

HERITAGE IMPACT ASSESSMENT

417 King Street West, Kitchener

Date:

March 2023

Prepared for:

VanMar Developments

Prepared by:

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EXECUTIVE SUMMARY

The subject property located at 417 King Street W, Kitchener, is proposed to be redeveloped to accommodate a new multiple residential tower. The subject property has not been identified by the City as having cultural heritage value or interest (CHVI). However, the property is adjacent to the Part IV designated *Kaufman Building*, municipally listed *Lang Tanning Building* and within the *Warehouse District Cultural Heritage Landscape*. As such, a Heritage Impact Assessment is required to determine if the proposed redevelopment will adversely impact the surrounding heritage attributes.

This report concludes that the proposed redevelopment will not adversely impact the surrounding heritage attributes.

1.0 Introduction

MHBC has been retained by VanMar Developments Inc to undertake a Heritage Impact Assessment ('HIA') for the property municipally addressed as 417 King Street W, Kitchener (subject property). This report is related to a redevelopment proposal for the property, which includes the demolition of the existing structure and the construction of a new multiple residential tower.

The subject property is located in the Downtown (City Commercial Core) of Kitchener, and is designated 'Innovation District' on Map 4 of the Official Plan. Within the Downtown neighbourhood there is a concentration of properties that are either listed or designated on the Municipal Heritage Register. The 'Innovation District' more specifically is characterized by many large, historic industrial buildings that are now office and residential uses. The planning policies for the 'innovation District' encourage the densification of the area with a variety of land uses. The subject property is located within a Cultural Heritage Landscape, being the Warehouse District. Similar to the 'Innovation District', the Warehouse CHL is characterized by industrial buildings and ancillary uses, such as residences.

The purpose of this report is to assess the impact of the proposed redevelopment of 417 King Street West on the surrounding heritage resources. As required, this report will provide recommendations that ensure the conservation of any identified heritage attributes, the compatibility of the proposal with the surrounding area, and that overall design standards are met.

1.1 Scope of Heritage Impact Assessment

The City of Kitchener has requested a Scoped Heritage Impact Assessment. This report has been prepared in accordance with the scoped requirements provided in the pre-consultation document, as well as the Ontario Heritage Act infosheet #5. Specifically, this HIA includes the following:

- Assessment of proposed development on the adjacent heritage resources;
- Mitigation measures as required to ensure conservation of heritage attributes;
- Evaluation of the local context, impacts of proposal on the CHL and recommendations to avoid or mitigate impacts;
- Assess impacts of shadowing and provide mitigation strategies.

2.0 Overview

2.1 Description of Subject Property

The subject property is addressed as 417 King Street W, City of Kitchener. The subject property is approximately 2,747m² in area and legally described as Plan 375 Pt Lots 16 & 17, RP 58R12320 Pt 1. The property is located on the south frontage of King Street W, immediately west of Frances Street S, north of Halls Lane, and east of Victoria Street N. The subject property is occupied by a single storey brick building known as 'Ziggy's Cycle' and is adjacent to Francis Green parkette.



Figure1: Location of subject property at 417 King St W (Google Earth)



Figure2: View of subject property from King Street and Francis Street (MHBC)



Figure3: view of subject property from King Street (MHBC)

2.2 Surrounding Area

The surrounding area consists of multiple residential buildings and office buildings with ground floor commercial uses, institutional uses, parks, as well as surface parking lots. The immediate surrounding context is described in detail below:

North: Directly across from the property is the Kaufman building which consists of residential lofts as well as surface parking. Further north are various commercial buildings as well as the rail line and the VIA and GO transit stations.

- South:** The rear of the property abuts Halls Lane and a future 44-storey mixed-use tower at 30 Francis Street S. Beyond 30 Francis Street is Charles Street and the Lang Tannery Building complex, which has been converted from warehouse use to commercial (restaurants) and offices. Further south is the Victoria Park neighbourhood consisting of single detached dwellings and Victoria Park.
- East:** Abutting the property is Francis Green Parkette and Francis Street. On the east frontage of Francis Street are a range of commercial buildings and restaurants, which extend down King Street W through Kitchener's downtown area.
- West:** West of the property is a parking lot and a condominium building. Past Victoria Street is the University of Waterloo Health Sciences Campus. Beyond the University Campus is the rail line.

2.3 Heritage Status

In Ontario, there are several ways of recognizing heritage resources. Part IV, Section 27 of the *Ontario Heritage Act* requires that each municipality keep a public register of properties that are of cultural heritage value or interest. Municipalities can also designate entire neighbourhoods as Conservation Districts, or recognize certain areas as Cultural Heritage Landscapes.

The subject property is not a listed or designated property on the Heritage Property Register for Kitchener. However, the property is adjacent to 404-410 King Street W, which is designated under Part IV of the Ontario Heritage Act and is also known as the Kaufman Footwear Building. Additionally, the property is located within the Warehouse District Cultural Heritage Landscape.

There are other listed properties located near the subject property, including the Lang Tanning Co. Building, addressed as 113-151 Charles Street W, 170-188 Joseph Street, and 3-44 Francis Street South.



Kaufman Footwear Building

404-410 King Street W is designated under Part IV of the OHA



Lang Tanning Co. Building

113-151 Charles Street W, 170-188 Joseph Street, and 3-44 Francis Street is listed on the Kitchener Heritage Property Register



Warehouse District Cultural Heritage Landscape

Subject property noted in red

3.0 Policy Context

3.1 The Ontario Planning Act

The *Planning Act* makes a number of provisions respecting cultural heritage, either directly in Section 2 of the Act or Section 3 respecting policy statements and provincial plans. In Section 2, the *Planning Act* outlines 18 spheres of provincial interest that must be considered by appropriate authorities in the planning process. Regarding cultural heritage, Subsection 2(d) of the Act provides that:

The Minister, the council of a municipality, a local board, a planning board and the Municipal Board, in carrying out their responsibilities under this Act, shall have regard to, among other matters, matters of provincial interest such as,

(d) the conservation of features of significant architectural, cultural, historical, archaeological or scientific interest;

The *Planning Act* therefore provides for the overall broad consideration of cultural heritage resources through the land use planning process.

3.2 Provincial Policy Statement (2020)

In support of the provincial interest identified in Subsection 2 (d) of the *Planning Act*, and as provided for in Section 3, the Province has refined policy guidance for land use planning and development matters in the *Provincial Policy Statement, 2020* (PPS). The PPS is “intended to be read in its entirety and the relevant policy areas are to be applied in each situation”. This provides a weighting and balancing of issues within the planning process. When addressing cultural heritage planning, the PPS provides for the following:

2.6.1 Significant built heritage resources and significant cultural heritage landscapes shall be conserved.

The PPS also states in Sub-section 2.6.3 that,

Planning authorities shall not permit development and site alteration on adjacent lands to a protected heritage property except where the proposed development and site alteration has

been evaluated and it has been demonstrated that the heritage attributes of the protected heritage property will be conserved.

The following definitions are provided in Section 6.0:

Heritage attributes: *means the principal features or elements that contribute to a protected heritage property's cultural heritage value or interest, and may include the property's built, constructed, or manufactured elements, as well as natural landforms, vegetation, water features, and its visual setting (e.g. significant views or vistas to or from a protected heritage property).*

Protected Heritage Property: *means property designated under Parts IV, V or VI of the Ontario Heritage Act; property subject to a heritage conservation easement under Parts II or IV of the Ontario Heritage Act; property identified by the Province and prescribed public bodies as provincial heritage property under the Standards and Guidelines for Conservation of Provincial Heritage Properties; property protected under federal legislation, and UNESCO World Heritage Sites.*

Significant: *e) in regard to cultural heritage and archaeology, resources that have been determined to have cultural heritage value or interest. Processes and criteria for determining cultural heritage value or interest are established by the Province under the authority of the Ontario Heritage Act.*

3.3 Ontario Heritage Act

The *Ontario Heritage Act*, R.S.O, 1990, c.0.18 remains the guiding legislation for the conservation of significant cultural heritage resources in Ontario. This HIA has been guided by the criteria provided with *Regulation 9/06* of the *Ontario Heritage Act* that outlines the mechanism for determining cultural heritage value or interest. The regulation sets forth categories of criteria and several sub-criteria.

3.4 Waterloo Region Official Plan

Chapter 3 of the Regional Official Plan provides policies on Cultural Heritage. The Region in tandem with the Area Municipalities will conserve and identify cultural heritage resources. Relevant policies applicable to this proposal include:

- The Region and Area Municipalities will ensure that cultural heritage resources are conserved.
- Area Municipalities will identify cultural heritage resources by establishing and maintaining a register of properties that are of cultural heritage value or interest. Area Municipalities will include on their register properties designated under Part IV, V or VI of the Heritage Act, and

will consider including, but not be limited to, the following additional cultural heritage resources of cultural heritage value or interest:

- a) properties that have heritage conservation easements or covenants registered against title;
 - b) cultural heritage resources of Regional interest; and
 - c) cultural heritage resources identified by the Grand River Conservation Authority and the Federal or Provincial governments.
- Area Municipalities will designate Cultural Heritage Landscapes in their official plans and establish associated policies to conserve these areas. The purpose of this designation is to conserve groupings of cultural heritage resources that together have greater heritage significance than their constituent elements or parts.
 - Area Municipalities will establish policies in their official plans to require the submission of a Cultural Heritage Impact Assessment in support of a proposed development that includes or is adjacent to a designated property, or includes a non-designated resource of cultural heritage value or interest listed on the Municipal Heritage Register.
 - Cultural Heritage Impact Assessments may be scoped or waived by the Region or the Area Municipality as applicable.

3.5 City of Kitchener Official Plan

Part C, Section 12 provides policies on Cultural Heritage Resources. It is the objective of the City to conserve cultural heritage resources and their heritage values, attributes and integrity, to ensure that all development is sensitive to and respects cultural heritage resources, and to increase public awareness and appreciation for cultural heritage resources.

The Official Plan sets out a number of policies surrounding the identification and conservation of heritage resources and the function of the Municipal Heritage Committee. Of relevance to this Report is policy 12.C.1.23 which speaks to Heritage Impact Assessments. The City will require the submission of a Heritage Impact Assessment and/or Heritage Conservation Plan for development, redevelopment and site alteration that has the potential to impact a cultural heritage resource and is proposed:

- a) on or adjacent to a protected heritage property
- b) on or adjacent to a heritage corridor
- c) on properties listed as non-designated of cultural heritage value or interest on the Municipal Heritage Register
- d) on or adjacent to an identified cultural heritage landscape.

4.0 Heritage Resources

4.1 Kaufman Footwear Building

The Kaufman Footwear Building is located at 404-410 King Street W and is designated under Part IV of the Ontario Heritage Act under designation by-law 96-34. The Kaufman Building is located across the street from the subject property and occupies the western block along King Street W between Victoria Street and Francis Street. The foyer, or main entrance, is located at the Francis Street and King Street intersection. The building is now residential units, however, was home to the Kaufman Rubber Company Ltd. The building was constructed in 1908 and designed by Albert Kahn, representative of the 'Kahn System' of building for industrial buildings. Khan's facades were designed in a "grid pattern, as successive floor slabs were interfaced with the structure's exterior columns. The use of red brick on the façade, at the spandrels, served to accentuate the grid structure, as did the inclusion of large steel sash windows" (Patti Shea, August 1989).

The Kaufman Rubber Company was the workplace of many of the residents and contributed to the local economy. Its location within the downtown and at a prominent intersection serves as a gateway to, and a landmark within the downtown. The heritage attributes of the building include:

- exposed concrete frame, window openings, cornice and dentil mouldings and porticos of the 1908 and 1911 building phases
- primary leading roofline to the height of the 1908 and 1911 building frame
- exposed concrete frame, brick and concrete block infill panels (spandrels) of the 1920 building phase
- concrete lintels and sills of the 1920 building phase
- glass and metal enclosed entranceway with closed transom of the 1920 building phase
- limestone Doric columns of the 1920 building phase
- window openings cornice and dentil mouldings, roof and roofline of the 1920 building phase
- reception counter line of the northwest wall from the floor to the underside of the height of the existing wall opening of the 1920 building phase
- exposed concrete frame and brick and concrete block infill panels (spandrels) of the 1925 building phase

- window openings, cornice and dentil mouldings, roof and roofline of the 1925 building phase
- elements of the entrance foyer of the 1920 building phase
- frieze with the inscription reading “Kaufman Rubber Co. Ltd.” of the 1920 building phase
- siting at the gateway to the downtown from Waterloo



Figure 4: historic drawing of t Kaufman Building (D.Y. Heritage Info)



Figure 5: current view of Kaufman Builing at the King Street and Francis Street intersection (MHBC)

4.2 Lang Tanning Building

The Lang Tanning Building is a listed property on the municipal heritage register. It is a former industrial complex occupying an entire block bounded by Victoria Street S, Charles Street W, Francis Street S and Joseph Street. Currently, the building is used for a variety of commercial, office, and restaurant uses.

Lang Tanning Company was started by a German immigrant, Reinhold Lang and was at one point the largest sole leather producer in Canada. It was also a prominent employer for City residents. It ranges in height from one to five storeys and consists of several interconnected buildings constructed from 1896 to 1956. The brick building is a vernacular industrial design forming part of the Warehouse District CHL.



Figure 6: drawing of Lang Tanning Complex (University of Waterloo Library)

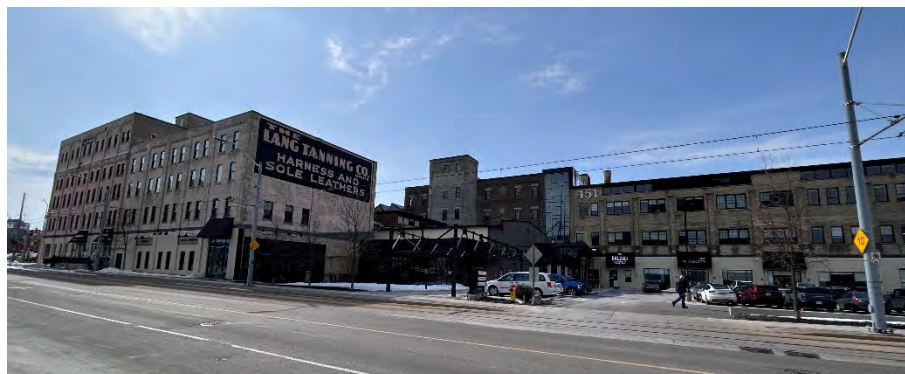


Figure 7: current view of Lang Tanning Complex (MHBC)

4.3 Warehouse District CHL

The Provincial Policy Statement (2020) defines a CHL as an area that is identified as having cultural heritage value or interest by a community and may involve structures, spaces, archaeological sites or natural elements that are valued together for their interrelationship, meaning or association. The City of Kitchener completed a Cultural Heritage Landscape Study in 2014 which identified 30 CHL's. The subject property is within the Warehouse District, identified as 'L-COM-1' characterized as an industrial/commercial landscape. Many of the original warehouse and factory buildings remain, including the Kaufman and the Tanning buildings. There are limited trees along corridors which make the area highly visible. The area buildings are consistent in design with tall floors and large windows and show the evolution from brick construction to concrete and steel.

Character defining elements include: "Industrial landmarks historically important to the City and in many ways Kitchener's reason for developing as an urban industrial centre" (City of Kitchener, 2014). The Warehouse District retains:

- historical identity as it has been consistently used for the same purpose since the railway arrived and retains several buildings;
- Cultural Value as it informs the development history of Kitchener and is contextually important to surrounding neighbourhoods;
- Community value as it is a source of employment for residents.

5.0 Proposed Development

The owner of the subject property is proposing to demolish the existing building and redevelop the site with a mixed-use tower. The new tower is proposed to be 55 storeys in height and provide a total of 622 units with balconies. The proposed development includes a six storey podium with amenity space on the podium roof. The ground floor will consist of parking oriented to Halls Lane, as well as the lobby, retail, and main entrance oriented to King Street and Francis Street. Floors 2 to 6 will consist of above ground parking, and floor 7 will serve as amenity space with a walkout rooftop amenity area on the podium roof. The remainder of the building will consist of residential units. One underground level is proposed for bicycle and vehicle parking. Vehicular access will be provided from Halls Lane, with one driveway entrance to the underground parking and one entrance to the podium parking. The primary pedestrian entrance will be provided from King Street W. The ground floor will consist of retail.

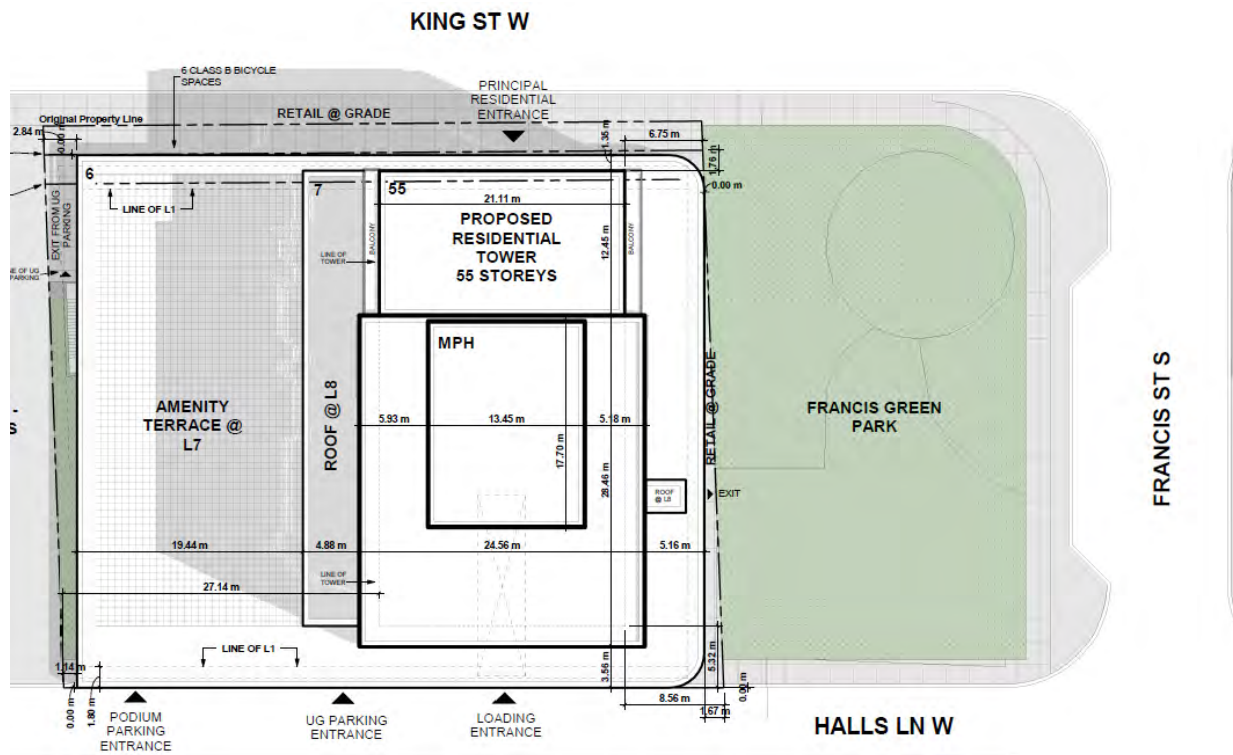


Figure 8: Proposed Site plan. Full site plan and renderings are included as Appendix B (Kirkor Architects)

The building will be contemporary in design, intended to serve as a landmark at the intersection of King Street W and Francis Street S. The exterior design and use of materials will create a distinction between the podium and tower components. The podium will be constructed of concrete (pre-cast), metal, and glass. The tower component will consist of glass, including glass railings for the balconies. The concept plan, floor plan, and a full set of renderings has been included as Appendix B.



Figure 9: Rendering of podium (Kirkor Architects)



Figure 10: Rendering of proposed building, as seen from King St

6.0 Impact Assessment

The impacts of a proposed development or change to a cultural heritage resource may be direct or indirect. They may occur over a short term or long term duration, and may occur during a pre-construction phase, construction phase or post-construction phase. Impacts to a cultural heritage resource may also be site specific or widespread, and may have low, moderate or high levels of physical impact.

The following sub-sections of this report provide an analysis of the impacts which may occur as a result of the proposed development in accordance with the Ontario Heritage Toolkit.

- **Destruction:** of any, or part of any *significant heritage attributes* or features;
- **Alteration:** that is not sympathetic, or is incompatible, with the historic fabric and appearance;
- **Shadows:** created that alter the appearance of a *heritage attribute* or change the viability of a natural feature or plantings, such as a garden;
- **Isolation:** of a *heritage attribute* from its surrounding environment, context or a significant relationship;
- **Direct or Indirect Obstruction:** of significant views or vistas within, from, or of built and natural features;
- **A change in land use:** such as rezoning a battlefield from open space to residential use, allowing new development or site alteration to fill in the formerly open spaces;
- **Land disturbances:** such as a change in grade that alters soils, and drainage patterns that adversely affect a cultural heritage resource.

6.1 Impact Assessment: Kaufman Footwear Building

Impact	Assessment Comment
Destruction or alteration of heritage attributes	The proposed redevelopment does not include the Kaufman Building. There will be no destruction or alteration to heritage attributes of the building as a result of the proposed development.
Shadows	A shadow study has been completed for the proposed development (included as Appendix C). The shadow study does show some shadowing on the Kaufman Building in the spring and fall during the afternoon, as well as minor shadowing in the evening of the summer. The tower will be slender and shadows produced will be narrow. The shadows cast will not be widespread and will only be present for limited periods of time in the late afternoon or evening. The shadows are not expected to impact the heritage value of the building or significant landscape features.
Isolation	The proposed redevelopment will not result in the isolation of the heritage property. The surrounding area is comprised of a range of land uses and densities, as well as other heritage resources which contribute to the character of the area. The proposed land use will be consistent with other residential development found within the surrounding area. No adverse impacts associated with isolation are anticipated.
Direct or Indirect Obstruction of Views	Significant views of the Kaufman Building are from the King Street right of way, Francis Street right of way, as well as Francis Green park. There are currently existing views from Charles Street. However, there is a 44 storey tower being built at 30 Francis Street S, which will block this view. The proposed development of the subject property will not impact viewing opportunities of the Kaufman building and all existing significant views will be maintained.
A Change in Land Use	There will be no change in land use for the heritage property.
Land Disturbance	The subject property is approximately 23m from the Kaufman Building. It is possible that land disturbances may occur during construction of the proposed building. However, the Kaufman Building was originally designed for industrial. The construction and building materials used, including thick concrete floors, walls and steel reinforcement, ensure that the building was built to withstand vibrations or other intensive activities. Therefore, impacts due to vibration during construction are not likely.

6.2 Impact Assessment: Lang Tanning Building

Impact	Assessment Comment
Destruction or alteration of heritage attributes	The proposed redevelopment does not include the Lang Tanning Building. There will be no destruction or alteration to heritage attributes of the building as a result of the proposed development.
Shadows	A shadow study has been completed for the proposed development (included as Appendix C). The shadow study does not anticipate significant shadowing on the Lang Tanning Building and therefore will not impact the heritage value of the building or significant landscape features.
Isolation	The proposed redevelopment will not result in the isolation of the heritage property. The surrounding area is comprised of a range of land uses and densities, as well as other heritage resources which contribute to the character of the area. The proposed land use will be consistent with other residential development found within the surrounding area. No adverse impacts associated with isolation are anticipated.
Direct or Indirect Obstruction of Views	Significant views of the Lang Tanning Building are from the Victoria Street and Charles Street W intersection. The proposed new building is not located within this intersection and will not impact viewing opportunities of the Lang Tanning Building. All existing significant views will be maintained.
A Change in Land Use	There will be no change in land use for the heritage property.
Land Disturbance	The subject property is approximately 70m from the Lang Tanning Building. The proposed development is far enough away that no impacts related to vibration during construction are anticipated.

6.3 Impact Assessment: Warehouse District Cultural Heritage Landscape

At present, the Warehouse District consists of a range of buildings and uses at varying scales and designs. Adjacent to the subject property at 30 Francis Street is a 44 storey tower, and fronting on Victoria Street is a multiple residential tower, demonstrating that such uses and scales can be accommodated within the Warehouse District. The existing building at 417 King Street W does not form part of the built form fabric of the cultural heritage landscape. The building is not a reflection of early industrial development, is not recognized as a cultural heritage resource and is not

contextually important to the CHL. Therefore, its removal would not alter or otherwise impact the character of the Warehouse District.

The Warehouse District places emphasis on the original commercial and industrial buildings as defining the character of the area. The existing building at 417 King Street W is not original and does not support the industrial landscape. Its removal would not change the character of the area, and the construction of a new tower would have a negligible impact as there are existing towers within this area. Figures 11 to 16 demonstrate how multiple residential towers have been integrated into the Warehouse District CHL. The proposed development will be of a similar scale to existing towers and will utilize building materials that reflect the evolution of construction in this area, drawing on metal, concrete and glass. The base/podium of the proposed tower will create a prominent and recognizable building with significant architectural detailing (refer to Appendix A for the renderings).



Figure 11: 44 storey tower being constructed at 30 Francis Street, adjacent to subject property (srm Architects)



Figure 12: podium of 44 storey tower at 30 Francis Street (srm Architects)



Figure 13: Looking east towards 1 Victoria Condominium at the intersection of King St W and Victoria St S in the Warehouse CHL (MHBC)



Figure 14: Looking south towards 100 Victoria Street S Condominium in the Warehouse CHL (MHBC)



Figure 15: Looking north towards the 104 Garment and 100 Victoria St and 1 Victoria Condominiums in the Warehouse CHL (MHBC)

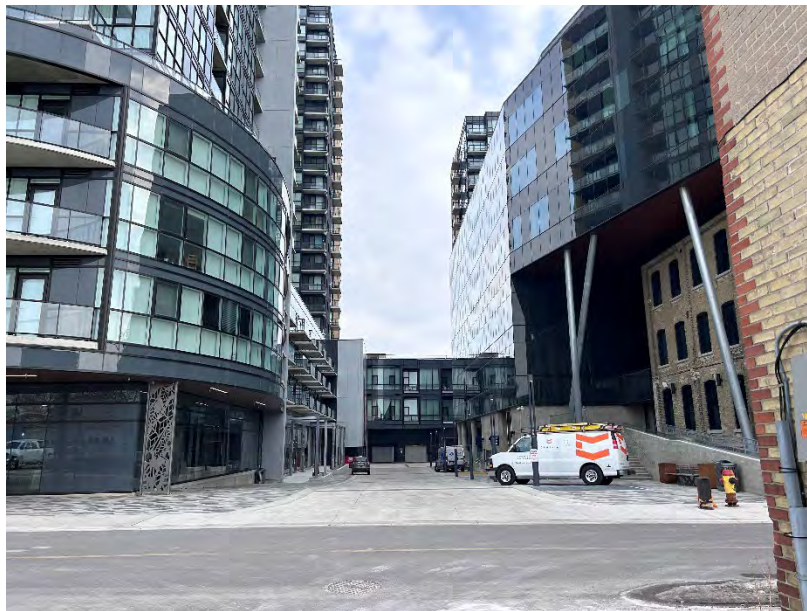


Figure 16: Looking north towards within the Garment and Victoria Condominiums in the Warehouse CHL. Similar design elements will be included within the proposed development (MHBC)

A shadow assessment has been prepared which models shadowing patterns cast from the proposed tower. The shadow study indicates that the proposed building will cast shadows most prominently in the early mornings and evenings of the spring, fall and summer. The shadows will not be present for long periods and are consistent with existing shadows cast from surrounding buildings.

The building has been designed as tall and narrow, resulting in slender shadows. The resulting shadows cast will be minimal in size (skinny) and will not be widespread across the Warehouse District. Additionally, the Warehouse District is recognized for having minimal vegetation and therefore no significant landscape or vegetation will be impacted by the shadowing.

7.0 Recommendations and Conclusions

The owner of the subject property is proposing to demolish the existing building and construct a new mixed-use tower. The subject property is adjacent to a designated heritage property (Kaufman Building), nearby to a listed heritage property (Lang Tanning Building) as well as within the Warehouse District CHL. A Heritage Impact Assessment is required to determine the impact the proposed redevelopment may have on the surrounding heritage attributes.

This report concludes that the proposed redevelopment will not result in adverse impacts to the Kaufman Building, Lang Tanning Building or the surrounding CHL. The proposed development does involve excavation, which could result in vibrations during construction. We note that the Kaufman Building was originally designed for industrial use, which housed large and heavy machinery. The construction and building materials used, including thick concrete floors, walls and steel reinforcement, ensure that the building was built to withstand vibrations or other intensive activities. Therefore, impacts due to vibration during construction are unlikely.

Appendix A

Concept Plan & Renderings

417 King St West, Kitchener

Proposed Residential Development



DRAWING LIST		Issue#1 (2022-10-21)	Issue#2 (2023-02-14)
Sheet Number	Sheet Name		
11 REZONING			
A0			
dA0.1	Cover Page	■	■
A1			
dA1.2	Survey & Project Statistics	■	■
dA1.3	Site Plan	■	■
A2			
dA2.1	Floor Plan Level P1/Level 1	■	■
dA2.2	Floor Plan Level 2/Level 3-5	■	■
dA2.3	Floor Plan Level 6/Level 7	■	■
dA2.4	Floor Plan L 8/L 9-28/L 29/L 30	■	■
dA2.5	Level 31-55/Level MPH/Roof Plan	■	■
A4			
dA4.1	East and West Elevations	■	■
dA4.2	North and South Elevations	■	■
A5			
dA5.1	Building Sections	■	■
A6			
dA6.1	Perspectives	■	■
A7			
dA7.1	Sun Shadow Study - March & September 21	■	■
dA7.2	Sun Shadow Study - June 21	■	■
dA7.3	Sun Shadow Study - December 21	■	■

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Revisions:

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02.	ZBA 2nd Submission	2023-02-14
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Client:
VanMar Developments

417 King St West, Kitchener
Proposed Residential Development

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Cover Page

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Checked by: **VS**
Project No.: **21120**
Date: **February 14, 2023**
Drawing No.:

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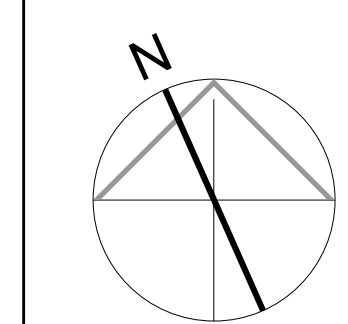
02.	ZBA 2nd Submission	2023-02-14
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417 King St West, Kitchener
Proposed Residential Development

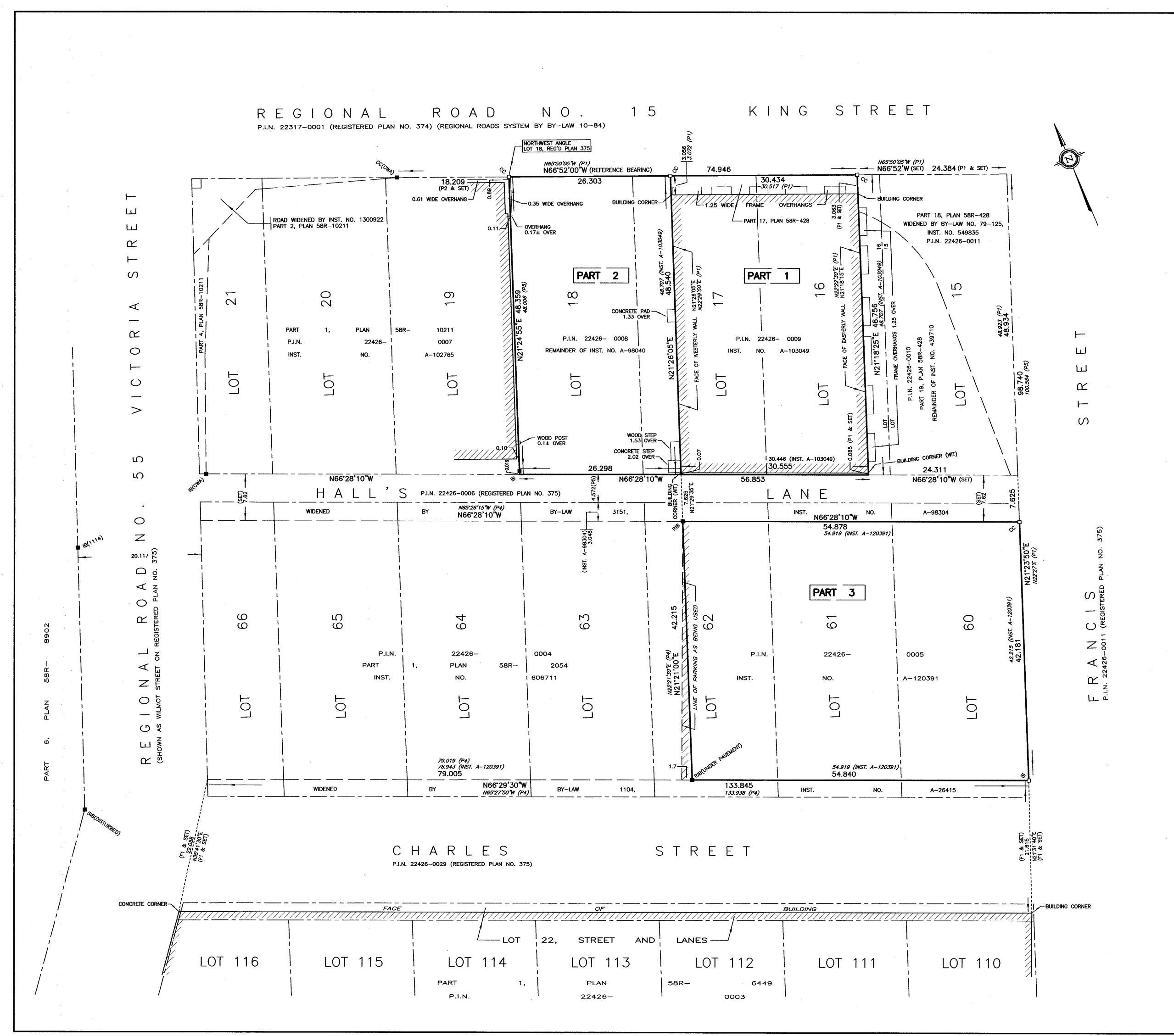
Drawing Title:
Survey & Project Statistics

Scale:
Drawn by:
AR
Checked by:
VS
Project No.:
21120
Date:
February 14, 2023
Drawing No.:



dA1.2

SR-12320



I REQUIRE THIS PLAN TO BE RECORDED UNDER THE REGISTRY ACT, FEBRUARY 28, 2000.
Richard P. Auer
ONARIO LAND SURVEYOR

PLAN 58R-12320
RECORDED AND REGISTERED FEB 28 2000.
S. Gato
LAND REGISTRAR FOR THE REGISTRY DIVISION OF WATERLOO (NO. 58)

SCHEDULE OF PARTS

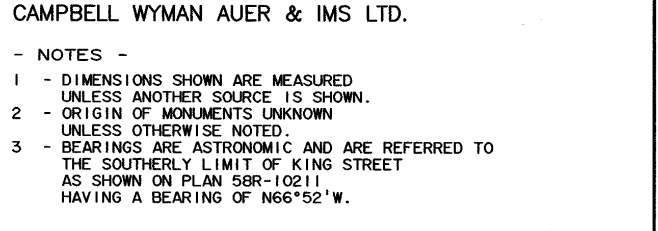
PART	LOT and PLAN	P.L.N.
1	PART OF LOTS 16 AND 17, REG'D. PLAN 375, ALL OF P.L.N. 22426-0008	ALL OF P.L.N. 22426-0008
2	LOT 18 AND PART OF LOT 17, REG'D. PLAN 375, ALL OF P.L.N. 22426-0009	ALL OF P.L.N. 22426-0009
3	PART OF LOTS 60, 61 AND 62, REGISTERED PLAN NO. 375	ALL OF P.L.N. 22426-0005

THIS PLAN COMPRISES ALL OF P.L.N. 22426-0005
ALL OF P.L.N. 22426-0008
ALL OF P.L.N. 22426-0009

PLAN OF SURVEY
SHOWING LOTS 17 and 18, AND PART OF LOTS 16, 60, 61 and 62 REGISTERED PLAN NO. 375 CITY OF KITCHENER REGIONAL MUNICIPALITY OF WATERLOO

CAMPBELL WYMAN AUER & IMS LTD.

NOTES -
1 - DIMENSIONS SHOWN ARE MEASURED UNLESS OTHERWISE SPECIFICALLY SHOWN.
2 - ORIGIN OF MONUMENTS INDICATED OTHERWISE NOTED.
3 - BEARINGS ARE ASTROMETRIC AND ARE REFERRED TO THE SOUTHERN LIMIT OF KING STREET AS SHOWN ON PLAN 58R-10211 HAVING A BEARING OF N06°22'W.



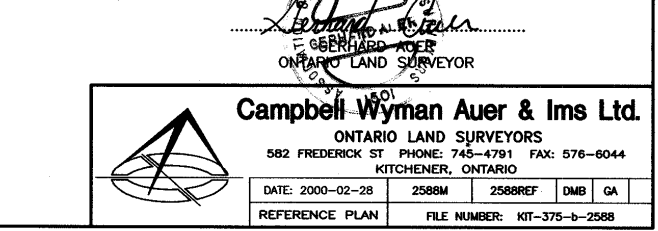
LEGEND

- FOUND SURVEY MONUMENT
- PLANTED SURVEY MONUMENT
- FENCE
- LOT LINE
- CC - CUT CROSS
- IB - IRON BAR
- SIB - STANDARD IRON BAR
- MEAS - MEASURED
- WIT - WITNESS
- P1 - PLAN 58R-428
- P2 - PLAN 58R-10211
- P3 - PLAN 58R-6489
- P4 - PLAN 58R-2054
- P5 - REGISTERED PLAN NO. 375
- P6 - K17-375-3-1601 - FILE NO. OF SURVEY RECORDS OF THIS OFFICE
- P7 - ANSEL CAMPBELL & SONIA LTD.
- P8 - METZ & LORENZ LIMITED
- P9 - CAMPBELL, WYMAN AUER & IMS LTD. (REPRESENTS MON. TO NOS. 994(PRI) OR TO 1990), 1344, B.C.M.A., C.W.A.

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE REGISTRY ACT, THE SURVEYORS ACT AND THE REGISTRY ACT AND THE REGULATIONS MADE UNDER THEM;
2. THE SURVEY WAS COMPLETED ON JANUARY 14, 2000.

DATED AT KITCHENER
FEBRUARY 28, 2000.



PROJECT STATISTICS
417 King St W Kitchener
Kitchener, ON
February 14, 2023

1.0 SITE AREA

Site	hectare	acres	sq.m.	sq.ft.
417 King Street	0.28	0.68	2,756.19	29,667
Gross Site Area			2,756.19	29,667
King Street Conveyance - 2.5m			141.84	1,527
Total Net Site Area			2,614.35	28,141

2.0 Parking Area

Level	floors	sq.m.	sq.m.	sq.ft.
Level P1	1 x	1470	1,469.57	15818
Level L1	1 x	701	700.86	7544
Level L2	1 x	1727	1,726.84	18588
Level L3-5	3 x	1686	5,056.71	54430
Level L6	1 x	1692	1,691.72	18210
Total Proposed Parking GFA			10,646.72	114590

3.0 Proposed Gross Floor Area (GFA)
"Gross Floor Area (GFA)" means the aggregate horizontal area measured from the exterior faces of the exterior walls of all floors of a building (excluding any floor area having a ceiling height of 2.0 metres or less or devoted exclusively to parking) within all buildings on a lot. (By-law 92-232, S.3(a))

3.1 Proposed Residential Gross Floor Area (GFA)

Level	floors	sq.m.	sq.m.	sq.ft.
Level P1	1 x	875	875	9420
Level L1	1 x	723	723	7787
Level L2	1 x	622	622	6694
Level L3-5	3 x	786	2359	25389
Level L6	1 x	780	780	8397
Level L7	1 x	1100	1100	11845
Level L8-L28	21 x	827	17367	186937
Level L29	1 x	827	827	8902
Level L30-55	26 x	827	21502	231446
Level MPH	1 x	200	200	2153
Total Proposed Residential Gross Floor Area (GFA)			46356	498970

3.2 Proposed Commercial Gross Floor Area (GFA)

Level L1	1 x	654	654	7044
Total Proposed Commercial Gross Floor Area (GFA)			654	7044
Total Gross Floor Area (GFA) (Item 3.1 + Item 3.2)			47010	506014

4.0 Proposed Building Floor Area
"Building Floor Area" means the aggregate horizontal floor area measured from the exterior walls of all floors or storeys of a building excluding any floor area located totally below grade or within an unrentable attic. The mid-point of a common wall shall be considered the face of the exterior in the case of common walls located on a property line. (By-law 92-232, S.3(a)) (Amended: By-law 2013-138, S.14)

4.1 Proposed Residential Building Floor Area

Level	floors	sq.m.	sq.m.	sq.ft.
Level L1	1 x	1424	1424	15332
Level L2	1 x	2349	2349	25282
Level L3-6	4 x	2472	9867	106425
Level L7	1 x	1100	1100	11845
Level L8-L28	21 x	827	17367	186937
Level L29	1 x	827	827	8902
Level L30-55	26 x	827	21502	231446
Level MPH	1 x	200	200	2153
Total Proposed Residential Building Floor Area			54657	585322

4.2 Proposed Commercial Building Floor Area

Level L1	1 x	654	654	7044
Total Proposed Commercial Building Floor Area			654	7044
Total Building Floor Area (Item 4.1 + Item 4.2)			55311	595366

5.0 Proposed Density: Floor Space Ratio (FSR)
"Floor Space Ratio (FSR)" means the figure obtained when the building floor area on a lot is divided by the lot area. In the case of a building or part thereof located above a street or lane, calculation of the floor space ratio shall include that portion of the building floor area and that portion of the area of the street or lane between the lot line and the centre line of the street or lane. In the case of a building on a lot within more than one zone having different floor space ratio regulations, floor space ratios shall be obtained using only that portion of the building floor area and only that portion of the lot area within each zone. (By-law 92-232, S.3(c))

Total Proposed FSR = Total BFA/Gross Site Area (Item 4.3 / Item 1.1)	20.07
---	--------------

6.0 Unit Count

Units	No of Floors	Total Units	1B	1B+D	2B	Total Units
Levels L1	1 x	0	0	0	0	0
Levels L2-6	5 x	0	0	0	0	0
Levels L7	1 x	0	0	0	0	0
Levels L8-L28	21 x	13	9	2	2	273
Levels L29	1 x	11	4	5	2	11
Levels L30-55	26 x	13	4	7	2	338
Total	55	297	229	96		622

7.0 Parking
7.1 Parking Ratio Proposed @ **0.295** per unit **184**
Accessible Parking Rate Required per Zoning By-law 2019-051
If total parking is between 201-1000 then 2, plus 2% of total required parking spaces **8**

Parking Proposed	floors	Accessible		
		Standard	Type A	Type B
Levels P1	1 x	28	1	1
Levels L1	1 x	5	1	1
Levels L2	1 x	34	1	1
Levels L3-5	3 x	27	1	1
Levels L6	1 x	27	1	1
Total		8		

8.0 Bike Parking
Residential Bike Parking per Zoning By-law 2019-051
Bicycle parking space requirements for dwelling units in an apartment building or mixed use building are:
(A) 1 Per unit Class A Bicycle Stall
(B) 6 Class B Bicycle Stalls

Residential Bike Parking Requirement	Residential	Rate	Units	
			Class A	Class B
	622	0.50 per Unit	311	311
	6		6	6
			317	

8.1 Bike Parking Proposed

Level	Residential	
	Class A	Class B
Level P1	266	6
Level 2	46	6
Total Bike Parking Proposed	312	6

1 | Survey

2 | Project Statistics

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February 14, 2023

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Date:

KIRKOR
ARCHITECTS AND PLANNERS

20 De Boers Drive Suite 400
Toronto, ON M3J 0H1

Revisions:

No.:	Revision:	Date:

02.	ZBA 2nd Submission	2023-02-14
01.	ZBA/OPA 1st Submission	2022-10-21

No.:	Issued For:	Date:

Client:
VanMar Developments

417 King St West, Kitchener
Proposed Residential Development

Drawing Title:
Site Plan

Scale:

1 : 200

Drawn by:

JH

Checked by:

VS

Project No.:

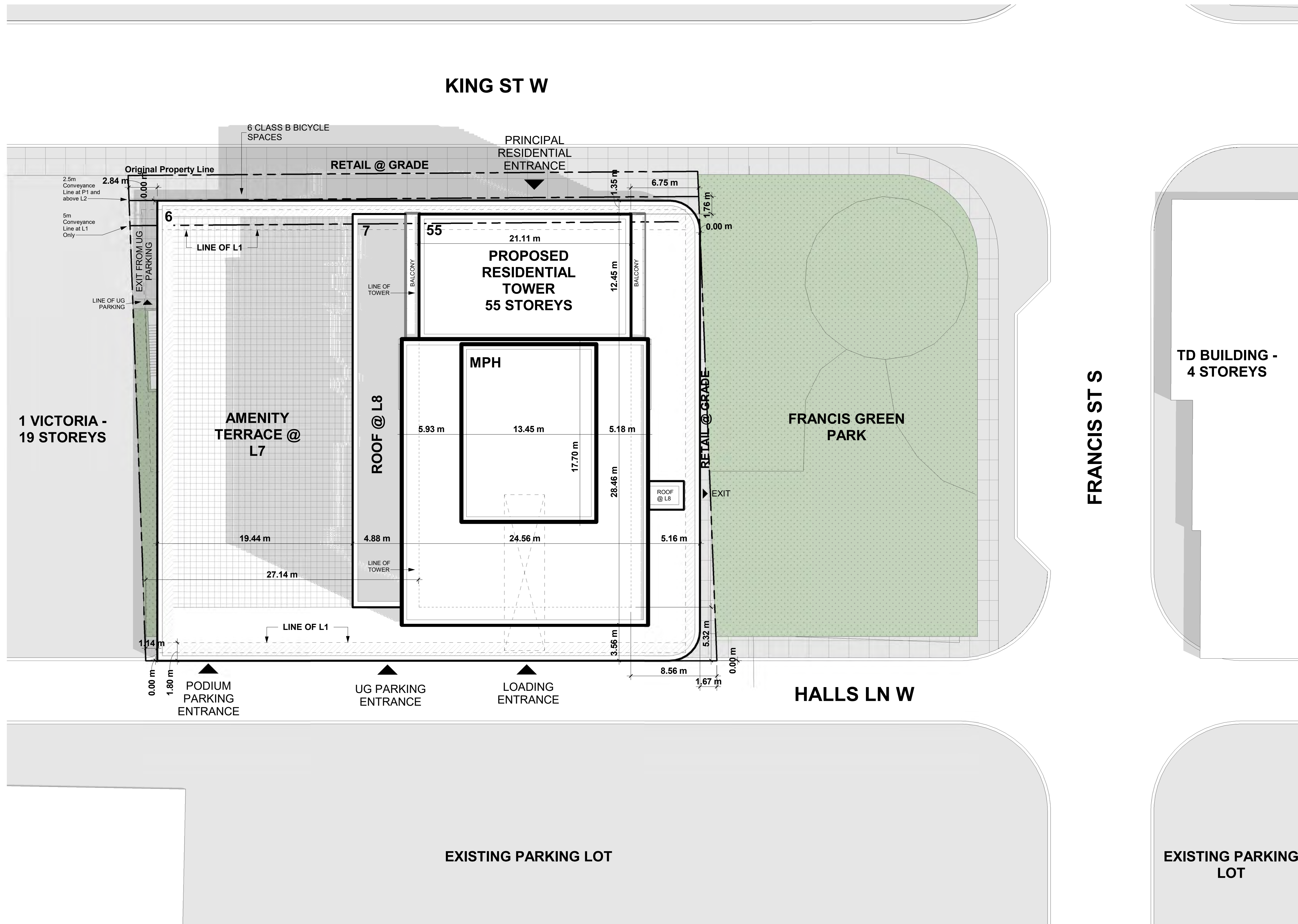
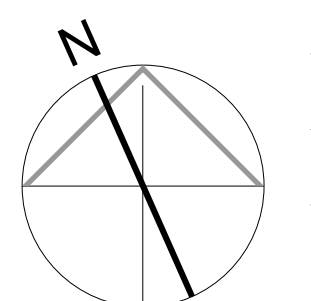
21120

Date:

February 14, 2023

Drawing No.:

dA1.3



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February 14, 2023

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Date:

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20 De Boers Drive Suite 400
Toronto, ON M3J 0H1

Revisions:
No. Revision Date

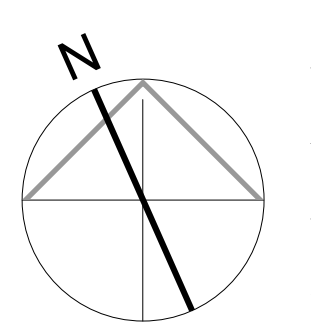
02.	ZBA 2nd Submission	2023-02-14
01.	ZBA/OPA 1st Submission	2022-10-21

Client:
VanMar Developments

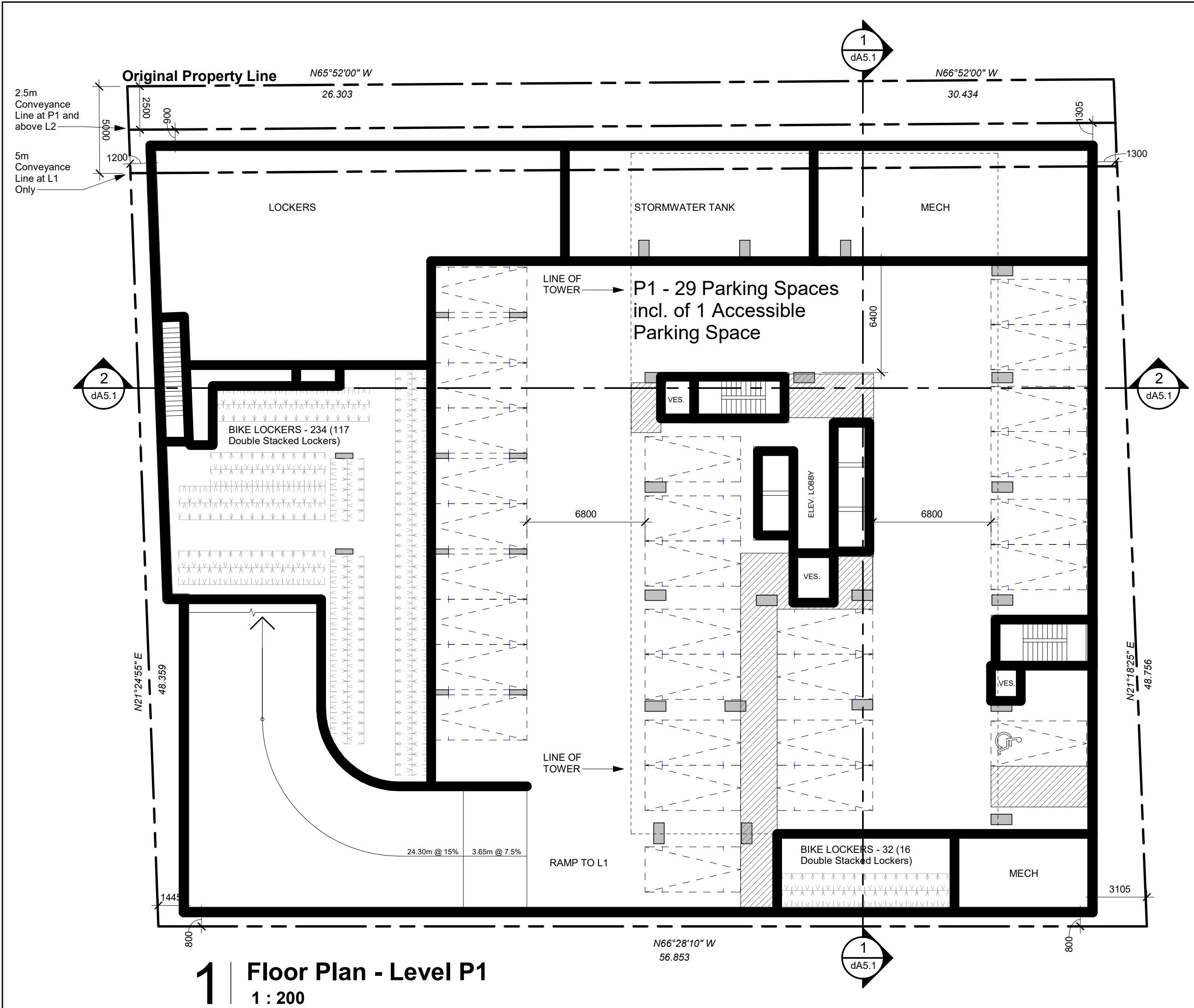
417 King St West, Kitchener
Proposed Residential Development

Drawing Title:
Floor Plan Level P1/Level 1

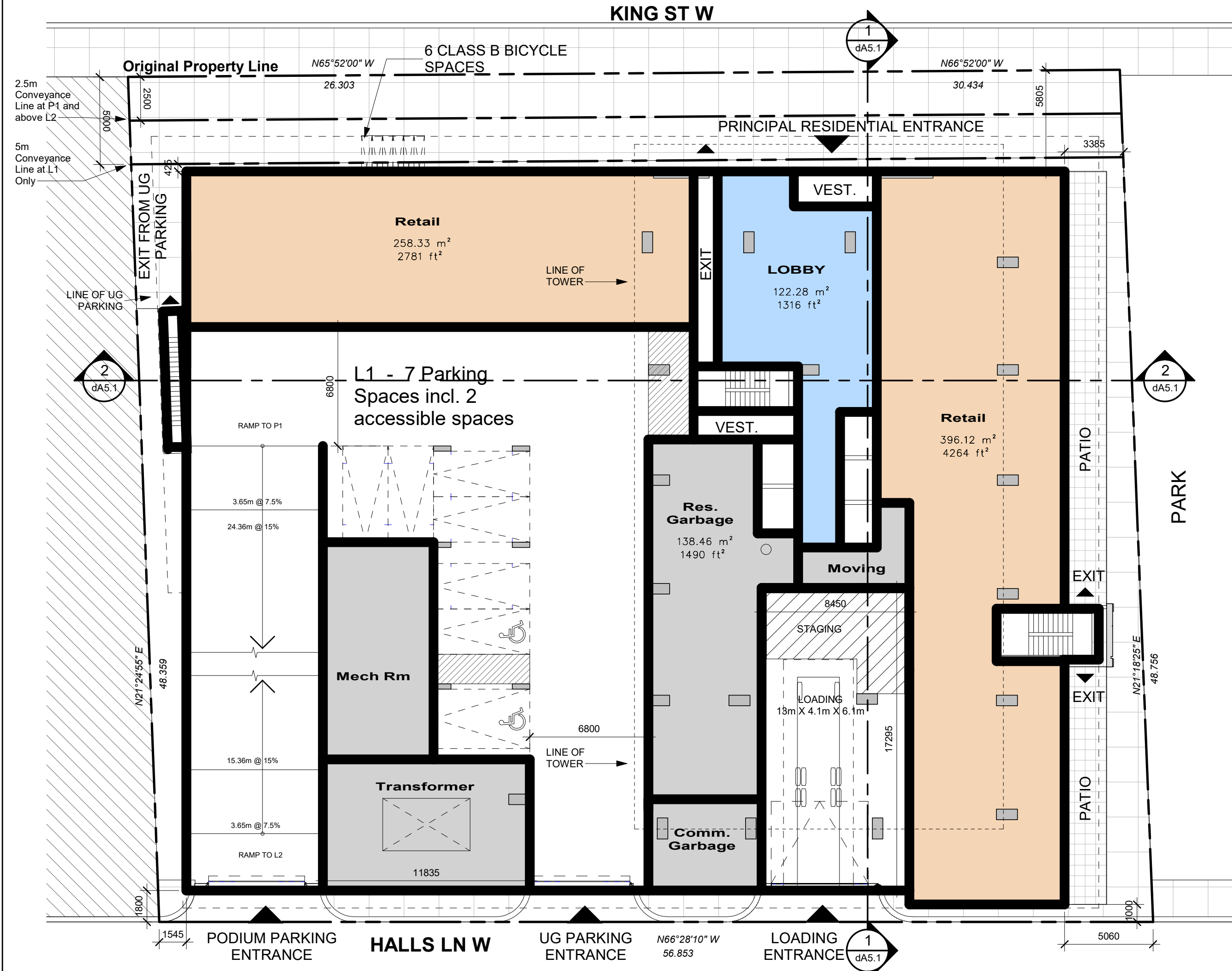
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Drawn by: JH
Checked by: VS
Project No.: 21120
Date: February 14, 2023
Drawing No.:



dA2.1

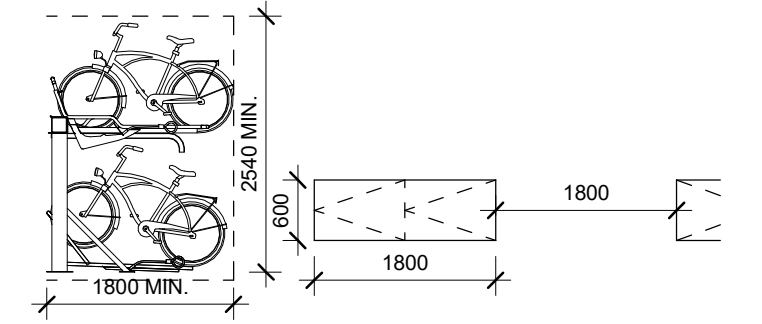


1 | Floor Plan - Level P1
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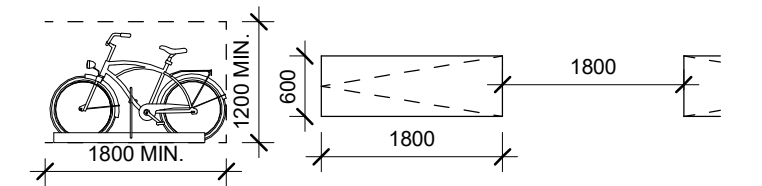


2 | Floor Plan - Level 1
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TYPICAL BICYCLE PARKING SPACE:



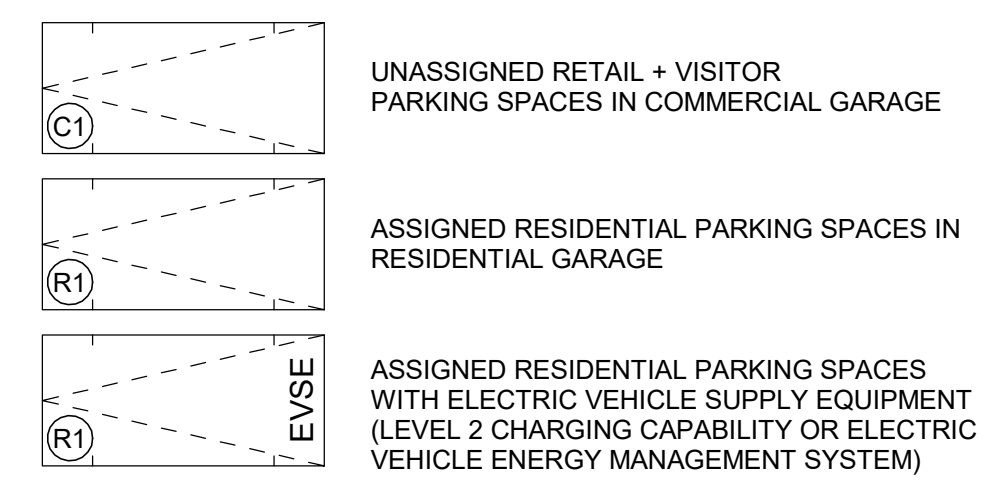
CLASS A: STACKED BICYCLE PARKING



CLASS B: HORIZONTAL BICYCLE PARKING

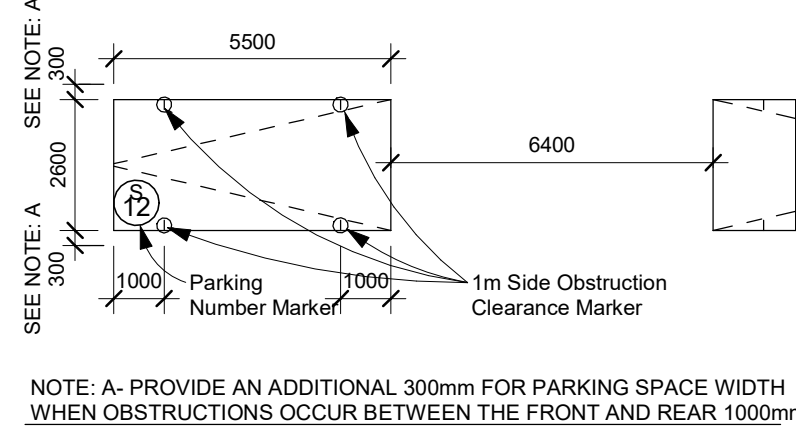
3 | Bike Parking Legend
As indicated

VEHICULAR PARKING SPACE LEGEND:



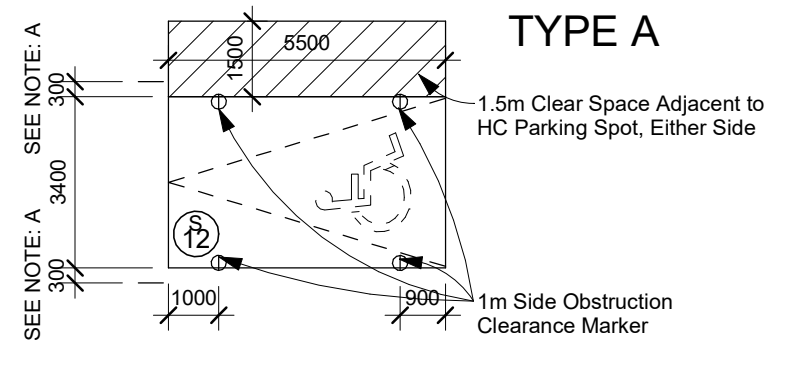
4 | Parking Space Legend
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TYPICAL PARKING SPACE:
Drive Aisle @ 6.4m min.

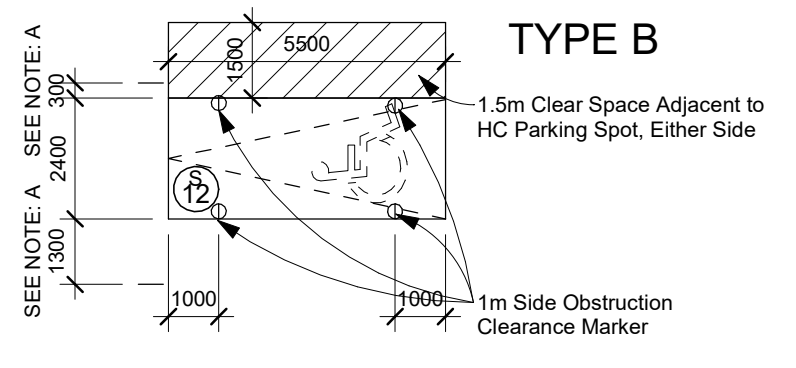


NOTE: A- PROVIDE AN ADDITIONAL 300mm FOR PARKING SPACE WIDTH WHEN OBSTRUCTIONS OCCUR BETWEEN THE FRONT AND REAR 1000mm

ACCESSIBLE PARKING SPACE:



NOTE: A- PROVIDE AN ADDITIONAL 300mm FOR PARKING SPACE WIDTH WHEN OBSTRUCTIONS OCCUR BETWEEN THE FRONT AND REAR 1000mm



NOTE: A- PROVIDE AN ADDITIONAL 300mm FOR PARKING SPACE WIDTH WHEN OBSTRUCTIONS OCCUR BETWEEN THE FRONT AND REAR 1000mm

5 | Typical Parking Notes
As indicated

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February 14, 2023

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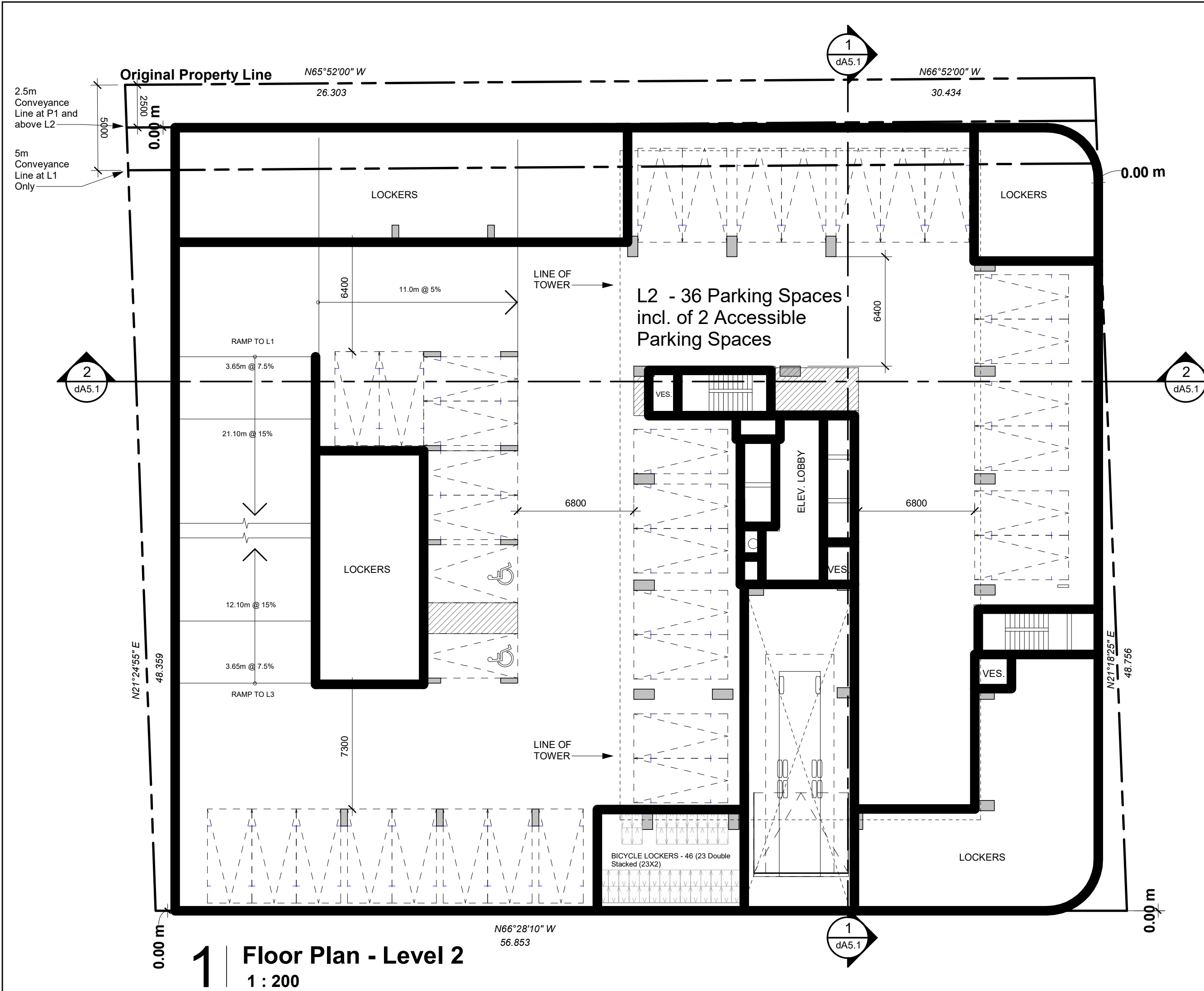
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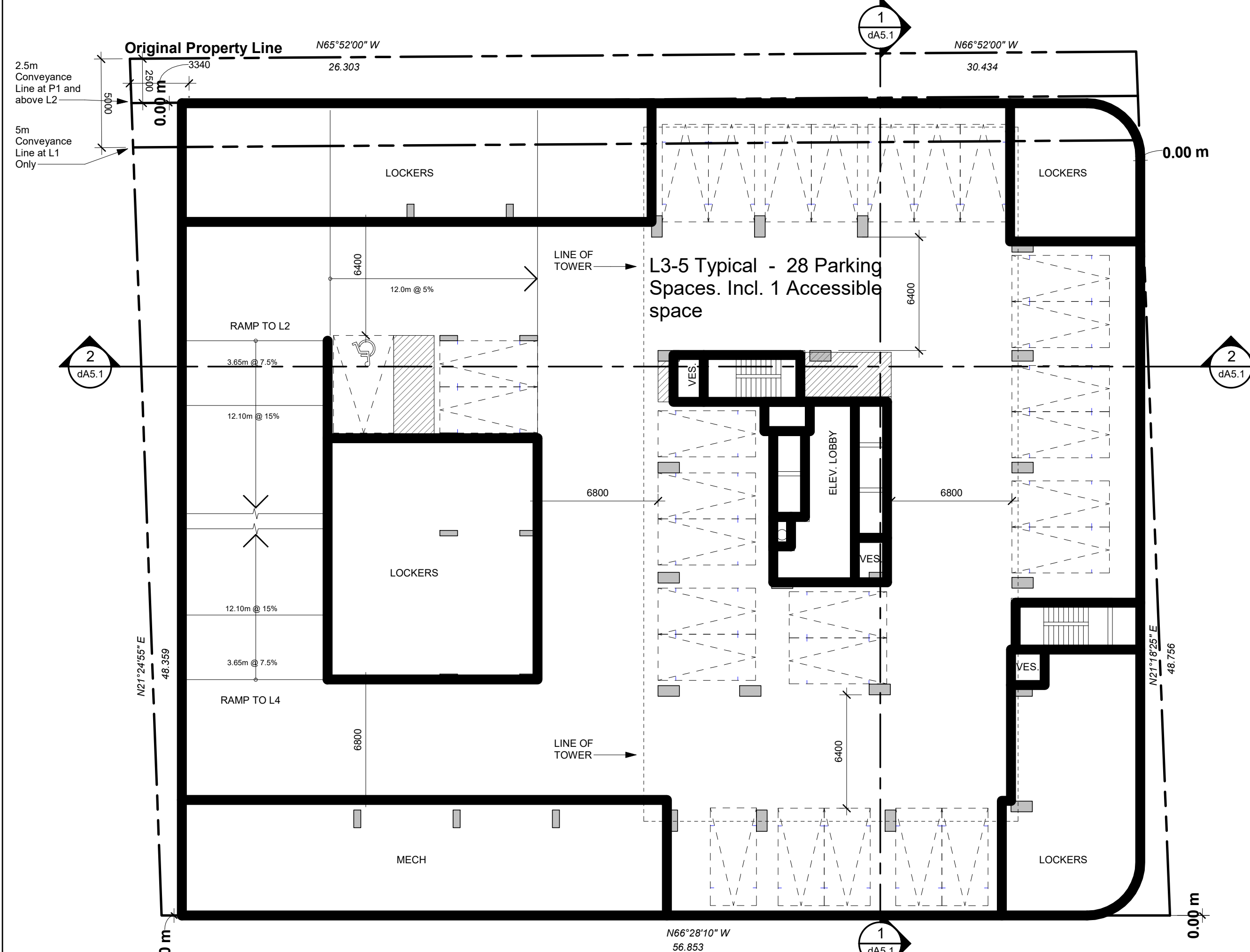
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Toronto, ON M3J 0H1

Revisions:		
No.:	Revision:	Date:
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01.	ZBA/OPA 1st Submission	2022-10-21

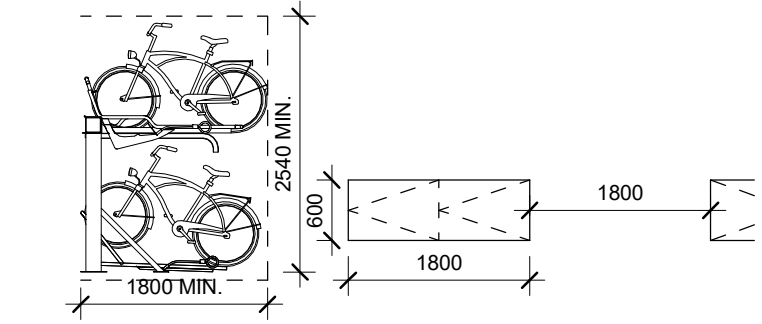


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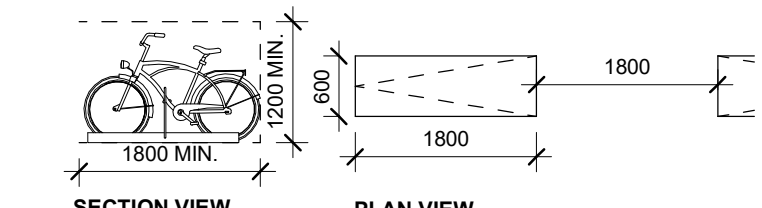


2 | Typical Floor Plan - Level 3 - 5
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TYPICAL BICYCLE PARKING SPACE:



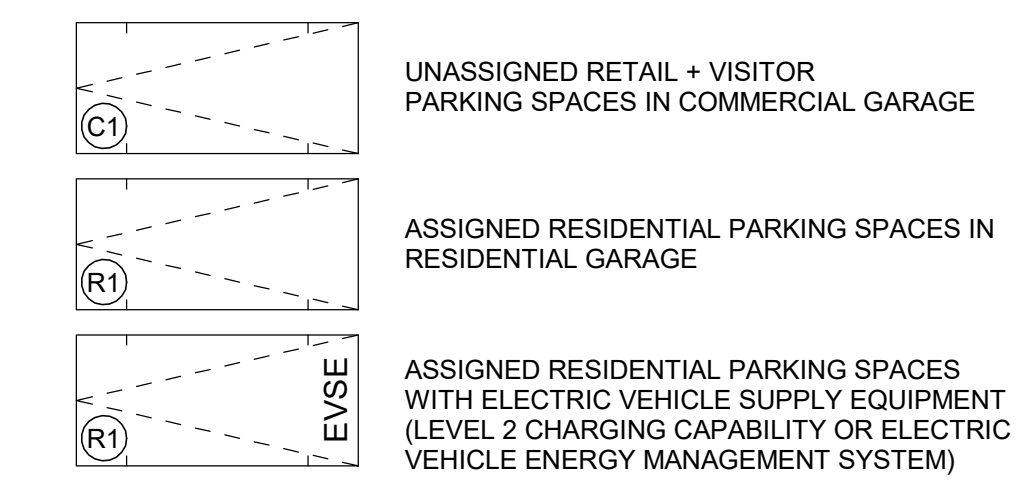
CLASS A: STACKED BICYCLE PARKING



CLASS B: HORIZONTAL BICYCLE PARKING

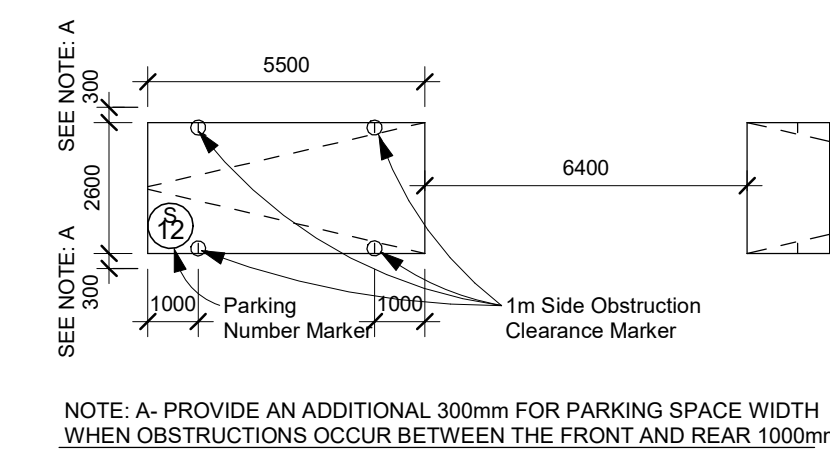
3 | Bike Parking Legend
As indicated

VEHICULAR PARKING SPACE LEGEND:

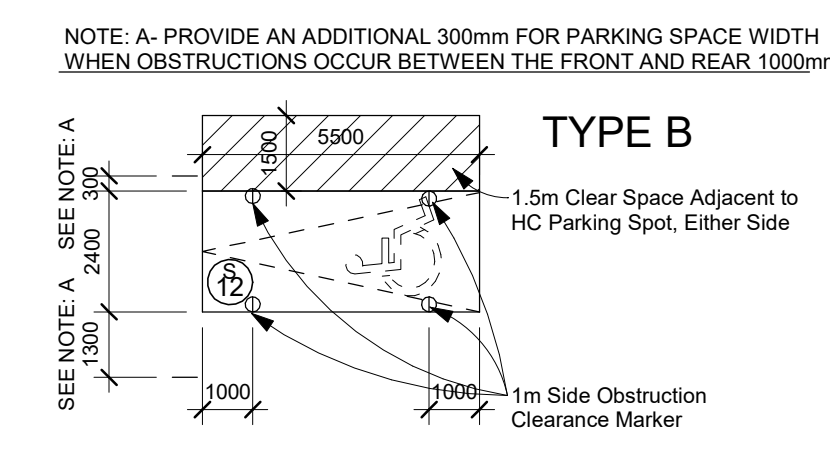
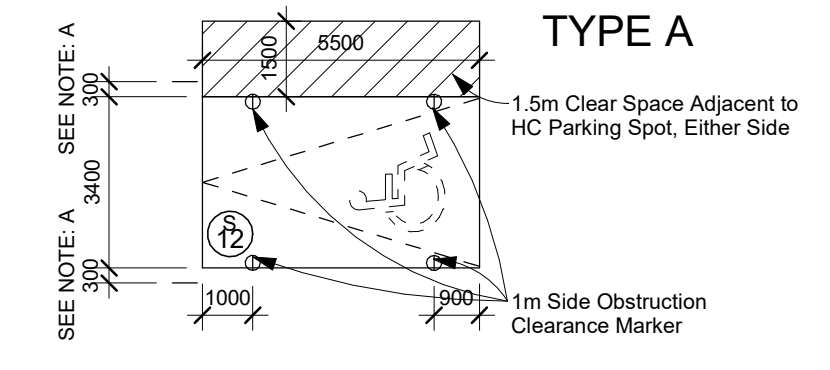


4 | Parking Space Legend
As indicated

TYPICAL PARKING SPACE:
Drive Aisle @ 6.4m min.



ACCESSIBLE PARKING SPACE:

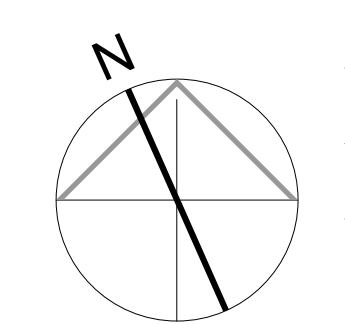


5 | Typical Parking Notes
As indicated

Client:
VanMar Developments
417 King St West, Kitchener
Proposed Residential Development

Drawing Title:
Floor Plan Level 2/Level 3-5

Scale:
As indicated
Drawn by: JH
Checked by: VS
Project No.: 21120
Date: February 14, 2023
Drawing No.:



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February 14, 2023

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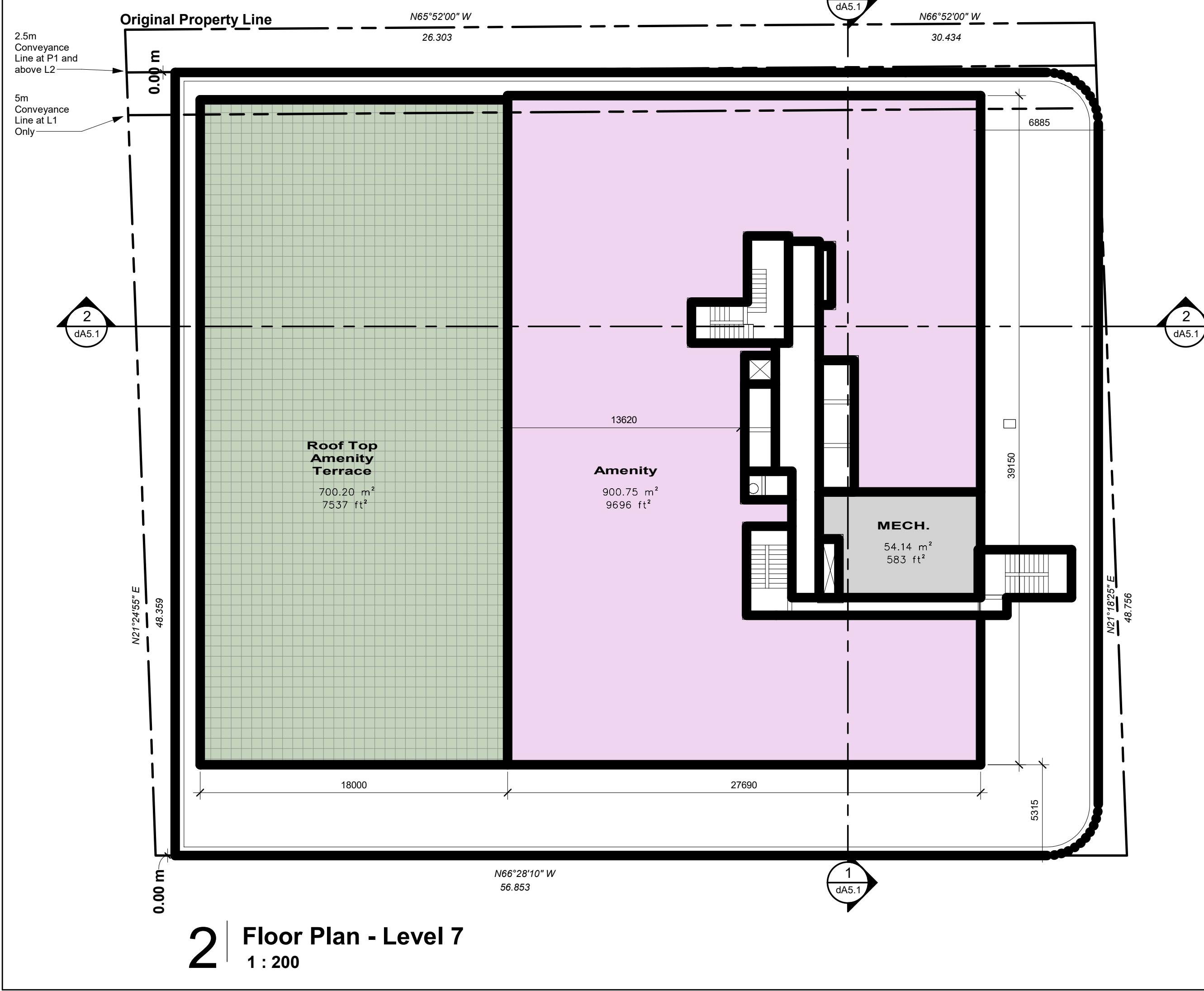
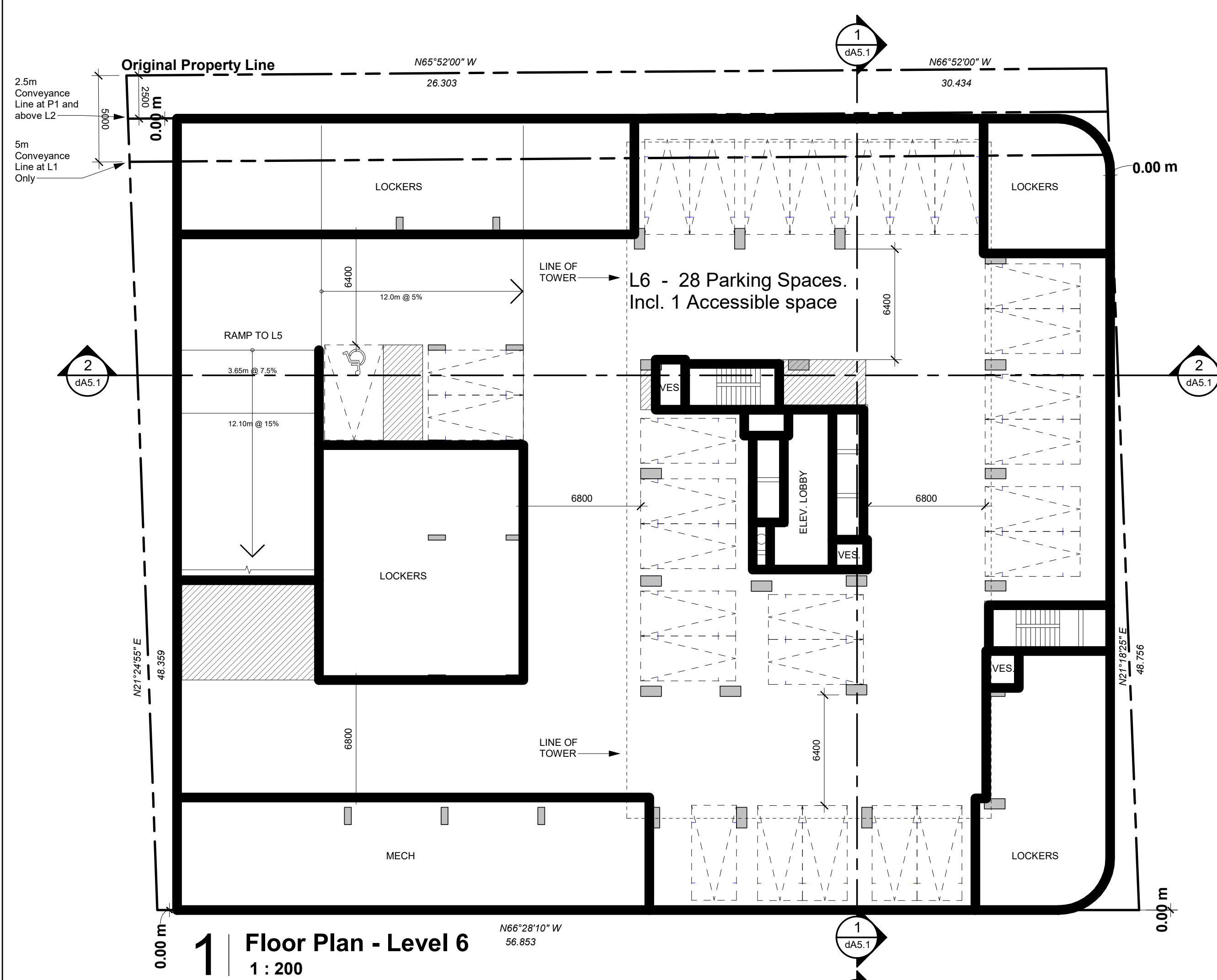
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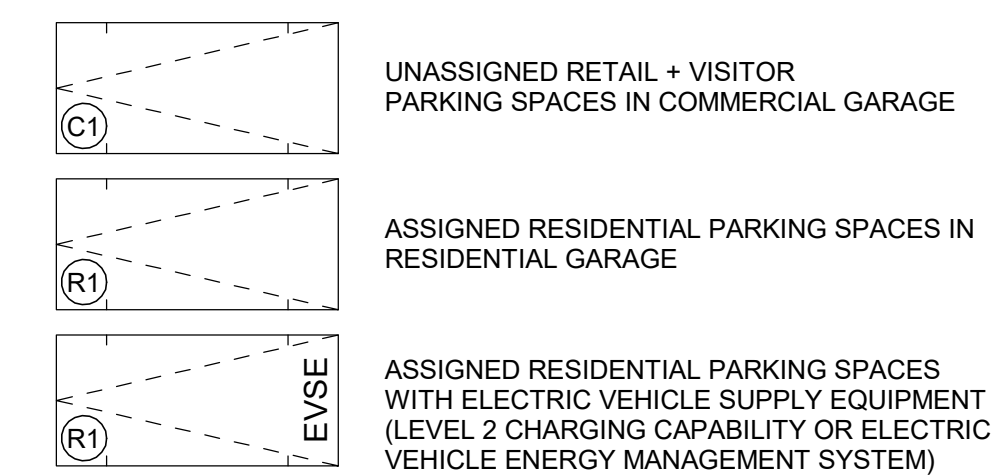
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Revisions:

No.:	Revision:	Date:

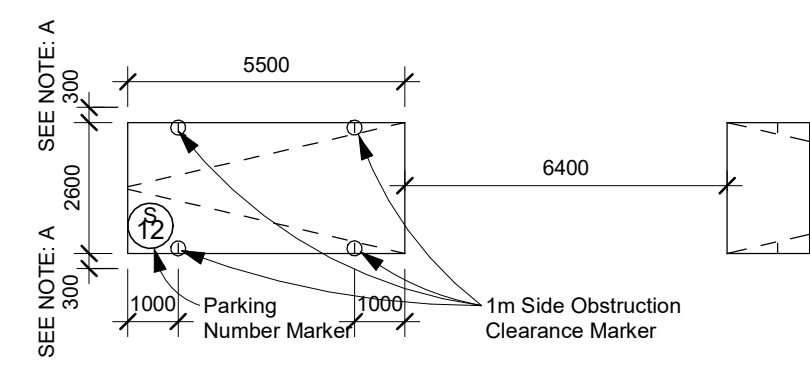


VEHICULAR PARKING SPACE LEGEND:



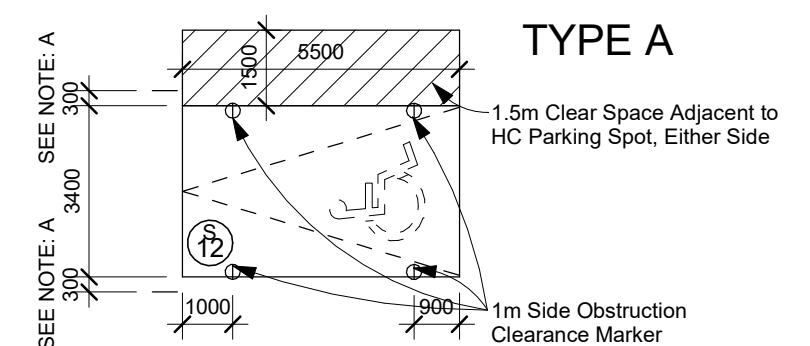
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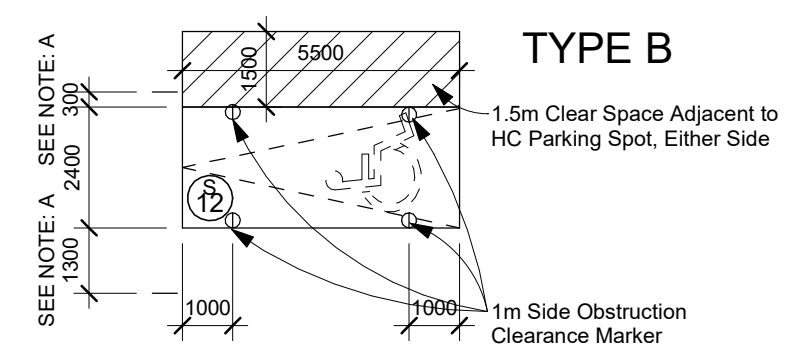


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4 | Typical Parking Notes
As indicated

02.	ZBA 2nd Submission	2023-02-14
01.	ZBA/OPA 1st Submission	2022-10-21

No.:

Client:
VanMar Developments

417 King St West, Kitchener
Proposed Residential Development

Drawing Title:
Floor Plan Level 6/Level 7

Scale:
As indicated

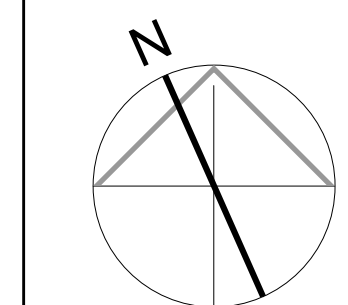
Drawn by:
JH

Checked by:
VS

Project No.:
21120

Date:
February 14, 2023

Drawing No.:



dA2.3

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February 14, 2023

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Revisions:
No.: Revision: Date:

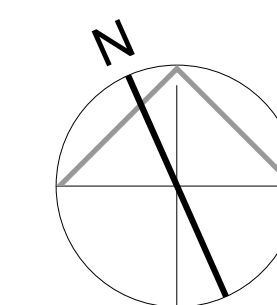
02.	ZBA 2nd Submission	2023-02-14
01.	ZBA/OPA 1st Submission	2022-10-21
No.:	Issued For:	Date:

Client:
VanMar Developments

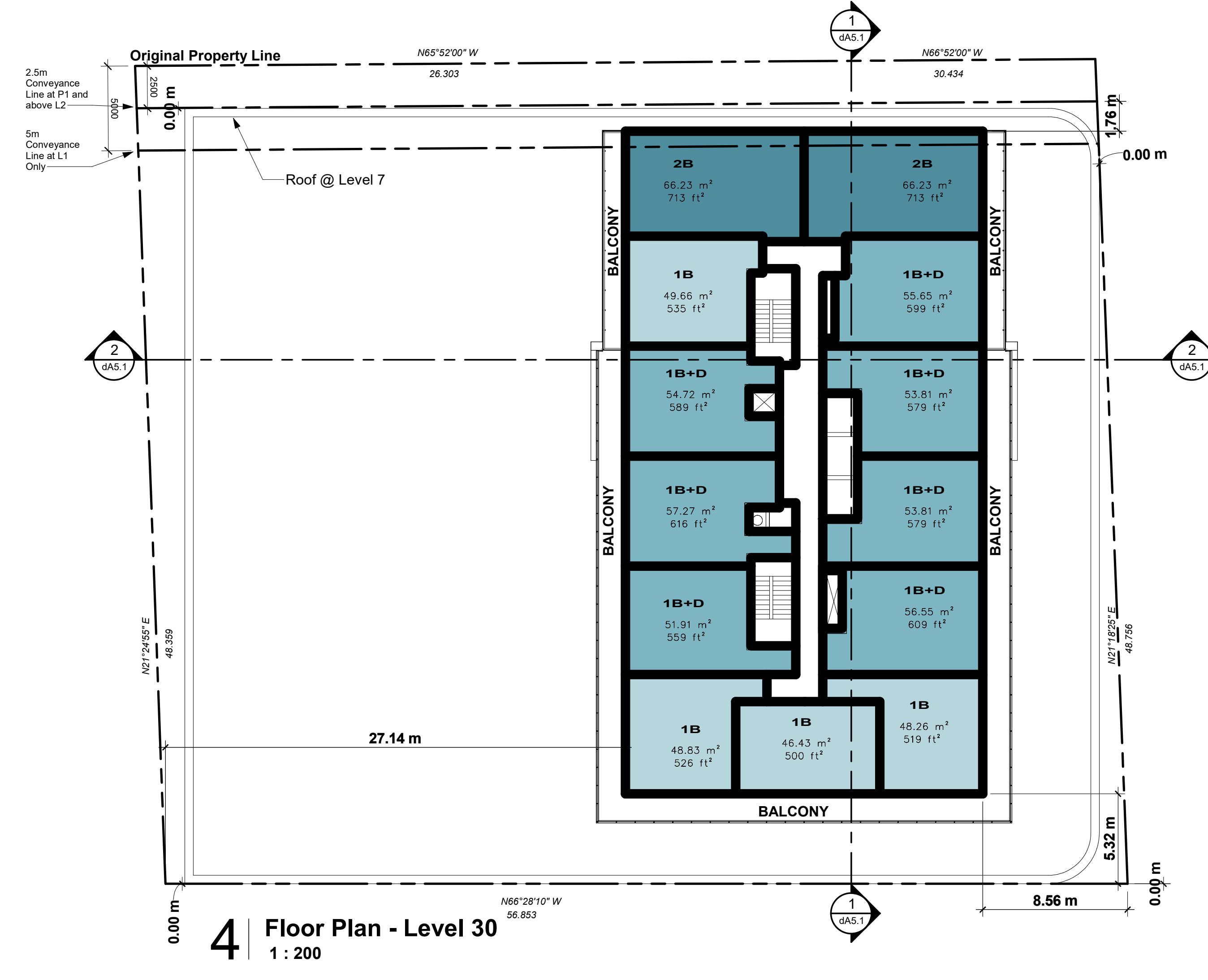
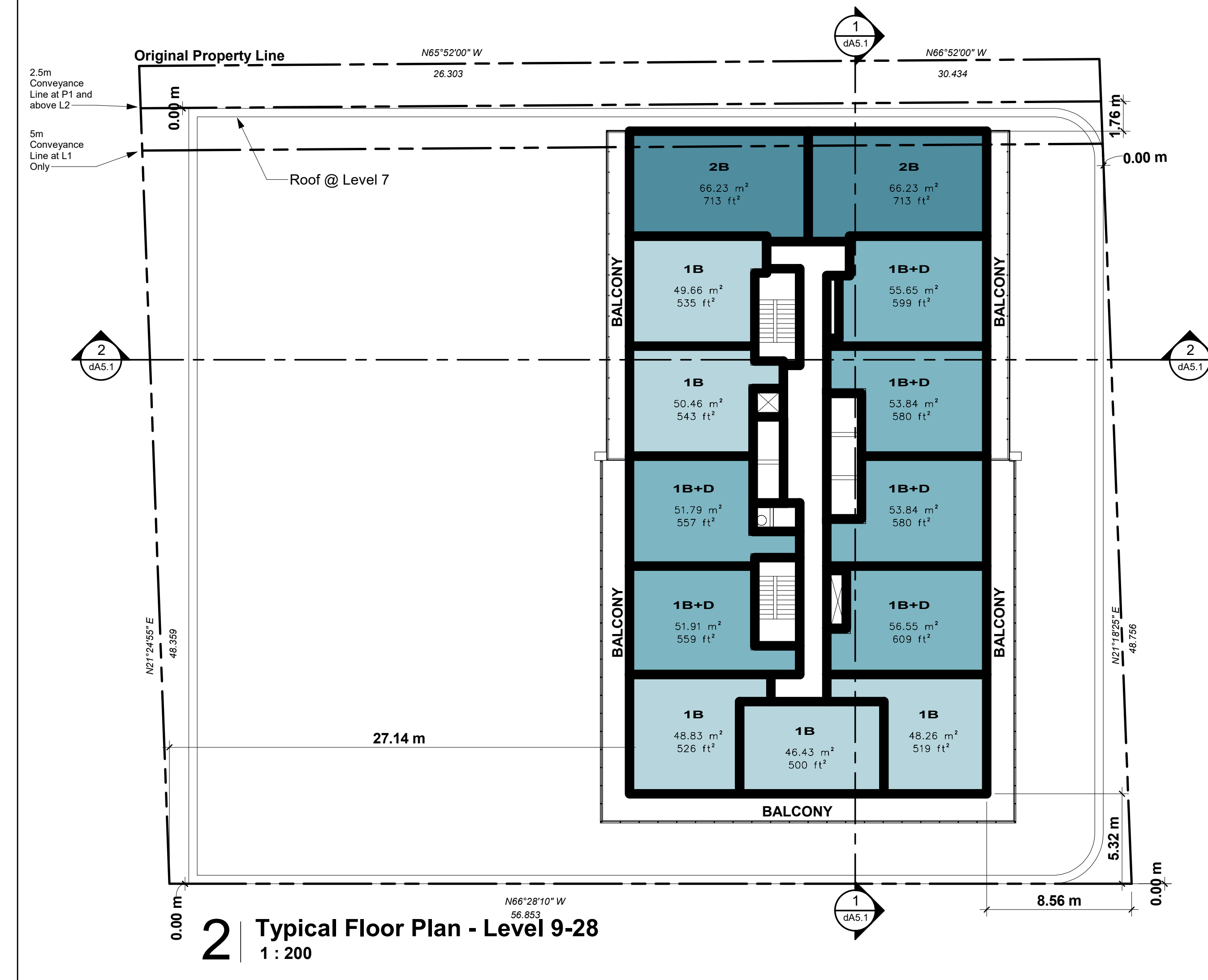
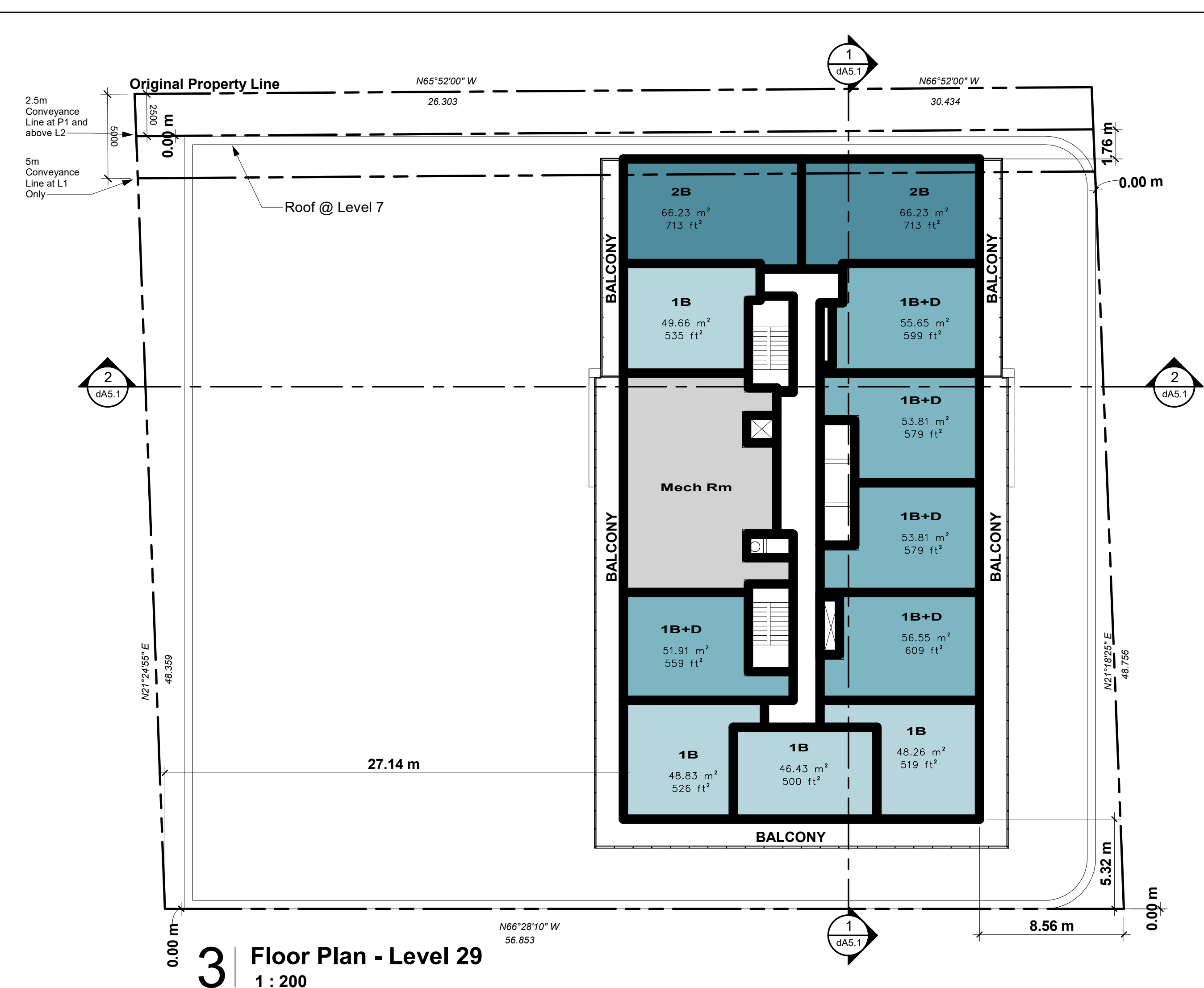
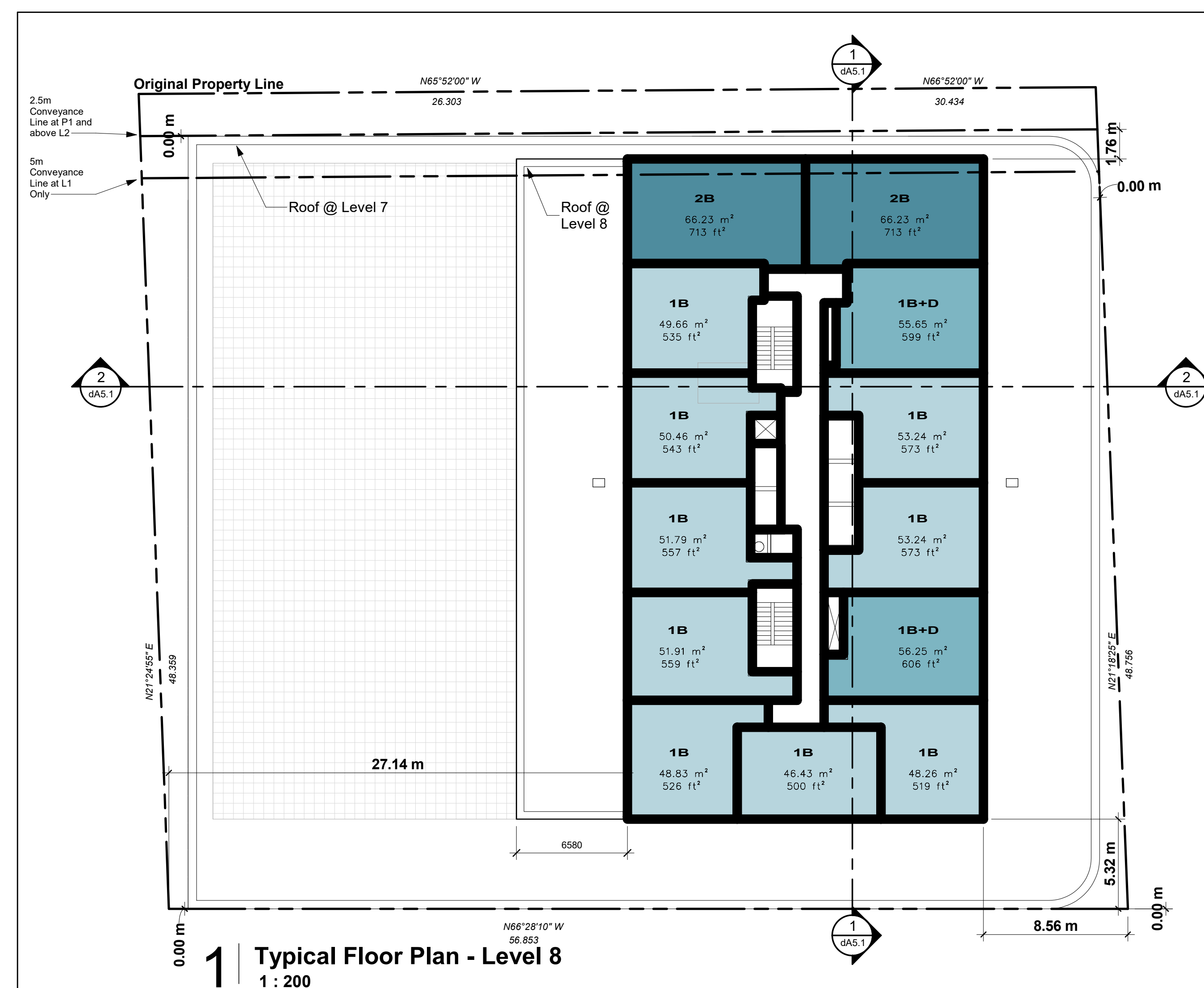
417 King St West, Kitchener
Proposed Residential Development

Drawing Title:
**Floor Plan L 8/L 9-28/
29/L 30**

Scale:
1 : 200
Drawn by:
JH
Checked by:
VS
Project No.:
21120
Date:
February 14, 2023
Drawing No.:



dA2.4



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February 14, 2023

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No.: Revision: Date:

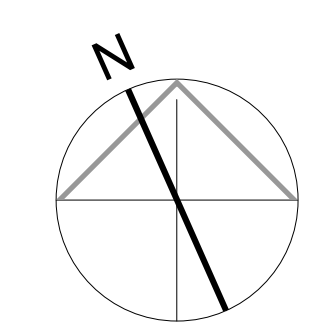
02.	ZBA 2nd Submission	2023-02-14
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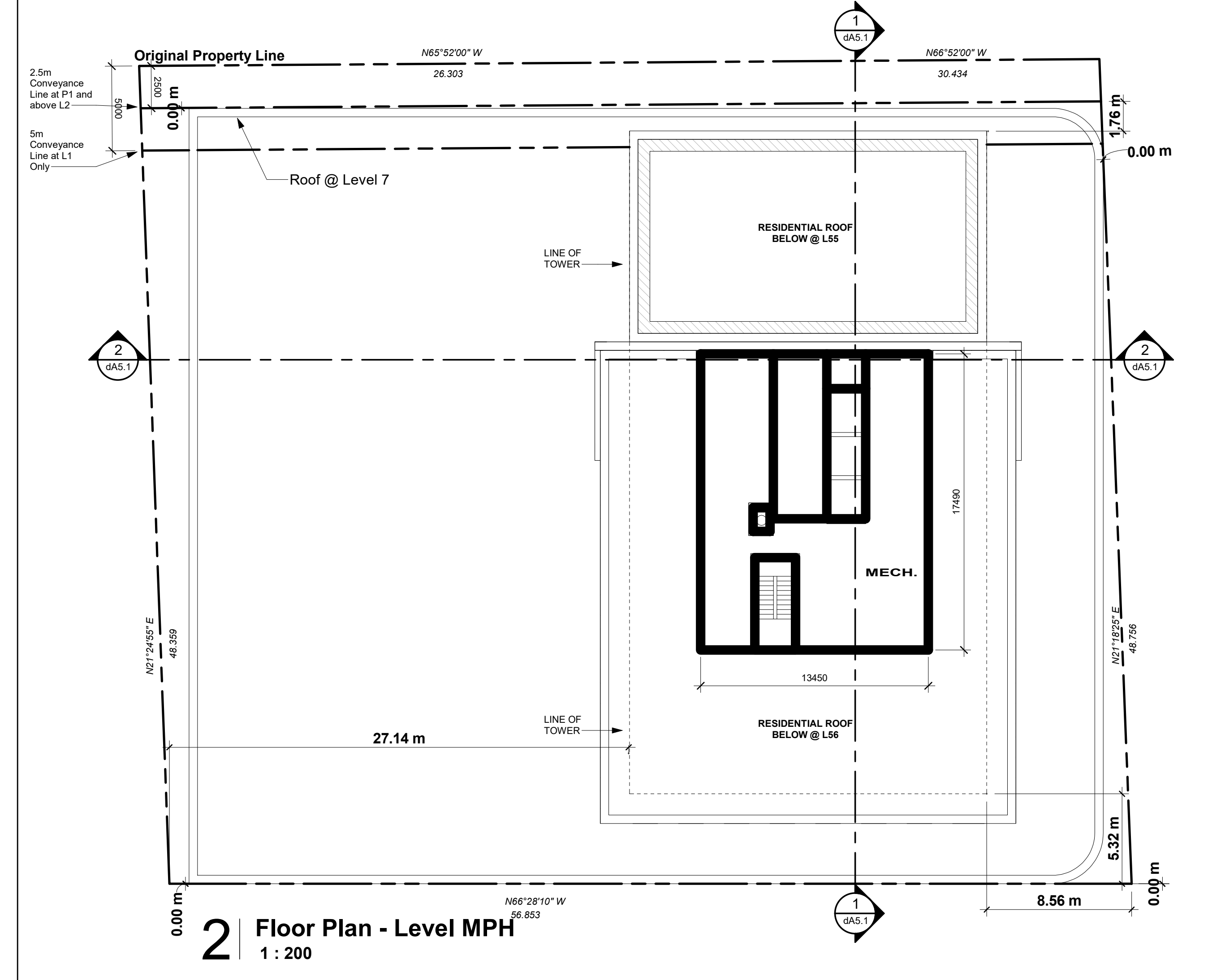
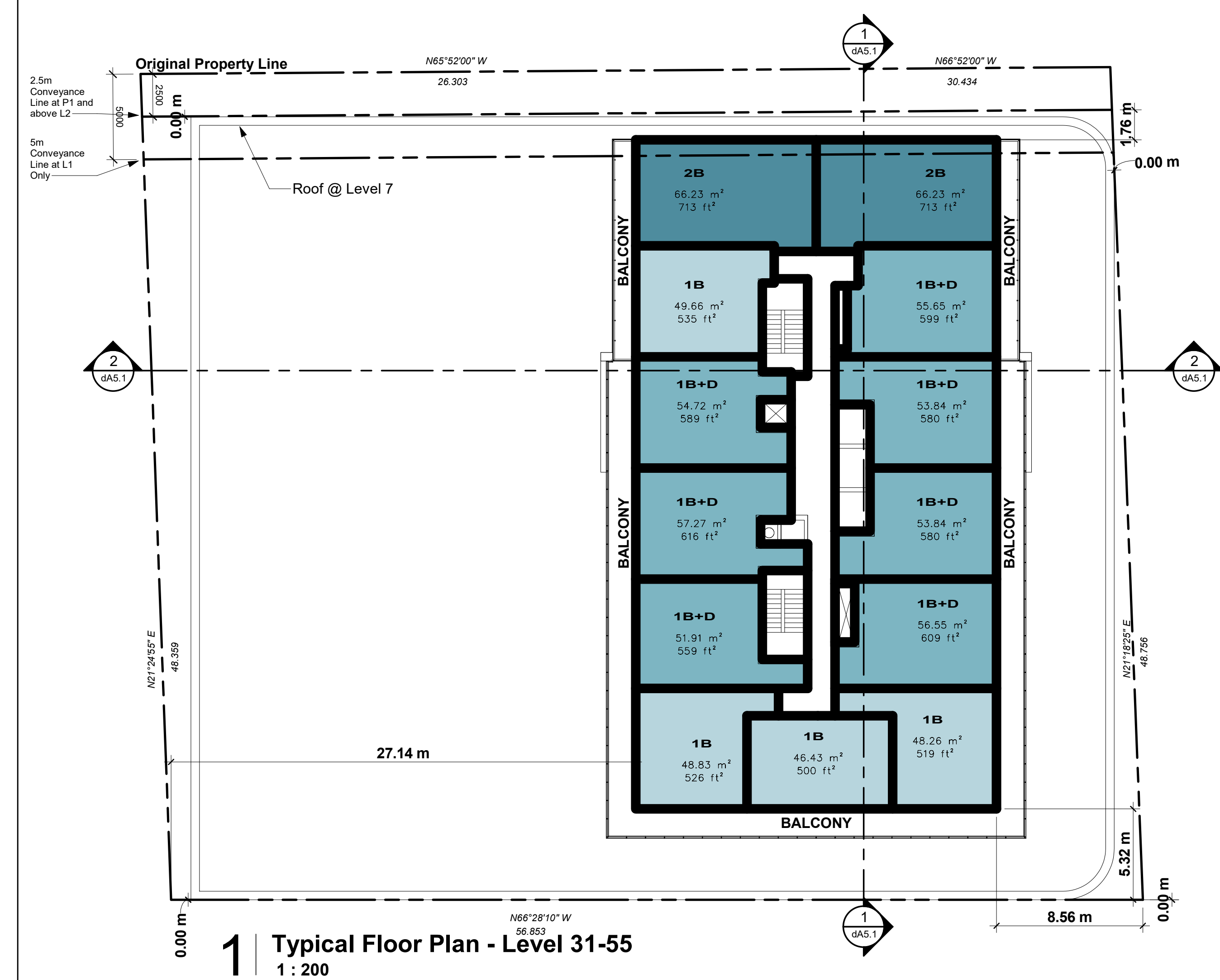
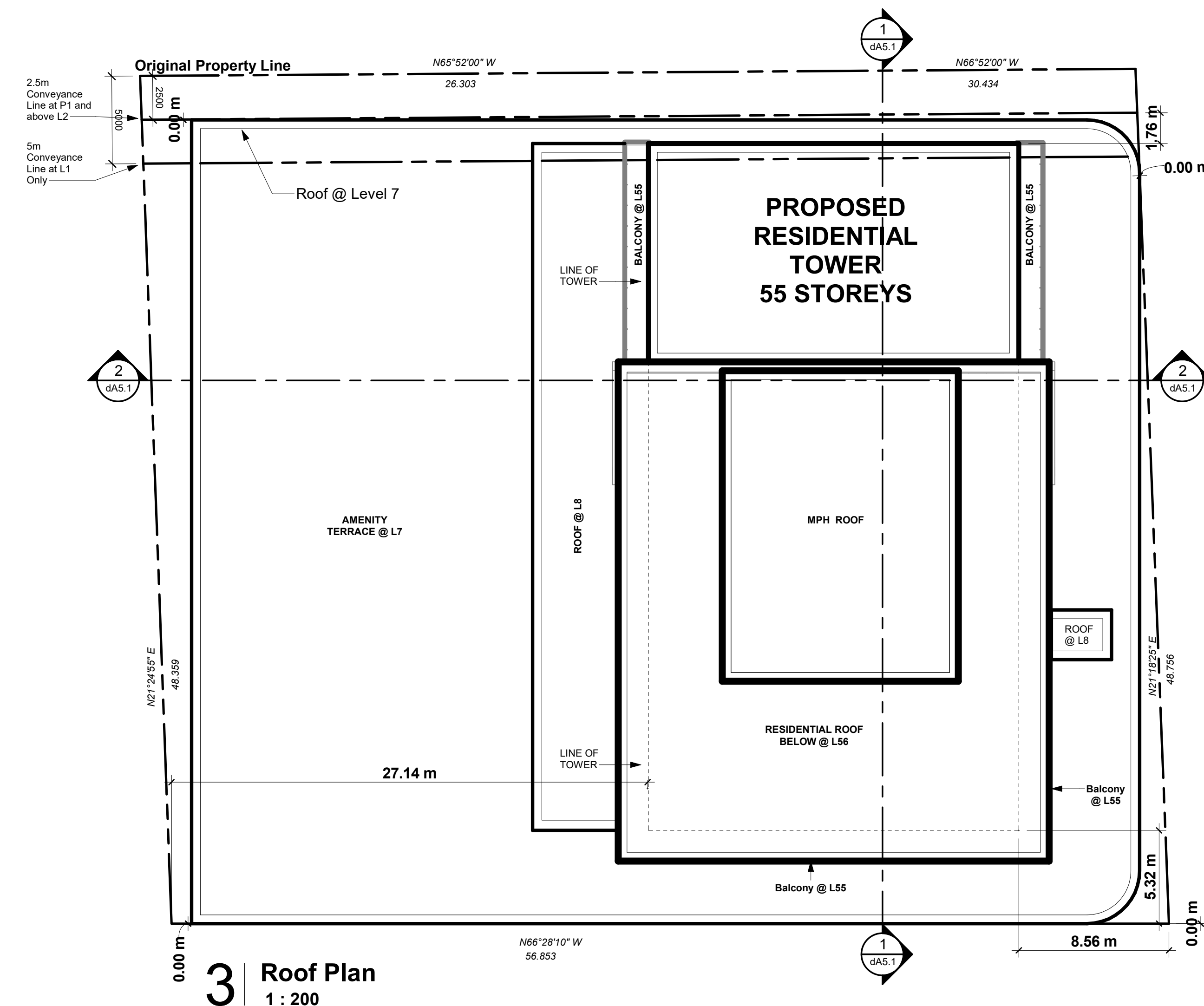
417 King St West, Kitchener
Proposed Residential Development

Drawing Title:
Level 31-55/Level MPH/Roof Plan

Scale:
1 : 200
Drawn by:
JH
Checked by:
VS
Project No.:
21120
Date:
February 14, 2023
Drawing No.:



dA2.5



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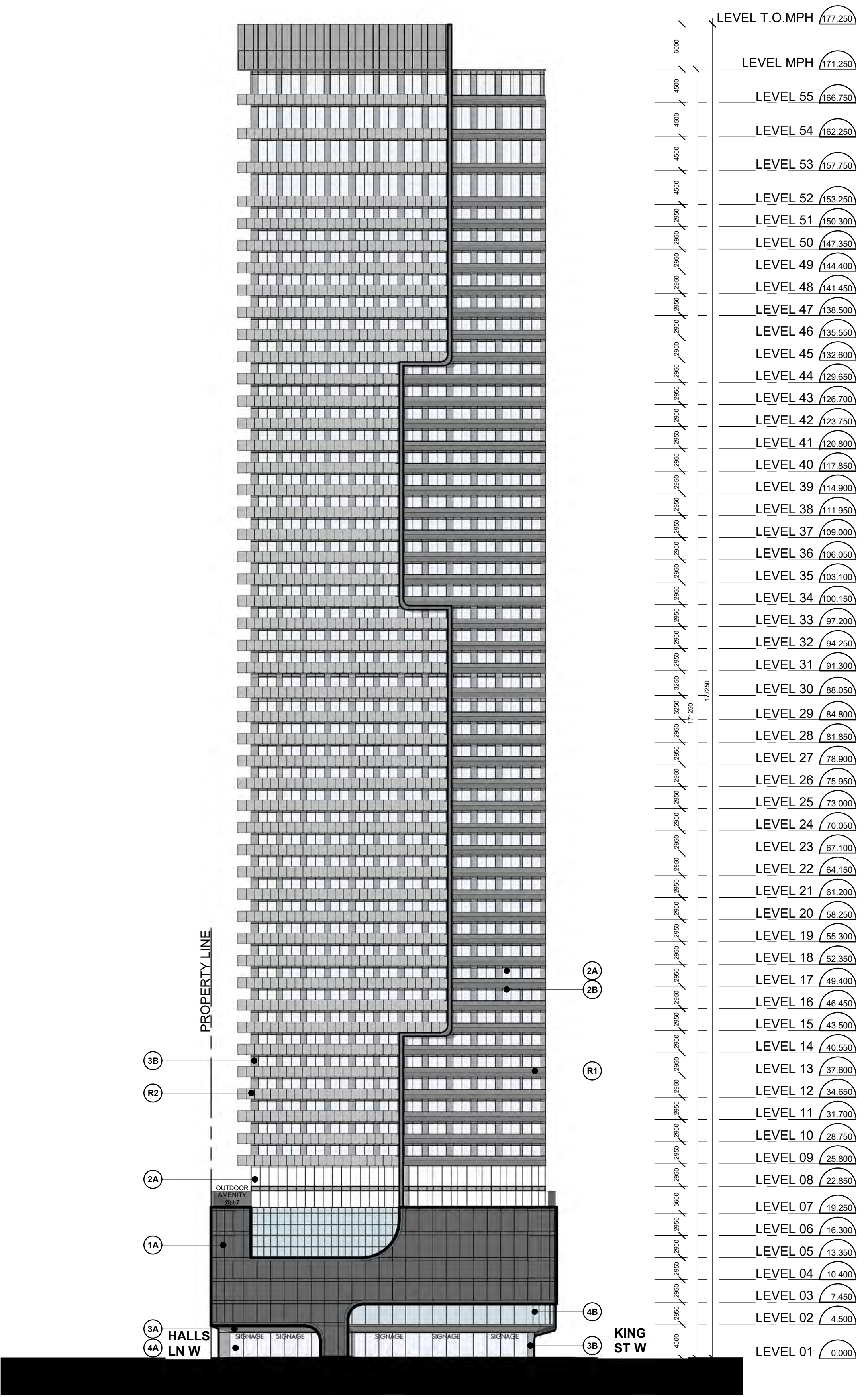
Client:
VanMar Developments

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 Proposed Residential Development

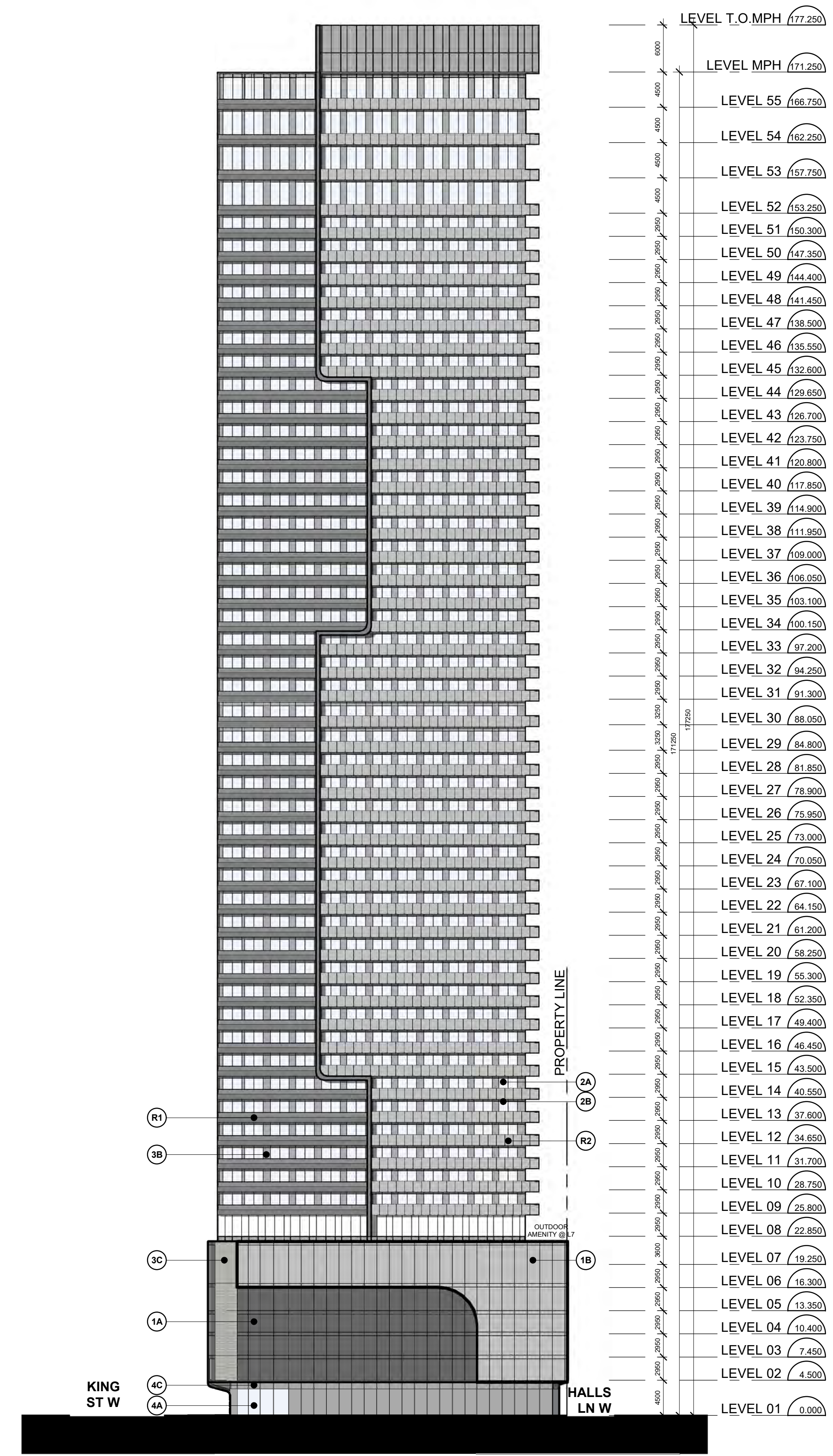
East and West Elevations

Scale:
1 : 400
 Drawn by:
JH
 Checked by:
VS
 Project No.:
21120
 Date:
February 14, 2023
 Drawing No.:

dA4.1



1 East Elevation
 1 : 400



2 West Elevation
 1 : 400

EXTERIOR FINISH LEGEND

- 1A** PRE-CAST PANEL 1
- 1B** PRE-CAST PANEL 2
- 2A** PREFINISHED WINDOW WALL SYSTEM VISION GLASS
- 2B** PREFINISHED WINDOW WALL SYSTEM SPANDREL GLASS
- 3A** METAL PANEL SOFFIT
- 3B** PREFINISHED VERTICAL PROJECTED METAL PANEL
- 3C** METAL PANEL LOUVRES
- 3D** METAL FRAME - BLACK
- 4A** PREFINISHED CURTAIN WALL SYSTEM VISION GLASS - CLEAR
- 4B** PREFINISHED CURTAIN WALL SYSTEM SPANDREL GLASS - BLUE
- 4C** PREFINISHED CURTAIN WALL SYSTEM SPANDREL GLASS - GREY
- R1** BALCONY GLASS RAILING 1
- R2** BALCONY GLASS RAILING 2

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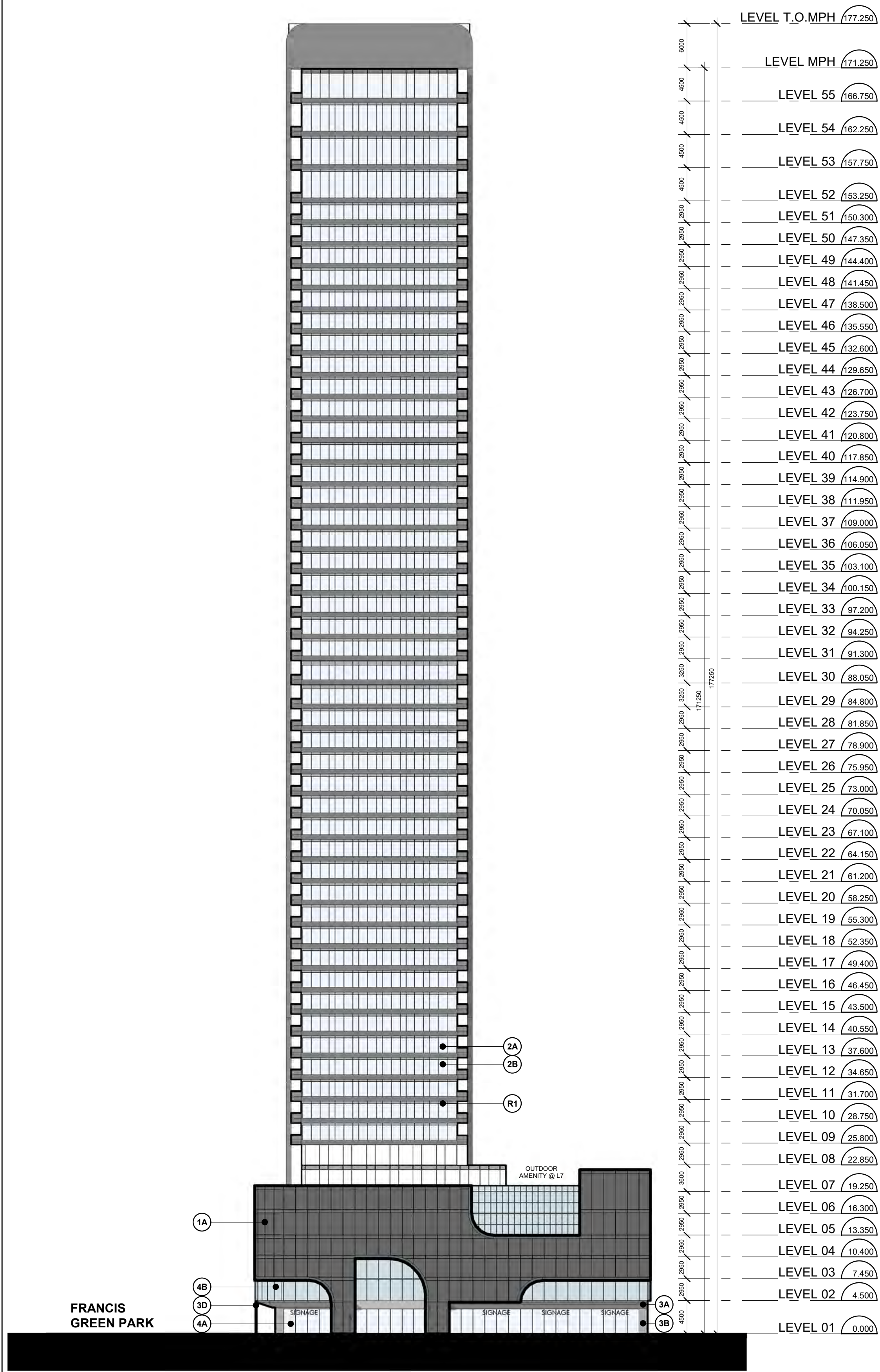
Client:
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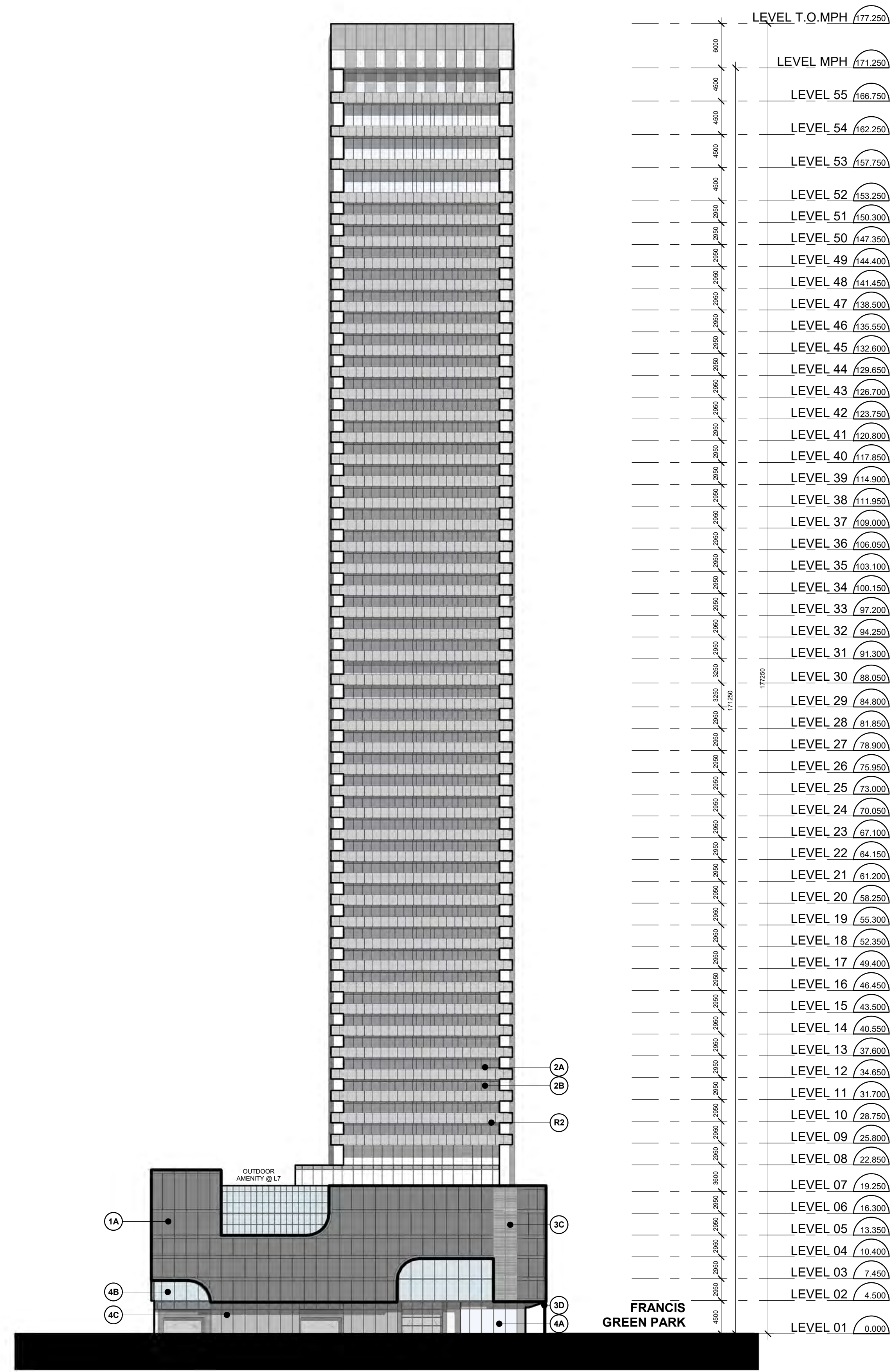
Drawing Title:
North and South Elevations

Scale:
1 : 400
Drawn by:
JH
Checked by:
VS
Project No.:
21120
Date:
February 14, 2023
Drawing No.:

dA4.2



1 North Elevation
1 : 400



2 South Elevation
1 : 400

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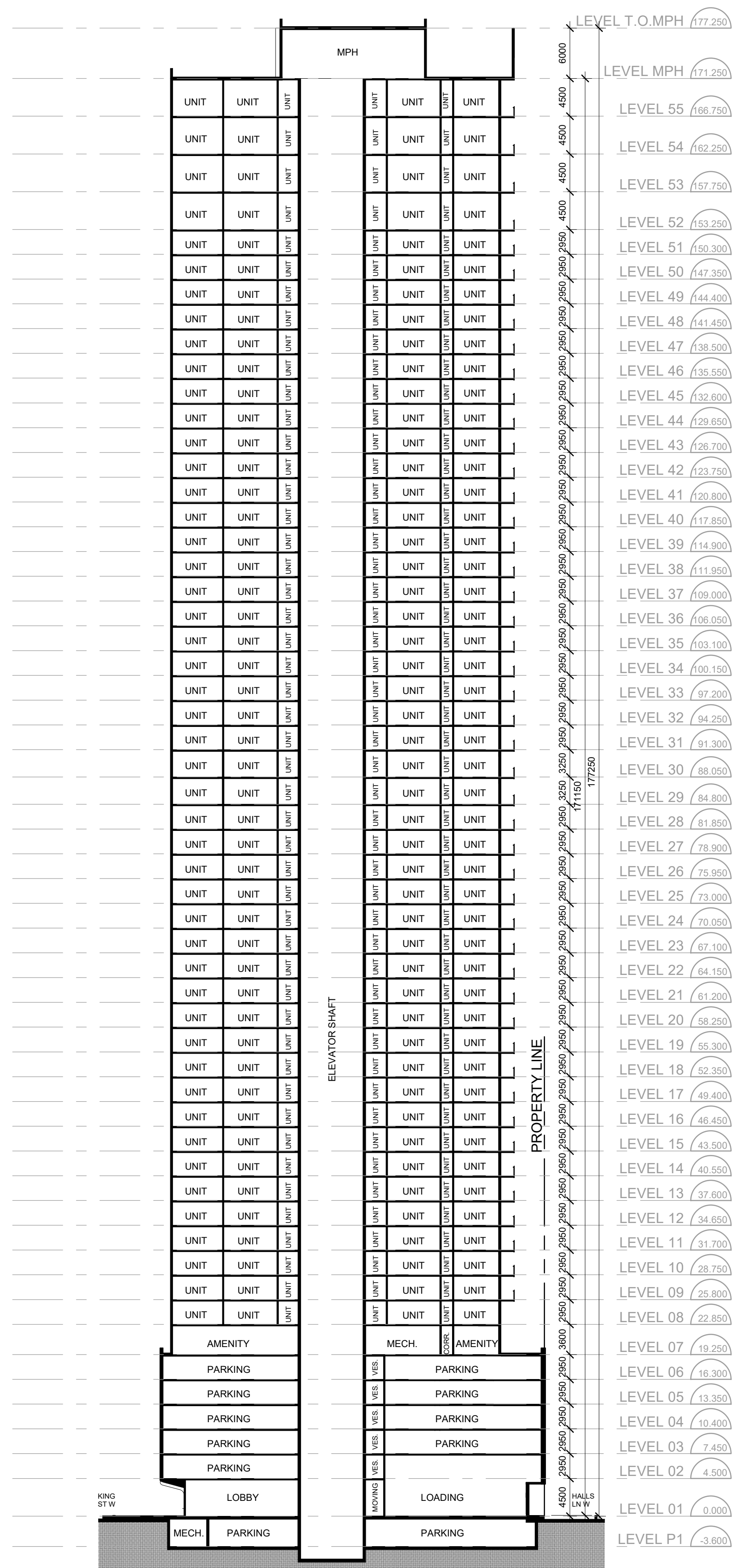
Client:
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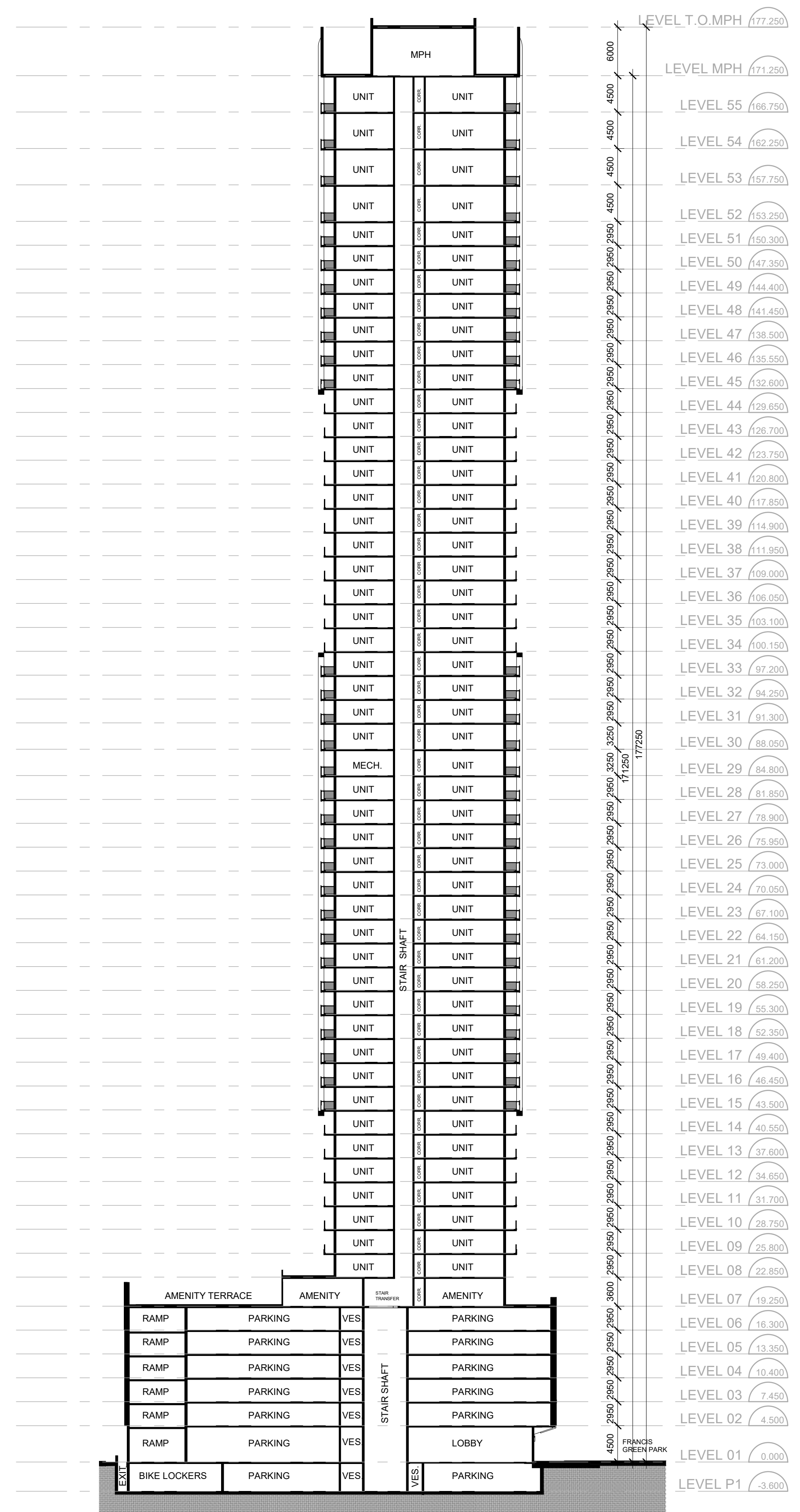
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Scale:
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Drawn by:
JH
Checked by:
VS
Project No.:
21120
Date:
February 14, 2023
Drawing No.:

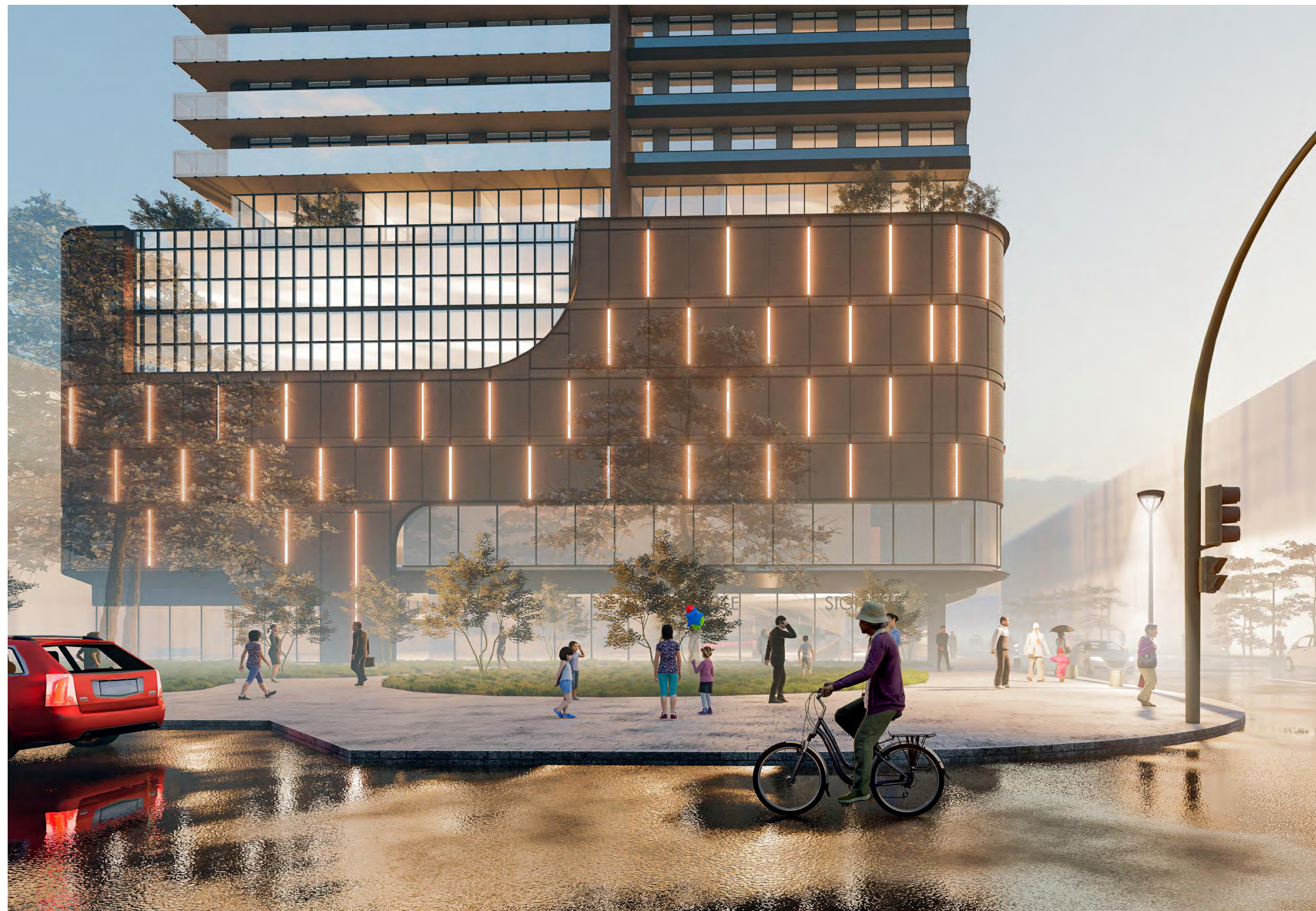
dA5.1



1 | North-South Section
1 : 400



2 | East-West Section
1 : 400



1 | Rendering from King St W Looking W



2 | Street View Rendering from King St W Looking NW



3 | Rendering of North Elevation



4 | Street View Rendering from King St W Looking NW

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417 King St West, Kitchener
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Drawing Title:
Perspectives

Scale:
Drawn by:
AR
Checked by:
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Date:
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dA6.1

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Client:
VanMar Developments

417 King St West, Kitchener
Proposed Residential Development

Drawing Title:
**Sun Shadow Study -
March & September 21**

Scale:

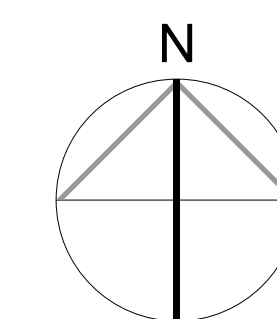
Drawn by:
JH

Checked by:
VS

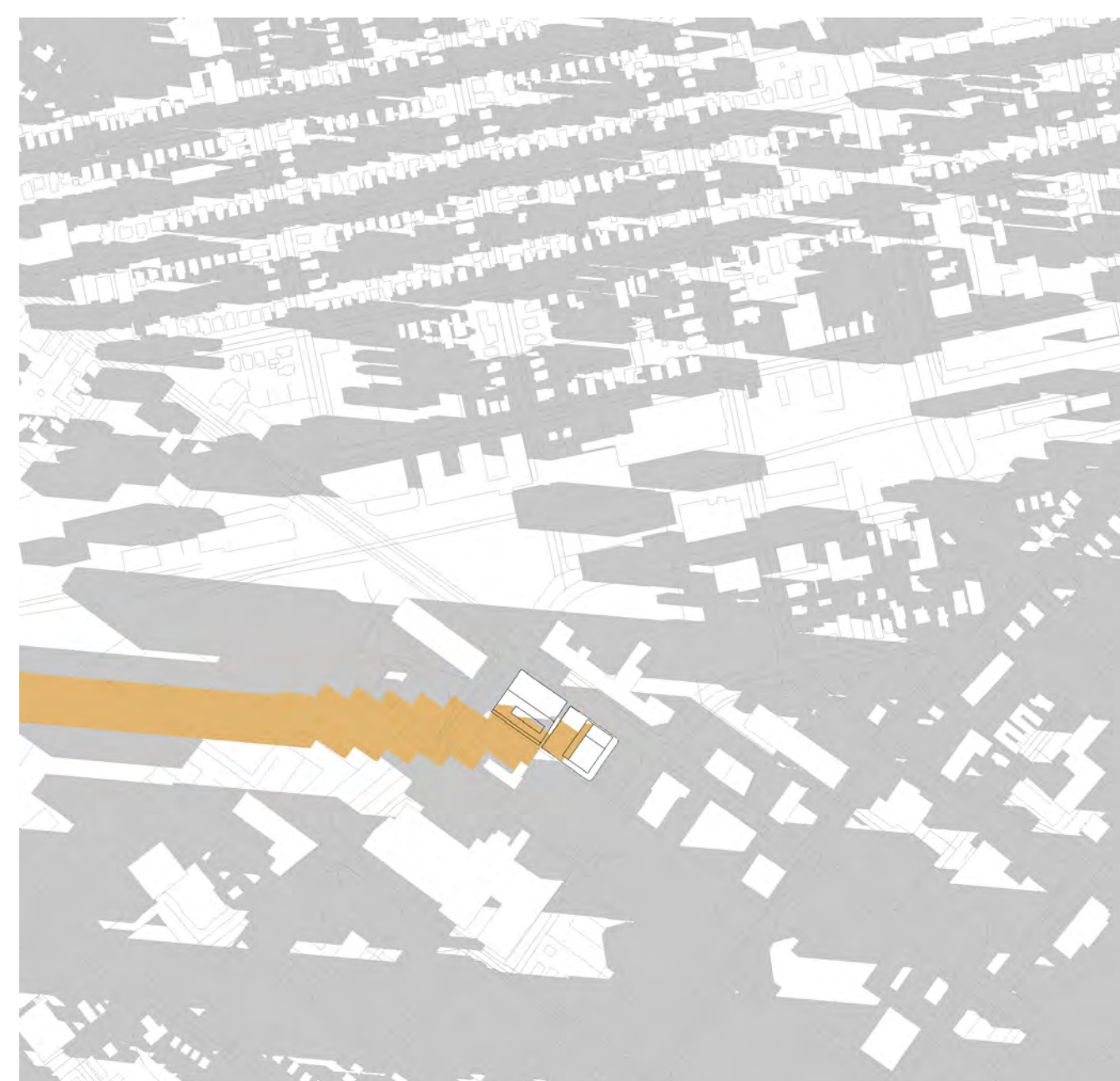
Project No.:
21120

Date:
February 14, 2023

Drawing No.:



dA7.1



1 | March & September 21 - 8:00am (DST)



2 | March & September 21 - 10:00am (DST)



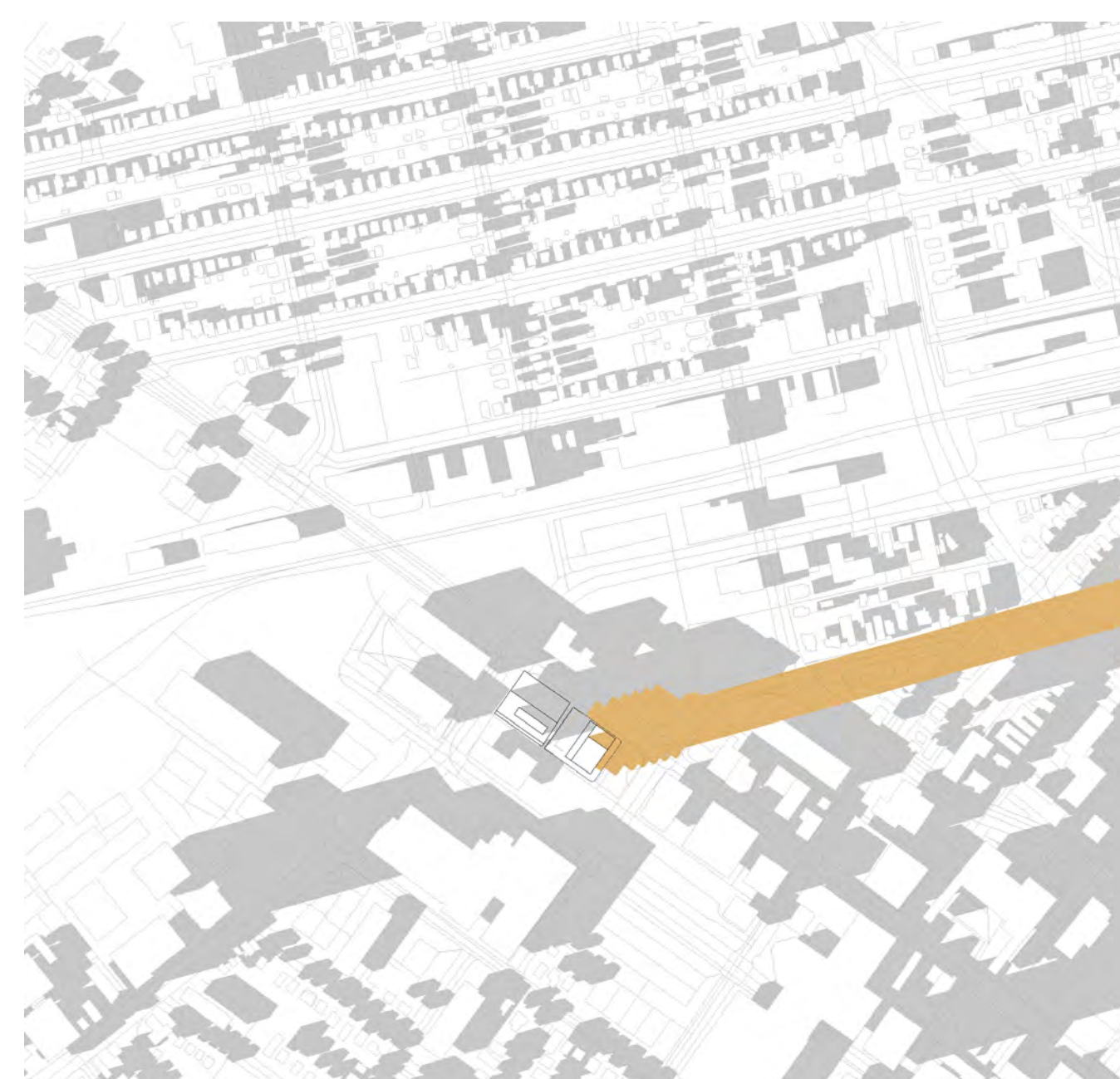
3 | March & September 21 - 12:00pm (DST)



4 | March & September 21 - 2:00pm (DST)



5 | March & September 21 - 4:00pm (DST)



6 | March & September 21 - 6:00pm (DST)

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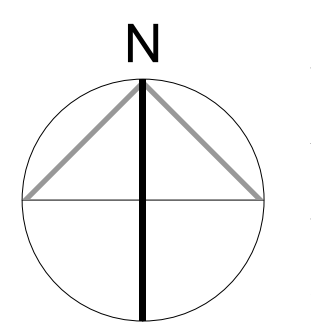
Client:
VanMar Developments

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Proposed Residential Development

Drawing Title:
Sun Shadow Study - June 21

Scale:

Drawn by:
JH
Checked by:
VS
Project No.:
21120
Date:
February 14, 2023
Drawing No.:



dA7.2



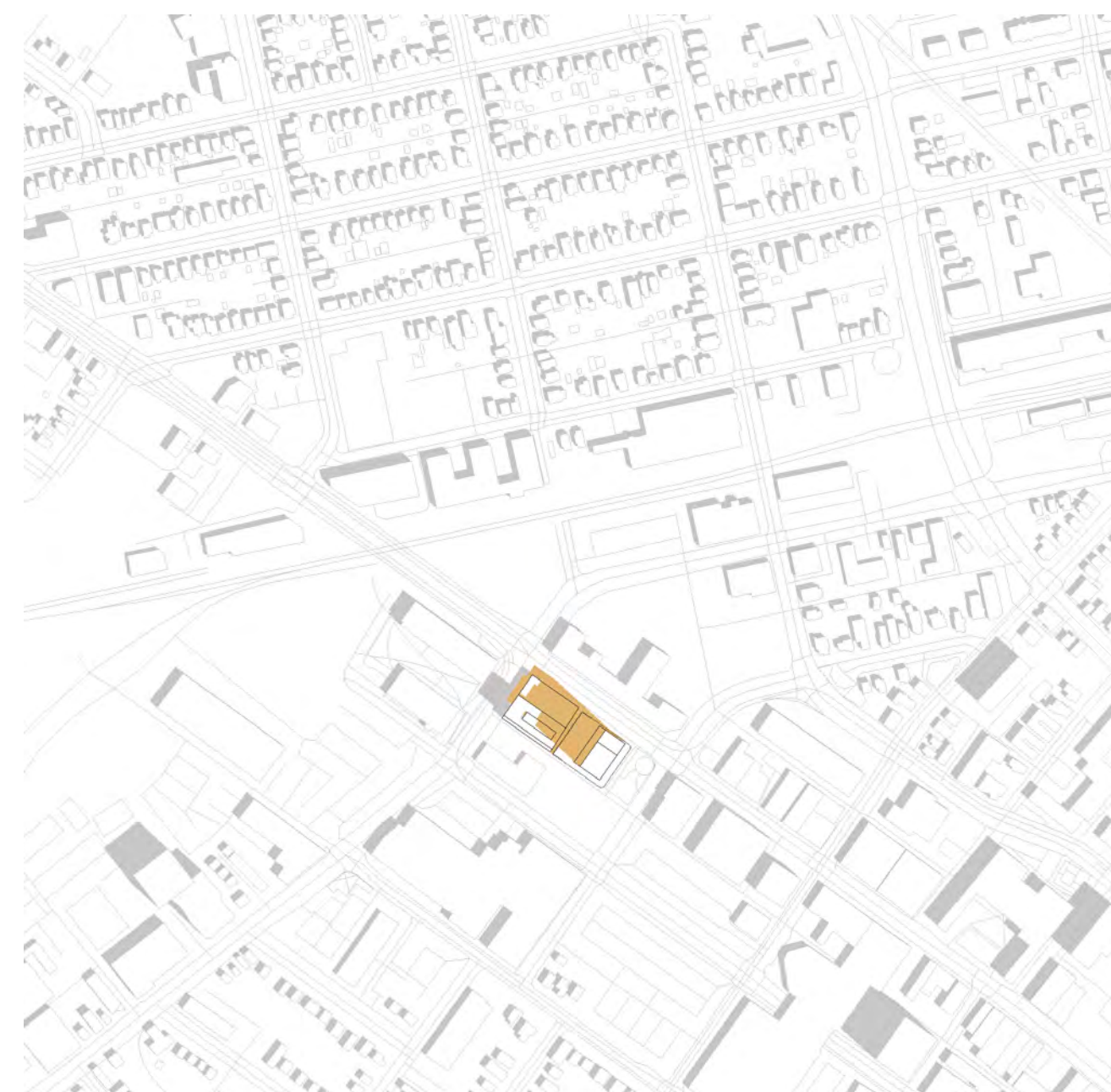
1 | June 21 - 6:00am (DST)



2 | June 21 - 8:00am (DST)



3 | June 21 - 10:00am (DST)



4 | June 21 - 12:00pm (DST)



5 | June 21 - 2:00pm (DST)



6 | June 21 - 4:00pm (DST)



7 | June 21 - 6:00pm (DST)



8 | June 21 - 8:00pm (DST)

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No.: Issued For: Date:

Client:

VanMar Developments

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Drawing Title:
**Sun Shadow Study -
December 21**

Scale:

Drawn by:

JH

Checked by:

VS

Project No.:

21120

Date:

February 14, 2023

Drawing No.:

dA7.3



1 | December 21 - 10:00am (DST)



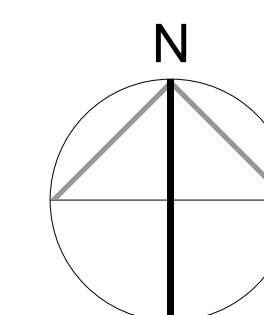
2 | December 21 - 12:00pm (DST)



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4 | December 21 - 4:00pm (DST)



Plot Date: 2023-02-14 4:13:35 PM File Path: C:\Users\johnd\OneDrive\Documents\2023\21120\01.dwg Plot Size: 36x24 inches

Appendix B

Location Map



- 417 King Street W
- Kaufman Footwear Building
- Lang Tanning Building Complex