

SITE LEGEND

- MAIN ENTRANCE/EXIT
- OVERHEAD DOOR
- ENTRANCE/EXIT
- PARKING COUNT
- BARRIER FREE SIGNAGE
- LIGHT POLE
- HYDRO POLE
- FIRE HYDRANT
- CATCH BASIN
- FIRE DEPT. CONNECTION
- BOLLARD

- ### NOTES
1. LEGAL DESCRIPTION: LOT 8.9, REGISTERED PLAN 522 (WEST OF FOUNTAIN STREET)
 2. INFORMATION REGARDING SITE FEATURES BASED ON MTE EX. COND. SURVEY
 3. SITE GRADING INFORMATION FROM MTE SURVEYING; DATED: January 30/23
 4. FOR SITE GRADING, SERVICING AND STORM WATER MANAGEMENT DETAILS, REFER TO DRAWINGS PREPARED BY MTE.
 5. ALL ROADS AND ISLANDS SHALL HAVE 150mm CURBS UNLESS OTHERWISE NOTED.
 6. CURB RADI SHALL BE 0.5m UNLESS OTHERWISE NOTED.
 7. STANDARD PARKING STALL DIMENSION SHALL BE 2.75m x 5.50m.
 8. BARRIER-FREE PARKING STALL DIMENSION SHALL BE 3.40m x 5.50m AND SHALL MEET ALL CITY OF KITCHENER REQUIREMENTS.
 9. ALL OUTDOOR LIGHTING SHALL BE FULL CUT-OFF AND HAVE NO GLARE.
 10. TREE PROTECTION FENCING SHALL BE ERECTED AROUND ALL EXISTING LANDSCAPED AREAS AND SHOULD REMAIN ON SITE FOR THE DURATION OF CONSTRUCTION.
 11. SIGNAGE (BUILDING, PYLON OR OTHERWISE) NOT APPROVED VIA THE SITE PLAN PROCESS.
 12. THERE SHALL BE NO STORAGE OF ANY ITEMS ON SITE.
 13. ALL FINAL LOT DIMENSIONS ARE TO BE PREPARED BY THE PROJECTS SURVEYOR. ALL DIMENSIONS ARE SUBJECT TO APPROVAL OF THE MUNICIPAL AUTHORITY.
 14. SNOW TO BE PICKED UP AND TAKEN OFF-SITE FOR DISPOSAL.

ZONING DATA CHART

15 CHURCH STREET
KITCHENER, ON

PROPOSED SITE PLAN

PREPARED BY EDGE ARCHITECTS LTD.
JULY 04, 2023

ZONING COMPLIANCE CHART

CURRENT ZONING: D-5

USE	MULTI-RESIDENTIAL DEVELOPMENT	
	REQUIRED	PROVIDED
MINIMUM LOT AREA	---	1935.7m ²
LOT FRONTAGE	---	7.445m
FRONT YARD SETBACK (N)	3.0m	3.4m
INT. SIDE YARD SETBACK (E)	3.0m	4.3m
INT. SIDE YARD SETBACK (W)	1.2m	1.2m
REAR YARD SETBACK (S)	3.0m	4.95m
MAX. BLDG. HEIGHT	---	19.6m
LANDSCAPED	---	---
PARKING	8	BELOW GRADE = 15 SPACES SURFACE LEVEL = 9 SPACES TOTAL = 24 SPACES
	BARRIER-FREE PARKING	2
BIKE PARKING	---	GROUND FL. EXT. = 8 SPACES GROUND FL. INT. = 14 SPACES TOTAL = 22 SPACES
# OF UNITS	---	GROUND FL.= 7 UNITS 2ND FLOOR.= 10 UNITS 3RD FLOOR.= 10 UNITS 4TH FLOOR.= 10 UNITS 5TH FLOOR.= 10 UNITS 6TH FLOOR.= 10 UNITS TOTAL= 57 UNITS
# OF BEDS	---	GROUND FL.= 9 BEDS 2ND FLOOR.= 12 BEDS 3RD FLOOR.= 12 BEDS 4TH FLOOR.= 12 BEDS 5TH FLOOR.= 12 BEDS 6TH FLOOR.= 12 BEDS TOTAL= 69 BEDS

NOTE: SNOW TO BE PICKED UP AND TAKEN OFF-SITE FOR DISPOSAL.

SWEPT PATH ANALYSIS

LSU - Light Single Unit Truck	4.400m
Overall Length	2.600m
Overall Width	3.650m
Overall Body Height	0.445m
Min Body Ground Clearance	2.600m
Track Width	4.000m
Lock-to-lock time	6.300m
Curb to Curb Turning Radius	

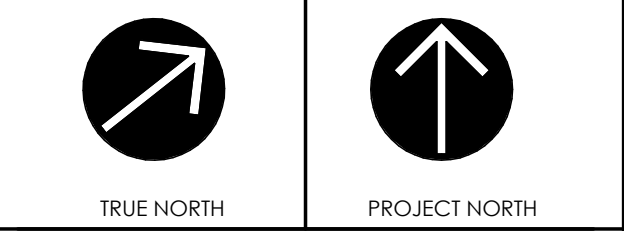
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ISSUED FOR:
SCHEMATIC DESIGN
DEVELOPED DESIGN
SITE PLAN APPROVAL
BUILDING PERMIT
BIDDING/TENDER

NO.	REVISION DESCRIPTION	DATE
01	ISSUED FOR MINOR VARIANCE	2023.02.09
02	ISSUED FOR PRELIM SPA	2023.03.10
03	ISSUED FOR SPA	2023.05.26
04	ISSUED FOR HERITAGE PERMIT	2023.07.13



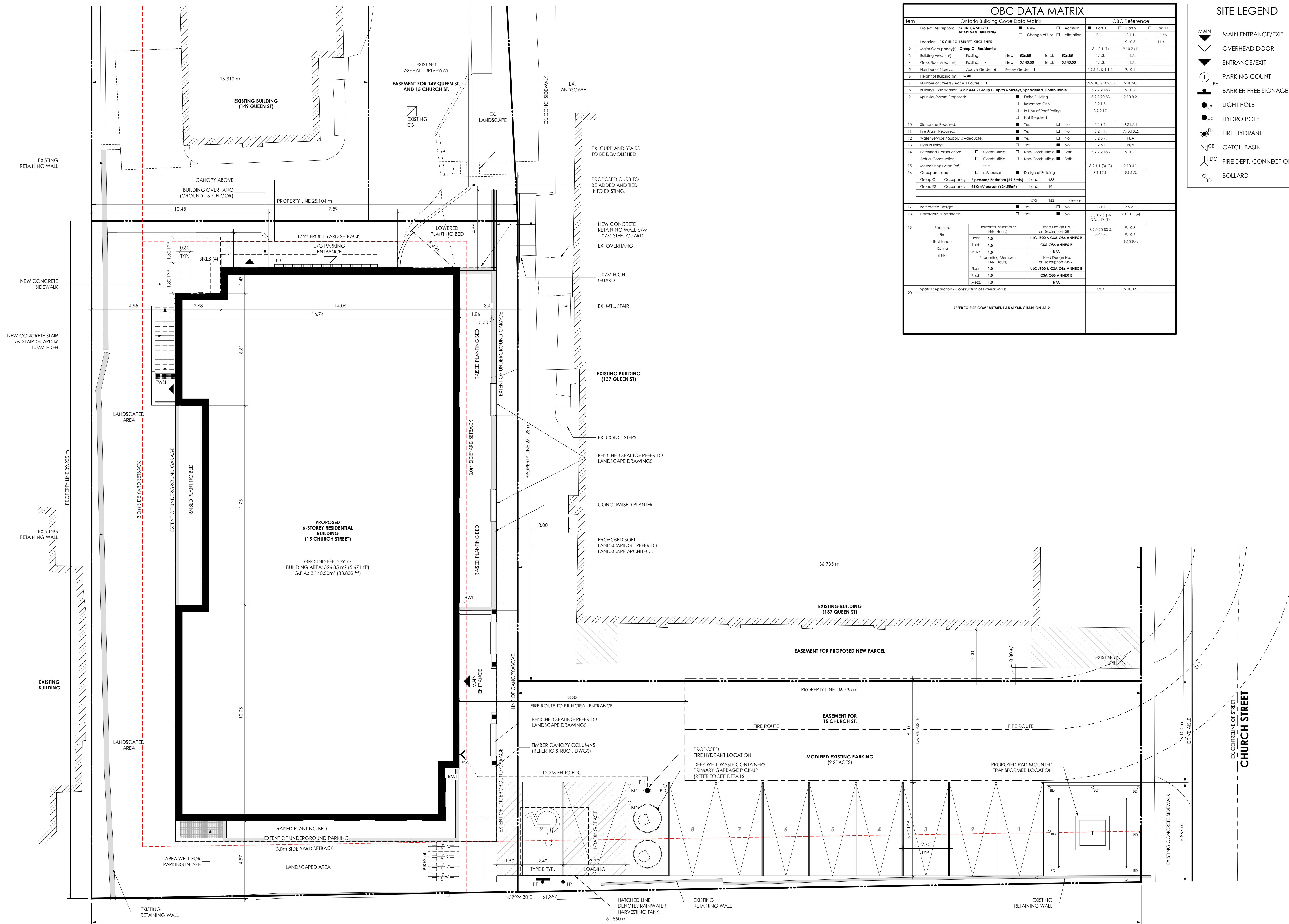
PROJECT NAME
ST. PAUL'S AFFORDABLE HOUSING
15 CHURCH STREET, KITCHENER

CLIENT
MAXWELL BUILDING CONSULTANTS

DRAWING TITLE
OVERALL SITE PLAN

PROJECT NUMBER 21067	DRAWING NUMBER SP1.1
SCALE As indicated	
SHEET SIZE 24x36	

1 SITE PLAN
SP1.1



Ontario Building Code Data Matrix		OBC Reference	
Item	Project Description	Part 3	Part 9
1	Project Description: 57 UNIT, 6 STOREY APARTMENT BUILDING	2.1.1.	2.1.1.
2	Location: 15 CHURCH STREET, KITCHENER	9.10.3.	11.1.4
3	Major Occupancy: Group C - Residential	3.1.2.1.(1)	9.10.2.(1)
4	Building Area (m²): Existing: - New: 526.85 Total: 526.85	1.1.3.	1.1.3.
5	Gross Floor Area (m²): Existing: - New: 3,140.50 Total: 3,140.50	1.1.3.	1.1.3.
6	Number of Storeys: Above Grade: 4 Below Grade: 1	3.2.1.1. & 1.1.3.	9.10.4.
7	Height of Building (m): 14.40	3.2.2.10. & 3.2.5.5	9.10.20.
8	Building Classification: 3.2.2.43A - Group C, Up to 4 Storeys, Sprinklered, Combustible	3.2.2.20-83	9.10.2.
9	Sprinkler System Proposed:	3.2.2.20-83	9.10.8.2.
10	Standpipe Required:	3.2.1.5.	3.2.2.17.
11	Fire Alarm Required:	3.2.9.1.	9.21.3.1
12	Water Service / Supply is Adequate:	3.2.4.1.	9.10.18.2.
13	High Building:	3.2.5.7.	N/A
14	Permitted Construction:	3.2.6.1.	N/A
15	Actual Construction:	3.2.2.20-83	9.10.6.
16	Occupant Load:	3.2.1.1.(9)-(8)	9.10.4.1.
17	Barrier-free Design:	3.1.17.1.	9.9.1.3.
18	Hazardous Substances:	3.8.1.1.	9.5.5.1.
19	Required Fire Resistance Rating (FRR):	3.3.1.2.(1) & 3.3.1.19.(1)	9.10.1.3.(4)
20	Spall/Seal Separation - Construction of Exterior Walls:	3.2.2.20-83 & 3.2.1.4.	9.10.8.



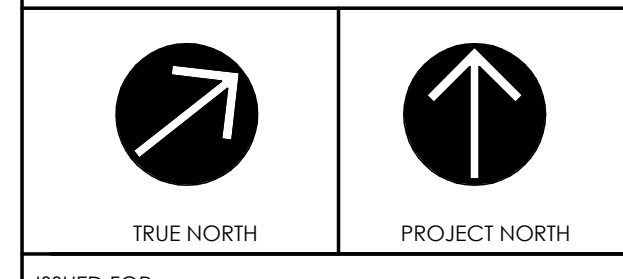
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ARCHITECTS SEAL

PROJECT NAME

ST. PAUL'S AFFORDABLE HOUSING

15 CHURCH STREET, KITCHENER

CLIENT

MAXWELL BUILDING CONSULTANTS

DRAWING TITLE

ENLARGED SITE PLAN

PROJECT NUMBER	DRAWING NUMBER
21067	SP1.2
SCALE	As indicated
SHEET SIZE	24x36

1 ENLARGED SITE PLAN

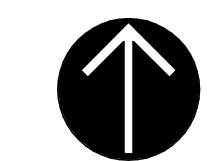
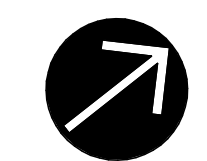
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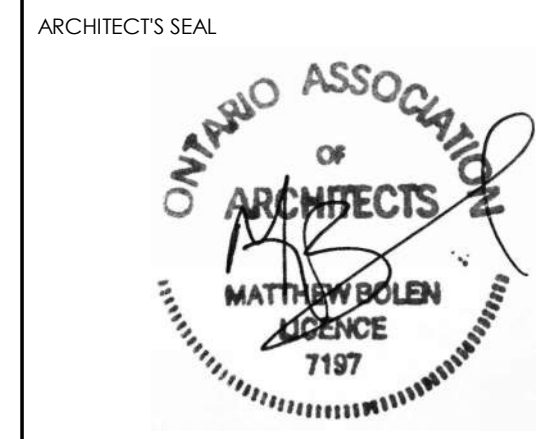
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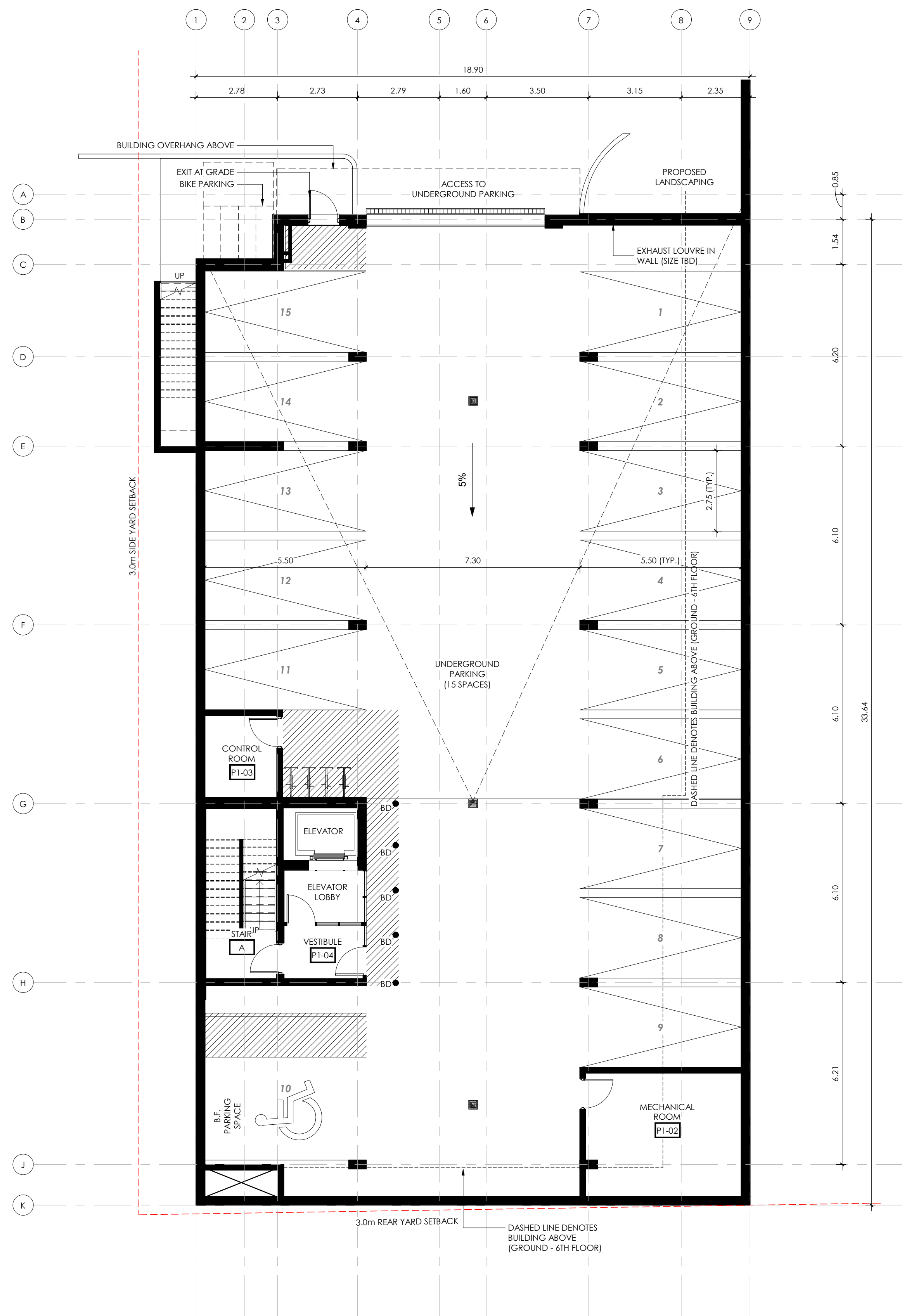


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DRAWING TITLE
FLOOR PLANS

PROJECT NUMBER 21067	DRAWING NUMBER SP2.1
SCALE	
SHEET SIZE 24x36	



2 UNDERGROUND PARKING (SPA)
SP2.1 SCALE: 1:100



1 GROUND FLOOR PLAN (SPA)
SP2.1 SCALE: 1:100

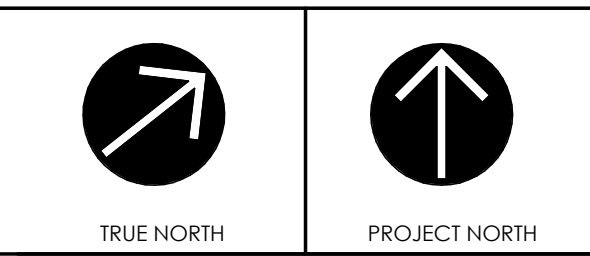
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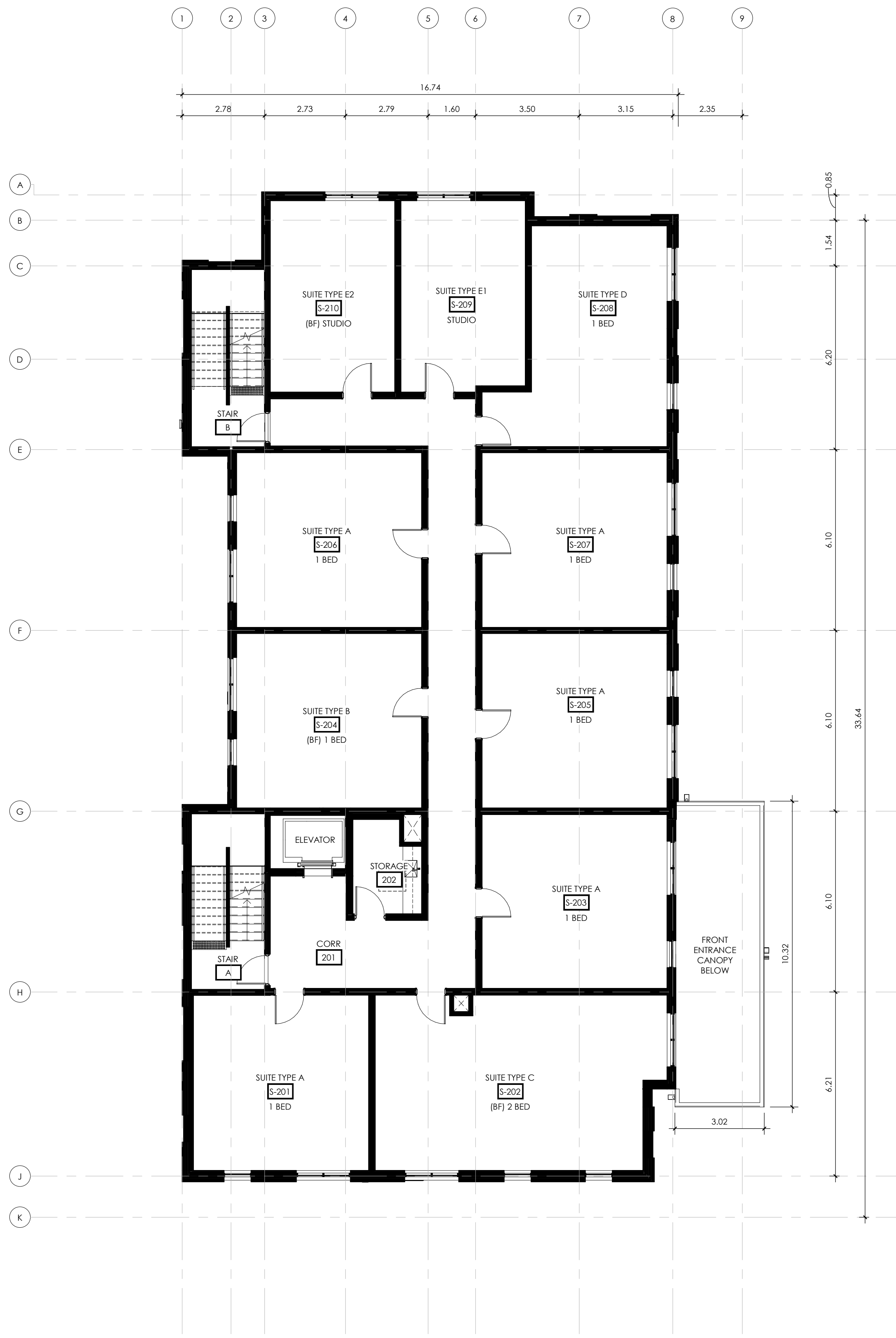


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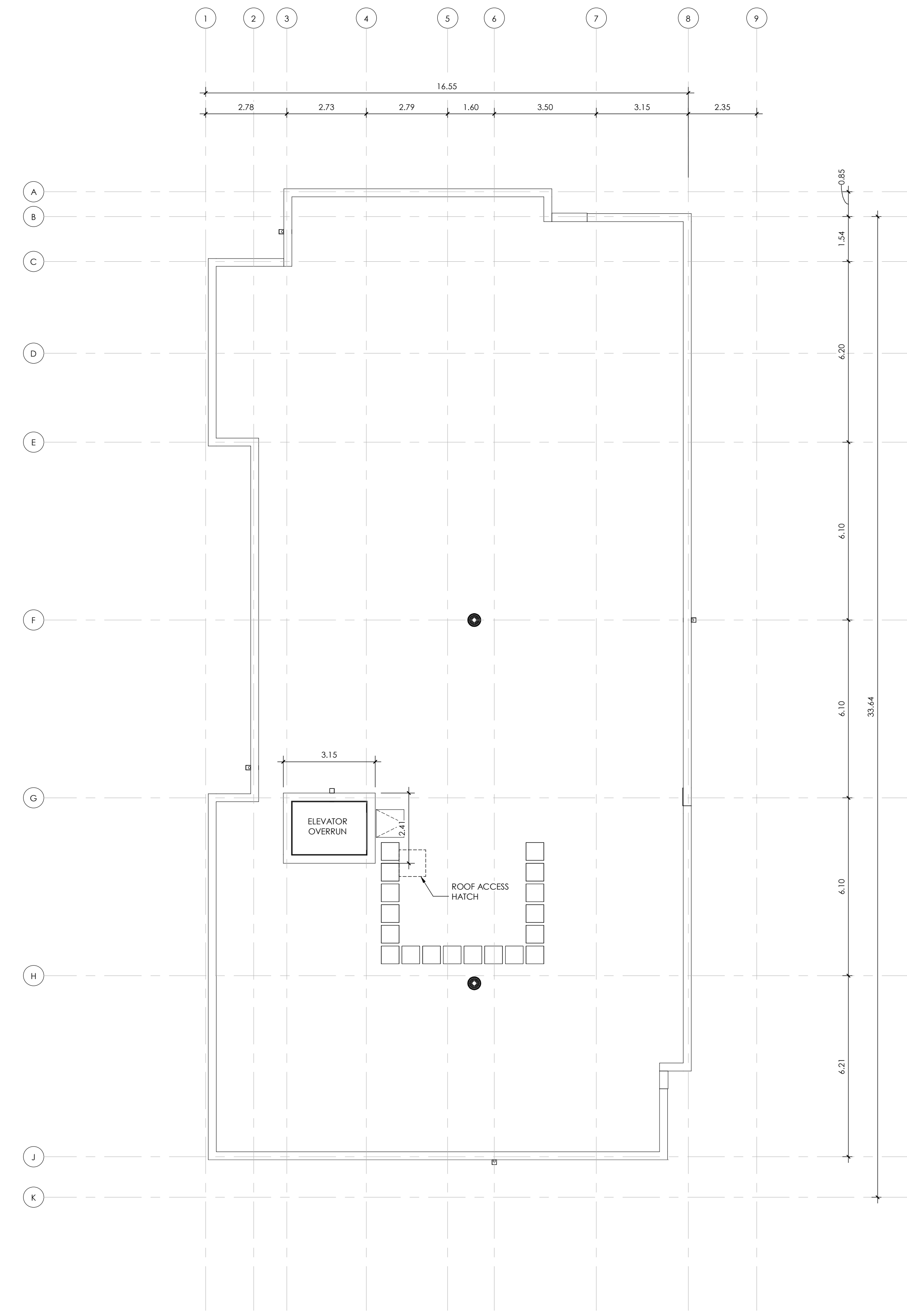
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FLOOR PLANS

PROJECT NUMBER 21067	DRAWING NUMBER SP2.2
SCALE 1:100	
SHEET SIZE 24x36	



1 **SECOND - SIXTH FLOOR PLAN (SPA)**
 SP2.2 1:100



2 **ROOF PLAN (SPA)**
 SP2.2 1:100



1 EAST ELEVATION.
SP3.1 SCALE: 1 : 100



2 NORTH ELEVATION.
SP3.1 SCALE: 1 : 100



3 WEST ELEVATION
SP3.1 SCALE: 1 : 100



4 SOUTH ELEVATION
SP3.1 SCALE: 1 : 100

MATERIAL LEGEND

- 1 BRICK, STRETCHER BOND UNITS
COLOUR: TAN
- 2 BRICK, HERRINGBONE UNITS
COLOUR: TAN
- 3 FIBRE CEMENT PANEL SYSTEM
COLOUR: LIGHT GREY
TEXTURE: SMOOTH
- 4 FIBRE CEMENT PANEL SYSTEM
COLOUR: MEDIUM GREY
TEXTURE: FLUTED
- 5 THERMALLY BROKEN ALU. FRAME
COLOUR: BRONZE
- 6 CLEAR DOUBLE GLAZING
SET IN THERMALLY BROKEN
ALUMINUM FRAME
- 7 GULUM TIMBER COLUMN
- 8 EXPOSED CAST-IN-PLACE CONC.
- 9 PREFINISHED METAL CAP FLASHING
COLOUR: TBD
- 10 PREFINISHED CONCRETE SILL
COLOUR: TBD
- 11 CAST-IN-PLACE
CONCRETE STAIRS
- 12 HOLLOW METAL DOOR AND FRAME
COLOUR: TBD
- 13 MECHANICAL WALL BOX
COLOUR: WHITE
- 14 SCUPPER
COLOUR: TBD
- 15 ELEVATOR OVERRUN
- 16 IPE BENCH
- 17 RAIN CHAIN
COLOUR: BRONZE
- 18 LIMESTONE PLINTH

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15 CHURCH STREET, KITCHENER

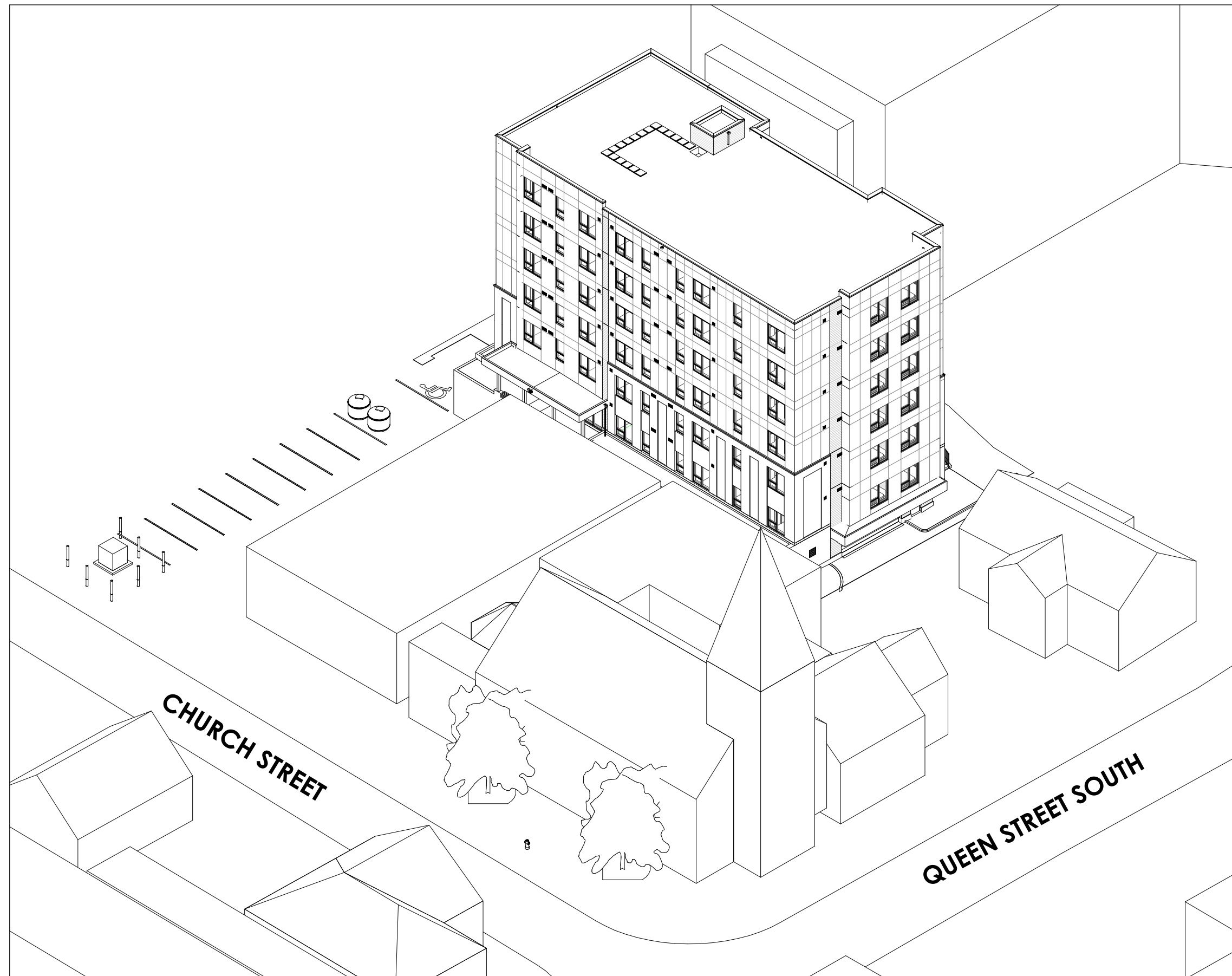
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DRAWING TITLE
ELEVATIONS

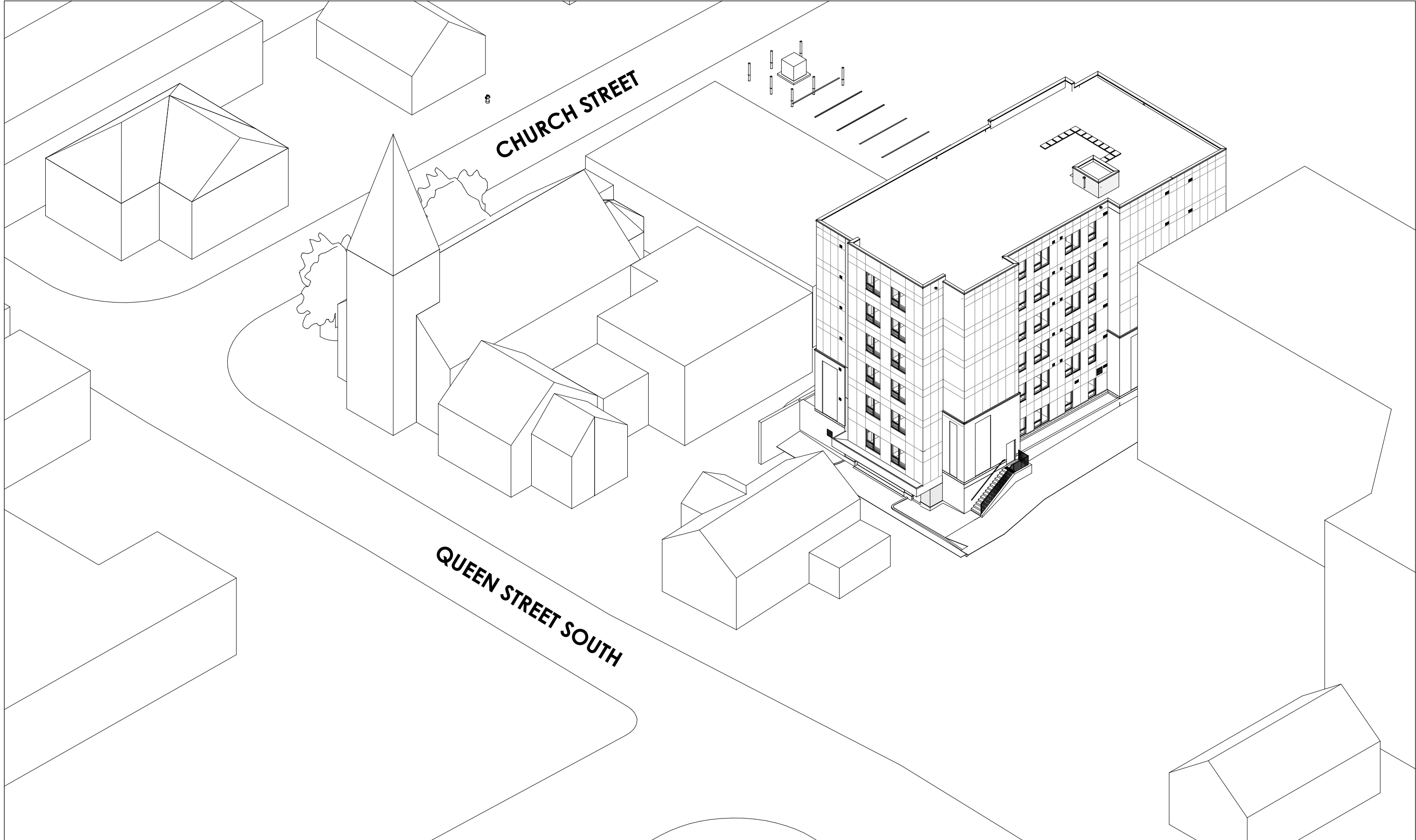
PROJECT NUMBER 21067	DRAWING NUMBER SP3.1
SCALE	
SHEET SIZE 24x36	



1 CHURCH STREET VIEW
 SP3.2 SCALE:



4 NORTH AXONOMETRIC
 SP3.2 SCALE:



5 WEST AXONOMETRIC
 SP3.2 SCALE:

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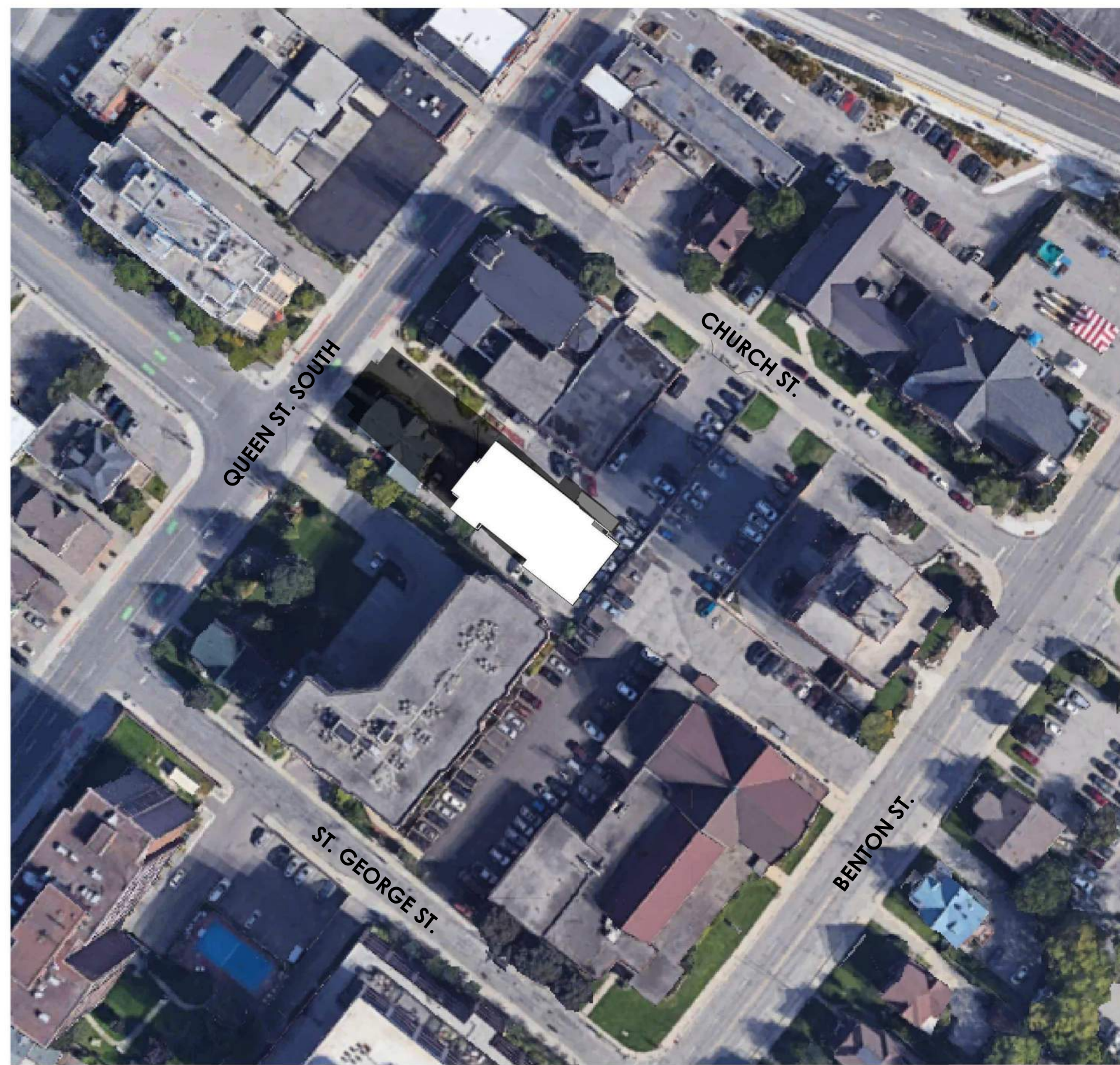


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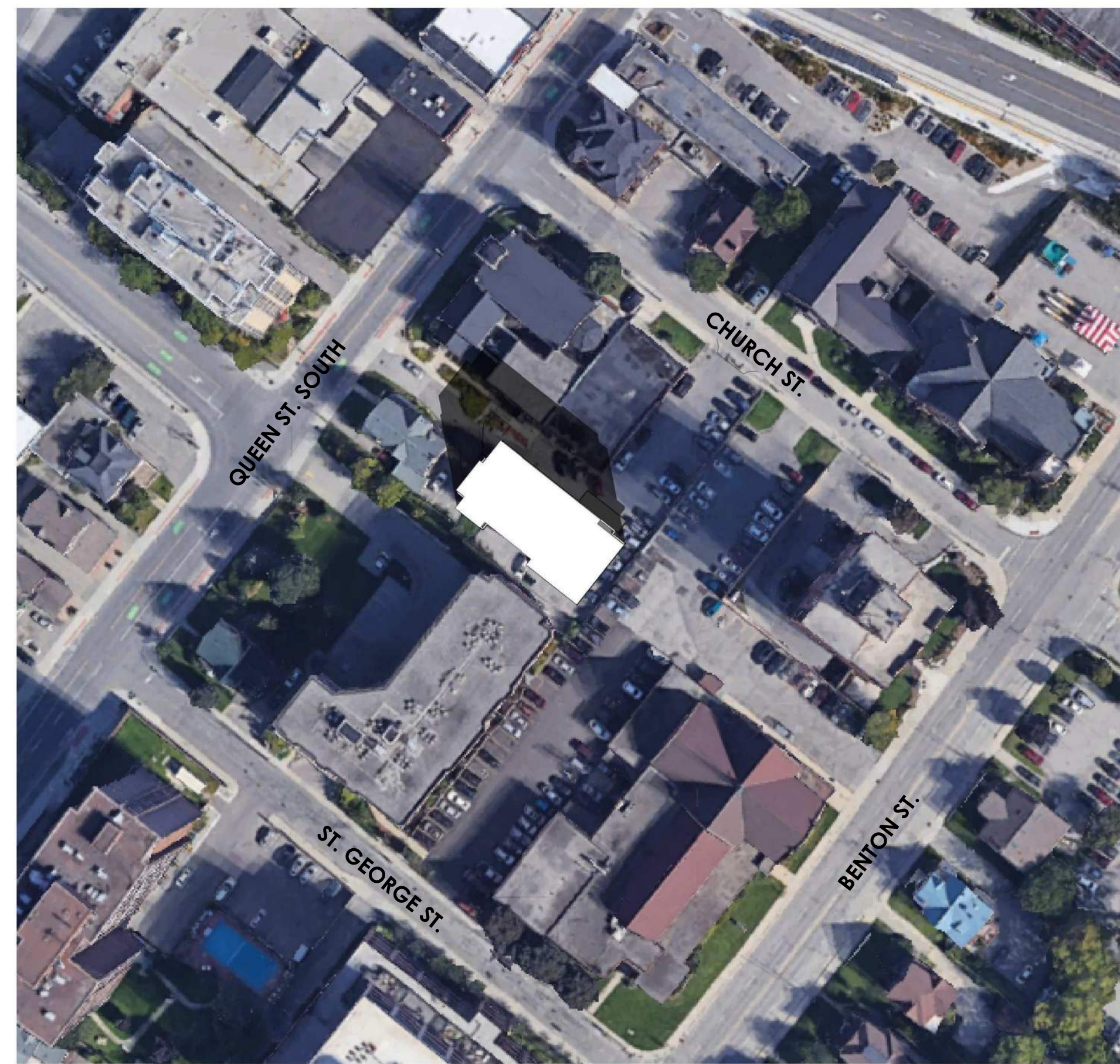
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DRAWING TITLE
PERSPECTIVE VIEWS

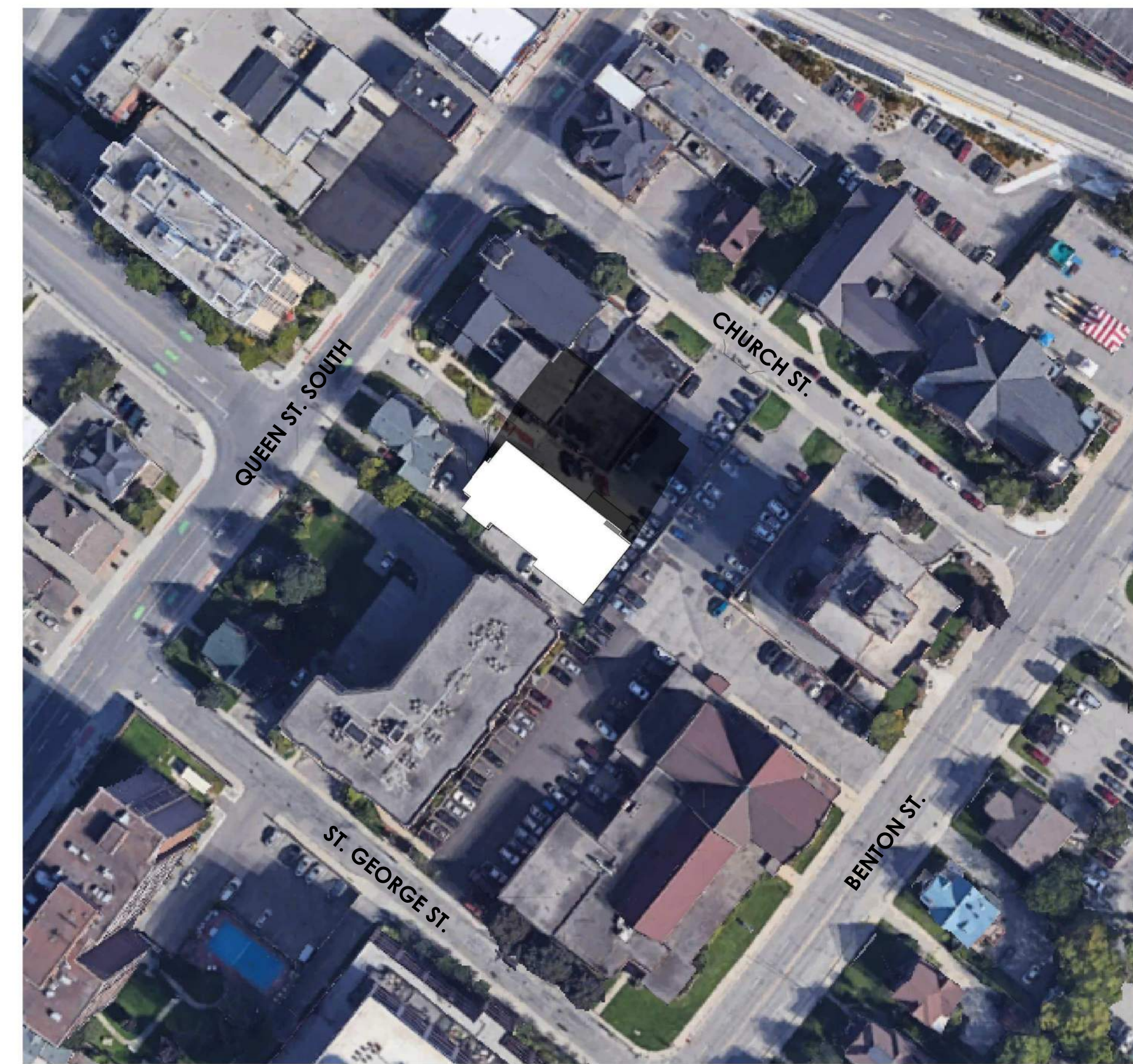
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SCALE	
SHEET SIZE 24x36	



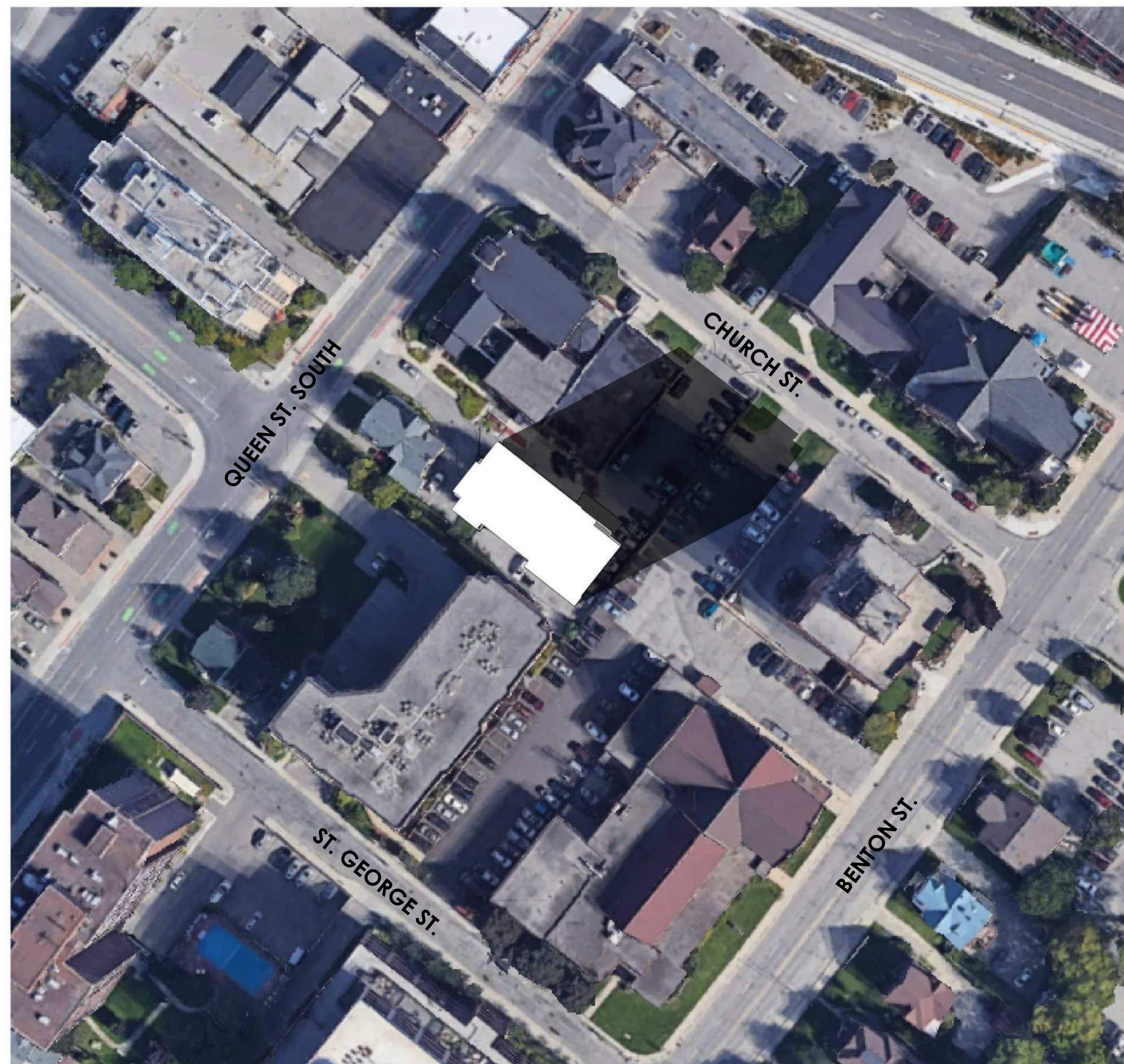
1 **SPRING EQUINOX - MARCH 21 - 10:00AM**
 (SP5.1) SCALE: 1 : 900



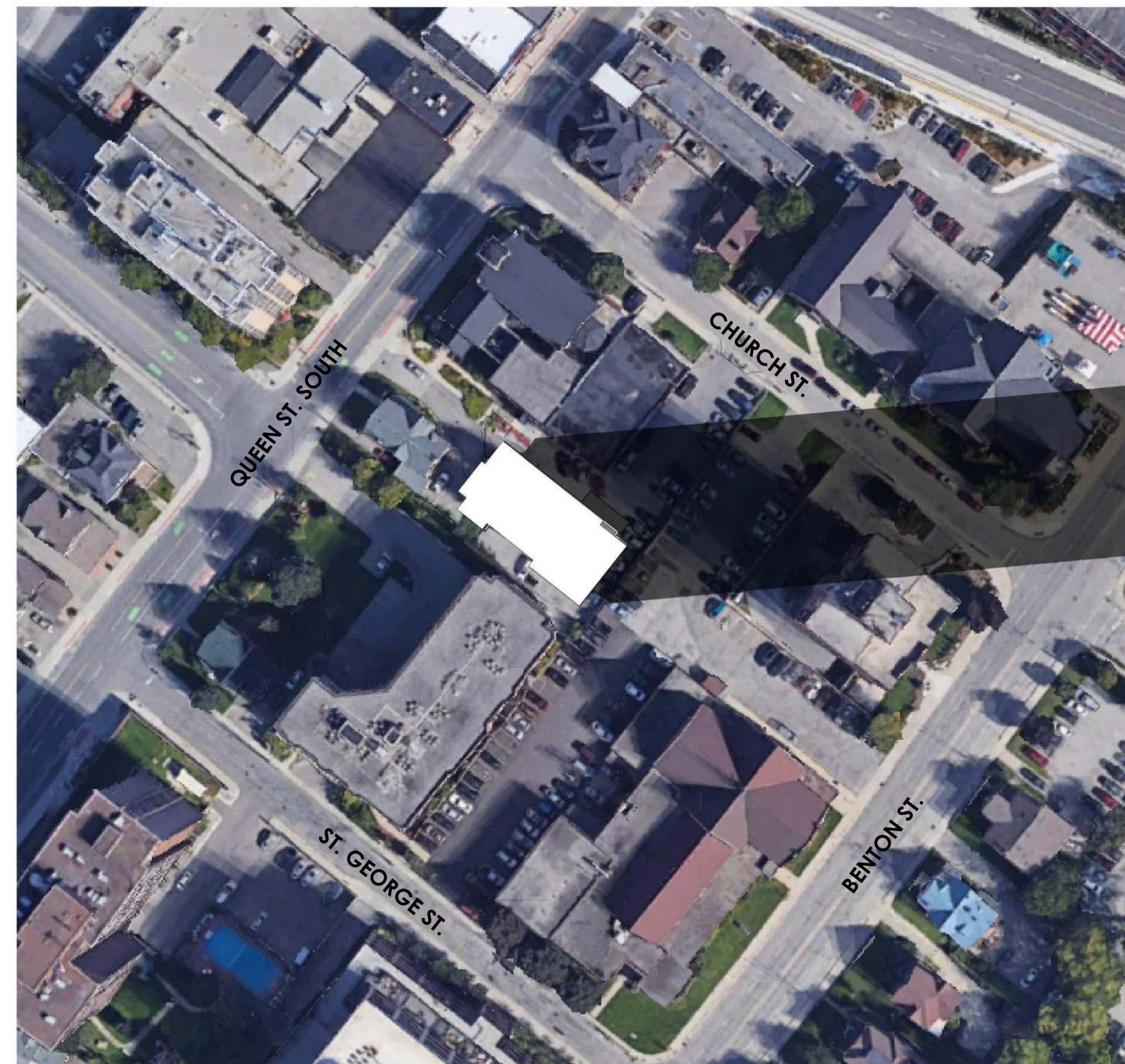
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 (SP5.1) SCALE: 1 : 900



3 **SPRING EQUINOX - MARCH 21 - 2:00PM**
 (SP5.1) SCALE: 1 : 900



4 **SPRING EQUINOX - MARCH 21 - 4:00PM**
 (SP5.1) SCALE: 1 : 900



5 **SPRING EQUINOX - MARCH 21 - 6:00PM**
 (SP5.1) SCALE: 1 : 900

EASTERN DAYLIGHT TIME (EDT)

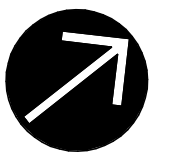
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 LONGITUDE: -80.490417

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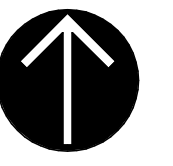
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TRUE NORTH



PROJECT NORTH

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ARCHITECT'S SEAL



PROJECT NAME

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CLIENT

MAXWELL BUILDING CONSULTANTS

DRAWING TITLE

SHADOW STUDY - SPRING EQUINOX (MARCH 21)

PROJECT NUMBER

21067

SCALE

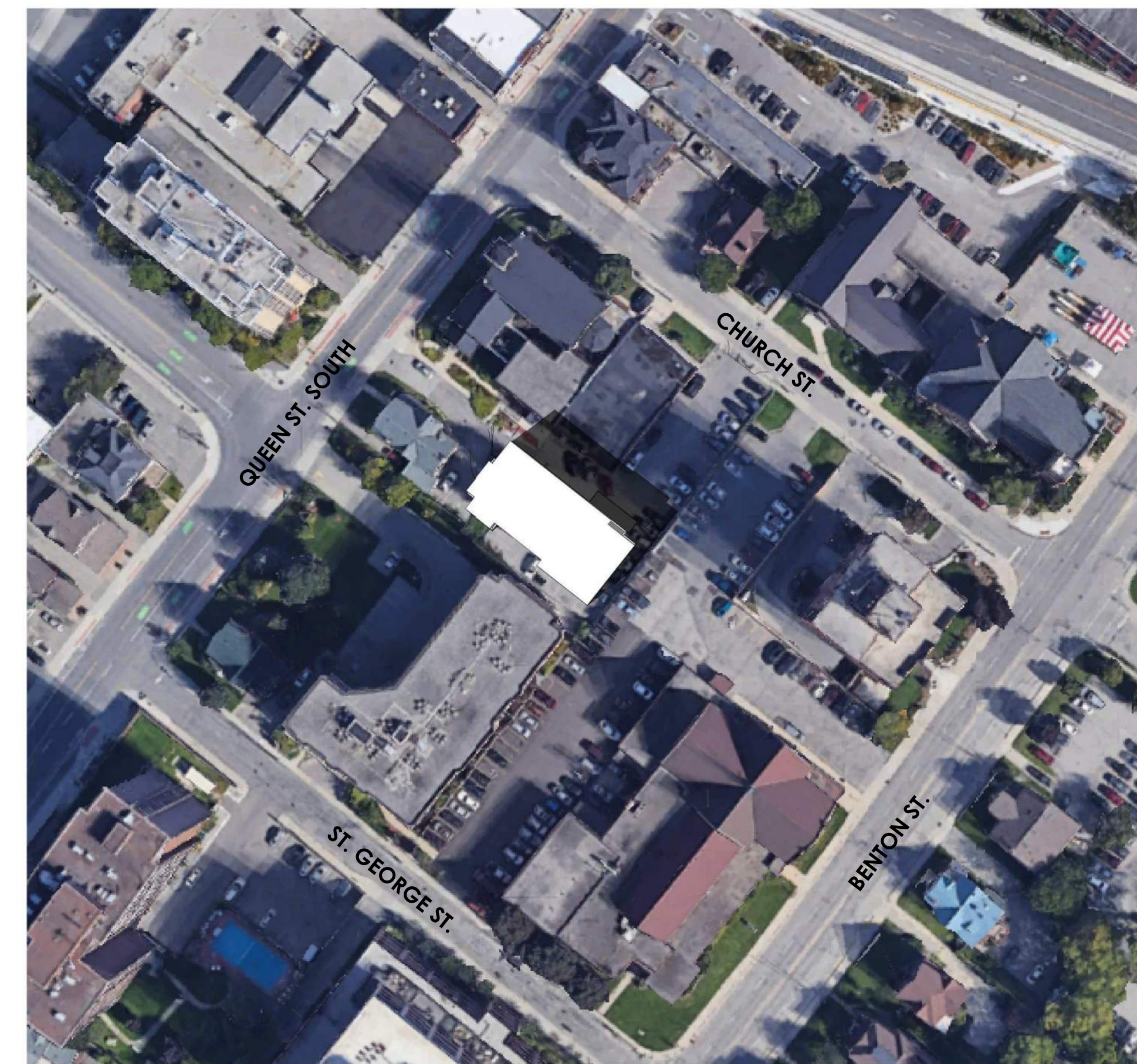
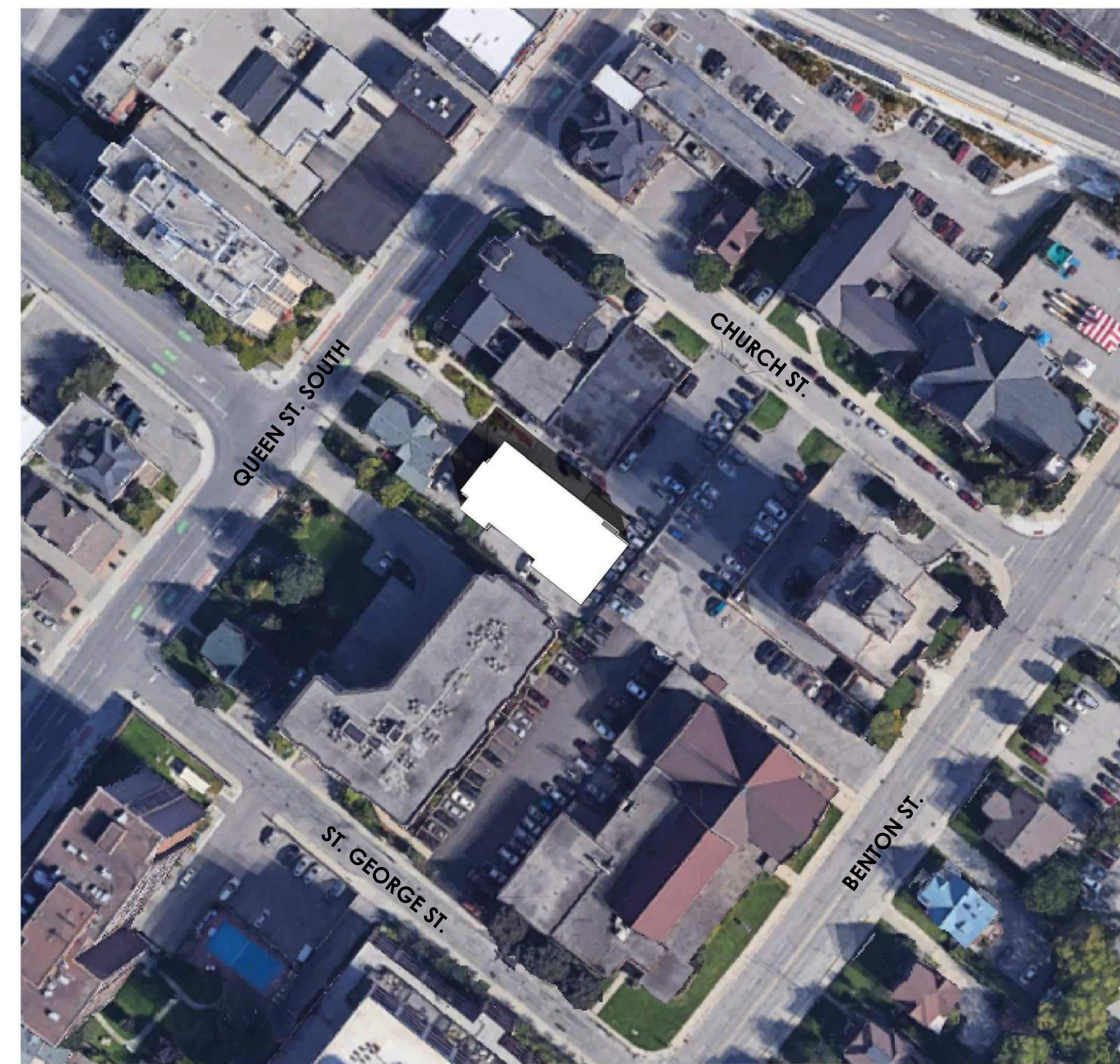
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SHEET SIZE

24x36

DRAWING NUMBER

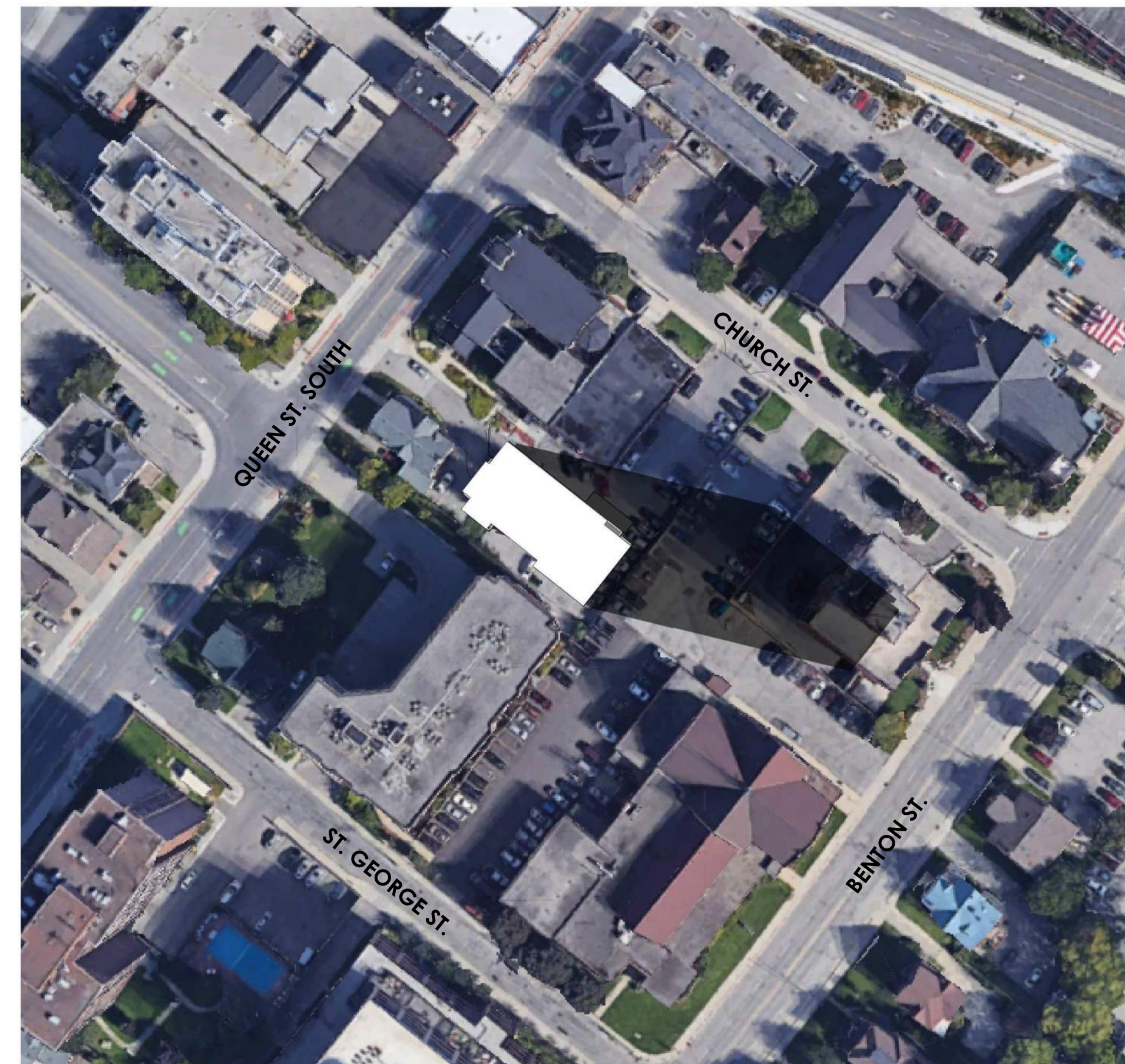
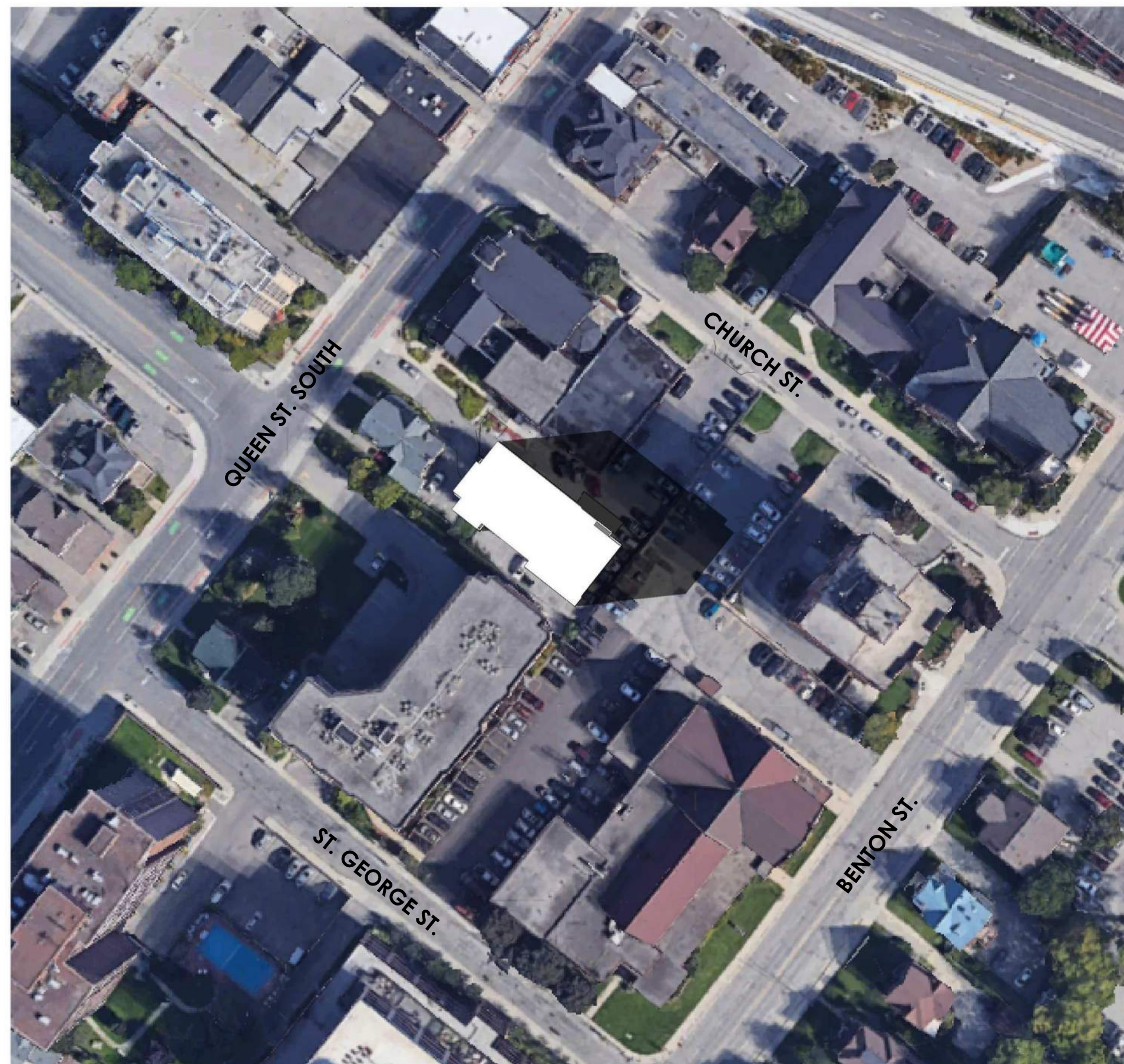
SP5.1



1 SUMMER EQUINOX - JUNE 21 - 10:00AM
SP5.2 SCALE: 1 : 900

2 SUMMER EQUINOX - JUNE 21 - 12:00PM
SP5.2 SCALE: 1 : 900

3 SUMMER EQUINOX - JUNE 21 - 2:00PM
SP5.2 SCALE: 1 : 900



4 SUMMER EQUINOX - JUNE 21 - 4:00PM
SP5.2 SCALE: 1 : 900

5 SUMMER EQUINOX - JUNE 21 - 6:00PM
SP5.2 SCALE: 1 : 900

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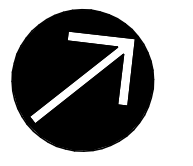
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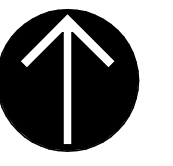
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04	ISSUED FOR HERITAGE PERMIT	2023.07.13

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PROJECT NAME

ST. PAUL'S AFFORDABLE HOUSING
15 CHURCH STREET, KITCHENER

CLIENT

MAXWELL BUILDING CONSULTANTS

DRAWING TITLE

SHADOW STUDY - SUMMER EQUINOX (JUNE 21)

PROJECT NUMBER

21067

SCALE

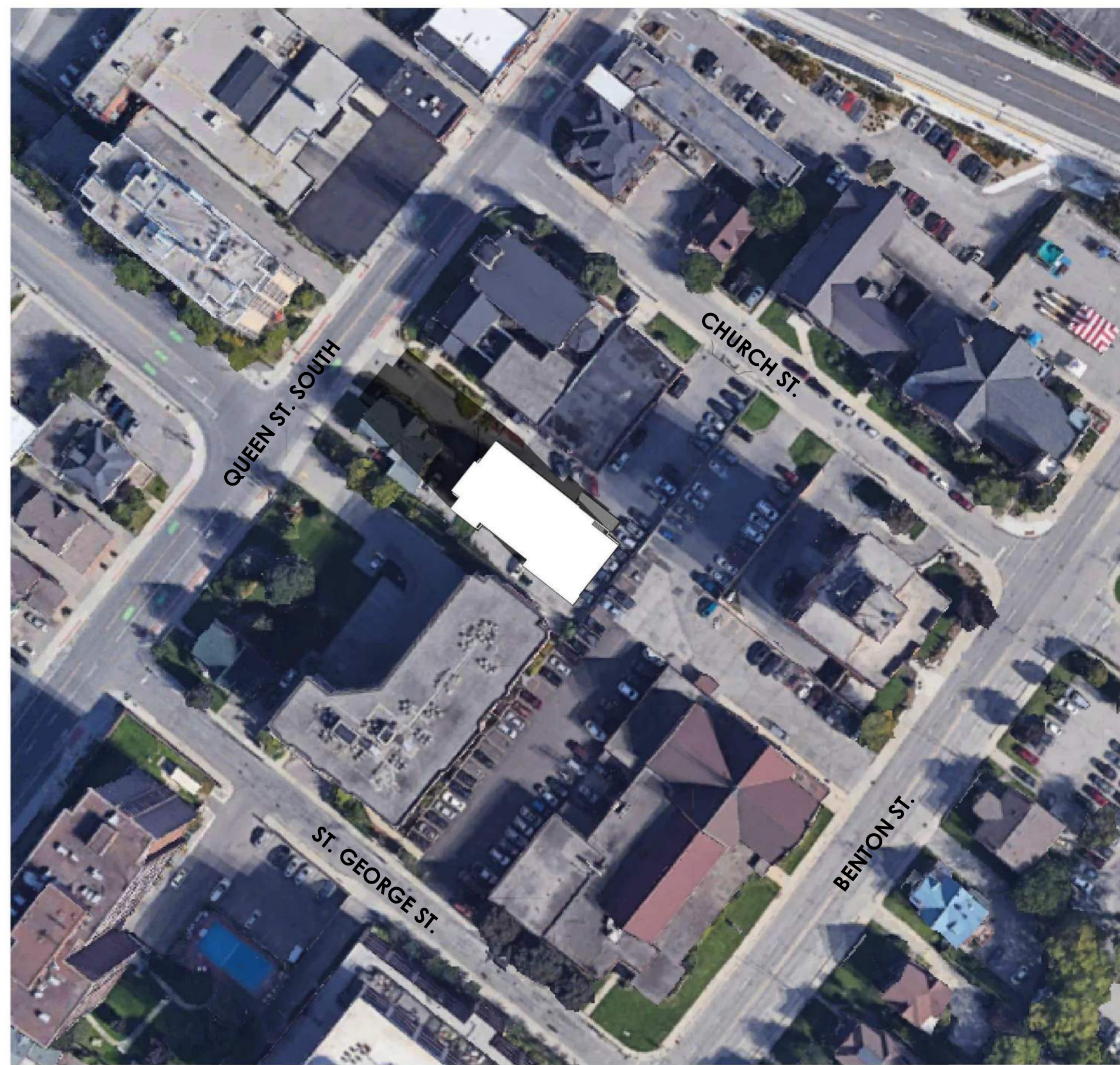
1 : 900

SHEET SIZE

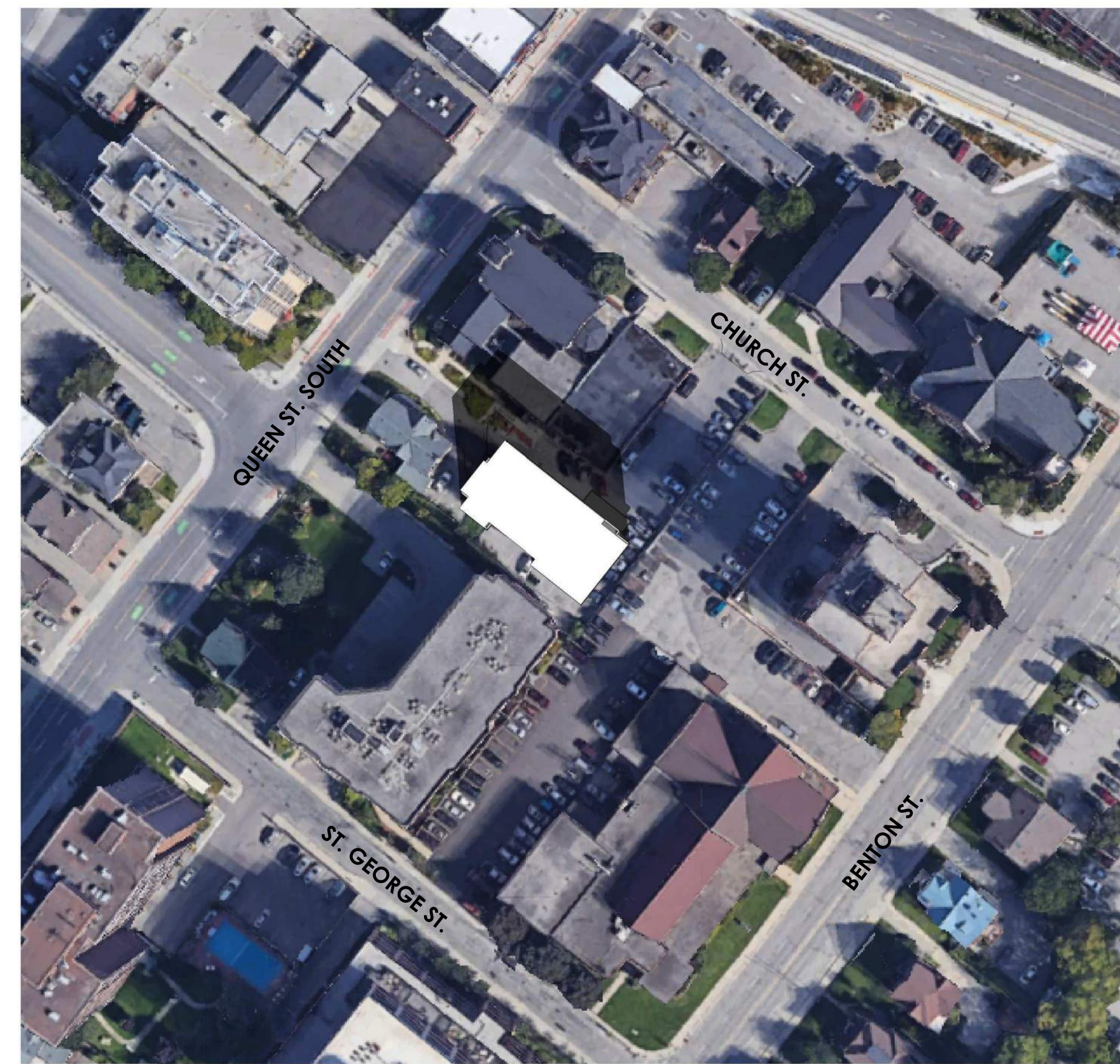
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DRAWING NUMBER

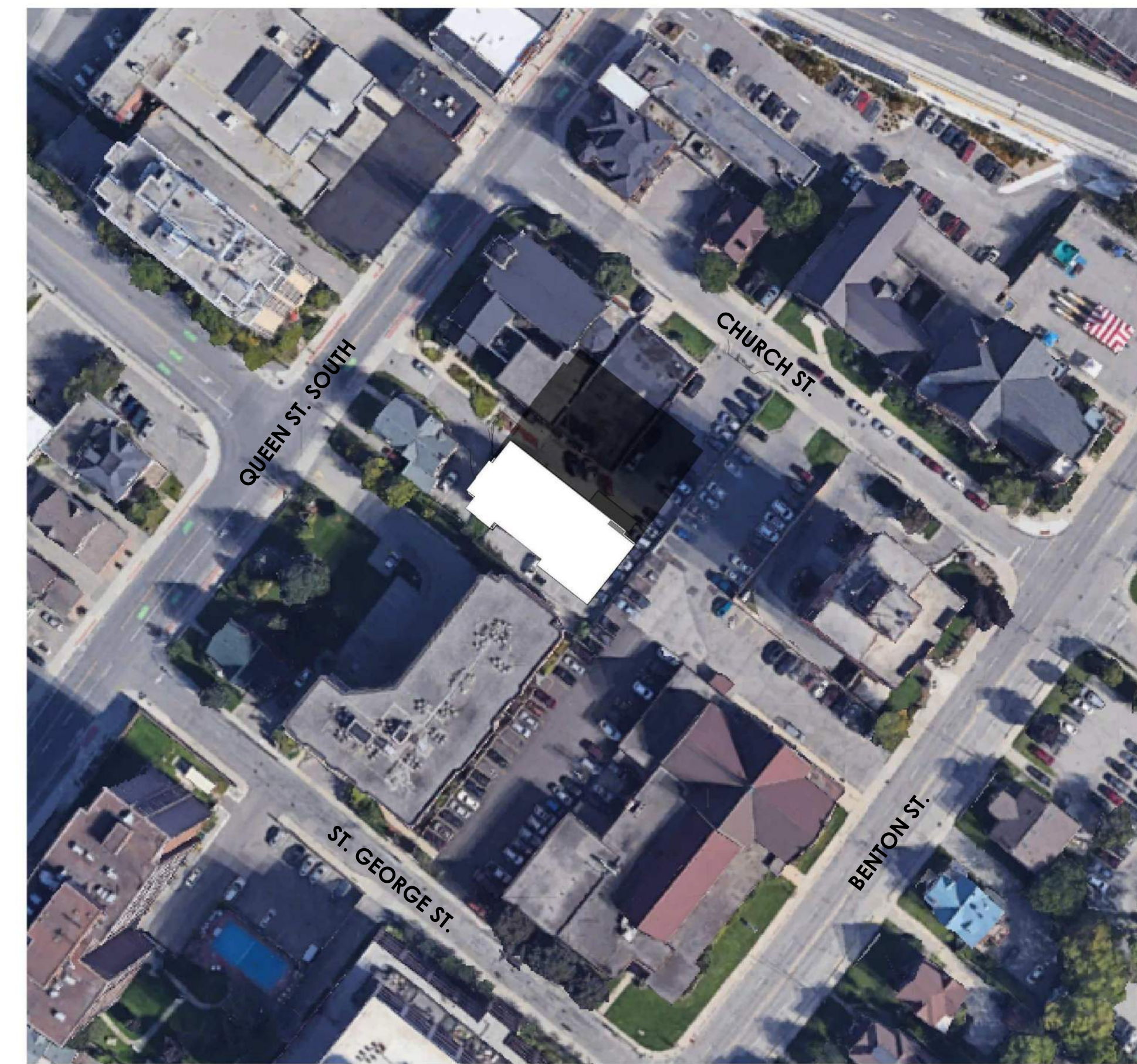
SP5.2



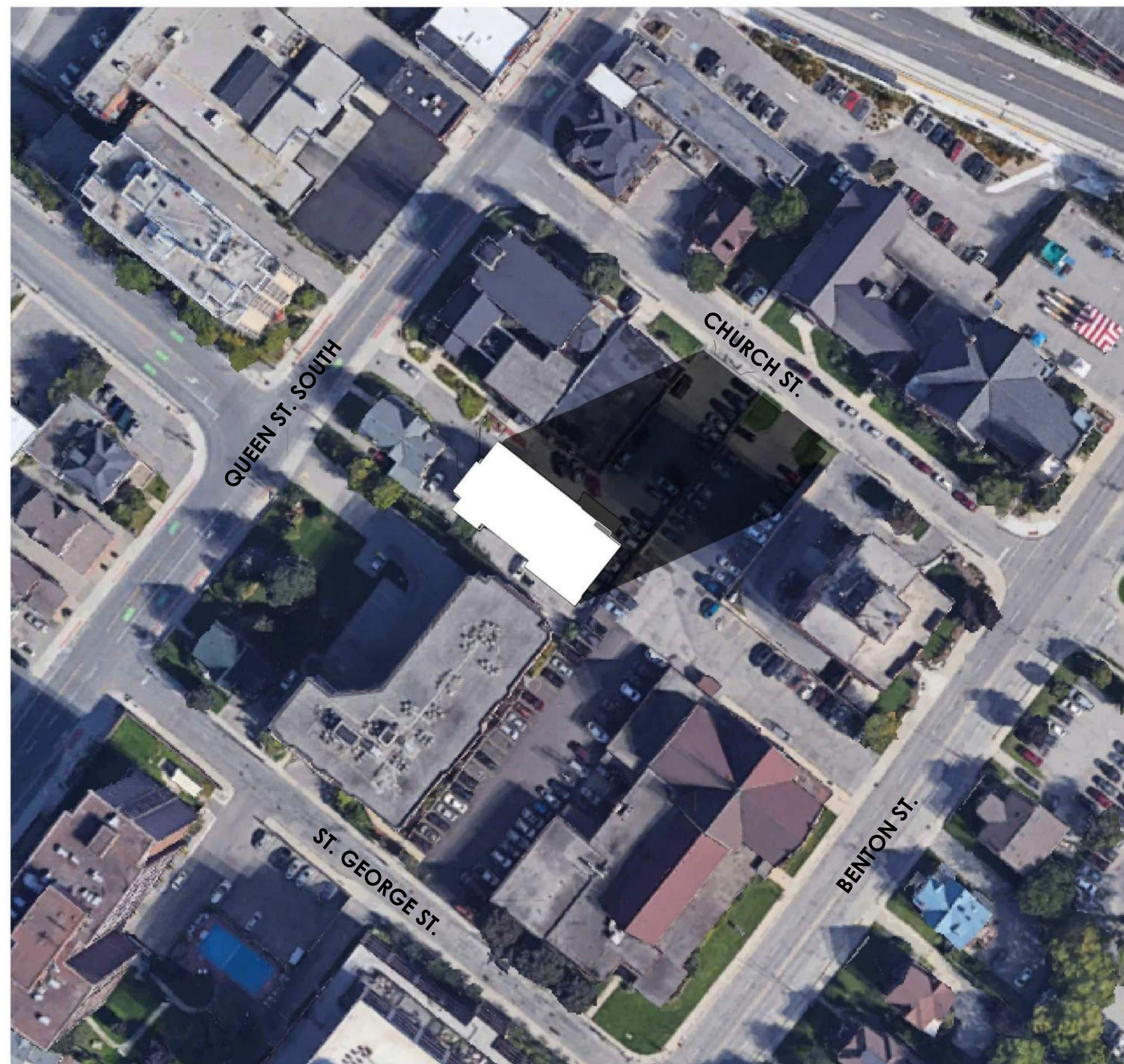
1 AUTUMN EQUINOX - SEPTEMBER 21 - 10:00AM
SP5.3 SCALE: 1 : 900



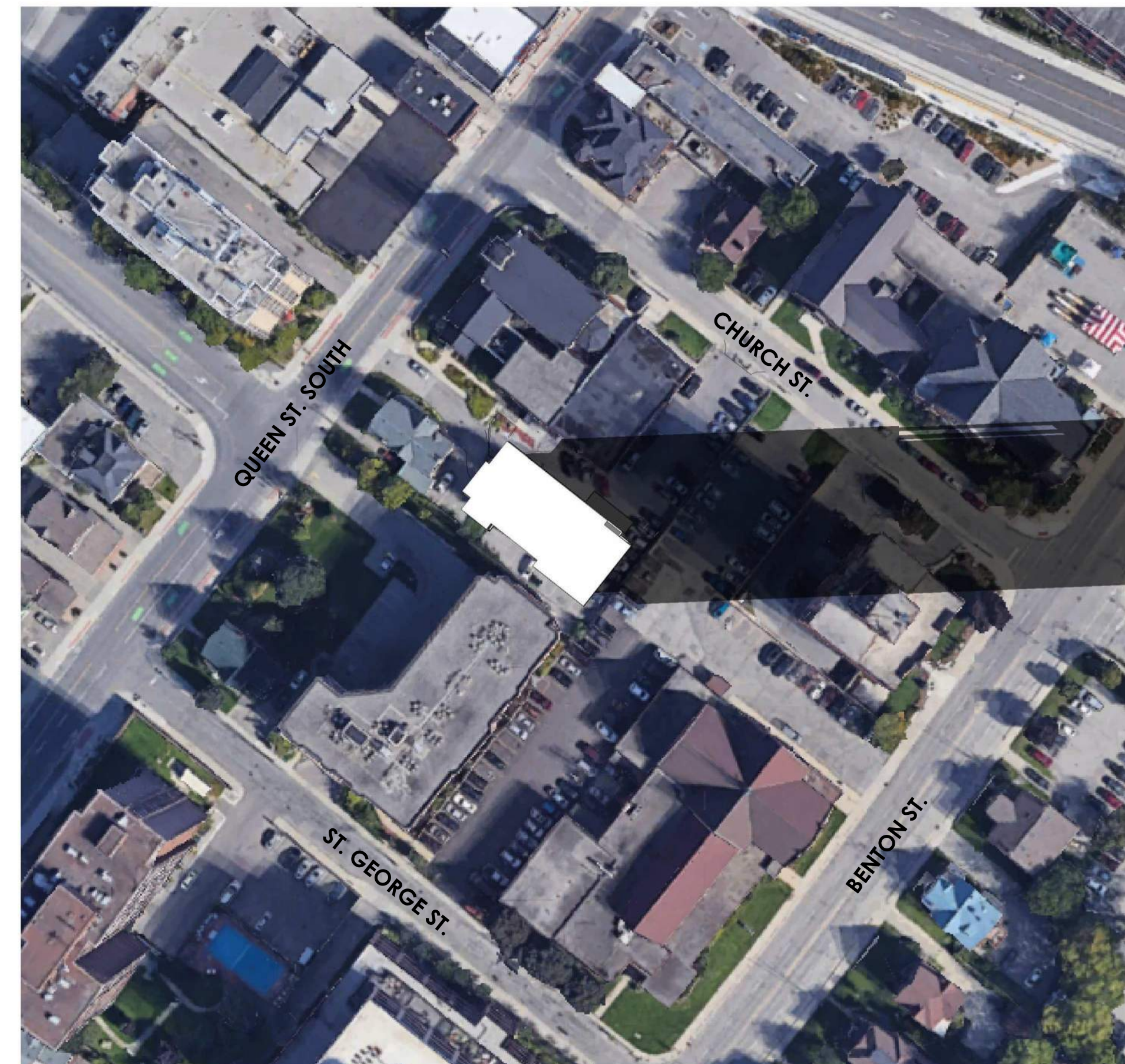
2 AUTUMN EQUINOX - SEPTEMBER 21 - 12:00PM
SP5.3 SCALE: 1 : 900



3 AUTUMN EQUINOX - SEPTEMBER 21 - 2:00PM
SP5.3 SCALE: 1 : 900



4 AUTUMN EQUINOX - SEPTEMBER 21 - 4:00PM
SP5.3 SCALE: 1 : 900



5 AUTUMN EQUINOX - SEPTEMBER 21 - 6:00PM
SP5.3 SCALE: 1 : 900

EASTERN DAYLIGHT TIME (EDT)

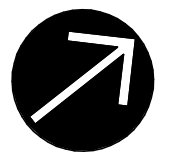
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LONGITUDE: -80.490417

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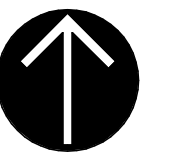
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TRUE NORTH



PROJECT NORTH

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SCHEMATIC DESIGN

DEVELOPED DESIGN

SITE PLAN APPROVAL

BUILDING PERMIT

BIDDING/TENDER

NO.	REVISION DESCRIPTION	DATE
01	ISSUED FOR MINOR VARIANCE	2023.02.09
02	ISSUED FOR PRELIM.SPA	2023.03.10
03	ISSUED FOR SPA	2023.05.26
04	ISSUED FOR HERITAGE PERMIT	2023.07.13

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PROJECT NAME

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DRAWING TITLE

SHADOW STUDY - AUTUMN EQUINOX (SEPTEMBER 21)

PROJECT NUMBER

21067

SCALE

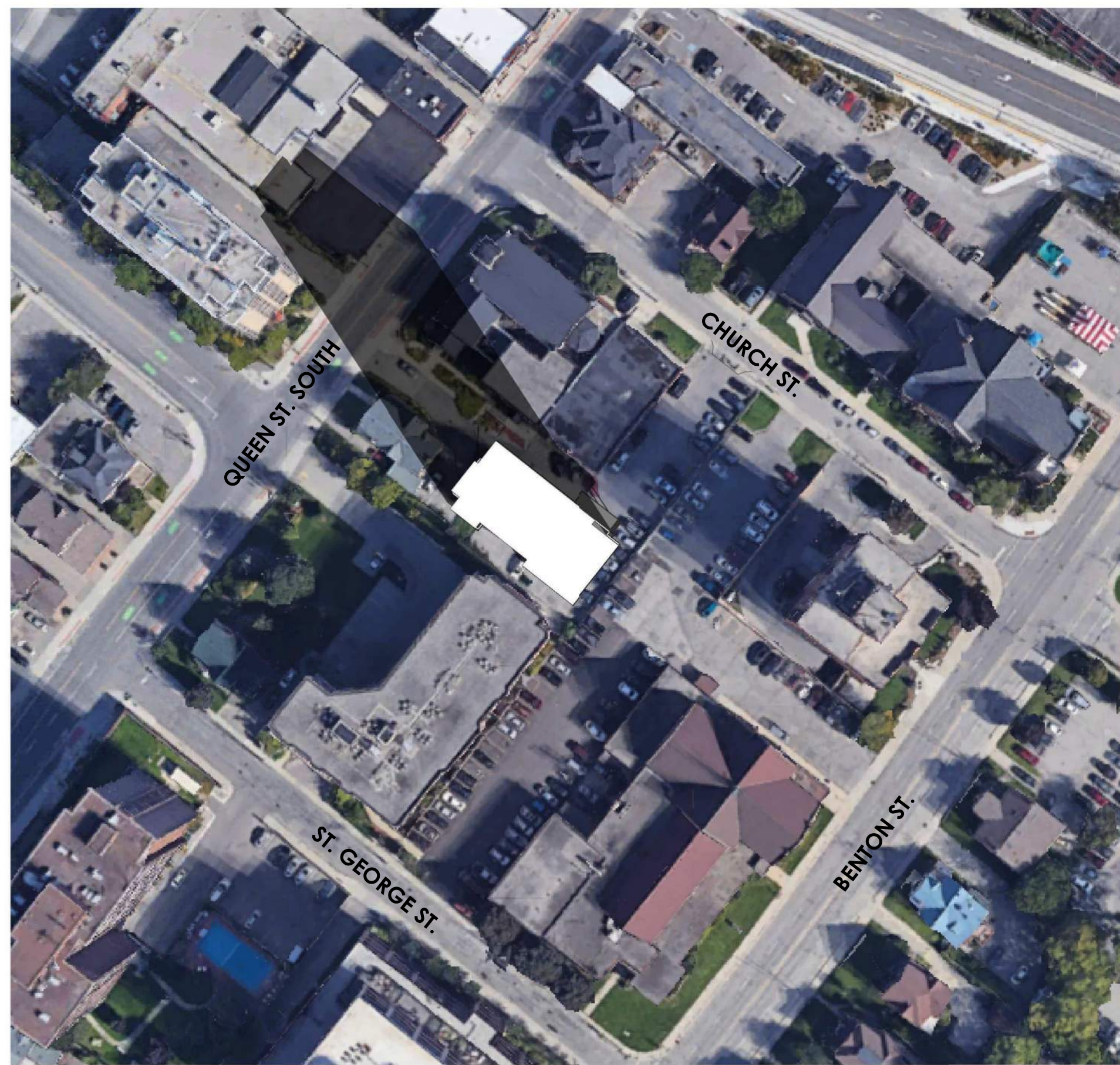
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SHEET SIZE

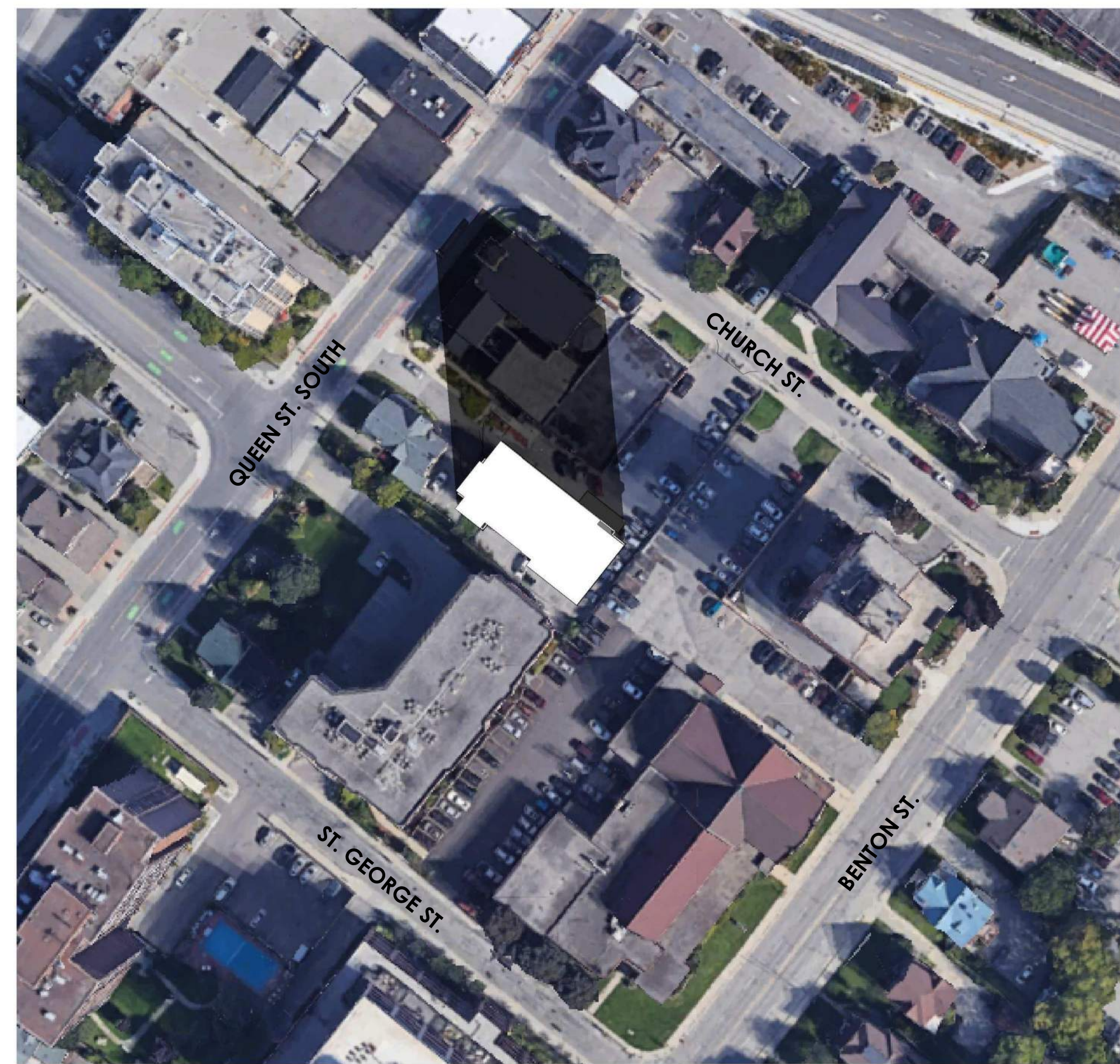
24x36

DRAWING NUMBER

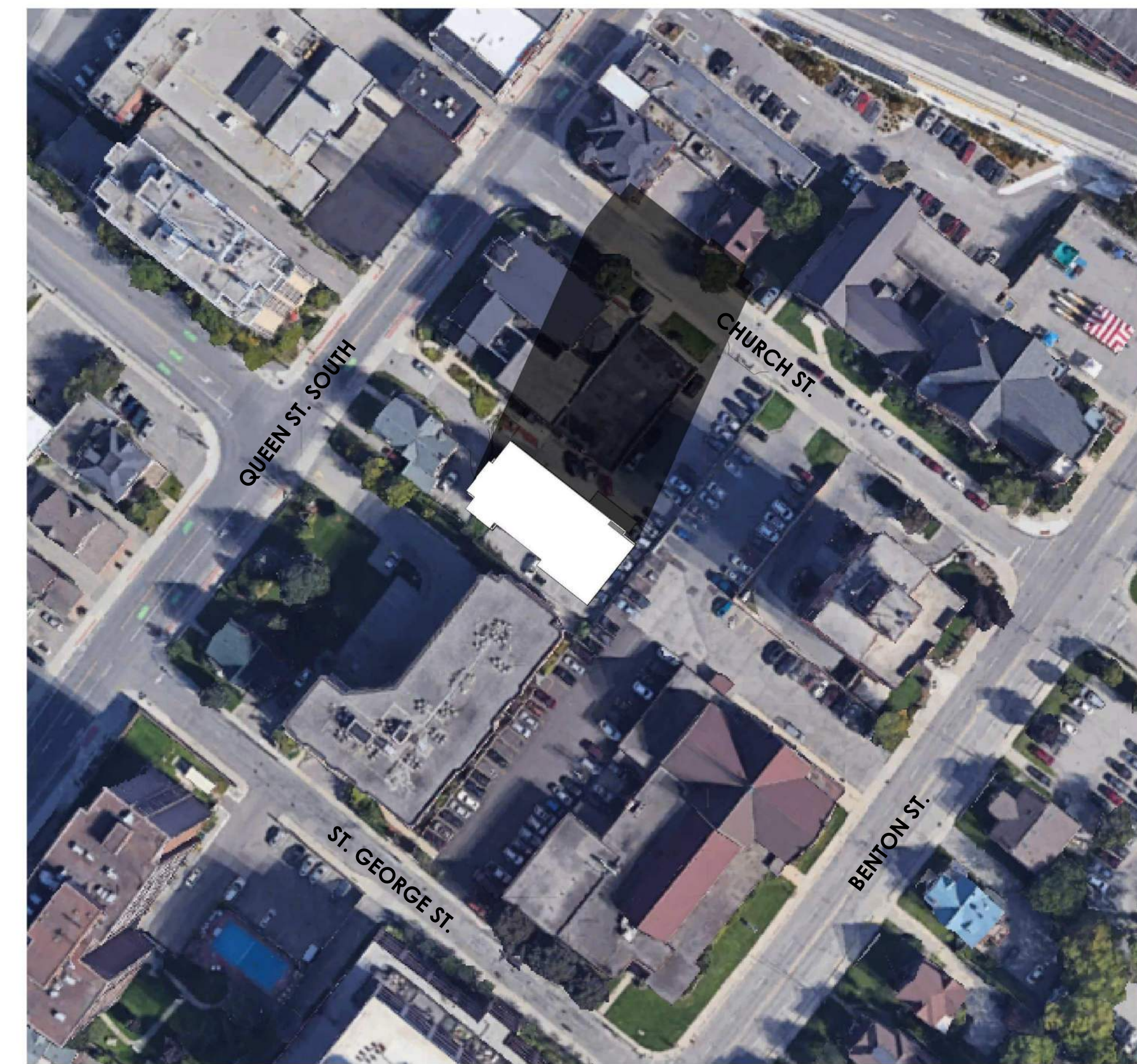
SP5.3



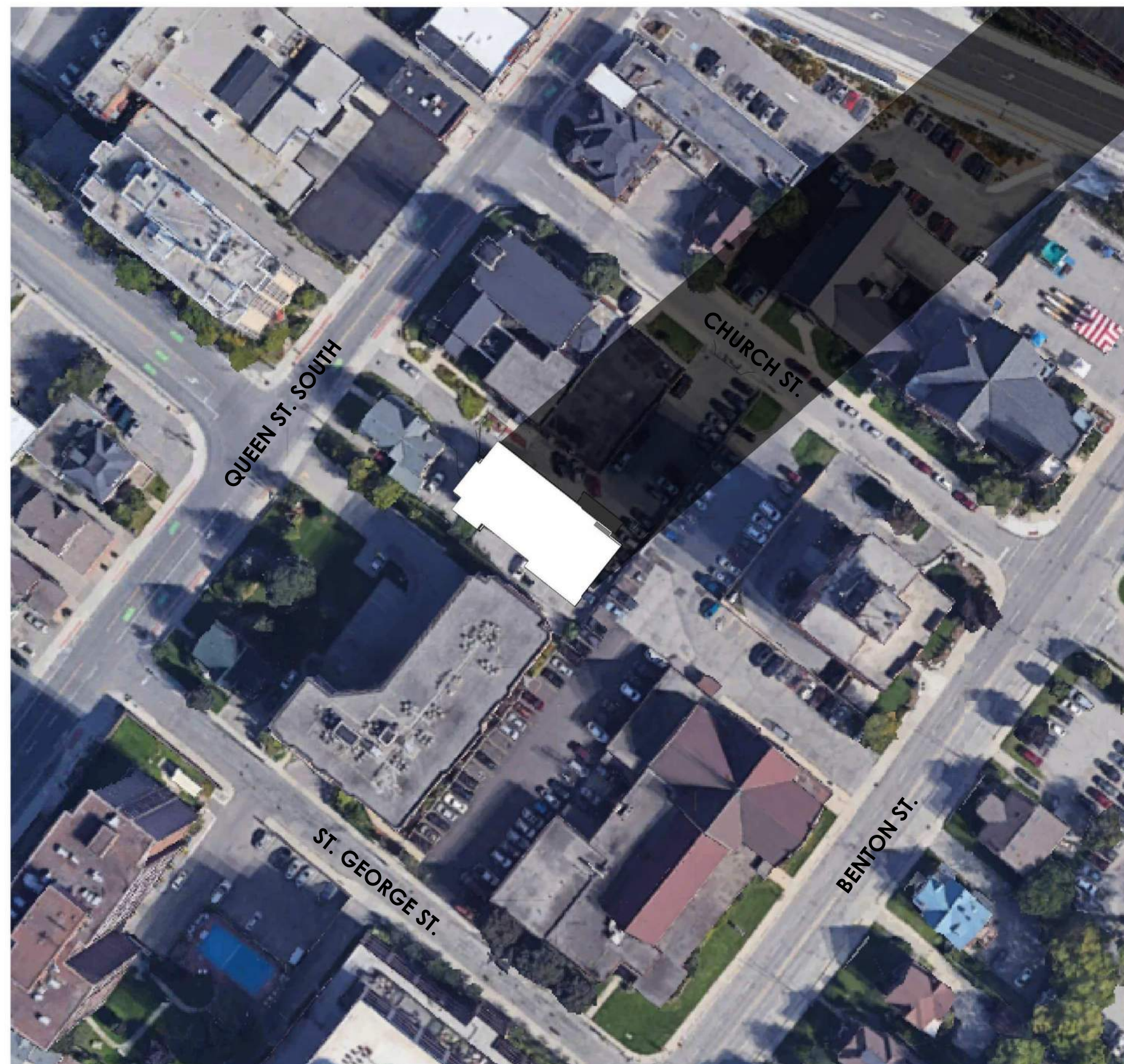
1 WINTER EQUINOX - DECEMBER 21 - 10:00AM
SP5.4 SCALE: 1 : 900



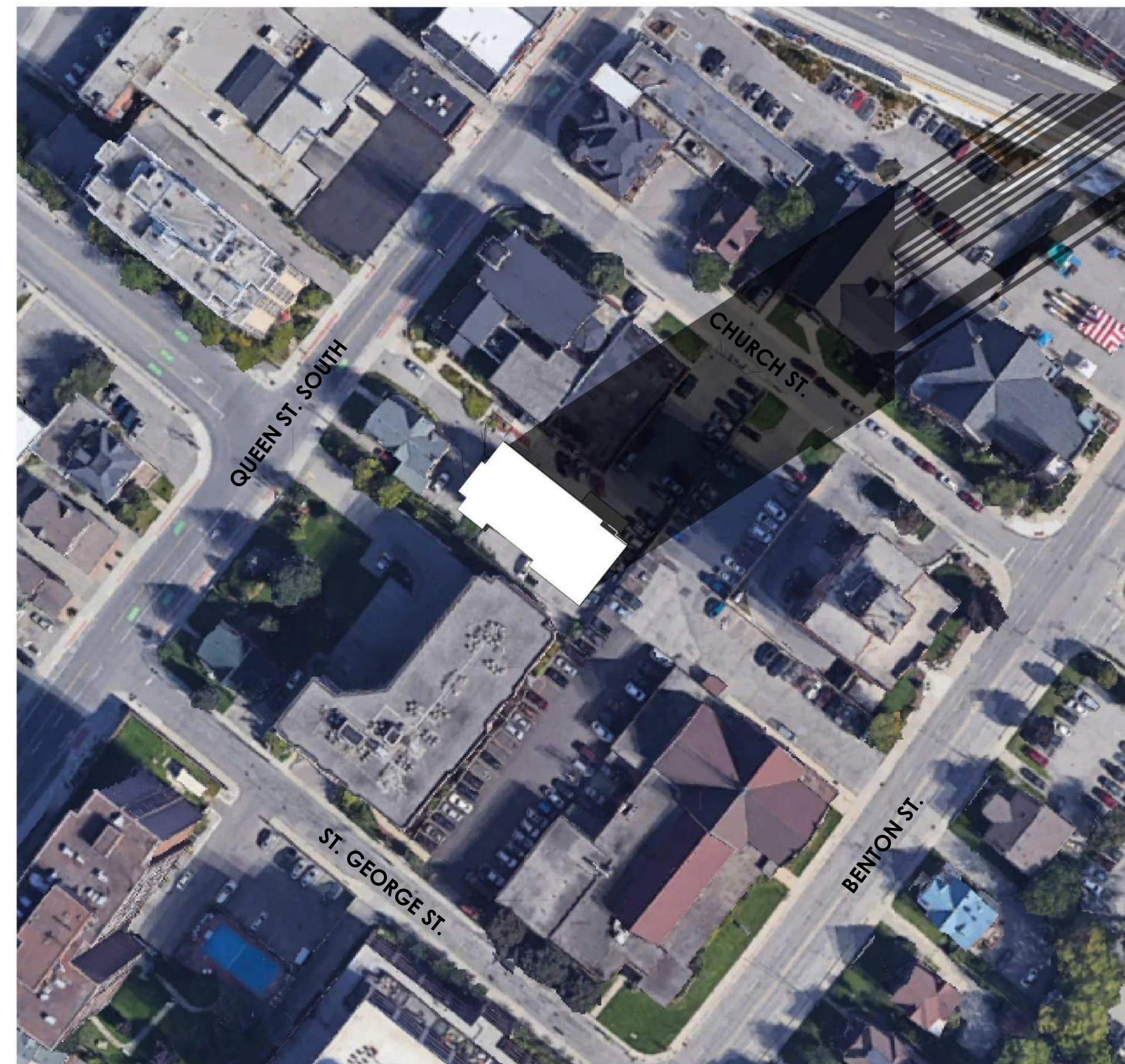
2 WINTER EQUINOX - DECEMBER 21 - 12:00PM
SP5.4 SCALE: 1 : 900



3 WINTER EQUINOX - DECEMBER 21 - 2:00PM
SP5.4 SCALE: 1 : 900



4 WINTER EQUINOX - DECEMBER 21 - 4:00PM
SP5.4 SCALE: 1 : 900



5 WINTER EQUINOX - DECEMBER 21 - 6:00PM
SP5.4 SCALE: 1 : 900

EASTERN DAYLIGHT TIME (EDT)

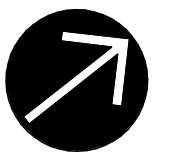
LATITUDE: 43.448204
LONGITUDE: -80.490417

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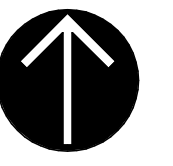
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ARCHITECT'S SEAL



PROJECT NAME

ST. PAUL'S AFFORDABLE HOUSING
15 CHURCH STREET, KITCHENER

CLIENT

MAXWELL BUILDING CONSULTANTS

DRAWING TITLE

SHADOW STUDY - WINTER EQUINOX (DECEMBER 21)

PROJECT NUMBER

21067

SCALE

1 : 900

SHEET SIZE

24x36

DRAWING NUMBER

SP5.4