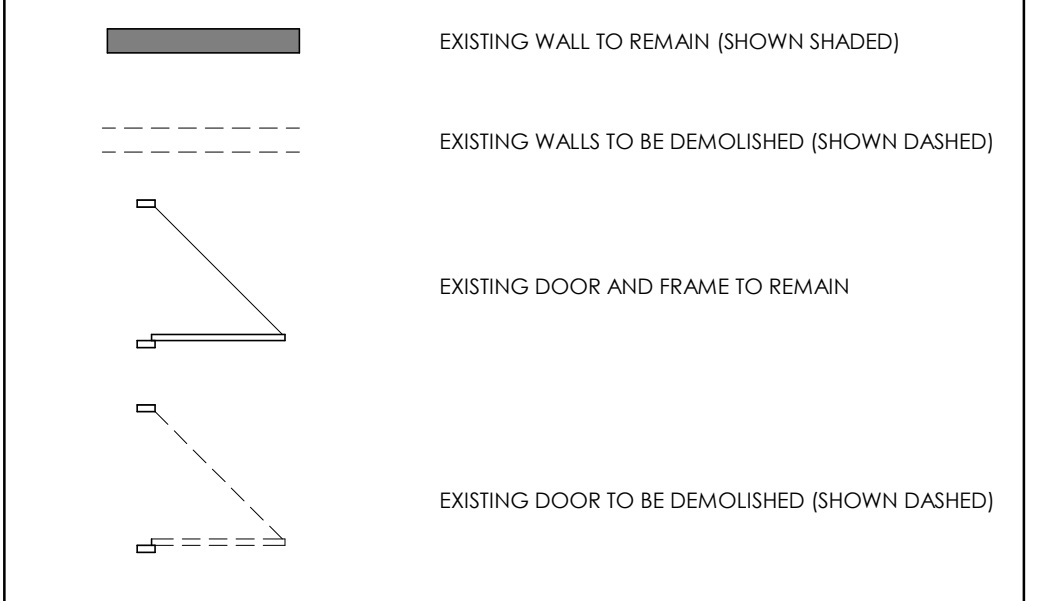
**DEMOLITION KEY NOTES**

- 1 DEMOLISH EXISTING WALLS INDICATED IN THEIR ENTIRETY. MAKE GOOD AFFECTED WALL, FLOOR & CEILING SURFACES TO REMAIN AND PREPARE FOR NEW FINISHES. COORDINATE W/ STRUCTURAL ENGINEER TEMPORARY SUPPORTS WHEN DEMOLISHING LOAD BEARING WALLS.
- 2 DEMOLISH PORTION OF EXISTING WALLS INDICATED. MAKE GOOD AFFECTED WALL, FLOOR, & CEILING SURFACES TO REMAIN AND PREPARE FOR NEW FINISHES.
- 3 DISMANTLE/DEMOLISH EXISTING DOORS, WALL OPENINGS, FRAMES, WINDOWS AND ALL ASSOCIATED HARDWARE. DISPOSE FROM SITE. MAKE GOOD AFFECTED WALL, FLOOR & CEILING SURFACES TO REMAIN AND PREPARE FOR NEW FINISHES.
- 4 DISMANTLE/DEMOLISH EXISTING PLUMBING FIXTURES & EQUIPMENT. DISPOSE FROM SITE. DECOMMISSION EXISTING SERVICES IN A SAFE MANNER.
- 5 DISMANTLE/DEMOLISH EXISTING MILLWORK. DISPOSE FROM SITE. MAKE GOOD AFFECTED WALL, FLOOR & CEILING SURFACES TO REMAIN AND PREPARE FOR NEW FINISHES.
- 6 DISMANTLE/DEMOLISH EXISTING STAIR IN ITS ENTIRETY. FILL OPENING IN FLOOR & MAKE GOOD AFFECTED WALL & FLOOR SURFACES TO REMAIN AND PREPARE FOR NEW FINISHES. REFER TO STRUCT. DWGS.
- 7 SAWCUT & REMOVE EXISTING SLAB ON GRADE TO ACCOMMODATE FOR MECHANICAL CONNECTIONS. PATCH/MAKE GOOD FLOOR SLAB AND PREP. FOR FLOOR FINISH. REFER TO MECH. DWGS. (SHOWN HATCHED).
- 8 REMOVE BRICKED-IN AREA TO REINSTATE ORIGINAL WINDOW OPENING. REMOVE WALL BEHIND BRICK AND PLACE NEW WINDOW IN OPENING. SALVAGE BRICKS FOR REUSE ON EXTERIOR REPAIRS TO FRONT PORCH. MAKE GOOD AFFECTED WALL SURFACES TO REMAIN AND PREPARE FOR NEW FINISH.
- 9 REMOVE ALL LATHE & PLASTER ON EXISTING WALLS & CEILINGS. PREP. SURFACES FOR NEW FINISHES/CONSTRUCTION. MAKE GOOD ANY REMAINING WALL & CEILING SURFACES.
- 10 DEMOLISH EXISTING BASEMENT ENTRY STAIR, INCLUDING EXISTING WALLS, CONC. STEPS, CONC. SLAB ON GRADE, CEILINGS, ROOFS, DOORS & DOOR FRAMES & ACCESSORIES ETC. AS NEEDED. MAKE GOOD WALL & FLOOR SURFACES TO REMAIN, & PREP. FOR CONSTRUCTION OF NEW ENTRY STAIR.
- 11 CLEANLY CUT/CORE OPENING IN EXISTING WALLS TO ACCOMMODATE FOR INSTALLATION OF NEW WATER SERVICE LINE. PATCH/MAKE GOOD EXISTING WALLS TO REMAIN. REFER TO MECH. DWGS.
- 12 DISMANTLE/DEMOLISH EXISTING WOOD POSTS. COORDINATE W/ STRUCT. ENG. PROVISION OF TEMPORARY SUPPORTS. PREP. FOR THE INSTALLATION OF NEW POSTS. REFER TO STRUCT. DWGS.
- 13 REMOVE EXISTING WOOD HANDRAIL IN ITS ENTIRETY. PATCH/MAKE GOOD REMAINING WALL & FLOOR SURFACES & PREP. FOR NEW CONSTRUCTION.
- 14 REPAIR/REPLACE & REPAINT EXISTING WOOD FLOOR DECKING AS NEEDED.
- 15 EXISTING COLUMNS TO BE REPAIRED & REPAINTED AS NEEDED.
- 16 REPLACE ALL EXISTING ROOF SHINGLES. REPAIR/REPLACE DAMAGED UNDERLAMENT & SHEATHING AS NEEDED.
- 17 REPLACE ALL EXISTING EAVESTROUGH. SUPPLY & INSTALL NEW PREFIN. ALUM. EAVES. PATCH/MAKE GOOD ANY AFFECTED AREAS.
- 18 EXISTING ENTRY DOOR TO BE REPAIRED & REPAINTED.
- 19 REMOVE/DEMOLISH EXISTING PORCH STAIR IN ITS ENTIRETY. MAKE GOOD AFFECTED SURFACES TO REMAIN.

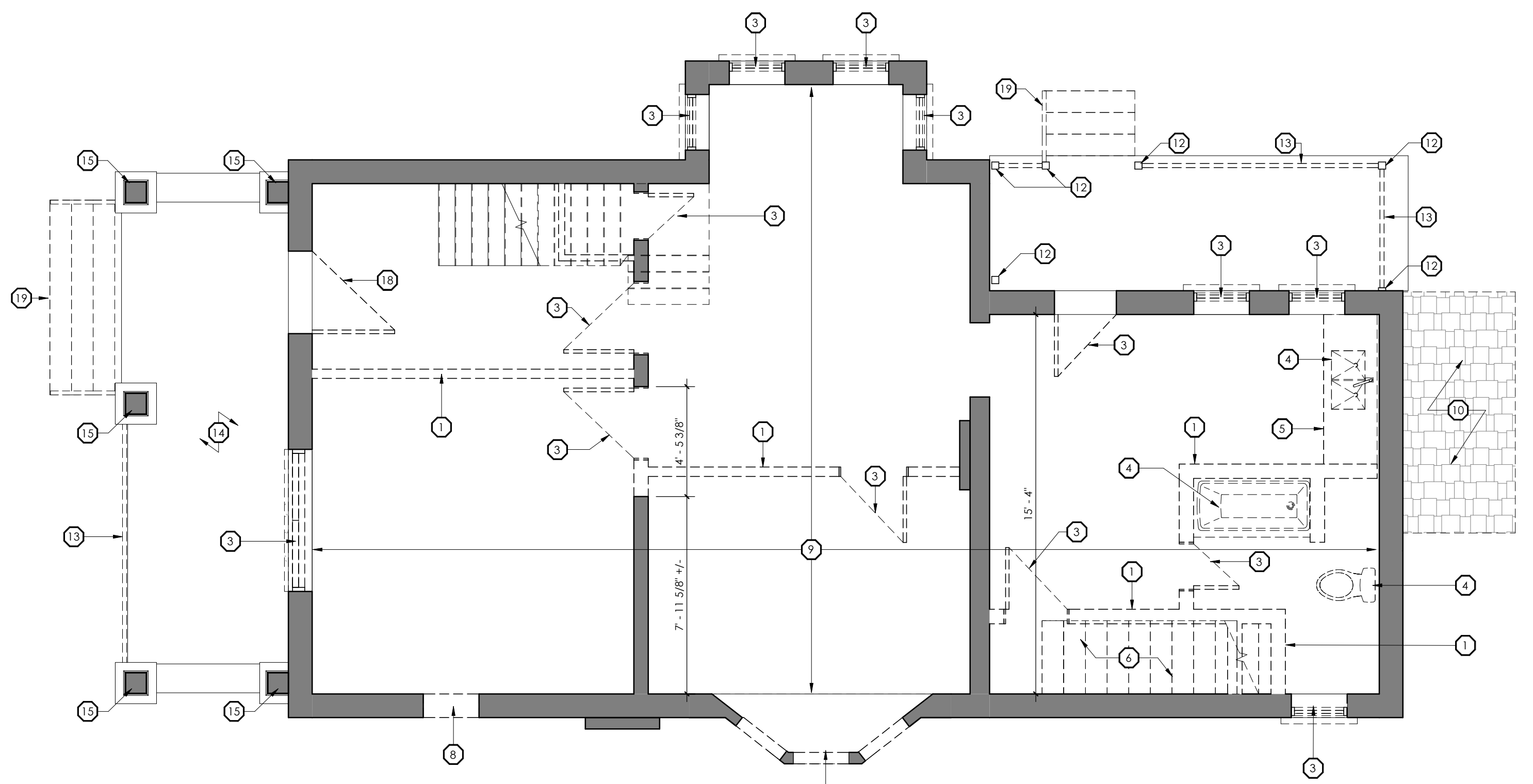
**DEMOLITION NOTES**

1. DISPOSE OF REMOVED ITEMS IN A LAWFUL MANNER IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE MUNICIPALITY HAVING JURISDICTION.
2. ALL EXISTING WALLS AND ITEMS TO BE REMOVED ARE SHOWN DASHED.
3. ALL EXISTING WALLS TO REMAIN SHOWN SHADED.
4. OWNER TO HAVE THE RIGHT TO FIRST REFUSAL OF ALL ITEMS REMOVED. ALL REMOVED ITEMS SHALL BE DISPOSED OF AS PER NOTE NO. 1.
5. COORDINATE WITH STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS ALL RELATED COMPONENTS OF DEMOLITION, MODIFICATION AND NEW INSTALLATION.
6. SAWCUT AND REMOVE THE EXISTING SLAB ON GRADE TO FACILITATE ANY BURIED MECHANICAL AND/OR ELECTRICAL ITEMS. PATCH AND MAKE GOOD SLAB ON GRADE AFTER NEW SERVICES ARE IN PLACE. COORDINATE WITH MECHANICAL AND ELECTRICAL DRAWINGS.
7. REMOVE, RELOCATE AND/OR RE-ROUTE ALL MECHANICAL AND ELECTRICAL SERVICES AND CONNECTIONS AS REQUIRED TO ACCOMMODATE DEMOLITION OR AS NECESSARY AS A RESULT OF DEMOLITION. REFER TO MECH. DWGS.
8. SUPPLY AND INSTALL ALL NECESSARY SHORING AND/OR BRACING AS REQUIRED FOR TEMPORARY SUPPORT OF EXISTING STRUCTURE. COORDINATE WITH A STRUCTURAL ENGINEER AS REQUIRED.
9. ENSURE ALL FLOOR AREAS ARE FREE OF HAZARDS AFTER DEMOLITION IS COMPLETE. LEVEL, PATCH, FILL AND GRIND FLOOR AS REQUIRED TO ACHIEVE A SMOOTH SANITARY SURFACE READY TO RECEIVE FLOOR FINISH.
10. CARE SHALL BE TAKEN TO MINIMIZE DAMAGE TO EXISTING ADJUTING WALLS, SURFACES AND FINISHES TO REMAIN.
11. PROTECT SALVAGED AND/OR ITEMS TO REMAIN FROM DAMAGE. PROVIDE ADEQUATE COVERINGS AND/OR STORAGE AS REQUIRED.
12. MAINTAIN A CLEAN, SAFE AND ORDERLY SITE AT ALL TIMES.
13. COORDINATE WITH OWNER AREA(S) FOR WASTE BIN LOCATION. SUPPLY AND MAINTAIN PROTECTIVE MEASURES TO ENSURE PUBLIC SAFETY.
14. SHOULD MATERIAL RESEMBLING SPRAY OR TROWEL APPLIED ASBESTOS OR OTHER TOXIC OR HAZARDOUS MATERIALS BE ENCOUNTERED IN THE COURSE OF DEMOLITION, STOP WORK, TAKE PREVENTATIVE MEASURES AND NOTIFY ARCHITECT AND/OR OWNER IMMEDIATELY. DO NOT PROCEED UNTIL WRITTEN INSTRUCTIONS HAVE BEEN RECEIVED.
15. THE DRAWINGS INDICATE THE PHYSICAL DIMENSIONS, EXISTING LEVELS AND SIMILAR ITEMS BEING INDICATED WHERE KNOWN. ALL INFORMATION RELATIVE TO EXISTING CONDITIONS IS OFFERED TO ASSIST THE CONTRACTOR IN EVALUATION OF THE WORK, BUT WITH NO SPECIFIC REPRESENTATION EITHER EXPRESSED OR IMPLIED, AS TO COMPLETENESS OR ACCURACY. BE RESPONSIBLE FOR ANY DEDUCTIONS OR CONCLUSIONS MADE ON THE BASIS OF THIS INFORMATION AND THAT OF ANY ADDITIONAL SITE INSPECTIONS IF MADE.

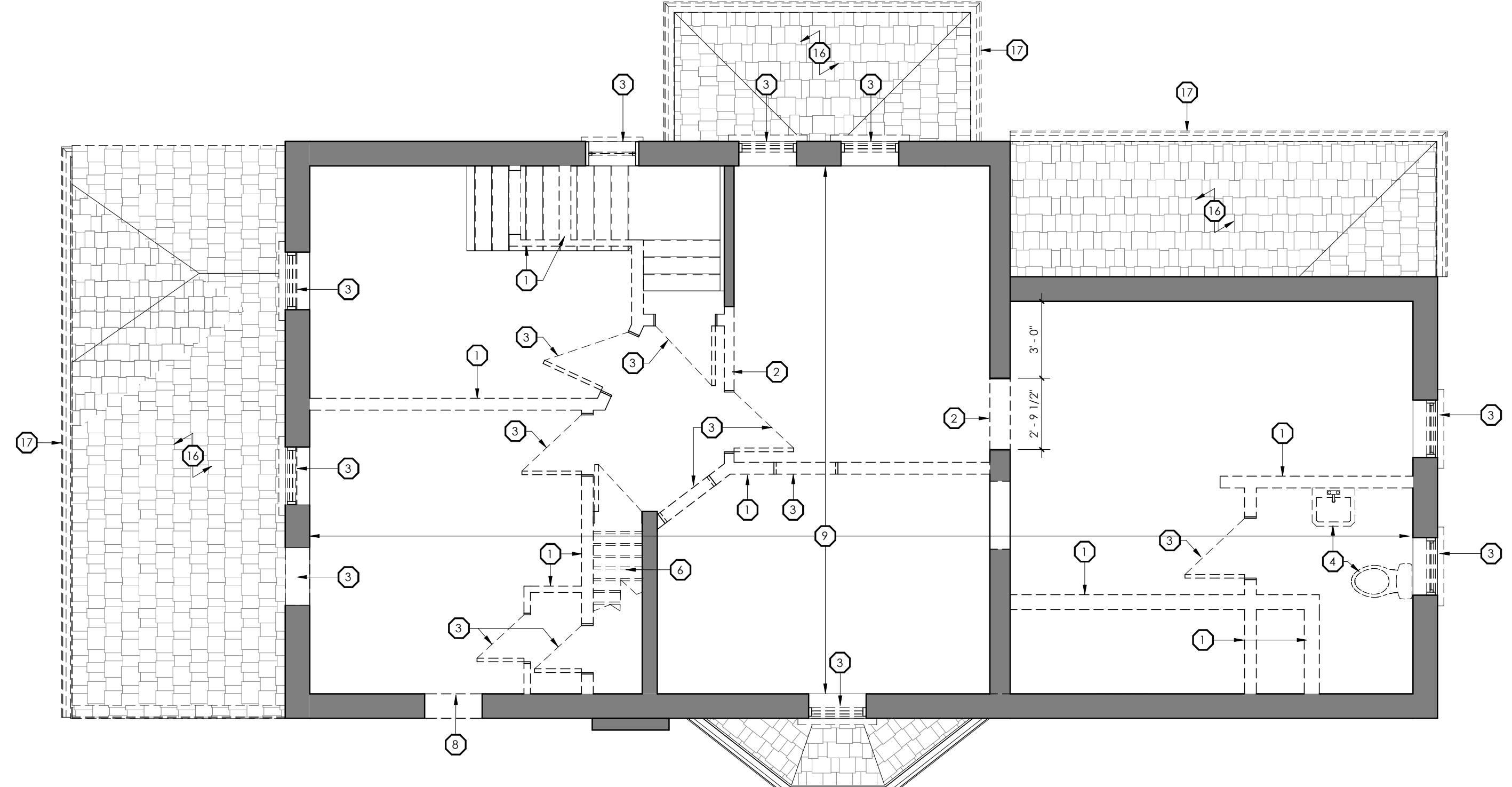
**DRAWING LEGEND**



1 BASEMENT DEMO PLAN  
A1.1 1/4" = 1'-0"



2 FIRST FLOOR DEMO PLAN  
A1.1 1/4" = 1'-0"



3 SECOND FLOOR DEMO PLAN  
A1.1 1/4" = 1'-0"

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No.	REVISIONS	DATE

ISSUED FOR TENDER	YYYY.MM.DD
ISSUED FOR RFP	2019.10.30
BUILDING PERMIT APPLICATION	2019.09.20
CHRONOLOGY	DATE

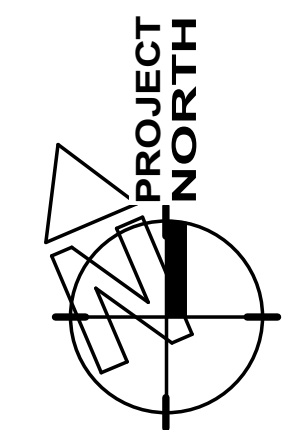
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**Killam APARTMENT REIT**

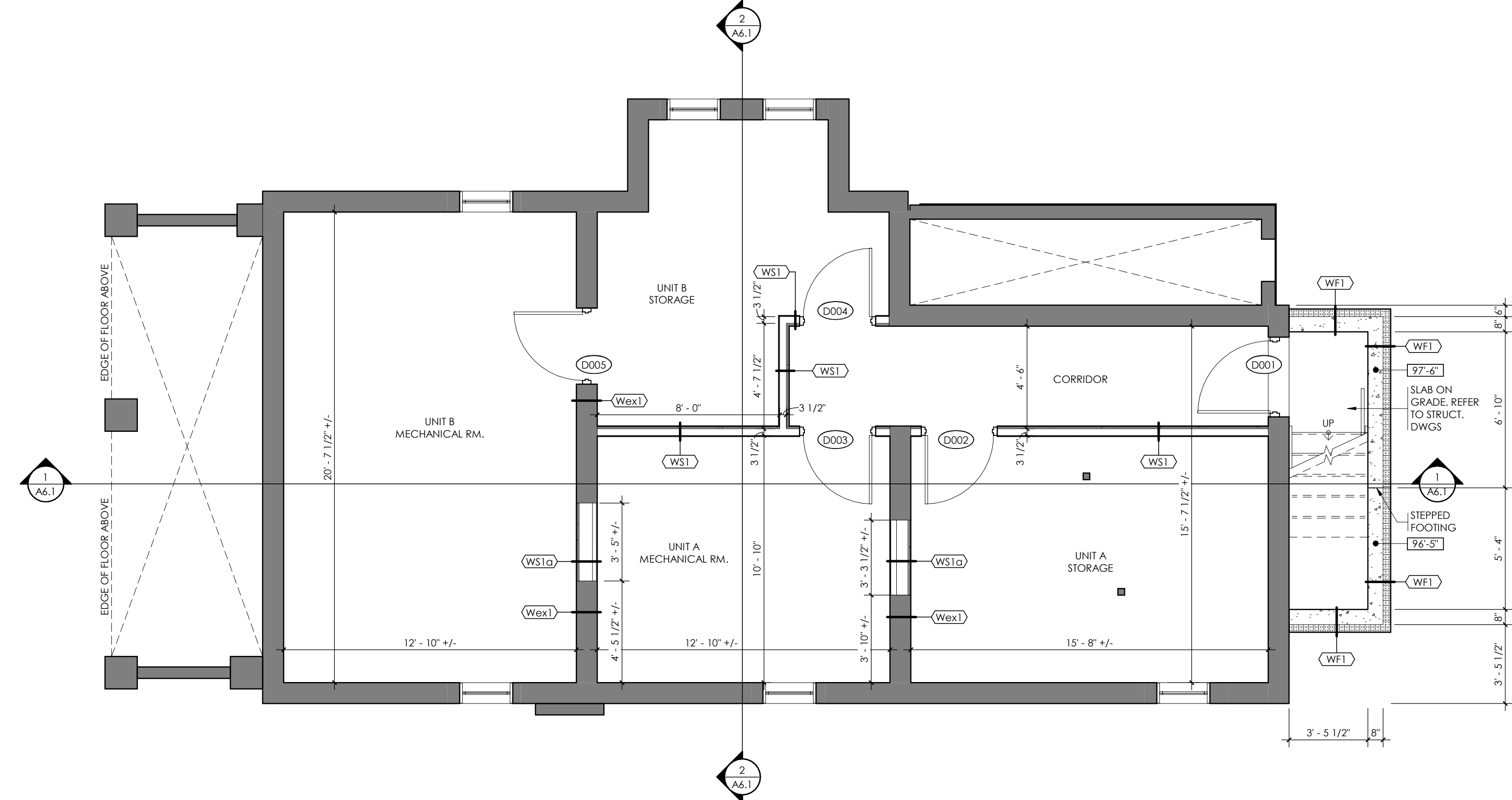
PROJECT NAME  
**87 SCOTT STREET**  
87 SCOTT STREET, KITCHENER, ON. N2H 2R4

DRAWING TITLE  
**DEMOLITION PLANS**

SCALE 1/8" = 1'-0"	DRAWING NUMBER <b>A1.1</b>
SHEET SIZE 24X36	PROJECT NUMBER 2019-01-6



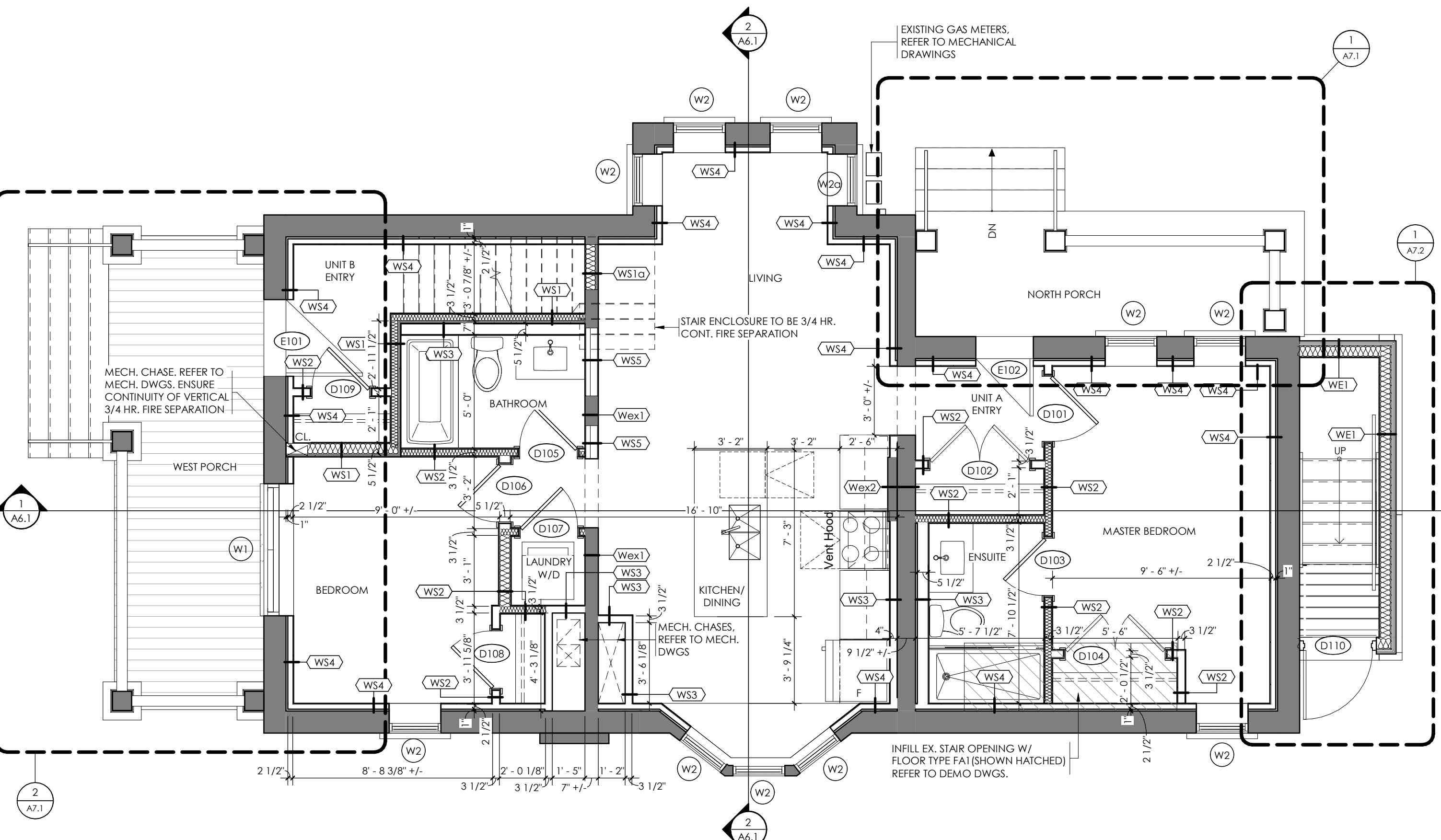
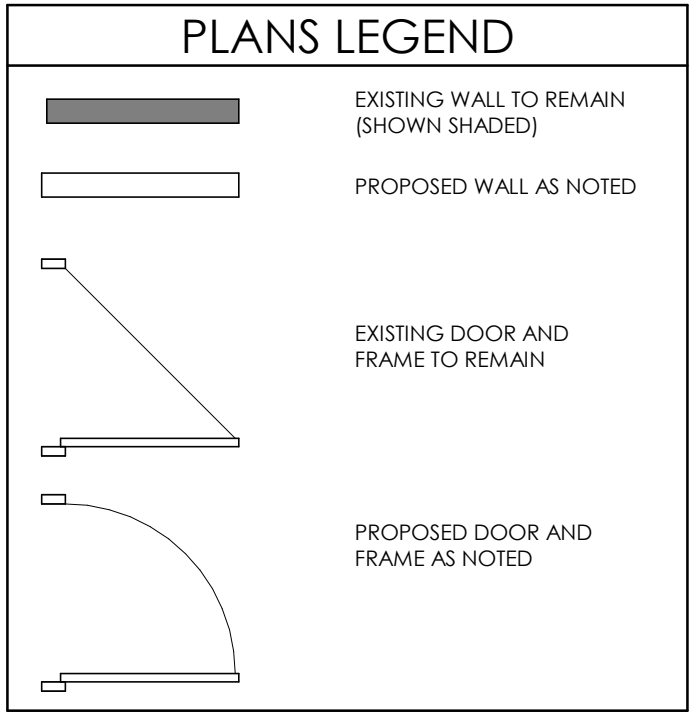
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 DRAWINGS ARE NOT TO BE SCALED.



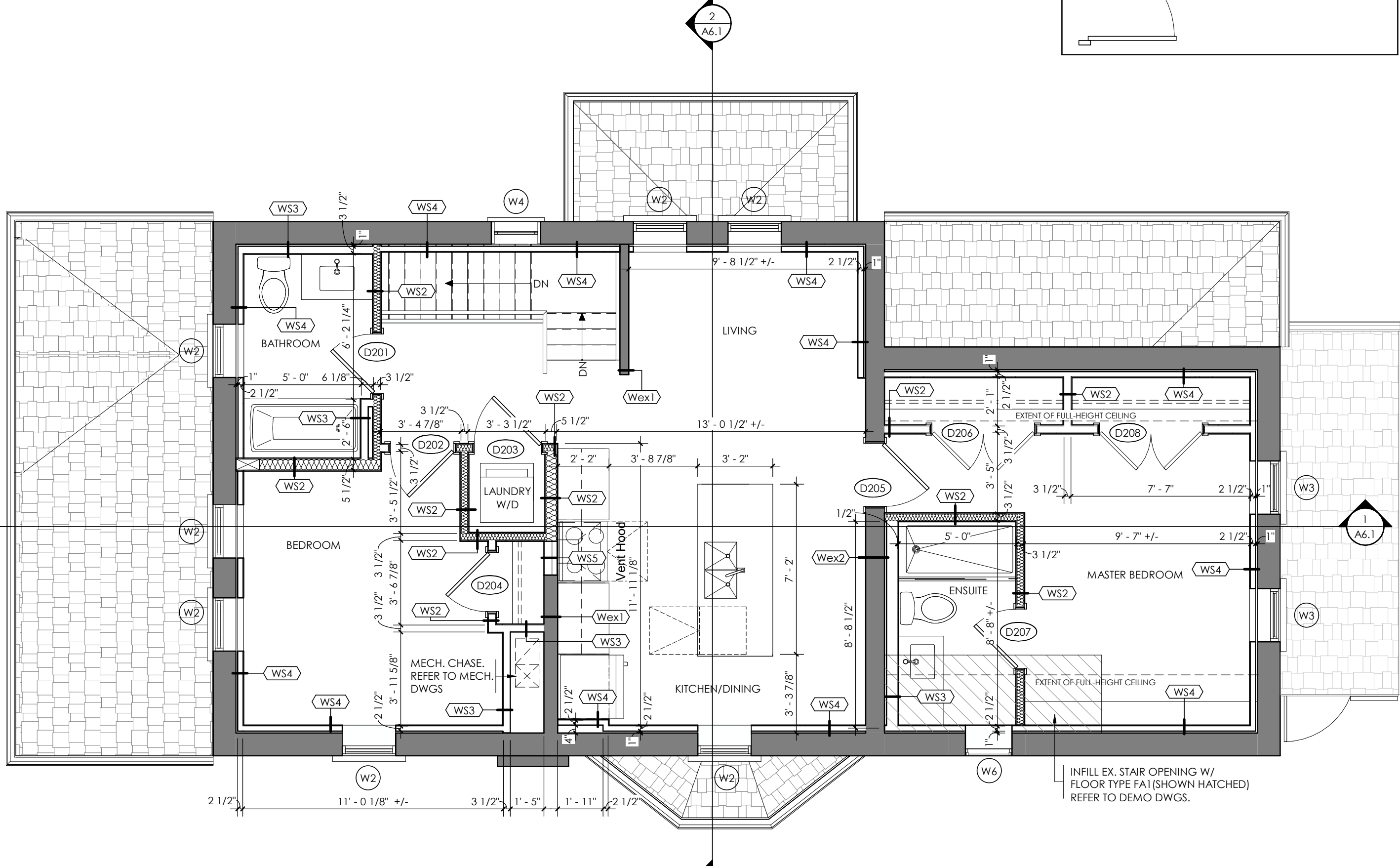
1 BASEMENT FLOOR PLAN  
 1/4" = 1'-0"

GENERAL NOTES

- SUPPLY AND MAINTAIN ON A DAILY BASIS ALL INTERIOR AND EXTERIOR TEMPORARY COVERINGS, FENCING, TARPING, HOARDING, FLOOR PLATES, SIGNAGE AND OTHER SEPARATIONS REQUIRED TO MAINTAIN THE SAFETY OF THE PUBLIC. COORDINATE THESE PROTECTIVE MEASURES WITH OWNER.
- REMOVE AND/OR DISPOSE OF ALL FROM SITE AFTER COMPLETION OF WORK OF THIS CONTRACT.
- MAINTAIN A CLEAN AND ORDERLY SITE AT ALL TIMES.
- COORDINATE WITH OWNER STAGING AREAS FOR SITE TRAILER AND MATERIALS STORAGE.
- COORDINATE WITH OWNER AREA(S) FOR GARBAGE BIN LOCATION. SUPPLY AND INSTALL PROTECTIVE MEASURES TO ENSURE THE GENERAL PUBLICS SAFETY.
- COORDINATE WITH OWNER ANY STAGING OF WORK AND/OR THE DISRUPTION OF PARKING AND TRAFFIC FLOW.
- IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND HIS SUBCONTRACTORS TO VISIT THIS SITE AND FAMILIARIZE THEMSELVES WITH ALL ASPECTS OF THIS PROJECT.
- ALL NEW SIGNAGE TO BE COORDINATED WITH OWNER'S REQUIREMENTS. ALL PERMITS AND DRAWINGS BY OTHERS.
- EXISTING WALLS AND/OR STRUCTURES TO REMAIN ARE SHOWN SHADED.
- COORDINATE STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS FOR ALL RELATED COMPONENTS OF DEMOLITION, MODIFICATION AND NEW INSTALLATION.
- GENERAL CONTRACTOR TO ENSURE ALL FLOOR AREAS ARE FREE OF HAZARDS AFTER DEMOLITION AND DURING CONSTRUCTION.
- GENERAL CONTRACTOR TO PROVIDE AND MAINTAIN ALL SHORING THAT IS REQUIRED FOR TEMPORARY SUPPORTS.
- GENERAL CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL CONSTRUCTION CONFORMS TO THE REQUIREMENTS OF THE CURRENT APPLICABLE BUILDING CODE AND GOVERNING REGULATIONS.
- PARTITIONS WHICH SUPPORT FIXTURES, MILLWORK AND/OR ACCESSORIES ARE TO BE REINFORCED WITH WOOD STUDS, BLOCKING AND PLYWOOD AS REQUIRED TO PROVIDE RIGID SUPPORT AND A FASTENING SURFACE.
- SITE VERIFY ALL DIMENSIONS PRIOR TO FABRICATION OF DOORS, WINDOWS AND MILLWORK.
- REMOVE ALL REDUNDANT PLUMBING, ELECTRICAL, MECHANICAL AND HVAC COMPONENTS. PATCH, SEAL, COVER AND MAKE SAFE AS REQUIRED. REFER TO MECH. DWGS
- PATCH AND REPAIR ALL OPENINGS AND PENETRATIONS FROM REMOVED ITEMS IN EXISTING FLOORS, WALLS AND CEILINGS TO REMAIN (MAINTAIN EXISTING FIRE RATINGS AS NOTED).
- ALL EXISTING SURFACES THAT ARE TO RECEIVE NEW FINISHES ARE TO BE REVIEWED PRIOR TO CONSTRUCTION. ALL DISCREPANCIES IN THE EXISTING MATERIALS AND/OR DIMENSIONS TO BE REPORTED TO THE ARCHITECT.
- ALL WALLS, CEILINGS AND SURFACES THAT ARE TO BE PAINTED SHALL BE REPAIRED, PATCHED AND SANDED SMOOTH, AS REQUIRED, READY FOR PAINT.
- PORTABLE FIRE EXTINGUISHERS TO BE INSTALLED IN CONFORMANCE WITH THE OFC 6.2 AND MUST HAVE A MINIMUM RATING OF 2A10BC AS PER MUNICIPAL BYLAW.
- SUPPLY AND INSTALL SEALANT AT LOCATIONS OF ABUTTING DISSIMILAR MATERIALS AND EQUIPMENT, VISIBLE OR OTHERWISE, TO PROTECT BUILDING COMPONENTS FROM AIR INFILTRATION AND MOISTURE PROTECTION. COLOUR TO MATCH ADJACENT SURFACE.
- INTERIOR DIMENSIONS ARE TO/FROM FACE OF STUD, TO/FROM FACE OF STUD AND/OR EXISTING WALL FINISH.
- THE DRAWINGS INDICATE THE PHYSICAL DIMENSIONS, EXISTING LEVELS AND SIMILAR ITEMS BEING INDICATED WHERE KNOWN. ALL INFORMATION RELATIVE TO EXISTING CONDITIONS IS OFFERED TO ASSIST THE CONTRACTOR IN EVALUATION OF THE WORK, BUT WITH NO SPECIFIC REPRESENTATION EITHER EXPRESSED OR IMPLIED, AS TO COMPLETENESS OR ACCURACY. BE RESPONSIBLE FOR ANY DEDUCTIONS OR CONCLUSIONS MADE ON THE BASIS OF THIS INFORMATION AND THAT OF ANY ADDITIONAL SITE INSPECTIONS IF MADE.
- THE CONTRACTOR SHALL ENSURE THAT ALL PORTIONS OF EXPOSED FOUNDATIONS WALLS ARE TO BE CAREFULLY FORMED AND POURED AND THAT ALL SURFACE IMPERFECTIONS, SCUFFS, CHIPS, ABRASIONS, INCLUDING FORM TIES ARE REMOVED AND THE SURFACE IS MADE GOOD. ALL EXPOSED FOUNDATION WALLS, REGARDLESS OF HEIGHT, ARE TO HAVE A BUSH HAMMERED FINISH UNLESS OTHERWISE AUTHORIZED IN WRITING BY THE ARCHITECT.



2 FIRST FLOOR PLAN  
 1/4" = 1'-0"



3 SECOND FLOOR PLAN  
 1/4" = 1'-0"

NO.	REVISIONS	DATE

ISSUED FOR TENDER	YYYY.MM.DD
ISSUED FOR RFP	2019.10.30
BUILDING PERMIT APPLICATION	2019.09.20
CHRONOLOGY	DATE

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PROJECT NAME  
**87 SCOTT STREET**  
 87 SCOTT STREET, KITCHENER, ON. N2H 2R4

DRAWING TITLE  
**FLOOR PLANS**

SCALE	As indicated	DRAWING NUMBER	<b>A2.1</b>
SHEET SIZE	24X36	PROJECT NUMBER	
PROJECT NUMBER	2019-01-6		

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