

Cultural Heritage Conservation Plan & Commemoration Strategy

628 New Dundee Road,
Kitchener ON

Date:
November 2023

Prepared for:
Fusion Homes

Prepared by:
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Executive Summary

MHBC was retained by Fusion Homes to complete a Cultural Heritage Documentation, & Salvage Plan for the subject property located at 628 New Dundee Road. At this time of writing this document, the subject property is listed on the City of Kitchener Heritage Register and has been recommended for designation by the City of Kitchener Heritage Advisory Committee.

The purpose of this report is to describe the subject property and its features in order to supplement the historic record, as per the recommendation provided in the Heritage Impact Assessment for the subject property completed by MHBC (dated July, 2023). This Report also identifies any features of the subject property which may be good candidates for salvage and re-use, as opposed to being deposited as landfill.

Summary of Recommendations

The contents of this report includes photographs and measured drawings which and are considered appropriate in terms of documentation of the site. It is recommended that these records be retained by the City in order to supplement the historic record.

The following provides a list of items recommended for salvage for commemoration purposes on-site:

- Selection of wood beams and timbers at the interior of the barn (as described in this report), where in good condition;
- Selection of field stones; and
- Surplus yellow bricks.

These items are recommended for salvage and re-use on-site as part of the following:

- Entry feature; and
- Interpretive Panel post and base.

The vast majority of barn elements will be carefully deconstructed and set-aside for re-use by the current tenants of the subject property in an alternative location so that a new accessory structure can be constructed.

1.0 Introduction

1.1 Overview

This Documentation & Salvage Plan has been prepared for the subject property located at 628 New Dundee Road. The proposed development includes the re-location of the existing dwelling located on-site so that it can be incorporated into the development proposal. The aforementioned building has been identified as being of cultural heritage value or interest (CHVI) in the Heritage Impact Assessment (HIA) prepared by MHBC (dated July 2023).

1.2 Brief Description of Proposed Development

The proposed development concept includes retaining the existing dwelling and re-locating it approximately 50 metres to the south-west corner of the site and placed on a new foundation. The building is proposed for continued residential use on a portion of land which is proposed to be dedicated to the sole use of the owner and resident(s) of **the dwelling through the Condo's declaration (see black outline on Figure 1)**. The contemporary additions to the building which are not of Cultural Heritage Value or Interest are proposed for removal. **This includes the removal of sections "C", "D", "E", and "F".**



Figure 1: Aerial image of existing dwelling, noting the contemporary additions to the dwelling which are proposed for removal (shaded in red). Elevations which may require alteration following the removal of contemporary additions noted with dashed black line. (Source: MHBC, 2023)

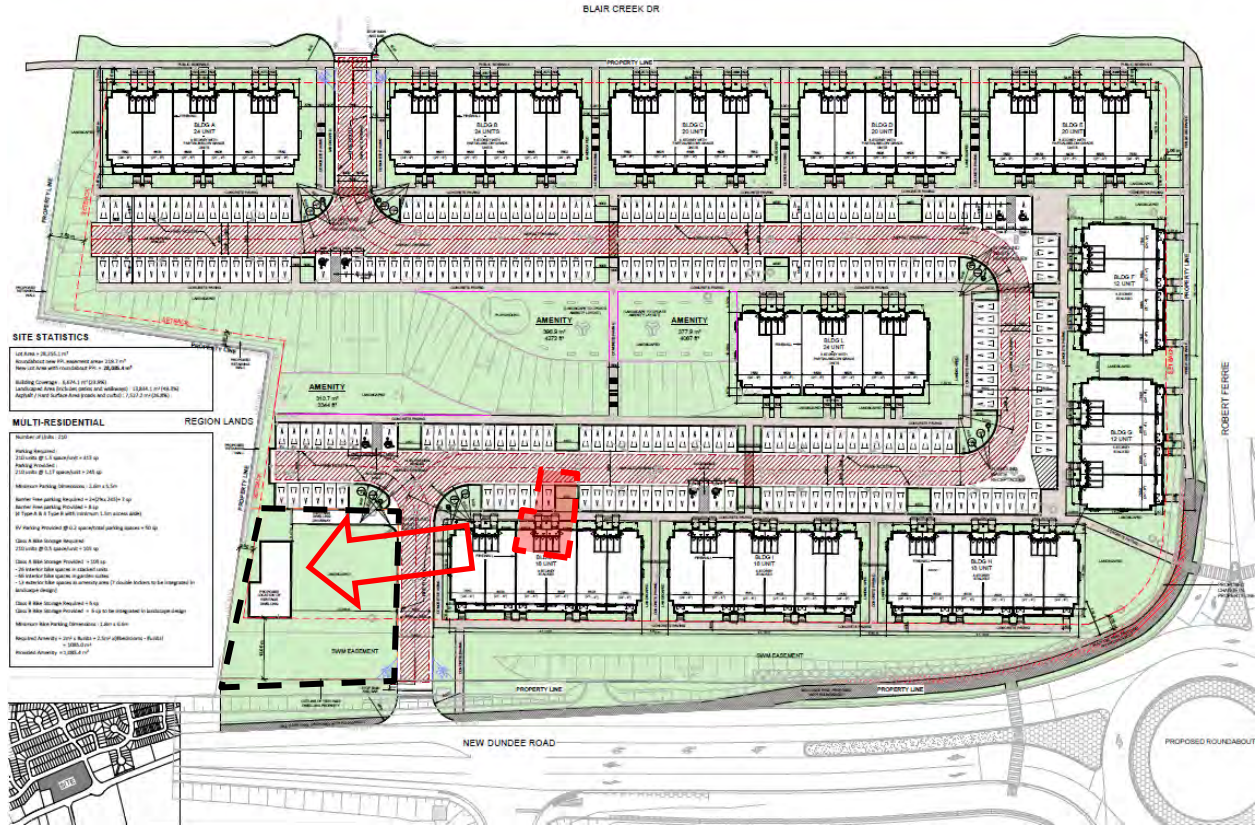


Figure 2: Proposed Plan of Subdivision. Location of existing dwelling shaded in red. Outline of lands proposed to be dedicated to the sole use of the owner and resident(s) through the Condo's declaration with black dashed line. (Source: Turner Fleischer Architects Inc., 2023)

1.3 Brief Summary of Heritage Impact Assessment (MHBC, 2023)

MHBC completed a Heritage Impact Assessment (HIA) for the subject lands in 2023. The purpose of the HIA was a) to evaluate whether or not the property met the legislated criteria for determining Cultural Heritage Value or Interest (CHVI) and b) determine whether or not the proposed development results in adverse impacts to cultural heritage resources. The HIA ultimately concluded that the proposed development would result in a range of impacts to identified heritage resources from beneficial to adverse.

The HIA included the following mitigation recommendations:

- That the barn, outbuilding and dwelling be documented;
- The barn is proposed to be dismantled and materials adaptively re-used by the current tenants in a new location. Should the barn not be re-used by the

prospective third party, that the barn be made available to other interested parties so that it could be re-used as opposed to being deposited as landfill;

- That select materials (i.e. beams) of the barn be retained as commemoration/interpretive features on-site within the amenity area (i.e. benches, landscaping, etc.);
- That a Conservation Plan for the dwelling be completed as a condition of Site Plan Approval in order to outline the proposed alterations to the building, and provide recommendations to ensure the work is consistent with best practices for the conservation of cultural heritage resources; and
- That an Interpretation Plan be completed which will provide the draft text/images and layout of an interpretive panel to be installed within the amenity area.

1.4 Terms of Reference

This report has been drafted as per the terms of reference for Documentation and Salvage Reports for the City of Kitchener (See Appendix B). As such, this report contains the following information:

- Introduction;
- Salvage and Documentation;
- Context and Property Description
- Documentation of the site;
- Salvage Plan (including an inventory);
- Methodology;
- Reuse Recommendations; and
- Qualifications.

2.0 Property Description

2.1 Context, Landscape and Setting

The subject lands which are subject to the development proposal includes the properties located at a) 628 New Dundee Road, and b) the property legally described as Block 111, Plan 58m528 (i.e. the lot located east of the subject property). Note that these two properties have since merged and are referred to in this report as 628 New Dundee Road.

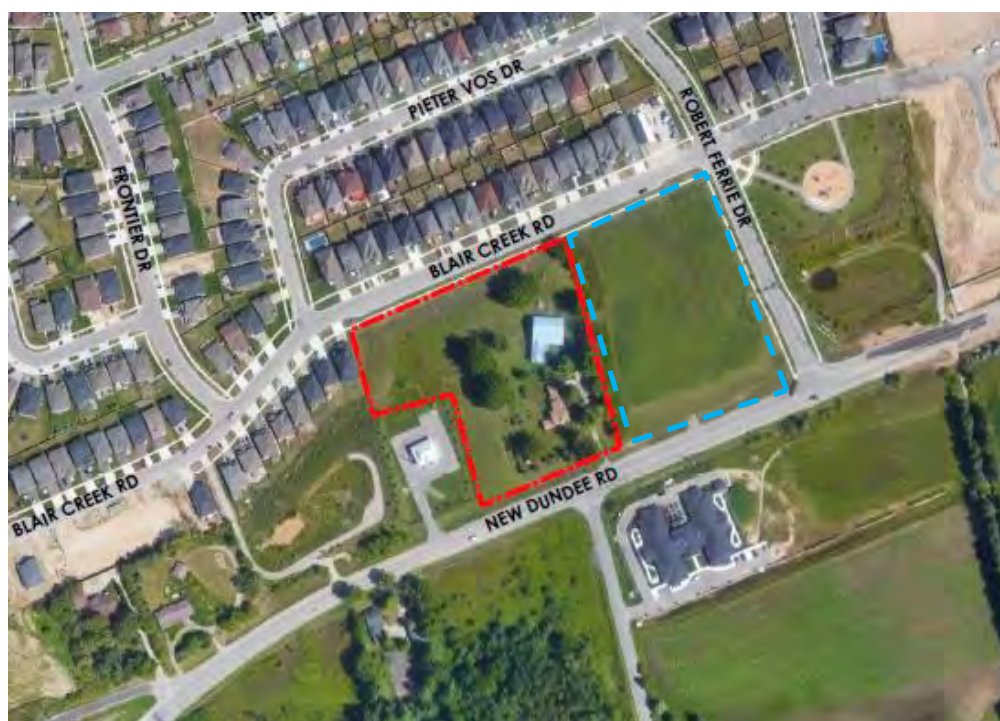


Figure 3: Aerial photo noting the location of the subject property at 628 New Dundee Road, outlined in red. Adjacent lot which is part of the proposed development outlined with blue dashed line. (Source: MHBC, 2023)

The property at 628 New Dundee Road is located on the north side of New Dundee Road, west of Robert Ferrie Drive, south of Blair Creek Drive. The subject property is situated west of Highway 401 within an area which is predominantly low density residential, with agricultural uses south of New Dundee Road.

This HIA focuses on the property at 628 New Dundee Road given that it has been identified by the City of Kitchener as having potential Cultural Heritage Value or Interest.

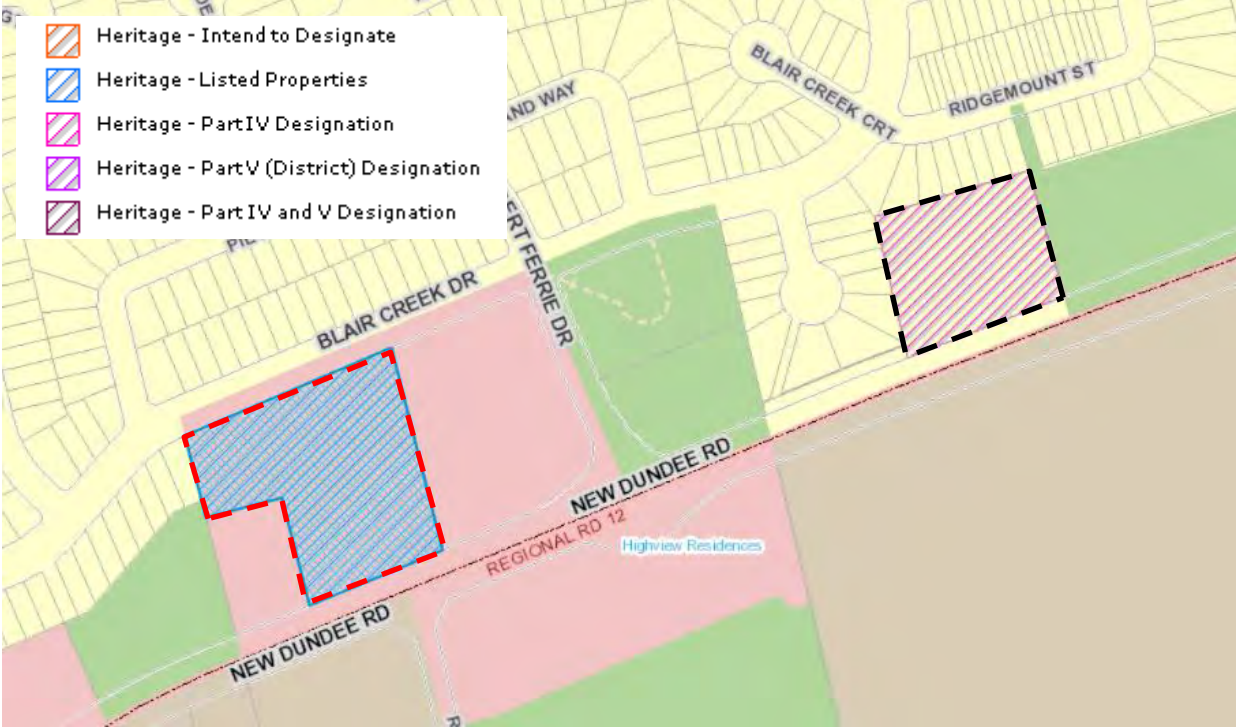


Figure 4: Excerpt of the City of Kitchener Interactive Map (Heritage Layer) noting the property at 628 New Dundee Road as “listed” (prior to merging with adjacent property). Approximate boundary of the subject property outlined in red. Location of 508 New Dundee Road outlined in black (designated Part IV) (Source: City of Kitchener Interactive Map, accessed 2022).

3.0 Salvage Recommendations

3.1 Methodology

The following sub-sections of this report provide recommendations as it relates to salvaging items on-site. Items can be salvaged for a range of purposes. In order to provide clarification regarding the items chosen for salvage, the following provides a criteria for items as it relates to a) their cultural heritage value, and b) their intended purpose.

These recommendations include three separate categories of salvaged items as follows:

- A. Heritage Value - Items which are determined to be of significant cultural heritage value and should be retained for purposes related to commemoration/interpretation; and
- *The item/material/element has design/physical value as being either rare, unique, or representative of a style, expression, or construction method;*
 - *Element or feature displays a high degree of craftsmanship, artistic merit, or scientific achievement;*
 - *Is a feature/element or sample of a feature/element which may form a part of the commemoration of the structures or properties.*
- B. Modest Heritage Value - Items which are representative of an architectural style or period, which would be best suited for re-use in the same or similar capacity;
- *Does not demonstrate significant cultural heritage value*
 - *The item/material/element is of a fair/good condition which may be reasonably extracted for re-use;*
 - *The item/material element is not significant in relation to the future commemoration/interpretation of the house.*
- C. No Heritage Value - Items which do not have design/physical value or are not associated with a style of architecture or period, but could be salvaged and made available for re-use as opposed to being deposited as landfill.

3.2 Salvage Recommendations

3.2.1 Salvage and Re-Use (on-site)

The following provides a list of items which are proposed to be salvaged as it relates to the proposed development on-site. Note that components of the barn will also be salvaged by the current tenants of the subject property so that they can construct a new structure in the future utilizing salvaged elements.

The following list indicates the category and criteria of salvaged elements for re-use on-site:

Item	Quantity	Cate- gory	Location	Photo
Wood Timbers and Beams	Selection (as needed, based on condition)	B	Barn Interior	
Loose Field Stones	Selection (as needed, based on condition)	B	North-East corner of Barn, Exterior	
Surplus Bricks	1	B	Stored in Barn interior	

Wood Timbers and Beams

Beams and timbers available for salvage and re-use on site include hand-hewn timbers which are of varying sizes and dimensions, but are generally 7-10" x 6-10" and are 15ft. to 20ft. long (See Figures 4 & 5).



Figures 4 & 5: View of hewn timbers located at the interior of the barn (Source: MHBC, 2023)

Only those timbers which are in good condition are able to be incorporated into a commemorative feature. Those items which are irreparable due to fire, rot, infestation, etc. should not be utilized (example of damaged beam in Figure 5).



Figures 6 & 7: Dimensions of typical timbers within the barn, (Source: MHBC, 2023)

Loose Field Stones

The north-east corner of the barn includes a pile of loose field stones. These stones were likely gathered to create a bank for the barn or were rolled into place when removed from fields and gardens. These stones could be utilized on-site more successfully than existing stones which are integrated into mortar and cement within the barn foundation. A selection of these field stones can be utilized on-site for use as part of a base for the interpretive panel within the proposed amenity area.



Figures 8 & 9: Location of loose field stones at the north-east corner of the barn
(Source: MHBC, 2023)

Surplus Bricks

A small pile of surplus bricks were located within the barn. It could not be conclusively determined whether or not these bricks were originally used in the construction of the original portion of the dwelling or the rear summer kitchen. It is recommended that these bricks be salvaged and utilized (where possible) depending on their condition, to replace damaged bricks on the dwelling.

All materials are recommended to be stored, as follows:

- Prepare skids and areas on-site where materials can be stored off the ground and covered with tarps and straps in order to provide protection from the elements; and
- Regularly inspect the elements so that their condition is monitored.

3.2.2 Salvage and Re-Use (off-site)

The vast majority of barn timbers and beams are proposed to be salvaged and utilized at an alternative location off-site by the current tenants (former owners) of the property to construct a new accessory building. The following provides recommendations to ensure that salvage is undertaken carefully:

- Disassemble the barn with a qualified and experienced demolition expert in order to conserve as many barn materials in-tact (i.e. without splitting beams and posts);

- Prepare skids and areas on-site where the beams and posts can be stored off the ground and covered with tarps and straps in order to provide protection from the elements;
- Regularly inspect the elements so that their condition is monitored;
- Re-locate the elements safely to the new storage site and continue to stack and store them on skids and covered with tarps and straps until they are re-used.

4.0 Documentation

The purpose of documentation of the site is to supplement the historic record with information which is related to cultural heritage. The documentation of features located on the subject property is a common method of mitigation where heritage fabric is being removed, dismantled, relocated, or otherwise.

The documentation of the site includes those features which were identified in the Heritage Impact Assessment completed by MHBC and is limited to the existing barn (proposed for removal), and dwelling (proposed to be re-located on-site).

Appendix A provides measured architectural drawings of the dwelling and barn. Appendix B provides a photo map and detailed photographs of the barn and dwelling.

Appendix A

Measured Architectural Drawings

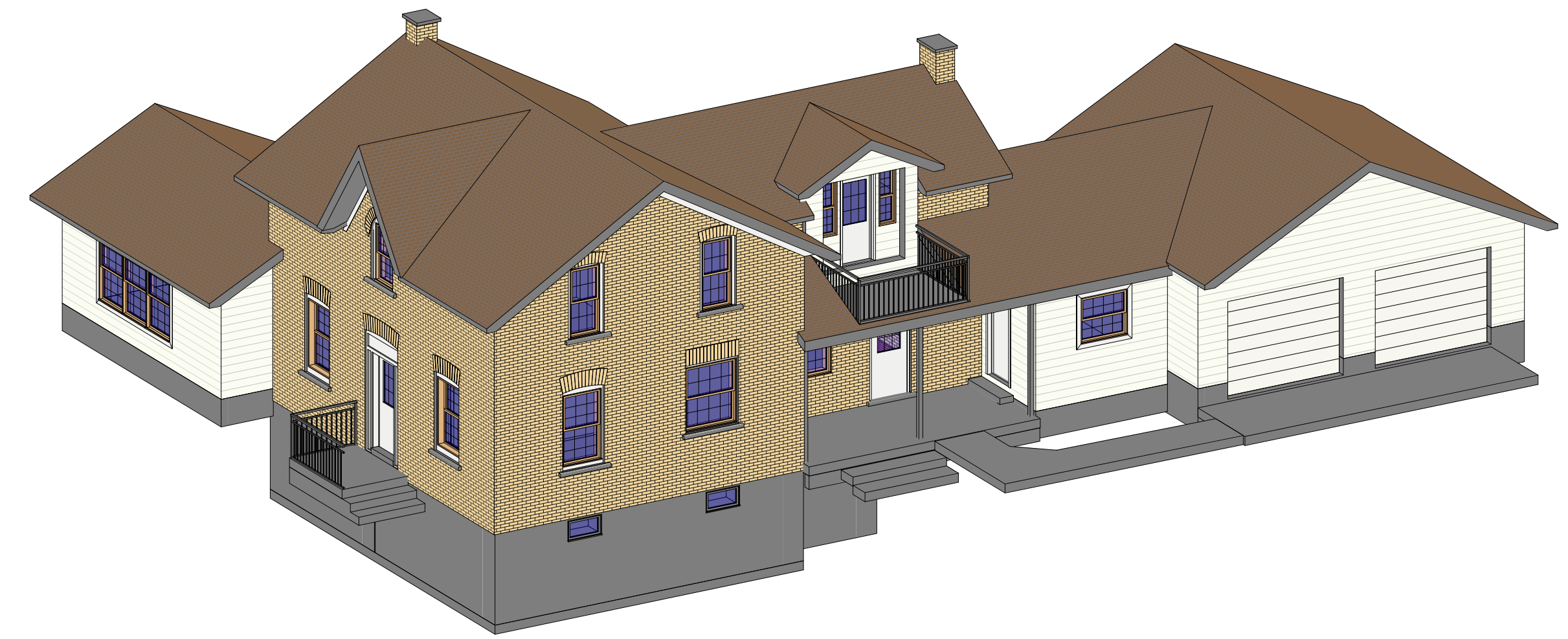
a. Dwelling

b. Barn

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500 Hanlon Creek Blvd.
Guelph, Ontario, N1C 1G4
Contact Name: Dan Bolliger
Phone Number: 226-203-1471
Email: dbolliger@fusionhomes.com

628 New Dundee Road, Kitchener, Ontario

22.147P02

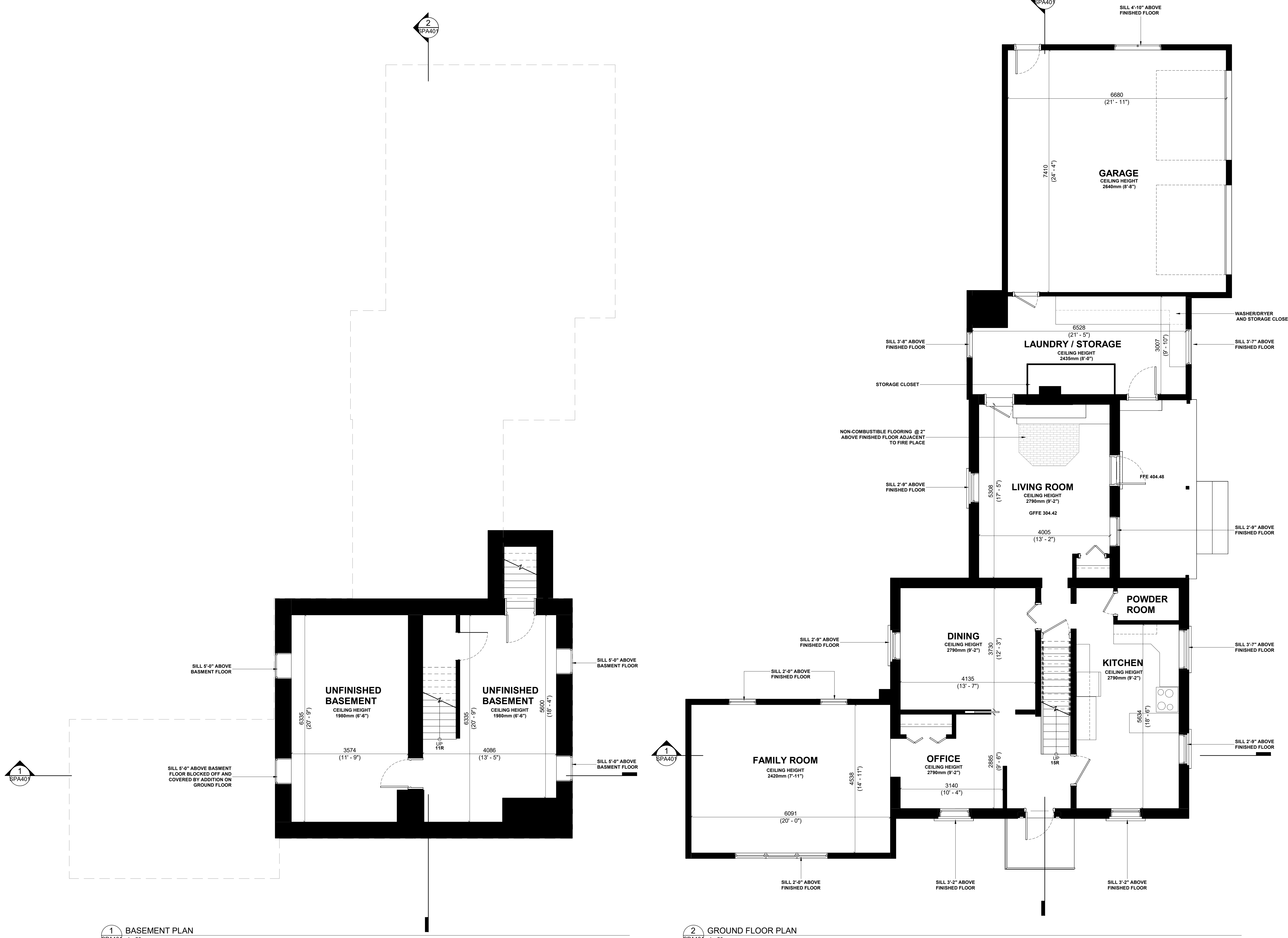


**TURNER
FLEISCHER**

67 Lesmill Rd
Toronto, ON, M3B 2T8
Contact Name:
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NOVEMBER 20, 2023

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#	DATE	ISSUED FOR CLIENT REVIEW	DESCRIPTION	BY
1	2023-11-20			



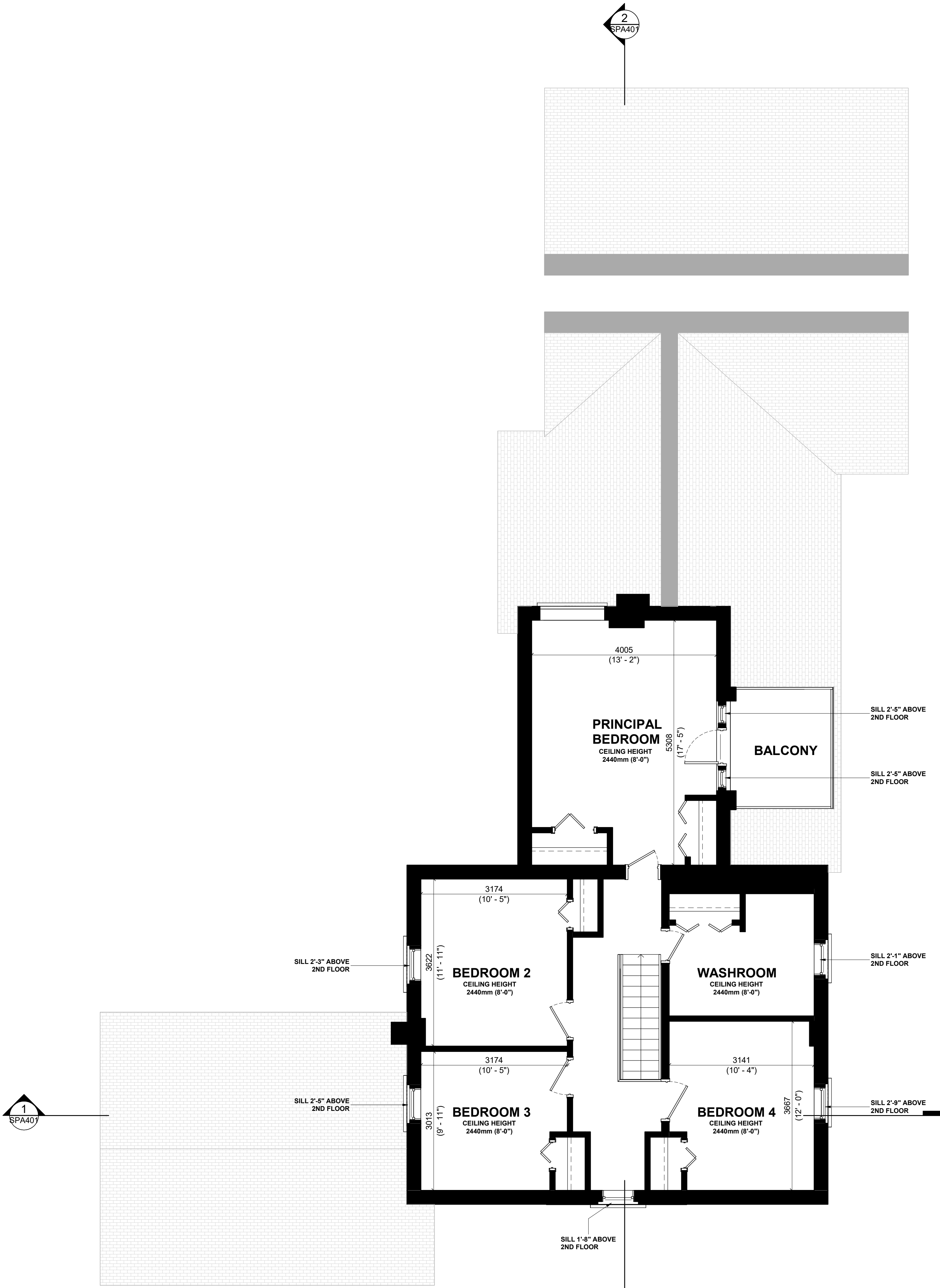
PROJECT
628 New Dundee Road, Kitchener, Ontario

DRAWING
BLOCK PLANS

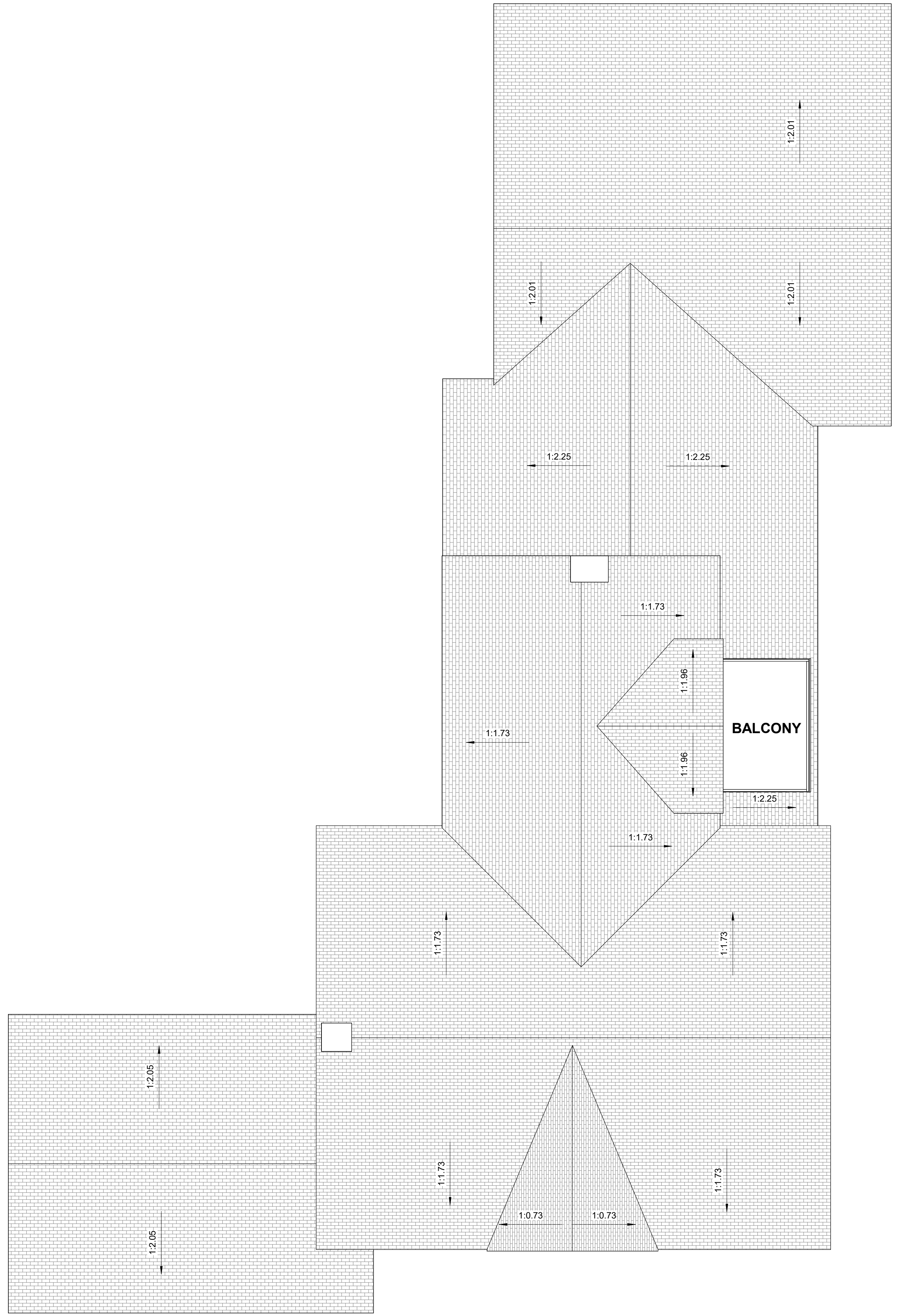
PROJECT NO. 22.147P02	
PROJECT DATE 2023-11-20	
DRAWN BY JMH	
CHECKED BY MNZ	
SCALE 1 : 50	

DRAWING NO. **SPA101** REV. **1**

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1 SECOND FLOOR PLAN
1 : 50



2 ROOF PLAN
1 : 50

#	DATE	ISSUED FOR CLIENT REVIEW	DESCRIPTION	BY
1	2023-11-20	ISSUED FOR CLIENT REVIEW		



PROJECT
628 New Dundee Road, Kitchener, Ontario

DRAWING
BLOCK PLANS

PROJECT NO.	22.147P02
PROJECT DATE	2023-11-20
DRAWN BY	JMH
CHECKED BY	MNZ
SCALE	1 : 50

DRAWING NO. **SPA102** REV. **1**

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REFER TO HERITAGE REPORT FOR PHOTO DOCUMENTATION OF THE HERITAGE BUILDING



1 NORTH ELEVATION
SPA301 1: 100



3 EAST ELEVATION
SPA301 1: 100



2 SOUTH ELEVATION
SPA301 1: 100



4 WEST ELEVATION
SPA301 1: 100

#	DATE	ISSUED FOR CLIENT REVIEW	DESCRIPTION	BY
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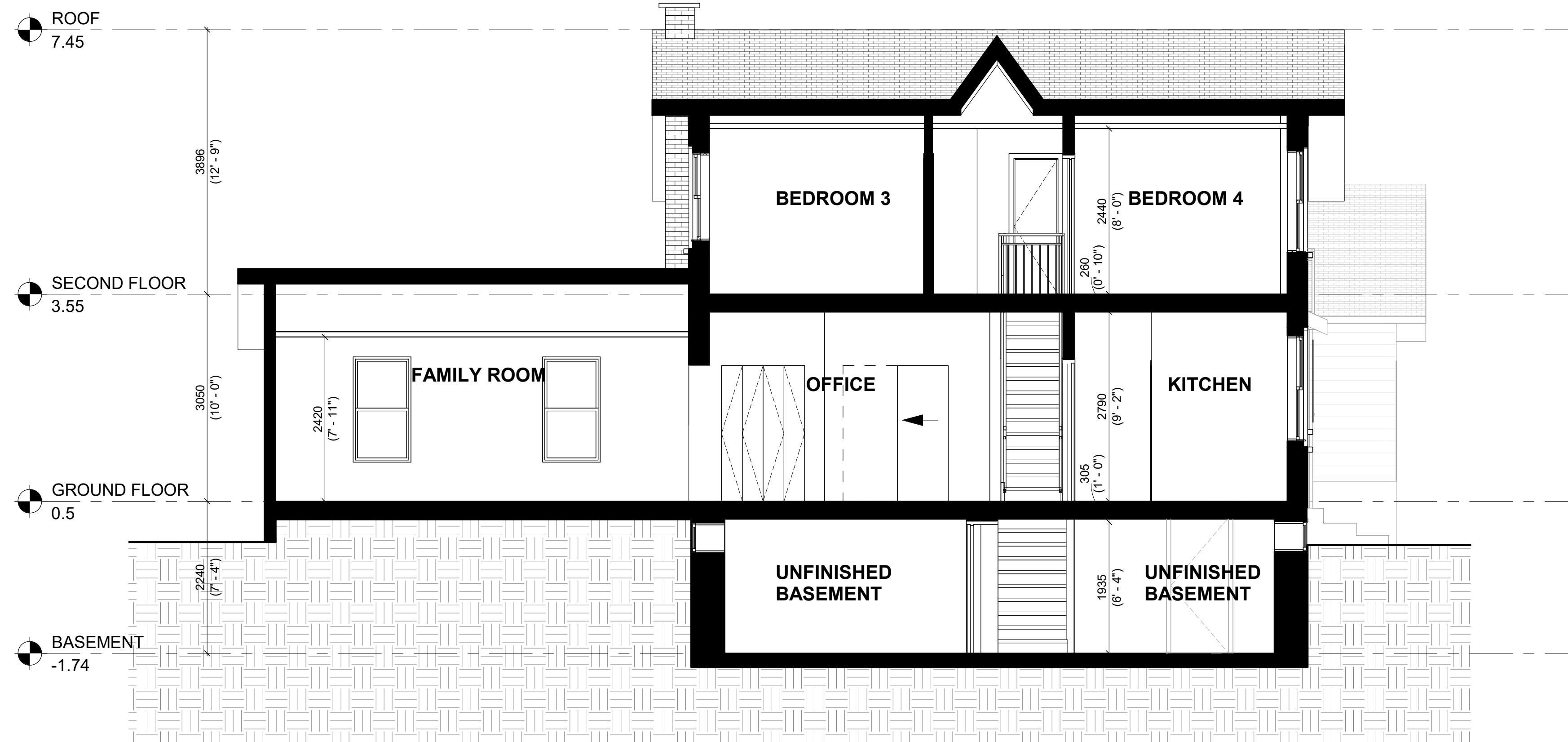
FUSION HOMES

PROJECT
628 New Dundee Road, Kitchener, Ontario

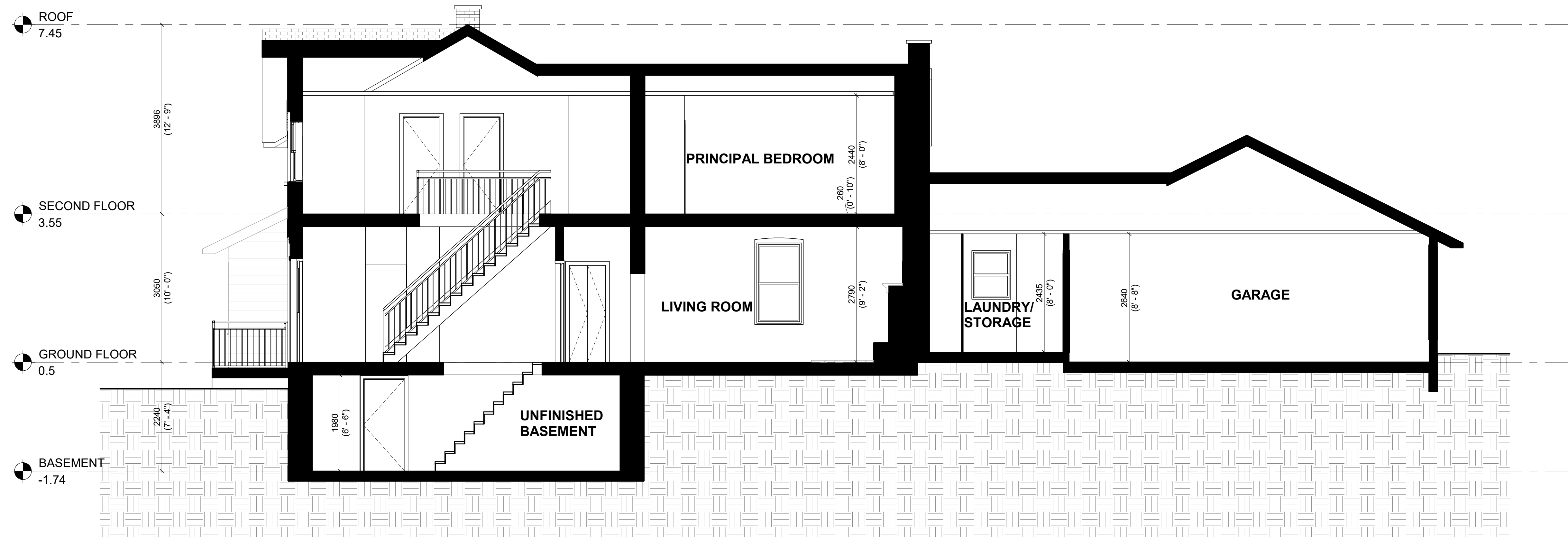
DRAWING
ELEVATIONS

PROJECT NO.	22-147P02
PROJECT DATE	2023-11-20
DRAWN BY	JMH
CHECKED BY	MNZ
SCALE	1 : 100

DRAWING NO. SPA301 REV. 1



1 LATITUDINAL
SPA401 1:50



2 LONGITUDINAL
SPA401 1:50

#	DATE	ISSUED FOR CLIENT REVIEW	DESCRIPTION	BY
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FUSION HOMES

PROJECT
628 New Dundee Road, Kitchener, Ontario

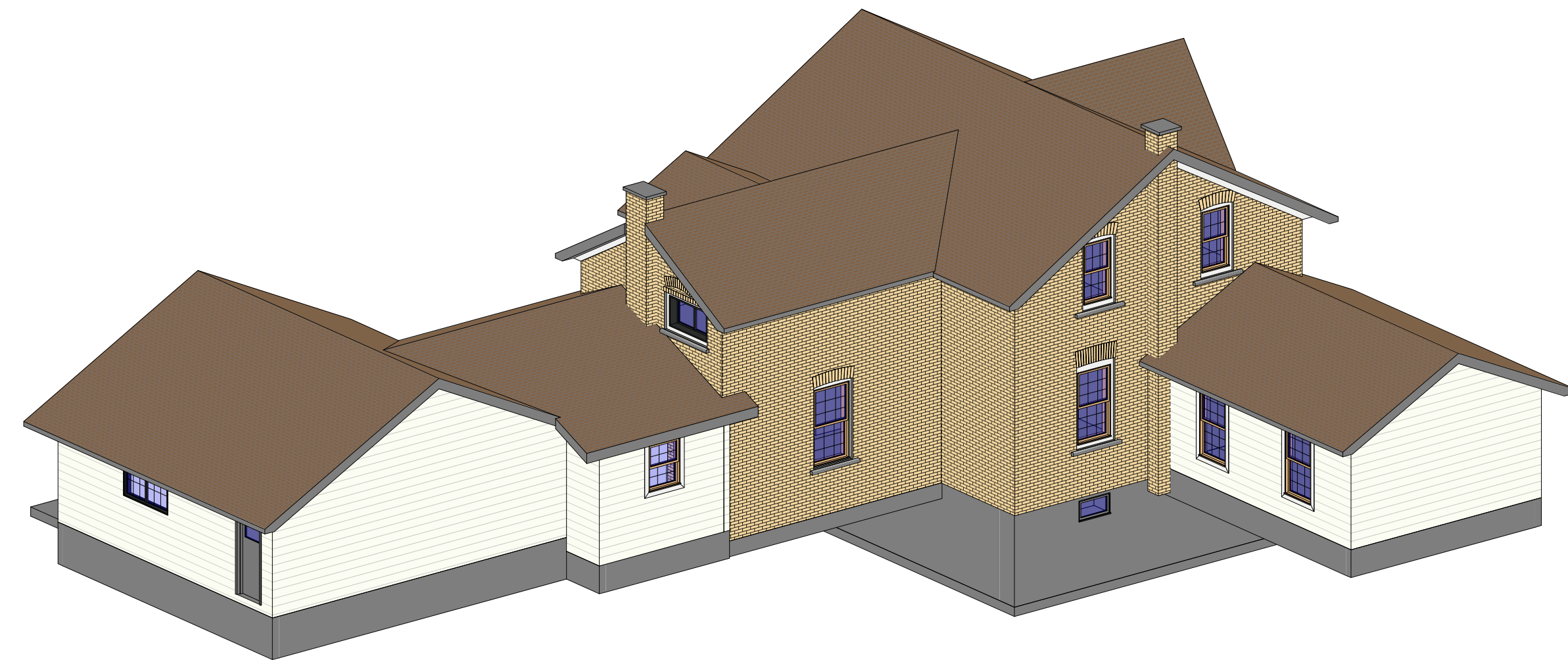
DRAWING
BUILDING SECTIONS

PROJECT NO. 22.147P02	REV. 1
PROJECT DATE 2023-11-20	
DRAWN BY JMH	
CHECKED BY MNZ	
SCALE 1:50	

DRAWING NO. SPA401

REV. 1

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#	DATE	ISSUED FOR CLIENT REVIEW	DESCRIPTION	BY
1	2023-11-20	ISSUED FOR CLIENT REVIEW		



PROJECT
628 New Dundee Road, Kitchener, Ontario

DRAWING
3D PERSPECTIVES

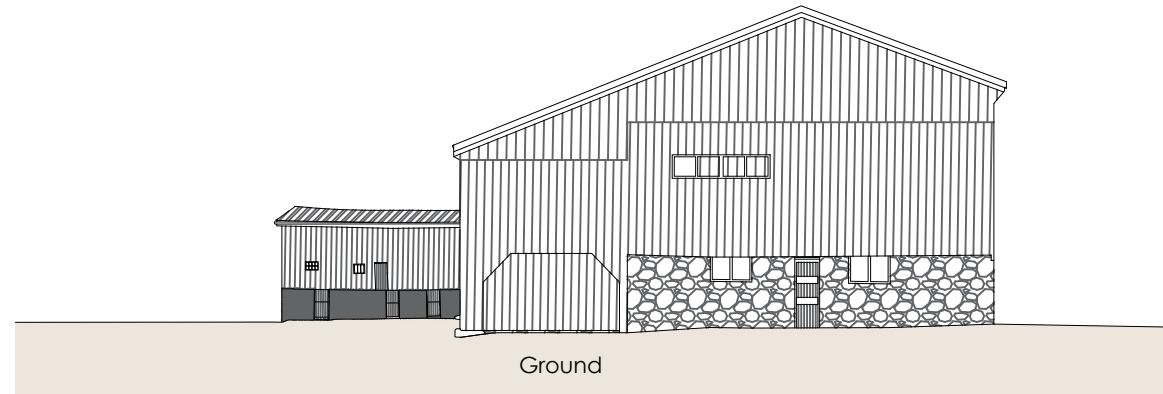
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PROJECT DATE 2023-11-20	
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SCALE	

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BUILDING ELEVATIONS

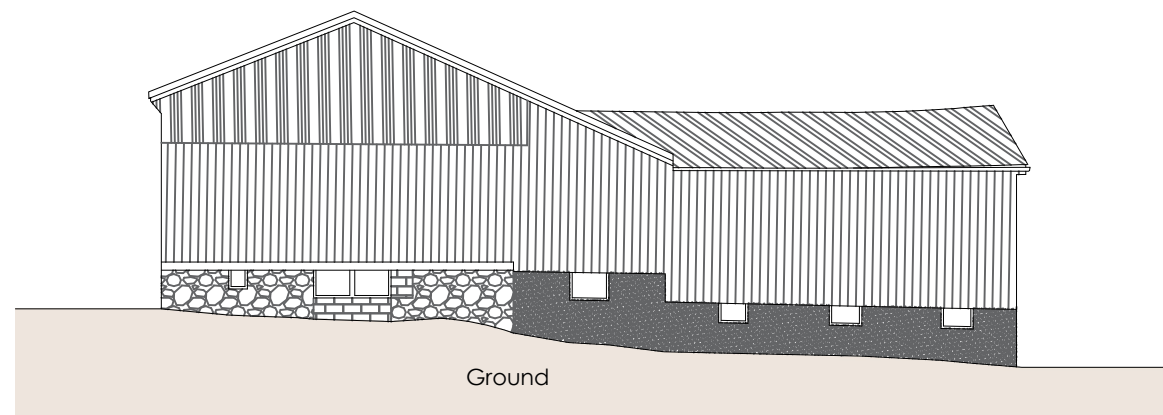
East Elevation
South

North



West Elevation
North

South




LOCATION/ KEYPLAN

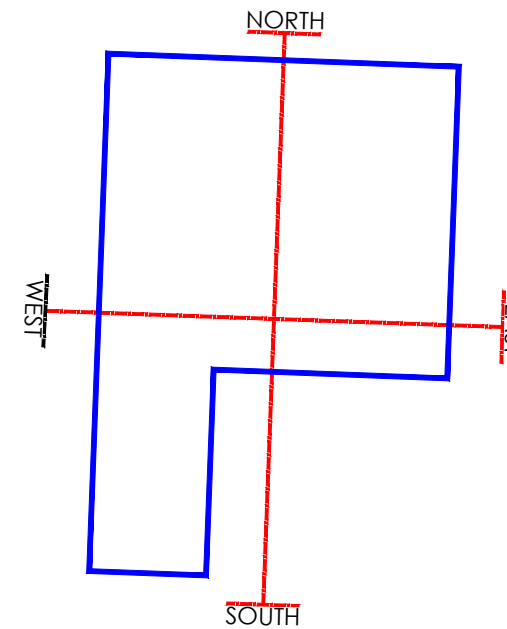


Building Elevations East and West

628 New Dundee Road
City of Kitchener

 Subject Lands

ORIGINAL ORIENTATION



Notes:

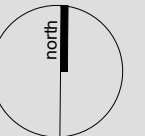
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- Based on site visit November 13, 2023

Date: November 20, 2023

Scale: Not to Scale

File: 1405H

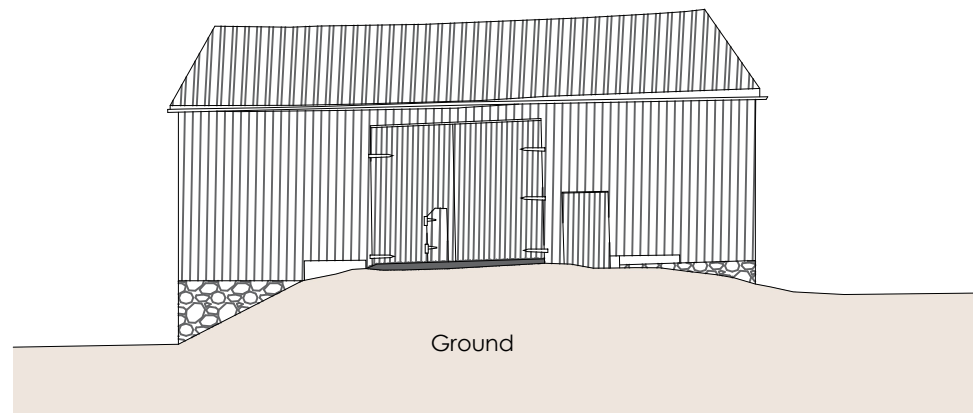
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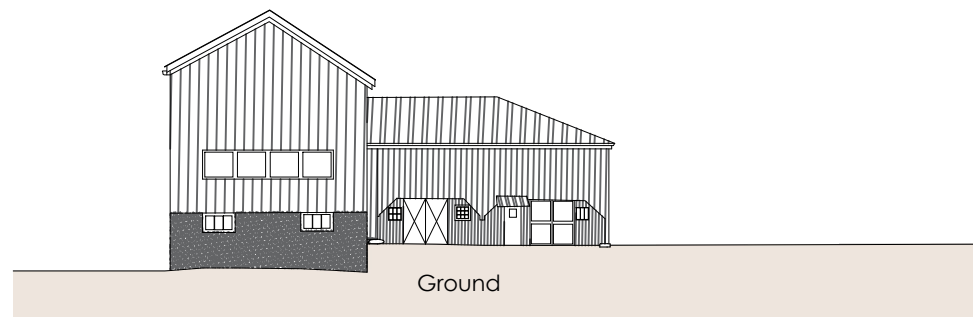
K:\1405H-CHS 628 NEW DUNDEE ROAD\RP\TELEVATIONS_20NOV2023.DWG

BUILDING ELEVATIONS

North Elevation
East



South Elevation
West




LOCATION/ KEYPLAN

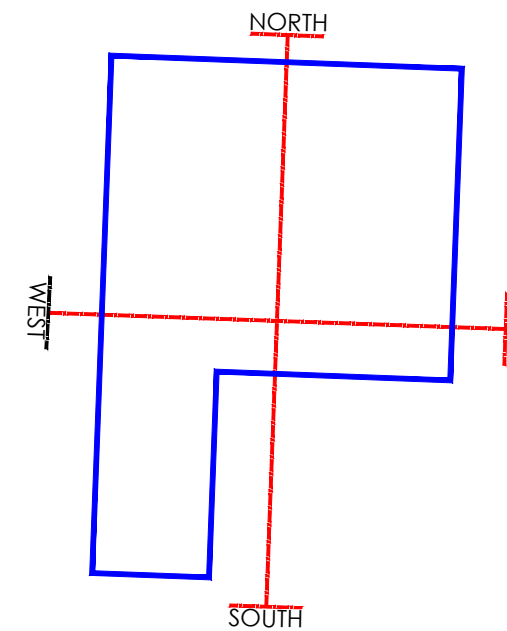


Building Elevations North and South

628 New Dundee Road
City of Kitchener

 Subject Lands

ORIGINAL ORIENTATION



Notes:

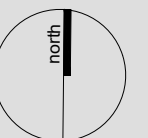
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- Based on site visit November 13, 2023

Date: November 20, 2023

Scale: Not to Scale

File: 1405H

Drawn: CCF



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Appendix B

Photo Map and Photo Documentation

Photo Map: 628 New Dundee Road



Figure 1: Aerial photograph of subject property at 628 New Dundee Road noting approximate location of photos taken. (Source: GoogleEarthPro, accessed 2022)



Figures 1 & 2: (left) View of front elevation of dwelling, looking north, (right) View of front elevation of dwelling and contemporary addition, looking north, (Source: MHBC 2022)



Figures 3 & 4: (left) View of west elevation looking east towards dwelling and contemporary additions, (right) View of west elevations of dwelling, looking south-east (Source: MHBC 2022)



Figures 5 & 6: (left) View of north and west elevations, looking south-east, (right) View of north elevation of garage, looking east, (Source: MHBC 2022)



Figures 7 & 8: (left) View of south and west elevations of barn, looking north-east, (right) View of west elevation of barn, looking east, (Source: MHBC 2022)



Figures 9 & 10: (left) View of north elevation of barn, looking south, (right) View of west elevation of barn, (Source: MHBC 2022)



Figures 11 & 12: (left) View of north elevation of wood shed, looking south, (right) View of south elevation of barn, looking north, (Source: MHBC 2022)



Figures 13 & 14: (left) View of south elevation of wood shed, (right) View of east elevation of dwelling, looking west (Source: MHBC 2022)



Figures 15 & 16: (left) View of east elevation of dwelling and contemporary additions, looking south-west, (right) View of driveway, looking south towards New Dundee Road, (Source: MHBC 2022)

Dwelling Exterior: 628 New Dundee Road



Figures 1 & 2: (left) View of east elevation, looking west, (right) Detail view of east elevation (summer kitchen rear addition) window and entrance at first storey, (Source: MHBC 2023)

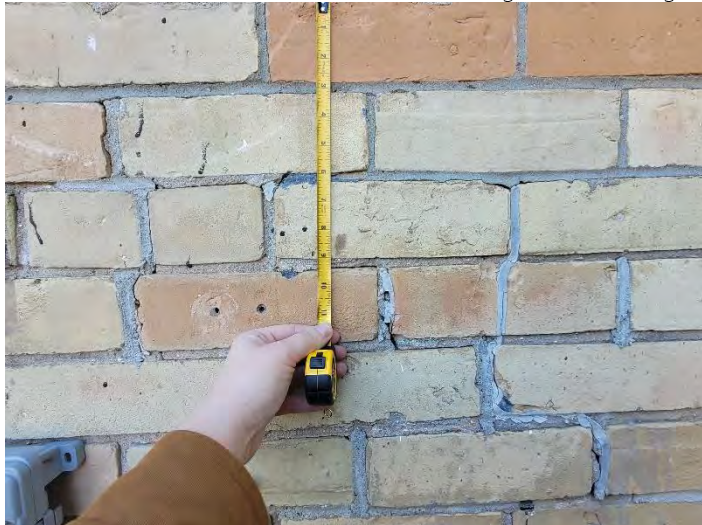


Figures 3 & 4: (left) View of contemporary window opening and contemporary window at south elevation of original portion of the dwelling, (right) Detail view of rusticated concrete sill at south elevation of original portion of the dwelling (contemporary window opening noted in Figure 3), (Source: MHBC 2023)

Dwelling Exterior: 628 New Dundee Road



Figures 5 & 6: (left) View of west and south elevations, looking north-east, (right) View of south elevation, looking north, (Source: MHBC 2023)

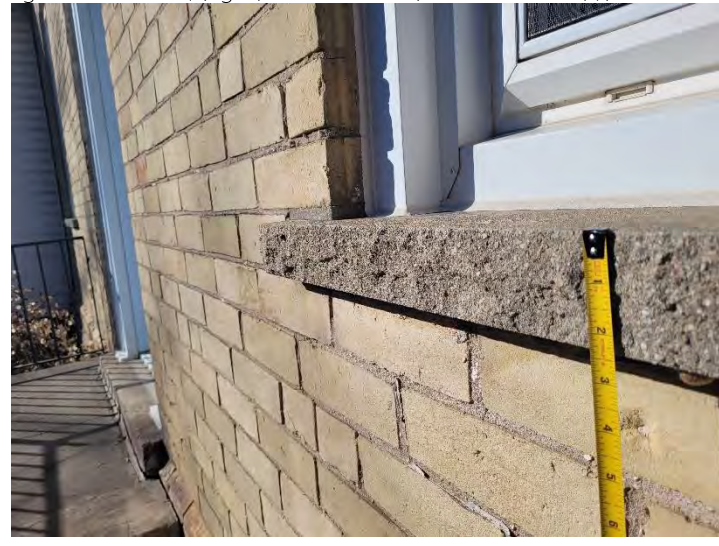


Figures 7 & 8: (left) Detail view of brick dimensions, colour and patina at original portion of the dwelling (noting colour differences (yellow, terra cotta coloured bricks)) (right) Detail view of brick dimensions, colour and patina at rear summer addition (noting colour differences from original portion of the dwelling) (Source: MHBC 2023)

Dwelling Exterior: 628 New Dundee Road



Figures 9 & 10: (left) View of entrance to contemporary addition, looking north along east elevation, (right) View of front (south elevation), (Source: MHBC 2023)



Figures 11 & 12: (left) Detail view of contemporary concrete stairs at front elevation, (right) Detail view of concrete sills at front elevation, (Source: MHBC 2023)

Dwelling Exterior: 628 New Dundee Road



Figures 13 & 14: (left) Detail view of poured foundation at front elevation, (right) View of east elevation, looking west (Source: MHBC 2023)

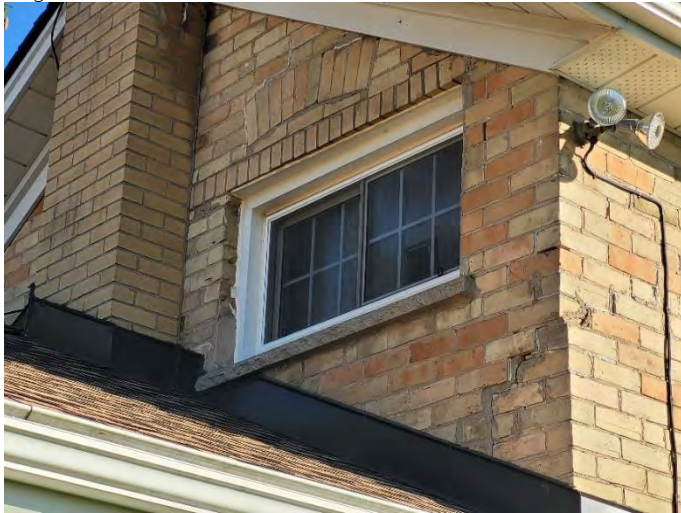


Figures 15 & 16: (left) Detail view of window openings at the east elevation, noting chimney which is not original, (right) Profile of bullnose bricks at east elevation of original portion of the dwelling, looking south (Source: MHBC 2023)

Dwelling Exterior: 628 New Dundee Road



Figures 17 & 18: (left) View of west and south elevations, looking north-west, (right) Detail view of west elevation of rear summer kitchen, noting absence of bullnose brick stringcourse, (Source: MHBC 2023)



Figures 19 & 20: (left) Detail view of chimney at south elevation (not original) noting contemporary/altered window opening at second storey, (right) View of north elevation of garage, looking south (Source: MHBC 2023)

Dwelling Exterior: 628 New Dundee Road



Figures 21 & 22: (left) View of east elevation, looking south-west, (right) Detail view of contemporary alterations and entrance at east elevation of rear summer kitchen, second storey, (Source: MHBC 2023)

Barn Exterior: 628 New Dundee Road



Figures 1 & 2: (left) View of east and north elevations, looking south-west, (right) View of north elevation, looking south along earthen bank, (Source: MHBC 2023)



Figures 3 & 4: (left) View of north and west elevations, looking south-east (right) View of west elevation, looking east, (Source: MHBC 2023)

Barn Exterior: 628 New Dundee Road



Figures 5 & 6: (left) View of west and south elevations, looking north-east, (right) View of south elevation, looking north, (Source: MHBC 2023)



Figures 7 & 8: (left) View of south and east elevations, looking north-west, (right) View of east elevation, looking west, (Source: MHBC 2023)

Barn Exterior: 628 New Dundee Road



Figures 9 & 10: (left) View of east and partial north elevation, looking south-west, (right) Detail view of 20th century barn window, noting poor conditions,(Source: MHBC 2023)



Figures 11 & 12: (left) Detail view of typical barn foundation material and field stones (right) View of concrete foundation at west elevation, (Source: MHBC 2023)

Barn Exterior: 628 New Dundee Road



Figures 13 & 14: (left) Detail view of typical barn board cladding at east elevation, (Source: MHBC 2023)

Barn Interior (first storey): 628 New Dundee Road



Figure 1: Aerial photograph of subject property at 628 New Dundee Road noting approximate location of photos taken within the barn (Source: Google Maps, accessed 2023)

Barn Interior (first storey): 628 New Dundee Road



Figures 1 & 2: (left) View of forebay looking west, (right) View of forebay, looking north-west, (Source: MHBC 2023)



Figures 3 & 4: (left) View of forebay looking east, (right) View of barn, looking south adjacent to stalls, (Source: MHBC 2023)

Barn Interior (first storey): 628 New Dundee Road



Figures 5 & 6: (left) View of barn, looking north adjacent to stalls, (right) View of barn forebay looking east, (Source: MHBC 2023)



Figures 7 & 8: (left) View of stairs within forebay providing access to second storey, (right) View barn looking west,(Source: MHBC 2023)

Barn Interior (first storey): 628 New Dundee Road



Figures 9 & 10: (left) View of barn (west elevation wall) looking west, (right) View of barn looking east, (Source: MHBC 2023)



Figures 11 & 12: (left) View of stalls, looking north, (right) View within stall, looking south, (Source: MHBC 2023)

Barn Interior (first storey): 628 New Dundee Road



Figures 13 & 14: (left) View of exit at east elevation, (right) View of interior wall, looking south (Source: MHBC 2023)



Figure 15: View of stalls at east end of barn, looking north-east, (Source: MHBC 2023)

Barn Interior (second storey): 628 New Dundee Road



Figure 1: Aerial photograph of subject property at 628 New Dundee Road noting approximate location of photos taken within the barn (Source: Google Maps, accessed 2023)

Barn Interior (second storey): 628 New Dundee Road



Figures 1 & 2: (left) View of stairs looking down (south) towards the first storey at grade, (right) View of open area, looking south-west, (Source: MHBC 2023)



Figures 3 & 4: (left) View of barn looking south, (right) View of barn looking north towards bank, (Source: MHBC 2023)

Barn Interior (second storey): 628 New Dundee Road



Figures 5 & 6: (left) View of barn looking west, (right) View of barn looking south-east, (Source: MHBC 2023)



Figures 7 & 8: (left) View of barn looking north-east, (right) View barn looking north-west from under loft area, (Source: MHBC 2023)

Barn Interior (second storey): 628 New Dundee Road



Figures 9 & 10: (left) View of barn looking east towards loft area (right) View of barn looking south, (Source: MHBC 2023)



Figures 11 & 12: (left) View of barn looking north-west (note slope) (right) View of barn, looking north, (Source: MHBC 2023)

Barn Interior (second storey): 628 New Dundee Road



Figures 13: (left) View of barn looking south, (Source: MHBC 2023)

Appendix C

Terms of Reference for Photo Documentation (City of Kitchener)

Photographic Documentation / Recording Guidelines

The organization of views are from views of the overall building to the closer views of architectural elements and details moving in a counterclockwise fashion. Each side of the property is photographed from the overall view, such as elevation, to detailed views in the zoom lens manner of looking at a property. When framing the building in the viewfinder, ensure that the entire building is visible including the point where the building meets the ground and the peak of the roof or chimney. As the subject of the photograph, the building should occupy about 75 percent of the picture area, leaving the surrounding 25 percent of the frame for visual information about the context of the building.

Architectural photographs are of two general types: perspective photographs and elevation photographs. A perspective photograph is one that shows two sides of a structure taken at a 45-degree angle thereby documenting its characteristics as a three-dimensional form including size and volume. (In a perspective photograph, the structure should fill about 75 percent of the frame, thereby including some environmental context.)

An elevation photograph approximates an elevation architectural drawing and is a photograph of one side of a structure taken head on. An elevation is a drawing to scale of the side, front, or rear of a building in which projecting features such as window and door moldings, window sills, steps, and eaves are all rendered as if they were totally flat. The emphasis on one side of a building as two-dimensional surface makes an elevation photograph more axiomatically correct. This means that distances on the photograph are proportional to distances on the building, and approximate measurements can be taken from the photograph. (In elevation photographs, the structure should fill the frame, isolating it from its surroundings.)

Elevation photographs provide the best documentation of shape and proportion of a building while perspective photographs best depict the three-dimensional form of a structure.



Perspective



Elevation

There are three types of light for exteriors; front light, sidelight, and backlight. The best lighting is front light when the sun is approximately 45 degrees between the axis of the lens and the most important façade being photographed. (See Figure 4) Acutely angled raking light is “side-light” which is excellent for revealing texture and detailed three-dimensional form. Of these, you should avoid BACK LIGHT where the sun is coming from the rear putting the side being photographed in shadow. When an important feature is in the shade or a façade is backlit, you can be partially correct this by filling the frame with the feature being photographed to reduce the contrast in the scene.

In situations of direct sunlight on a cloudless day, you should be aware of shadows cast on buildings by surrounding trees and try to pick times of the day when the angle of the sun minimizes these shadows. Also, the time from late morning to early afternoon, when the sun is directly overhead, can cause “eaves” or “cornice” shadows that will cover half of a wall. In other words, when the sun is directly overhead, the projection of the roof over the walls can create a shadow far down the wall. The best lighting for survey photography is a bright overcast day.

Required Photographs

Context

Contextual image showing property in relation to neighbouring properties and/or streetscape

Perspective

Perspective view of front and right side

Perspective view of rear and left side

Front side

Elevation of front façade

Elevation or perspective of front entrance

Perspective or elevation views of architectural elements such as porches or windows

Details of materials, hardware and/or decoration

Right side

Elevation of front façade

Perspective or elevation views of architectural elements such as porches or windows

Details of materials, hardware and/or decoration

Rear

Elevation of rear

Perspective or elevation views of architectural elements such as porches or windows

Details of materials, hardware and/or decoration

Left side

Elevation of left side

Perspective or elevation views of architectural elements such as porches or windows

Details of materials, hardware, and/or decoration

The following interior photographs should be taken (assuming it is deemed safe to enter the building):

A view from the main entrance looking to the interior of the building.

Views of major spaces/rooms including important features such fireplace or mantle (for large spaces such as sanctuaries, factories or barns take diagonal views from opposite corners)

Other significant rooms or features as considered relevant to documenting the structure.

Deliverables

It is essential to organize your documentation and maintain a list of captions of all your digital images. We would request that you provide a photo index, numbering and identifying each image in the sequence in which they were taken. All images should be saved as jpegs and burned to CD.

Appendix D

Staff Bios.

Dan Currie, B.A., B.E.S, M.A., M.C.I.P, R.P.P, C.A.H.P

Dan Currie, a Partner with MHBC, joined MHBC Planning in 2009, after having worked in various positions in the public sector since 1997 including the Director of Policy Planning for the City of Cambridge and Senior Policy Planner for the City of Waterloo.

Dan provides a variety of planning services for public and private sector clients including a wide range of policy and development work. Dan has experience in a number of areas including strategic planning, growth plan policy, secondary plans, watershed plans, housing studies and downtown revitalization plans. Dan specializes in long range planning and has experience in growth plans, settlement area expansions and urban growth studies. He has provided expert planning evidence to the Local Planning Appeals Tribunal and heritage planning evidence to the Conservation Review Board.

Vanessa Hicks, M.A, C.A.H.P

Vanessa Hicks is an Associate and Senior Heritage Planner with MHBC. Vanessa and joined the firm after having gained experience as a Manager of Heritage Planning in the public realm where she was responsible for working with Heritage Advisory Committees in managing heritage resources, Heritage Conservation Districts, designations, special events and heritage projects. Vanessa is a full member of the Canadian Association of Heritage Professionals (CAHP) and graduated from the University of Waterloo with a Masters Degree in Planning, specializing in heritage planning and conservation.

Christine Fandrich, CPT, Dip. GIS & Urban Planning, BA

Christine joined the Kitchener office in 2022 bringing a range of technical and creative skills from the municipal and provincial levels of the public sector. She specializes in Geographic Information Systems (GIS) analysis/mapping. She also provides graphical and technical design and drafting services to both private and public sector clients. Christine received her Geographic Information Systems (GIS) and Urban Planning Diploma from Fanshawe College in 2021, a GIS Certificate from Fanshawe in 2015, and her Honours Bachelor of Arts with a Minor in GIS from McMaster University in 2012. Christine is a full member of the Canadian Association of Certified Planning Technicians.

Appendix E

Supplementary Digital Photos (USB)



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