

Documentation, Salvage & Commemoration Report (revised)

1027 King Street East,
Kitchener ON.

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January 2024)

Prepared for:
VIVE Development

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Executive Summary

MHBC was retained by Vive Development to complete a Cultural Heritage Documentation, Salvage, and Commemoration Report as per the request by City of Kitchener Cultural Heritage Planning staff as it relates to the subject property located at 1027 King Street East. The Subject property listed on the City of Kitchener Heritage Register or formally designated under the *Ontario Heritage Act*.

The purpose of this Report is to describe the subject property and its features in order to supplement the historic record, as per the recommendation provided in the Heritage Impact Assessment for the subject lands completed by MHBC (dated November, 2021; updated in 2022 as well as 2024). This Report also identifies any features of the subject property which may be good candidates for salvage and re-use, as opposed to being deposited as landfill.

Summary of Recommendations

The contents of this report includes photographs and measured drawings which supplement the historic record and are considered appropriate in terms of documentation of the site.

The following provides a list of items recommended for salvage, where possible depending on condition and extraction capabilities:

- **“Eureka” Terazzo Tile (Section B, ground floor);**
- Exterior column (Section B, exterior north elevation);
- Door/window/frame and cornices (Section B, exterior north elevation); and
- Exterior cladding (Section B, exterior front elevation).

These items are recommended for salvage and re-use on-site as part of an interior display as per the description and rendering provided in this report.

Provided that the recommendations provided in this report are undertaken, the documentation, salvage, and commemoration/interpretation of the site is considered satisfactory and complete.

1.0 Introduction

1.1 Overview

The existing buildings located at 1027 King Street East are proposed for removal in order to facilitate the redevelopment of the subject lands (See Figure 1, outlined in red). The purpose of this document is to provide the following for the property at 1027 King Street East:

- Photographic documentation of the buildings (interior and exterior) to supplement the historic record;
- Measured drawings of the exterior of the building;
- Provide recommendations regarding potential items for salvage; and
- Provide details regarding commemoration of the site.

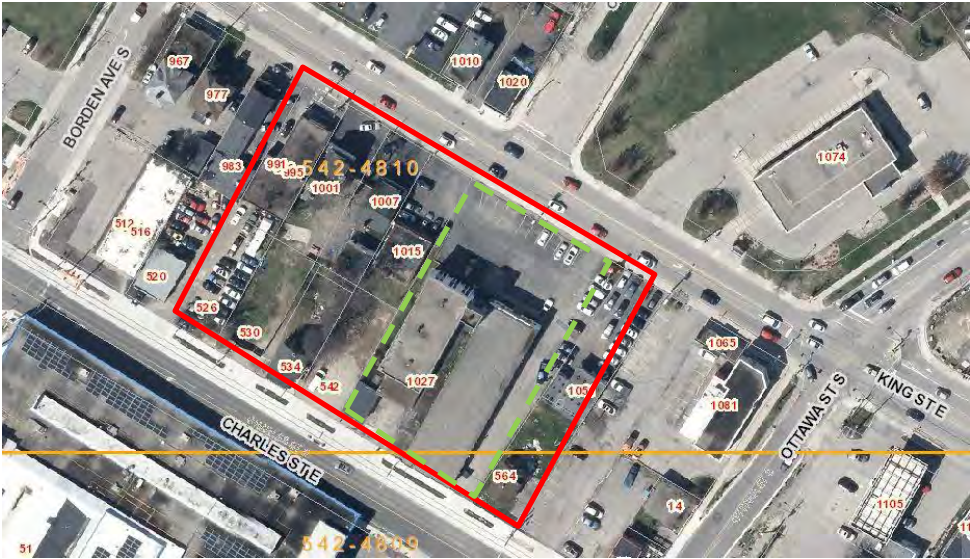


Figure 1: Aerial photo of subject lands noted with solid red line. Location of 1027 King Street East identified with dotted green line. (Source: Kitchener Interactive Maps, accessed 2023)

1.2 Description of Proposed Development

The proposed development of the subject lands includes the demolition of all buildings and structures to facilitate the construction of a mixed-use development. The development includes two "towers" (those being 11 and 29 storeys) as well as a podium.

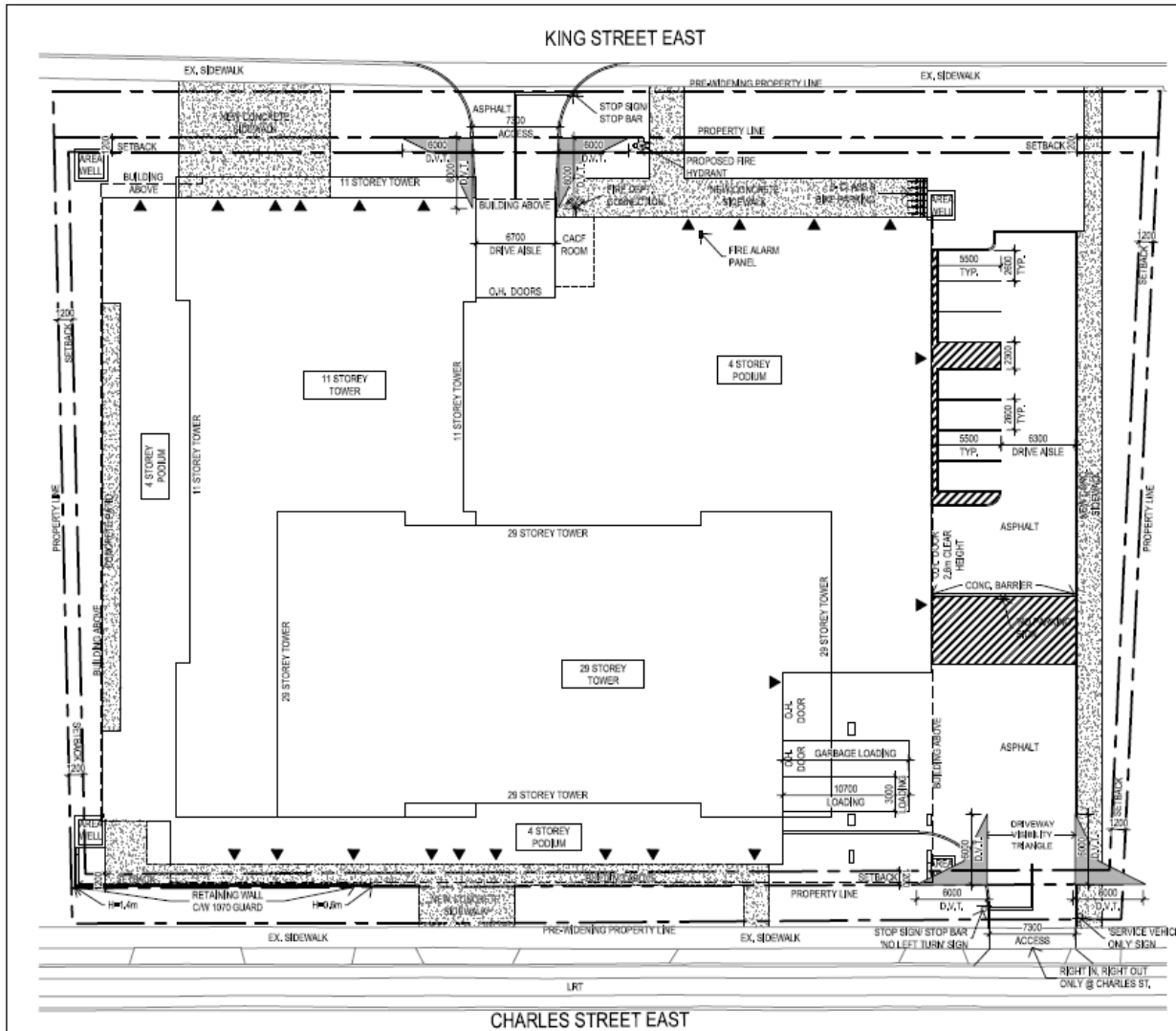


Figure 2: Site Plan of Proposed Development (Source: Reinders + Law, 2023)



Figure 3: Rendering of Proposed Development (King and Ottawa view)

1.3 Brief Summary of Heritage Impact Assessment (MHBC, 2021)

MHBC completed a Heritage Impact Assessment (HIA) for the subject lands in 2021. This report was updated in 2022 and 2024. The purpose of the HIA was a) to evaluate whether or not the property at 1027 King Street East met the legislated criteria for determining Cultural Heritage Value or Interest (CHVI) and b) determine whether or not

the proposed development results in adverse impacts to cultural heritage resources. The HIA ultimately concluded that only one component of the building has Cultural Heritage Value or Interest, that being the Art Deco style tower (noted in this report as **Section "B ii")**. **The removal of the building was identified as a negligible impact given** that the building overall has been unsympathetically altered and no longer communicates its original design. The exception to this is the removal of the Art Deco Tower, which was identified as an adverse impact.

The HIA provided mitigation recommendations as a result of the removal of the building, including the following:

- Submission of a Documentation Report which includes photographic descriptions and photo maps of the property and the various sections of the building.

The HIA also noted that the proposed development includes appropriate salvage and commemoration.

1.4 Terms of Reference

This report has been drafted as per the terms of reference for Documentation and Salvage Reports for the City of Kitchener (See Appendix C). As such, this report contains the following information:

- Introduction;
- Salvage and Documentation;
- Context and Property Description
- Documentation of the site;
- Salvage Plan (including an inventory);
- Methodology;
- Reuse Recommendations; and
- Qualifications.

2.0 Property Description

2.1 Context, Landscape and Setting

The subject property is municipally addressed as 1001, 1007, 1015, 1027, and 1051 King Street East as well as the properties located at 530, 534, 542, and 564 Charles Street East. Together these properties result in a roughly rectangular-shaped area, referred to in this report as the subject lands. Only the property at 1027 King Street East is listed on the City of Kitchener Heritage Register as per Part IV, Section 27 of the *Ontario Heritage Act*.

The subject lands are situated south of King Street East, east of Borden Avenue South, north of Charles Street East, and west of Ottawa Street South.



Figure 4: Aerial Photo of the broader context of the site. Approximate location of subject lands outlined in red (Source: Google Earth, 2021)

2.2 1027 King Street East: Built Features

The building located at 1027 King Street East is comprised of six different parts referred to in this report as Sections 'A', 'B (i)', 'B (ii)', 'C', 'D', and 'E' (See Figure 5 below).



Figure 5: Aerial photo of the subject lands noting different sections of 1027 King Street East (Source: Kitchener Interactive Maps, 2018)

Section	Description	Approx. Date of Construction
A	3 storey brick building	Between 1914-1916
B (i)	3 storey Art Deco style in-fill	Between 1925 and 1947
B (ii)	Art Deco "tower"	Between 1925 and 1947
C	Single storey addition	Between 1925 and 1947
D	Single Storey loading bay	2 nd half 20 th Century
E	Outbuilding/Garage	2 nd half 20 th Century

2.2.1 Exterior

The north elevation includes the front façade of Sections 'A', 'B', and 'C' of the building. Section 'A' (to the west) includes a main floor (slightly below grade), as well as a second and third storey above. The north elevation displays three bays of vertical windows which have been altered from their original appearance to include contemporary windows with dark tinted spandrel glass.

The north elevation of Section 'B' is an Art Deco style tower that was the original main entrance and includes a staircase that provides access to the upper floors. This portion of the building has been altered, but retains most of its original features including the staircase and windows. The north elevation of Section 'C' (to the east) has been altered. This building formerly displayed a brick facade with two sets of 8 rectangular-shaped windows across the front of the building.



Figures 6 & 7: (left) View of north elevation looking south towards the front elevation of sections "A", "B", and "C", (right) Detail view of the front elevation, looking south towards Section "B", (Source: MHBC, 2023)

The east elevation has been significantly altered, where all original industrial-style building windows have been stuccoed or parged over.

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Figures 8 & 9: (left) View of building looking south-west from King Street East, (right) **Secondary view of east elevation of Section "C", looking west from parking lot adjacent to King Street East** (Source: MHBC, 2023)

The east elevation has been covered with spray foam insulation and stucco. As a result, the windows underneath these materials have been damaged and are no longer salvageable (See Figure 11).



Figures 10 & 11: (left) View of east elevation, looking north-west from Charles Street East, (right) **Detail view of east elevation (Section "C") and spray foam and stucco over industrial windows**, (Source: MHBC, 2023)

The south elevation provides views of the rear **facades of Sections 'B', 'C', 'D', and 'E'**. **The rear of Section 'A' has a small cinder block addition (constructed at some point in the second half of the 20th century) and includes two large loading-bays. Section 'B' (single storey brick structure) includes a flat roof and one boarded-up window opening. Section 'C' has a very shallow pitched gabled roof (which appears almost flat) and**

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displays two small boarded-up window openings just below the roof, with four large boarded-up rectangular-shaped window openings below. **While Section 'D' displays cinder block construction, the rear of Sections 'B' and 'C' appear to include painted red brick.** The existing single storey garage/outbuilding constructed of cinder blocks and displays a flat roof and garage door at the south elevation. This structure as well as **Section 'D' are 20th century additions to the site and are not of cultural heritage value or interest.**



Figures 12 & 13: (left) View of south elevation looking north from Charles Street east, (right) View of west and south elevations looking north-east from Charles Street east, (Source: MHBC, 2023)

The west elevation is primarily the side facade of Section 'A'. The building originally displayed 5 bays of very large windows spanning the second and third storeys. These windows have been partially bricked-over and portions of the windows now include contemporary block-style glass.



Figures 14 & 15: (left) View of west elevation looking north-east, (right) View of west elevation of Section "A" looking east, (Source: MHBC, 2023)

2.2.2 Interior

The following provides a description of the interior of Sections 'A', 'B' and 'C'. Only Section 'A' includes a basement. It is important to note that the floors of Sections 'A', 'B' and 'C' do not match-up. Section 'C' appears to have originally been accessed by Section 'B'. Section 'B' of the building (ground floor portion running north-south towards Charles Street) appears to be part of Section 'C'.

Section 'A' – Basement

The basement of Section 'A' is currently used as a staff room and storage. The basement includes remnants of original heating/cooling components such as the boiler and coal oven. A ramp is provided in the basement of Section 'A' providing access to Section 'C'.



Figures 16 & 17: (left) View of staff area and storage rooms, (right) View of basement and utility components (Source: MHBC, 2023)

Section 'A' – Main Floor

The main floor of **Section 'A'** is not at ground level. Instead, it is elevated above the ground level above the basement. The second floor of **Section 'A'** has been altered to include partitioned walls to function as office space. The building has been carpeted and re-finished with 20th century materials. It is important to note that the ceiling provides evidence of considerable fire damage, where the ceiling in several places has been scorched black.



Figures 18 & 19: (left) View of open area, looking south-west, (right) Detail view of ceiling noting fire damage, (Source: MHBC, 2023)

Section 'A' – Second Floor

The third floor provides views of rooms which have been partitioned for office space. The rooms have been re-finished and original finished have been removed.



Figures 20 & 21: (left) View of lobby area, looking east (right) View of kitchen area, looking east, (Source: MHBC, 2023)

Section 'B' – Ground Floor

The ground floor of Section 'B' is the main entrance and access to the staircase. The floor is tile with the 'Eureka' brand name in the tile.



Figures 22 & 23: (left) View of entrance to Section "B", looking north (right) Detail of "Eureka" terrazzo floor tile, (Source: MHBC, 2023)

Section 'B' – Second and Third Floor

This portion of Section 'B' facilitates as a staircase only and provides access to the roof. This portion of the building provides evidence of water damage, including peeling paint, mold and rot.



Figures 24 & 25: (left) View of staircase and entrance to the main floor of Section "C", (right) View of roof entrance from Section "B", looking south-east, (Source: MHBC, 2023)

Section 'C'

Section 'C' is one room used as a retail area, with open concept storage areas towards the rear. The interior of the building has been altered and provides little evidence of its construction date. The roof may have been altered as it now appears to be contemporary metal roofing. All original windows have either been removed and replaced with contemporary windows or been covered.



Figures 26 & 27: (left) View of store front, Section "C", looking north-east, (right) View of Section "C", rear storage area, (Source: MHBC, 2023)

3.0 Salvage Recommendations

3.1 Methodology





The following sub-sections of this report provide recommendations as it relates to salvaging items on-site. Items can be salvaged for a range of purposes. In order to provide clarification regarding the items chosen for salvage, the following provides a criteria for items as it relates to a) their cultural heritage value, and b) their intended purpose.

These recommendations include three separate categories of salvaged items as follows:

- A. Heritage Value - Items which are determined to be of significant cultural heritage value and should be retained for purposes related to commemoration/interpretation; and
- *The item/material/element has design/physical value as being either rare, unique, or representative of a style, expression, or construction method;*
 - *Element or feature displays a high degree of craftsmanship, artistic merit, or scientific achievement;*
 - *Is a feature/element or sample of a feature/element which may form a part of the commemoration of the structures or properties.*
- B. Modest Heritage Value - Items which are representative of an architectural style or period, which would be best suited for re-use in the same or similar capacity;
- *Does not demonstrate significant cultural heritage value*
 - *The item/material/element is of a fair/good condition which may be reasonably extracted for re-use;*
 - *The item/material element is not significant in relation to the future commemoration/interpretation of the house.*
- C. No Heritage Value - Items which do not have design/physical value or are not associated with a style of architecture or period, but could be salvaged and made available for re-use as opposed to being deposited as landfill.

3.2 Salvage Recommendations

The following provides a list of items which are proposed to be salvaged. The following list indicates the category and criteria

Item	Quantity	Category	Location	Photo
Eureka Terazzo Tile	1	A	Interior (Section B) Ground floor	
Exterior Column	1	B	Exterior (front, Section B)	
Door/Window Entry Frame and Cornice	1	B	Exterior (front, Section B)	
Exterior Cladding concrete)	(selection in good condition)	B	Exterior (front, Section B)	

The items noted above are considered good candidates for salvage in terms of their ability to be used for commemoration/interpretation purposes on-site. Note that the use of these items is contingent on a) their condition, and b) successful extraction. No other features on-site are considered of cultural heritage value and/or good candidates for salvage on-site. **Sections "A" and "B" have been vacant for several years and do not contain other notable features which would be considered elements for potential salvage as opposed to being deposited as landfill. While Section "C" is not currently vacant (at the time of writing this document), there are likely to be few materials of value which could be salvaged and donated to the public. However, where there are opportunities to salvage materials and donating them to the general public, this is**

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supported as a general recommendation in order to deter construction & demolition materials as being deposited as landfill.

Items proposed for salvage will be removed with hand tools. Large construction equipment will not be used in order to avoid damage to these items. The items will be stored indoors off-site. All items will be wrapped with tarps and are recommended to be stored off the ground on wood pallets.

4.0 Commemoration Recommendations

4.1 Introduction

The following sub-sections of this report provide recommendations regarding appropriate commemoration/interpretation of the site. This includes the use of items recommended for salvage in Section 4.2 of this report.

4.2 Commemoration Recommendation Summary

The site is recommended to be interpreted through an interior display of the proposed new building (See Figure 28). The items recommended to be salvaged in this report (See Section 4.2) includes the column, door and windows (including trim), and the "Eureka" tile. **If exterior cornice materials can be removed, these would be displayed and incorporated on an interior wall.**

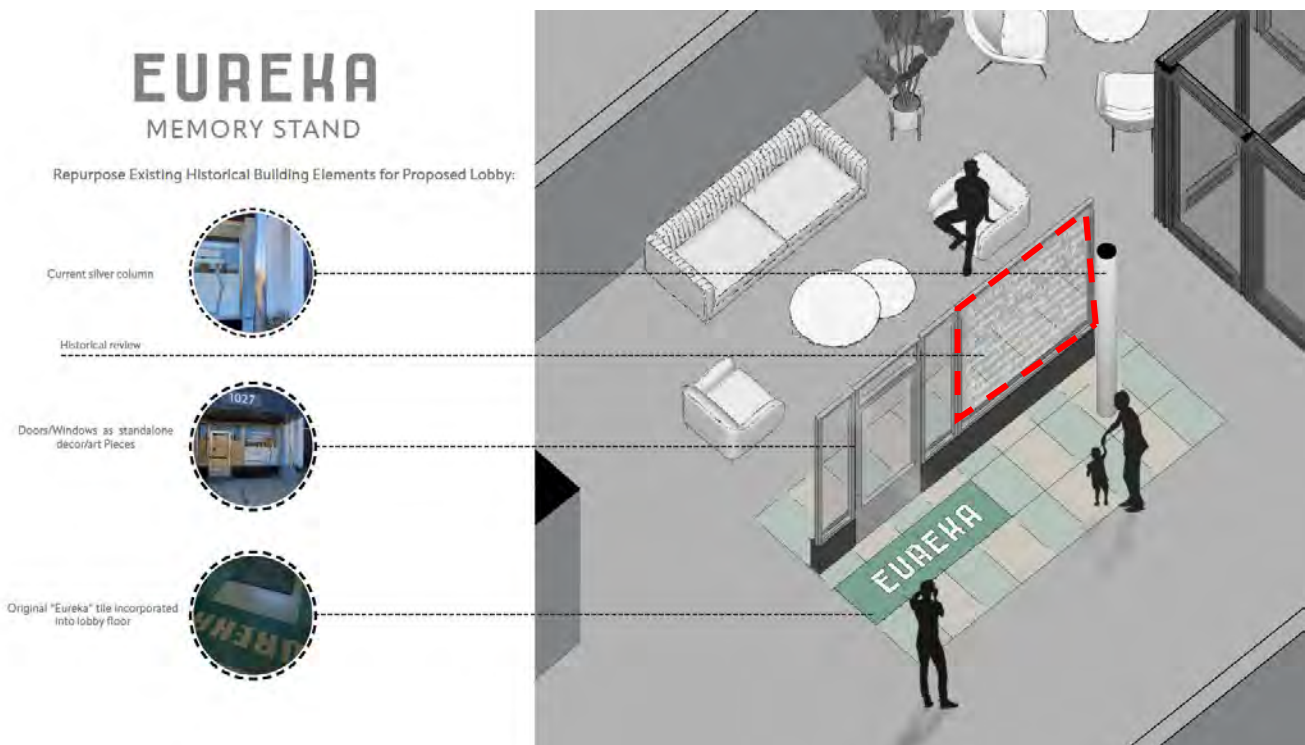


Figure 28: Rendering of proposed Commemorative Display at the interior of the proposed new building.

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The proposed design includes text on the salvaged window (See Figure 28, outlined in red). The following provides the recommended text for this feature:

*The property on which you stand is the former location of the Onward Manufacturing Company. **The Onward Manufacturing Company was started by Theodore Adam "Ted" Witzel (b. 1875).** The company became the first in Canada to manufacture Onward and Triumph brand vacuums. Ted Witzel obtained exclusive rights to manufacture and sell **the "Eureka" brand vacuum cleaner in 1909.** The features of this display, including the "Eureka" tile were extracted from the building formerly in this location. During World War II, the Onward Manufacturing Company shifted production to manufacture arms and ammunition. After the war, the company expanded again to manufacture barbeques and developed brands such as Broil King.*

The transparent glass of the proposed commemorative display should also display the following photograph of the building and an image of the brand name (See Figures 29 & 30).



Figure 29: Original building at 1027 King Street East (Onward Manufacturing Company)



Figure 30: Onward Manufacturing Co. logo (source: accessed online at omcbbq.com/onward-story.html)

It is also recommended that the wall proposed to incorporate materials from the exterior of Section "B" of the building include a commemorative plaque in order to communicate where the materials came from, as follows:

These wall materials were extracted from the Onward Manufacturing Company building which formerly stood in this location, at 1027 King Street East.

The proposed development will include two commemorative features at the exterior of the building (north elevation). This includes a) an "ONWARD" timeline and commemorative feature with dates and text communicating the story of the Onward Manufacturing Company, and b) an Art Deco style mural/decorative feature to commemorate the Art deco feature of the building (Section "B") to be removed (See figures below). The art deco style feature is designed within a tall/rectangular portion of the building which is reminiscent of that of the portion to be removed and includes a series of concentric circles/geometric shapes which are indicative of art and design movements of the Art Deco period.

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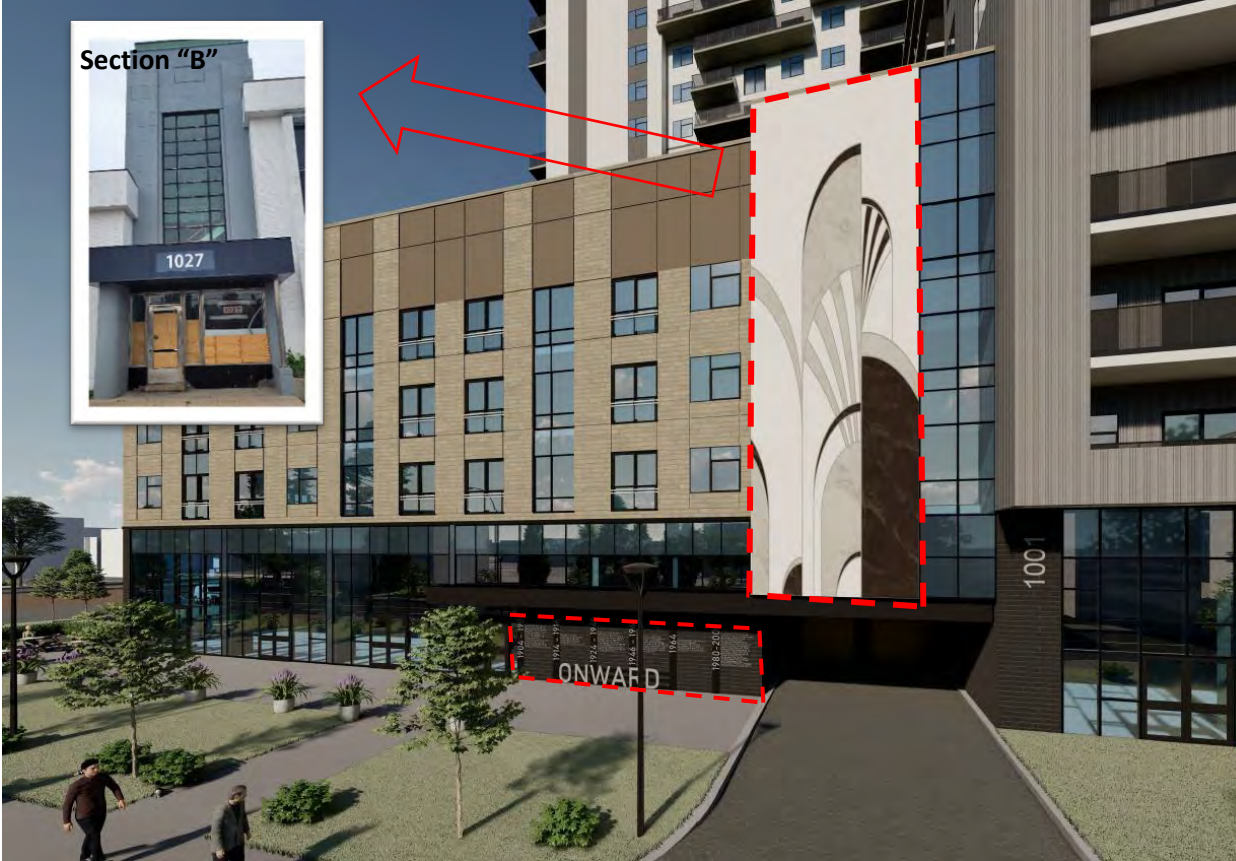


Figure 31: Rendering of north elevation noting "ONWARD" timeline commemorative feature and Art Deco style design feature (outlined in red) (source: Reinders+Law, 2023)



Figure 32: Secondary rendering of north elevation noting "ONWARD" timeline commemorative feature and Art Deco style design feature (outlined in red) (source: Reinders+Law, 2023)

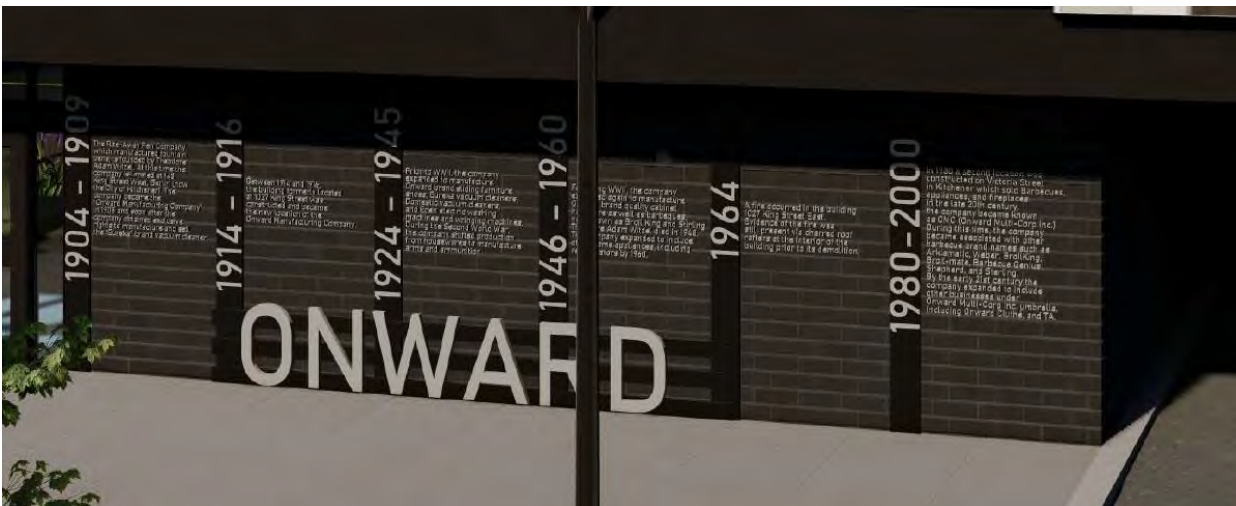


Figure 33: Detail of north elevation noting "ONWARD" timeline commemorative feature, (source: Reinders+Law, 2023)

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The following text will be displayed on the Onward Memory Wall as per Figure 33 of this report. The proposed dates and text of the Onward timeline and commemorative feature tell the story of the Onward Manufacturing Company started by Theodore Witzel over time from 1904 to the early 20th century. The proposed text noted in Figure 33 (above) is as follows:

*1904-1909: The Rite-Away Pen Company, which manufactured fountain pens, is founded by Theodore Adam Witzel. At this time the company is located at 143 King Street West, Berlin (now the City of Kitchener). The company became the **"Onward Manufacturing Company" in 1908** and soon after the company obtained **exclusive rights to manufacture and sell the "Eureka" brand vacuum cleaner.***

1914-1916: Between 1914 and 1916, the building formerly located at 1027 King Street was constructed and became the new location of the Onward Manufacturing Company.

1924-1945: Prior to WWII, the company expanded to manufacture Onward brand sliding furniture shoes, Eureka vacuum cleaners, Domestic vacuum cleaners, and Eden electric washing machines and wringing machines. During the Second World War, the company shifted production from housewares to manufacture arms and ammunition.

1946-1960: Following WWII, the company expanded again to manufacture Onward brand quality cabinet hardware as well as barbeques, now known as Broil King and Stirling. Theodore Adam Witzel died in 1948. The company expanded to include other home appliances, including refrigerators by 1960.

1964: A fire occurred in the building 1027 King Street East. Evidence of the fire was still present via charred roof rafters at the interior of the building prior to its demolition.

1980 - 2000: In 1980 a second location was constructed on Victoria Street in Kitchener which sold Barbecues, appliances, and fireplaces. In the late 20th century, the company became known as OMC (Onward Multi-Corp Inc.). During this time, the company became associated with other barbecue brand names such as Arklamatic, Weber, BroilKing, Broil-mate, Barbecue Genius, Shepherd, and Sterling. By the early 21st century the company expanded to include other businesses under Onward Multi-Corp Inc. umbrella, including Onward Cluthé, and TA.

The information above was confirmed using both primary and secondary sources and provides an accurate and informative description of the important events of the company/property over time. The timelines were grouped into date ranges in order to a) fit the story into the design at the north elevation in a way which is aesthetically pleasing, b) focus on dates which could be confirmed in the historic record and are significant/impactful to the evolution of the company over time.

5.0 Conclusions

Provided that the recommendations provided in this report are undertaken, we consider the documentation, salvage, and commemoration/interpretation recommendations provided in the HIA completed by MHBC (dated 2021) complete. Note that we are able to make recommendations regarding salvage of elements. However, our recommendations are contingent upon a) the condition of the materials, and b) the feasibility of their extraction. Should any materials not be able to be salvaged which are part of the planned commemoration piece, it is recommended that the commemorative display include additional images and text in order to communicate the features of the building that have been removed.

Respectfully submitted,

MHBC



Vanessa Hicks, MA, CAHP

cc. Dan Currie, MHBC

cc. Pierre Chauvin, MHBC

Appendix A

Commemorative Display Rendering

EUREKA

MEMORY STAND

Repurpose Existing Historical Building Elements for Proposed Lobby:

Current silver column



Historical review

Doors/Windows as standalone decor/art Pieces



Original "Eureka" tile incorporated into lobby floor



Appendix B

Exterior Commemoration Renderings



1904 - 1909
1914 - 1916
1924 - 1925
1946 - 1960
1964
1980 - 2000

ONWARD

1001



1904 - 1909
1914 - 1916
1924 - 1945
1946 - 1960
1964
1980-2000

ONWARD

1001

0 1 2 3 4 5 6 7 8 9 100

J

I

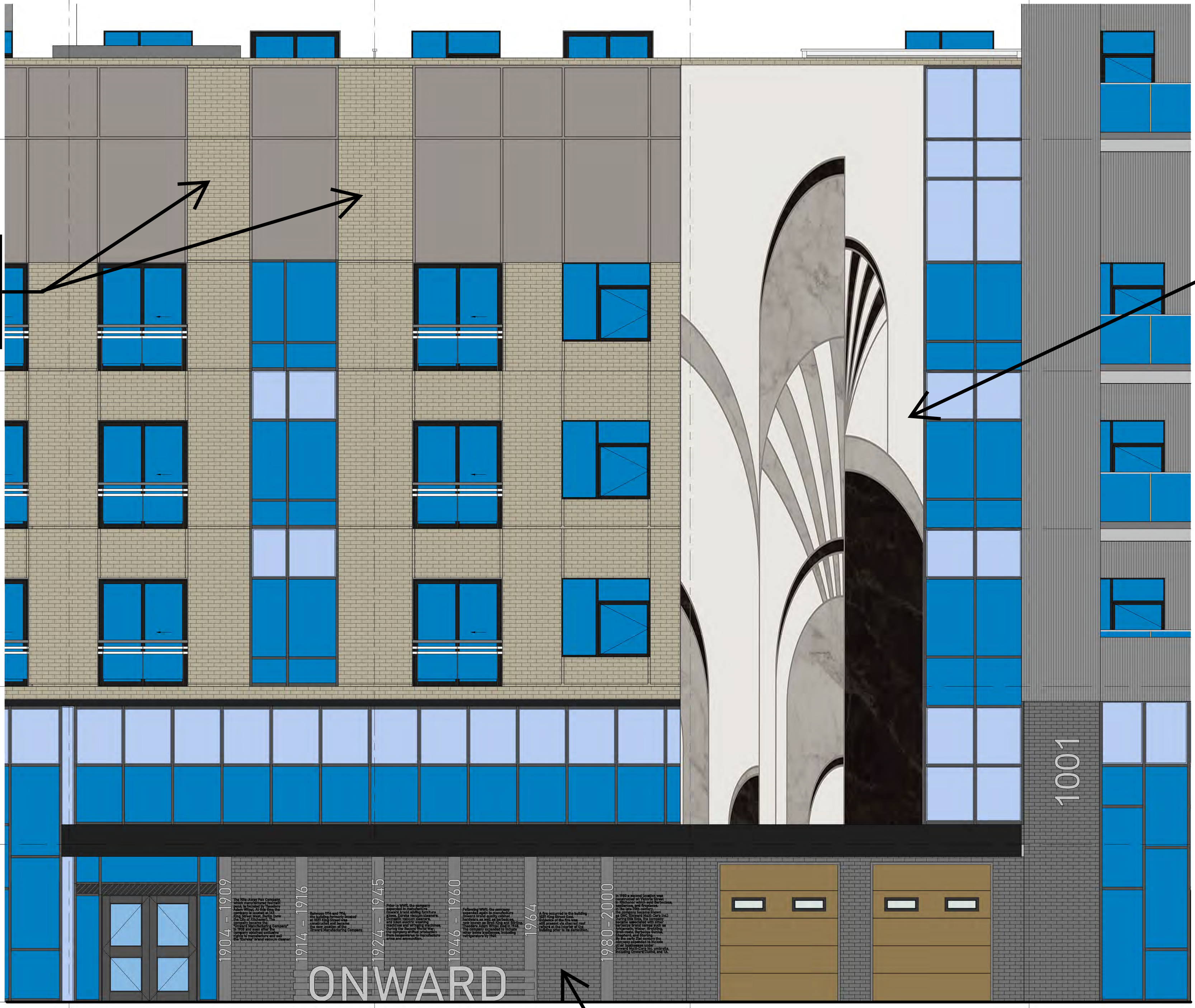
H

G

Paired Column
Inspired by the paired column detailing of the existing tower element, this design detail has been incorporated across the King St Facade.

Art Deco Mural
Mural Located at "Terminus View" of Onward Avenue commemorating the "art deco" heritage of the existing structure/tower element

Mural Artwork for Illustrative Purposes
Final Design to be completed by Local Artist



1 ENLARGED NORTH ELEVATION
1 : 50

Exterior Commemorative Wall
Commemorative details outlining the historical/associative values of the building and uses of this site

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designed : KR
reviewed : KR
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SHEET SIZE: A1 600.0mm x 914.4mm

Appendix C

Terms of Reference

Photographic Documentation / Recording Guidelines

The organization of views are from views of the overall building to the closer views of architectural elements and details moving in a counterclockwise fashion. Each side of the property is photographed from the overall view, such as elevation, to detailed views in the zoom lens manner of looking at a property. When framing the building in the viewfinder, ensure that the entire building is visible including the point where the building meets the ground and the peak of the roof or chimney. As the subject of the photograph, the building should occupy about 75 percent of the picture area, leaving the surrounding 25 percent of the frame for visual information about the context of the building.

Architectural photographs are of two general types: perspective photographs and elevation photographs. A perspective photograph is one that shows two sides of a structure taken at a 45-degree angle thereby documenting its characteristics as a three-dimensional form including size and volume. (In a perspective photograph, the structure should fill about 75 percent of the frame, thereby including some environmental context.)

An elevation photograph approximates an elevation architectural drawing and is a photograph of one side of a structure taken head on. An elevation is a drawing to scale of the side, front, or rear of a building in which projecting features such as window and door moldings, window sills, steps, and eaves are all rendered as if they were totally flat. The emphasis on one side of a building as two-dimensional surface makes an elevation photograph more axiomatically correct. This means that distances on the photograph are proportional to distances on the building, and approximate measurements can be taken from the photograph. (In elevation photographs, the structure should fill the frame, isolating it from its surroundings.)

Elevation photographs provide the best documentation of shape and proportion of a building while perspective photographs best depict the three-dimensional form of a structure.



Perspective



Elevation

There are three types of light for exteriors; front light, sidelight, and backlight. The best lighting is front light when the sun is approximately 45 degrees between the axis of the lens and the most important façade being photographed. (See Figure 4) Acutely angled raking light is “side-light” which is excellent for revealing texture and detailed three-dimensional form. Of these, you should avoid BACK LIGHT where the sun is coming from the rear putting the side being photographed in shadow. When an important feature is in the shade or a façade is backlit, you can be partially correct this by filling the frame with the feature being photographed to reduce the contrast in the scene.

In situations of direct sunlight on a cloudless day, you should be aware of shadows cast on buildings by surrounding trees and try to pick times of the day when the angle of the sun minimizes these shadows. Also, the time from late morning to early afternoon, when the sun is directly overhead, can cause “eaves” or “cornice” shadows that will cover half of a wall. In other words, when the sun is directly overhead, the projection of the roof over the walls can create a shadow far down the wall. The best lighting for survey photography is a bright overcast day.

Required Photographs

Context

Contextual image showing property in relation to neighbouring properties and/or streetscape

Perspective

Perspective view of front and right side

Perspective view of rear and left side

Front side

Elevation of front façade

Elevation or perspective of front entrance

Perspective or elevation views of architectural elements such as porches or windows

Details of materials, hardware and/or decoration

Right side

Elevation of front façade

Perspective or elevation views of architectural elements such as porches or windows

Details of materials, hardware and/or decoration

Rear

Elevation of rear

Perspective or elevation views of architectural elements such as porches or windows

Details of materials, hardware and/or decoration

Left side

Elevation of left side

Perspective or elevation views of architectural elements such as porches or windows

Details of materials, hardware, and/or decoration

The following interior photographs should be taken (assuming it is deemed safe to enter the building):

A view from the main entrance looking to the interior of the building.

Views of major spaces/rooms including important features such fireplace or mantle (for large spaces such as sanctuaries, factories or barns take diagonal views from opposite corners)

Other significant rooms or features as considered relevant to documenting the structure.

Deliverables

It is essential to organize your documentation and maintain a list of captions of all your digital images. We would request that you provide a photo index, numbering and identifying each image in the sequence in which they were taken. All images should be saved as jpegs and burned to CD.

**City of Kitchener
Development Services Department - Planning Division
Salvage and Documentation Plan - Terms of Reference**

1. Introduction

The following Terms of Reference shall be used to fulfill the condition regarding the completion and approval of a Salvage and Documentation Plan as required for consideration of an application made under the Ontario Heritage Act or the Planning Act. The purpose of this plan is twofold: the first intent is to record and document the known history, buildings, and structures identified as having cultural heritage value or interest on the subject property. The second intent is to identify historic materials that may be salvaged, reused, and/or interpreted in the proposed new development.

2. Salvage and Documentation Plan Requirements

The Salvage and Documentation Plan should include, but are not limited to, the following sections described within this Terms of Reference.

2.1. Documentation of the Subject Property

2.1.1. Context and Property Description

- A brief description of the approvals being sought, including an overview of the proposed development.
- Detailed written description of the buildings and structures on the subject property, including identification of all cultural heritage resource(s) and a brief statement of their cultural heritage value or interest as well as a complete list identifying all heritage attributes and their existing condition.

2.1.2. Documentation

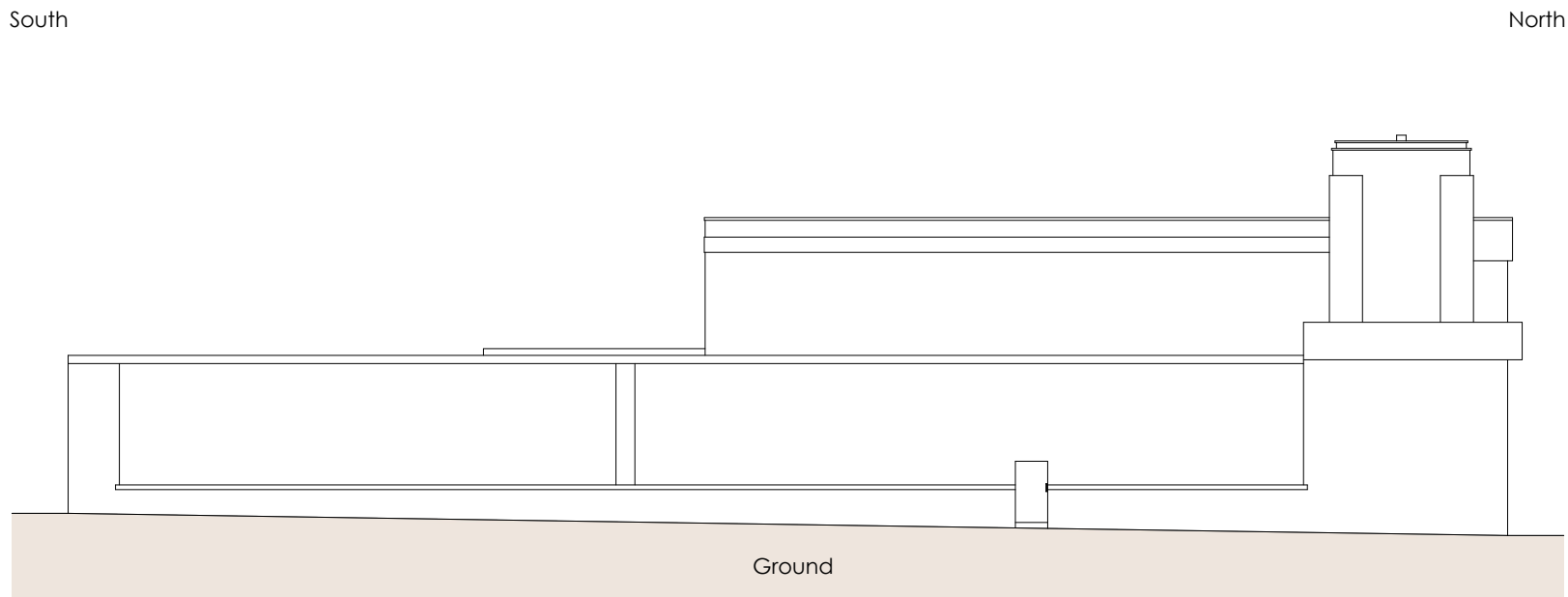
- Photographic documentation of surroundings/context, all elevations/façades, all heritage attributes, and any other detailed elements/features.
 - Required photographs:
 - Context – contextual image showing property in relation to neighbouring properties and/or streetscape
 - Perspective – perspective view of front and right side; perspective view of rear and left side
 - Front side – elevation of front façade; elevation or perspective of front entrance; perspective or elevation views of architectural elements such as porches or windows; details of materials, hardware, and/or decoration.
 - Right side – elevation of right façade; perspective or elevation views of architectural elements such as porches or windows; details of materials, hardware and/or decoration.
 - Rear – elevation of rear façade; perspective or elevation views of architectural elements such as porches or windows; details of materials, hardware, and/or decoration.
 - Left side – elevation of left side; perspective or elevation views of architectural elements such as porches or windows; details of materials, hardware, and/or decoration.

Appendix D

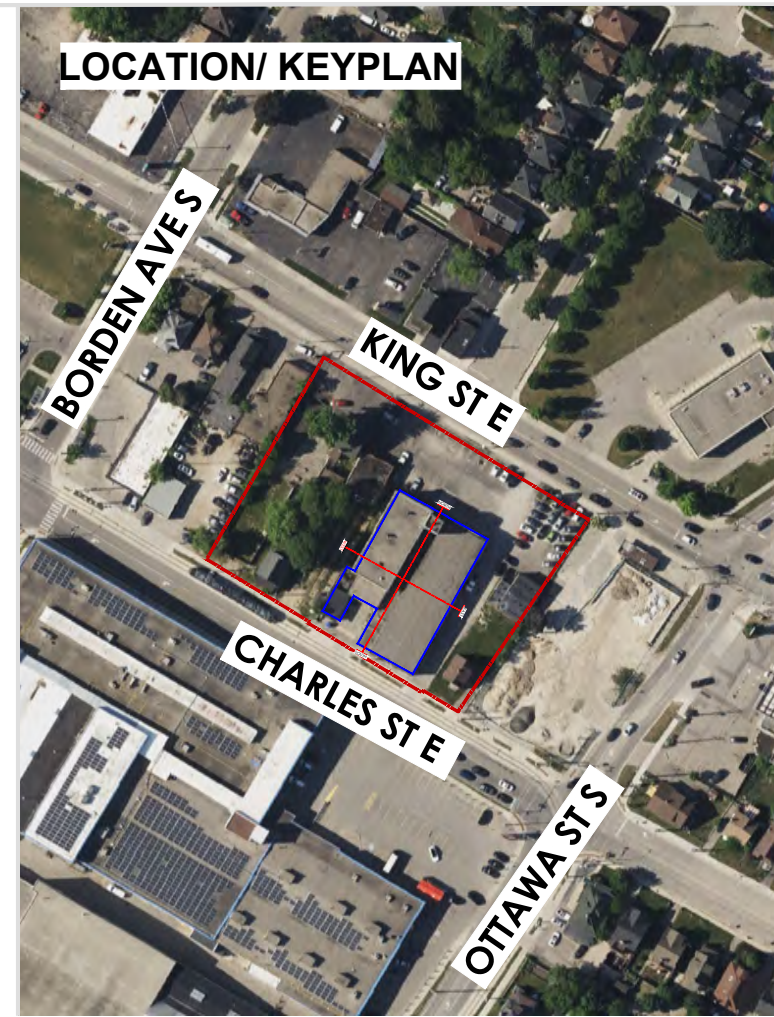
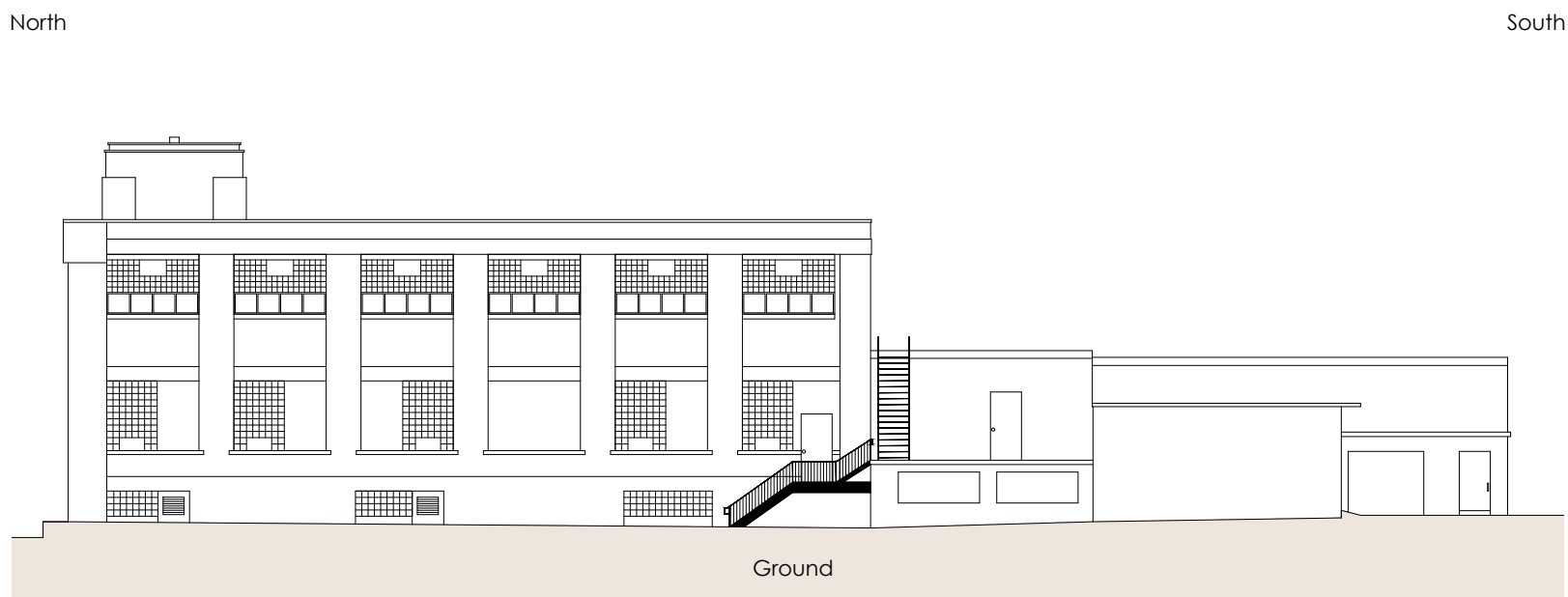
Measured Architectural Drawings

BUILDING ELEVATIONS

East Elevation
South



West Elevation
North



Building Elevations East and West

1027 King Street East
City of Kitchener

 Subject Lands

Notes:

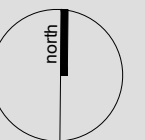
- Elevations are approximate/ for information purposes only.
- Based on site visit October 19, 2023

Date: October 27, 2023

Scale: Not to Scale

File: 15213I

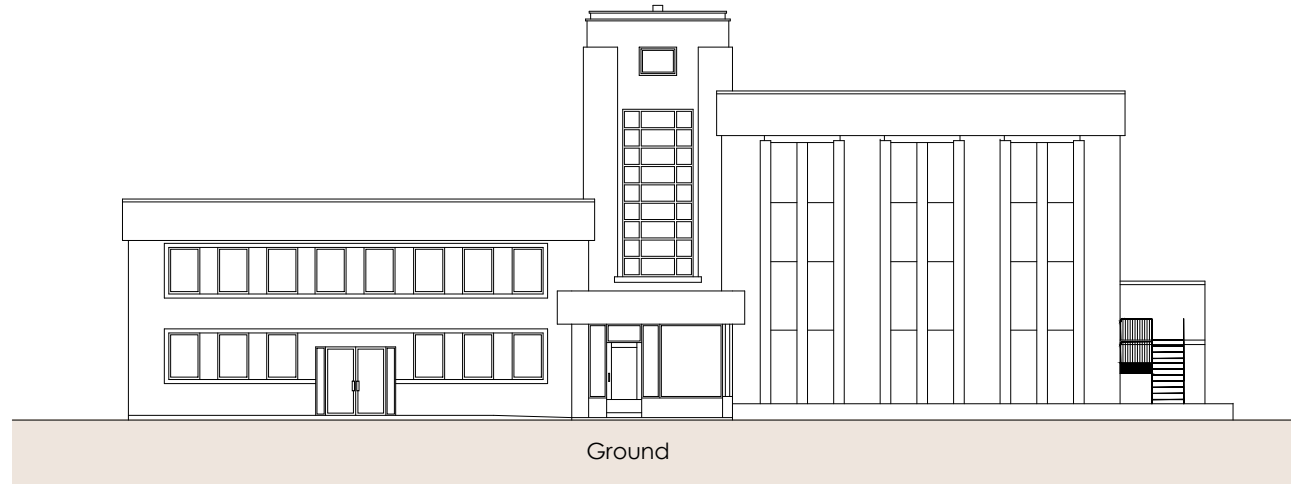
Drawn: CF



K:15213I - 1001-1051 KING (KOC)RPT/ELEVATIONS_27OCT2023.DWG

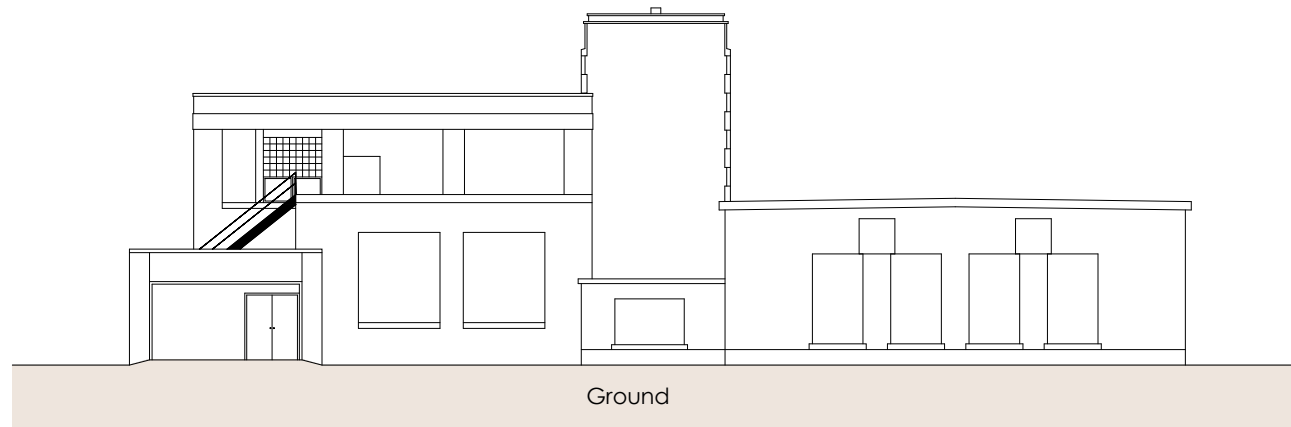
BUILDING ELEVATIONS

North Elevation
East



West

South Elevation
West



East



Building Elevations North and South

1027 King Street East
City of Kitchener

 Subject Lands

Notes:

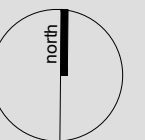
- Elevations are approximate/ for information purposes only.
- Based on site visit October 19, 2023

Date: October 27, 2023

Scale: Not to Scale

File: 15213I

Drawn: CF



K:15213I - 1001-1051 KING (KOC)RPT/ELEVATIONS_27OCT2023.DWG

Appendix E

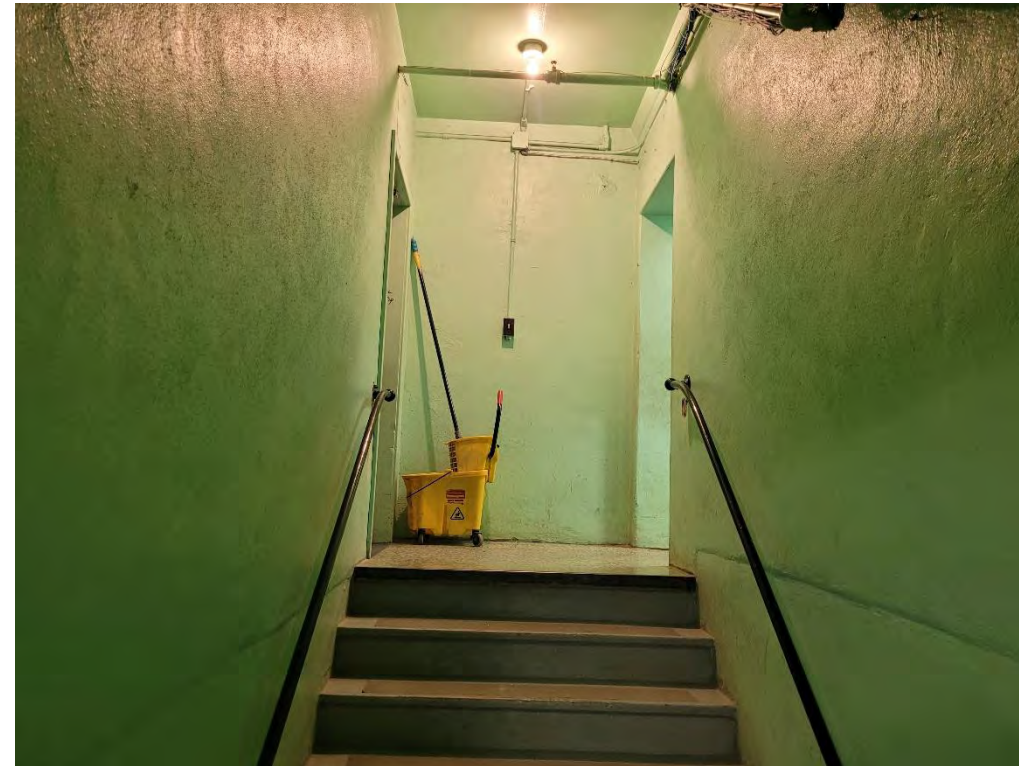
Photo Map and Photo Documentation

Appendix D

Section A – Basement



Figure 1: Aerial photo of Section "A", first floor, noting location of photos taken (Source: MHBC, 2023).



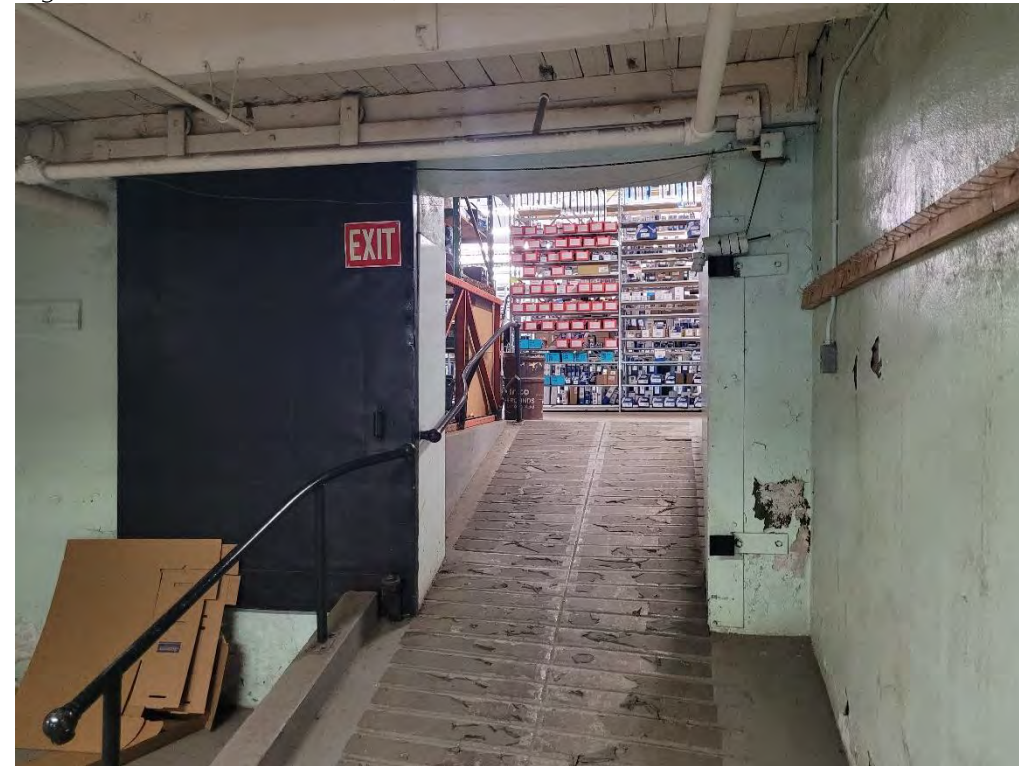
Photos 1 & 2: (left) View of basement looking west (right) View of stairs and basement access, looking east, (Source: MHBC, 2023)



Photos 3 & 4: (left) View of staff room and lockers, looking north, (right) View of storage area with racks, looking south from staff room, (Source: MHBC, 2023)



Photos 5 & 6: (left) View of entrance to staff room, looking east, (right) View of office #6, looking north-west (Source: MHBC, 2023)



Photos 7 & 8: (left) View of storage area, looking north towards washroom, (right) View of ramp to main floor, Section "C", (Source: MHBC, 2023)



Photos 9 & 10: (left) View of secondary storage area and water heater, (right) View of entrance to utility rooms, looking west (Source: MHBC, 2023)



Photos 11 & 12: (left) View of utility room, looking south, (right) View of utility room, looking north, (Source: MHBC, 2023)



Photo 13: (left) View of utility room, looking south-west, (Source: MHBC, 2023)

Appendix D

Section A – First Floor



Figure 1: Aerial photo of Section "A", first floor, noting location of photos taken (Source: MHBC, 2023).



Photos 1 & 2: (left) View of Section "B" looking east from first floor of Section "A", (right) View of open space looking south towards the rear of the building, (Source: MHBC, 2023)



Photos 3 & 4: (left) View of office at the north-west corner of the building adjacent to the entrance from Section "B", (right) View of safe, looking south-west near entrance to the main floor, (Source: MHBC, 2023)



Photos 5 & 6: (left) View of office #1, looking north-east, (right) View of office #1, looking south-east (Source: MHBC, 2023)



Photos 7 & 8: (left) View of Office #2, looking south-west, (right) View of office #2, looking north towards office #1, (Source: MHBC, 2023)



Photos 9 & 10: (left) View of closet adjacent to hallway, (right) View of hallway, looking south adjacent to office #3 (Source: MHBC, 2023)



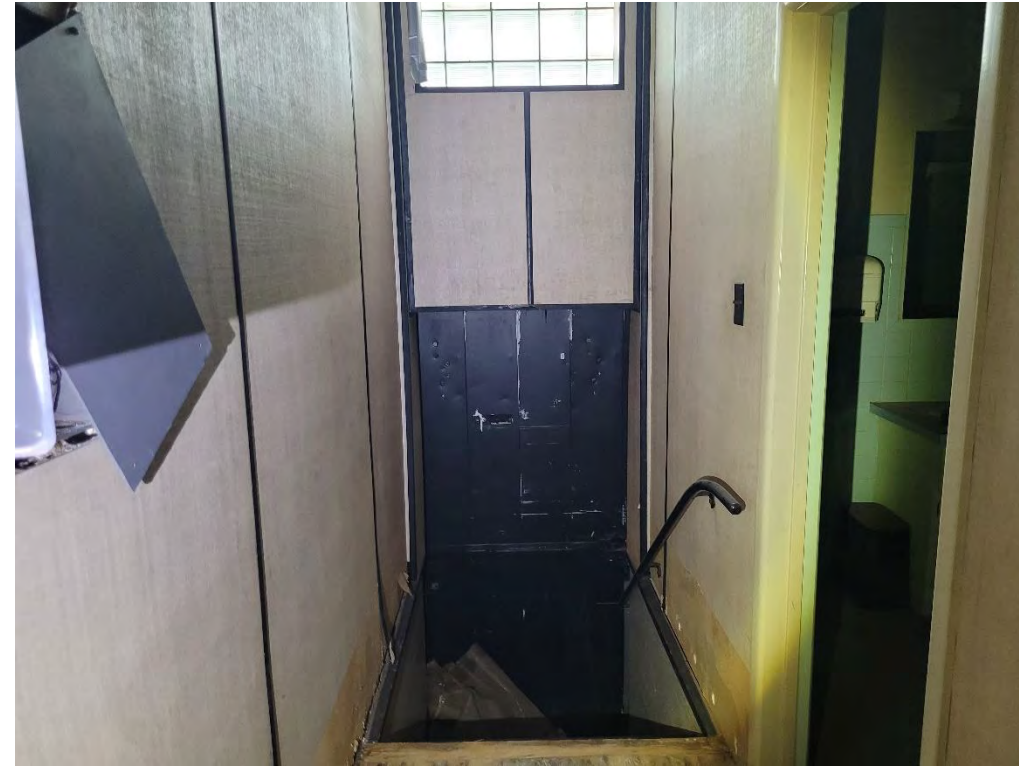
Photos 11 & 12: (left) View of office #3, looking south, (right) View of office #3, looking north-west, (Source: MHBC, 2023)



Photos 13 & 14: (left) View of hallway, looking south towards exit, (right) View of hallway, looking north towards Office #1, (Source: MHBC, 2023)



Photos 15 & 16: (left) View of office #4, looking south-west , (right) View of office #4, looking north-east, (Source: MHBC, 2023)



Photos 17 & 18: (left) View of close-off stairs to second storey, looking north, (right) View of exit, looking east, (Source: MHBC, 2023)



Photos 19 & 20: (left) View of mens washroom, looking south, (right) View of womens washroom, looking south, (Source: MHBC, 2023)



Photo 21: (left) View of open area, looking north, (Source: MHBC, 2023)

Appendix D

Section A – Second Floor



Figure 1: Aerial photo of Section "A", first floor, noting location of photos taken (Source: MHBC, 2023).



Photos 1 & 2: (left) View of washroom looking north, (right) View of entrance to washroom, looking south (Source: MHBC, 2023)



Photos 3 & 4: (left) View of open area, looking east towards windows, (right) View of office entrances, looking west, (Source: MHBC, 2023)



Photos 5 & 6: (left) View of office #5, looking north-west, (right) View of office #6, looking north-west(Source: MHBC, 2023)



Photos 7 & 8: (left) View of entrance to office #6, looking south-east, (right) View of office #7, looking south-west, (Source: MHBC, 2023)



Photos 9 & 10: (left) View of entrance to office #7, looking north-east (right) View of hallway and open space, looking south (Source: MHBC, 2023)



Photos 11 & 12: (left) View of office #8, looking north-east towards entrance, (right) View of office #8, looking north-west, (Source: MHBC, 2023)



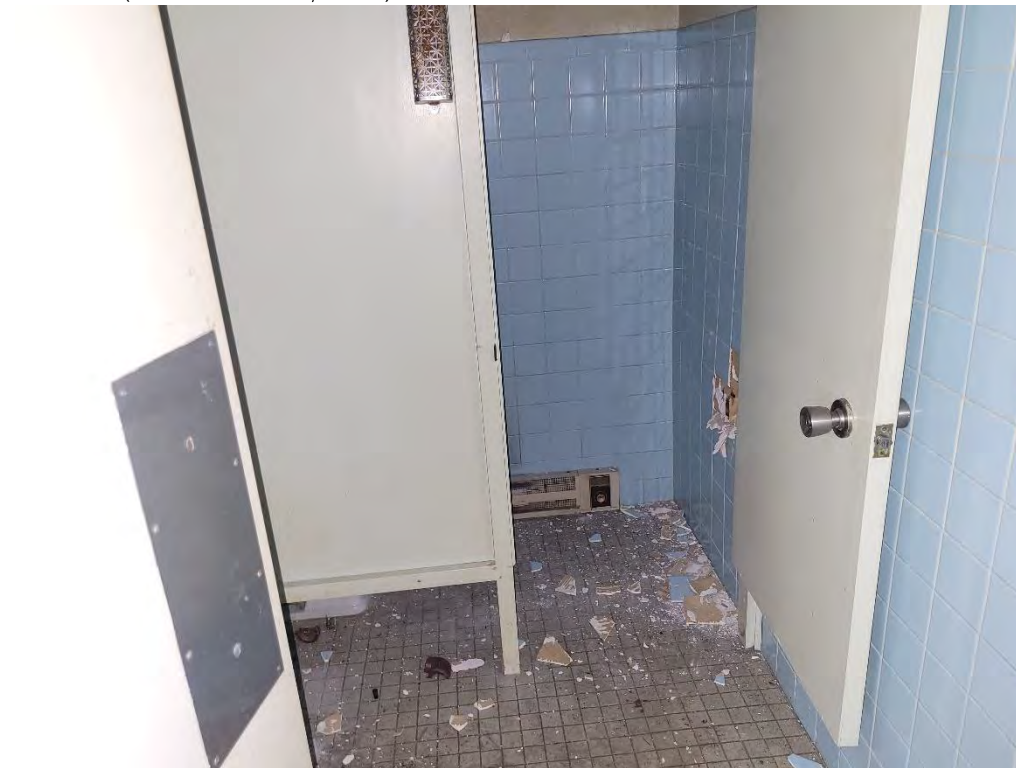
Photos 13 & 14: (left) View of office #9 and partitioned walls, (right) View of office #9, windows and partitioned walls, (Source: MHBC, 2023)



Photos 15 & 16: (left) View of kitchen area, looking south-west, (right) View of kitchen area, looking east, (Source: MHBC, 2023)



Photos 17 & 18: (left) View of open area, looking north, (right) View of open area, looking south-east (Source: MHBC, 2023)



Photos 19 & 20: (left) View of two men's washroom, looking south, (right) View of men's washroom, looking south, (Source: MHBC, 2023)

Appendix D

Section B – Photo Descriptions



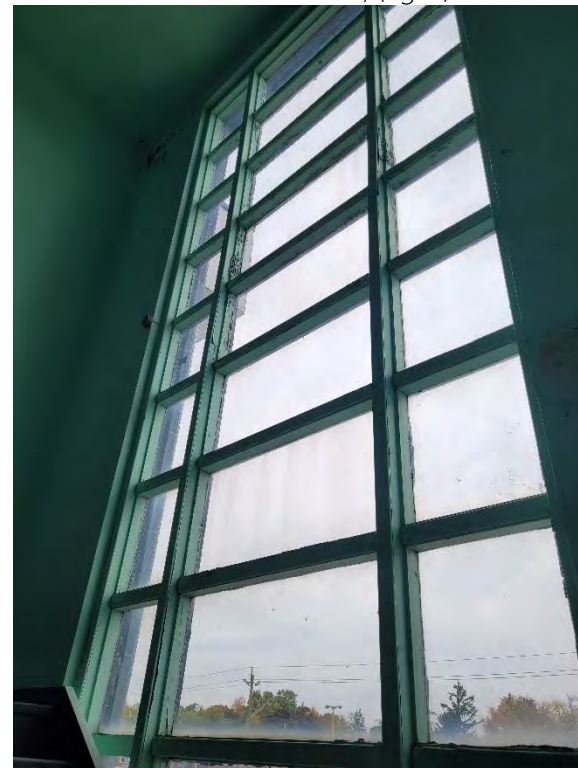
Photos 1 & 2: (left) View of lobby area, ground floor Section "B", looking north, (right) Detail of "EUREKA" terrazzo floor tile, ground floor, (Source: MHBC, 2023)



Photos 3 & 4: (left) View of landing and stairs providing access to main floor of Section "C", looking west, (right) View of stairs providing access to Section "C", looking west, (Source: MHBC, 2023)



Photos 5 & 6: (left) View of stairs from access to main floor of Section "C", (right) View of windows, looking north from Section "B" stairwell,(Source: MHBC, 2023)



Photos 7 & 8: (left) Detail view of windows within Section B", looking north, (right) View of roof access, top of Section "B" staircase, (Source: MHBC, 2023)



Photos 9 & 10: (left) View of roof access, looking east from access to second level within Section "C", (right) Detail view of hollow terra cotta bricks within Section "B", (Source: MHBC, 2023)

Appendix D

Section C – Ground Floor

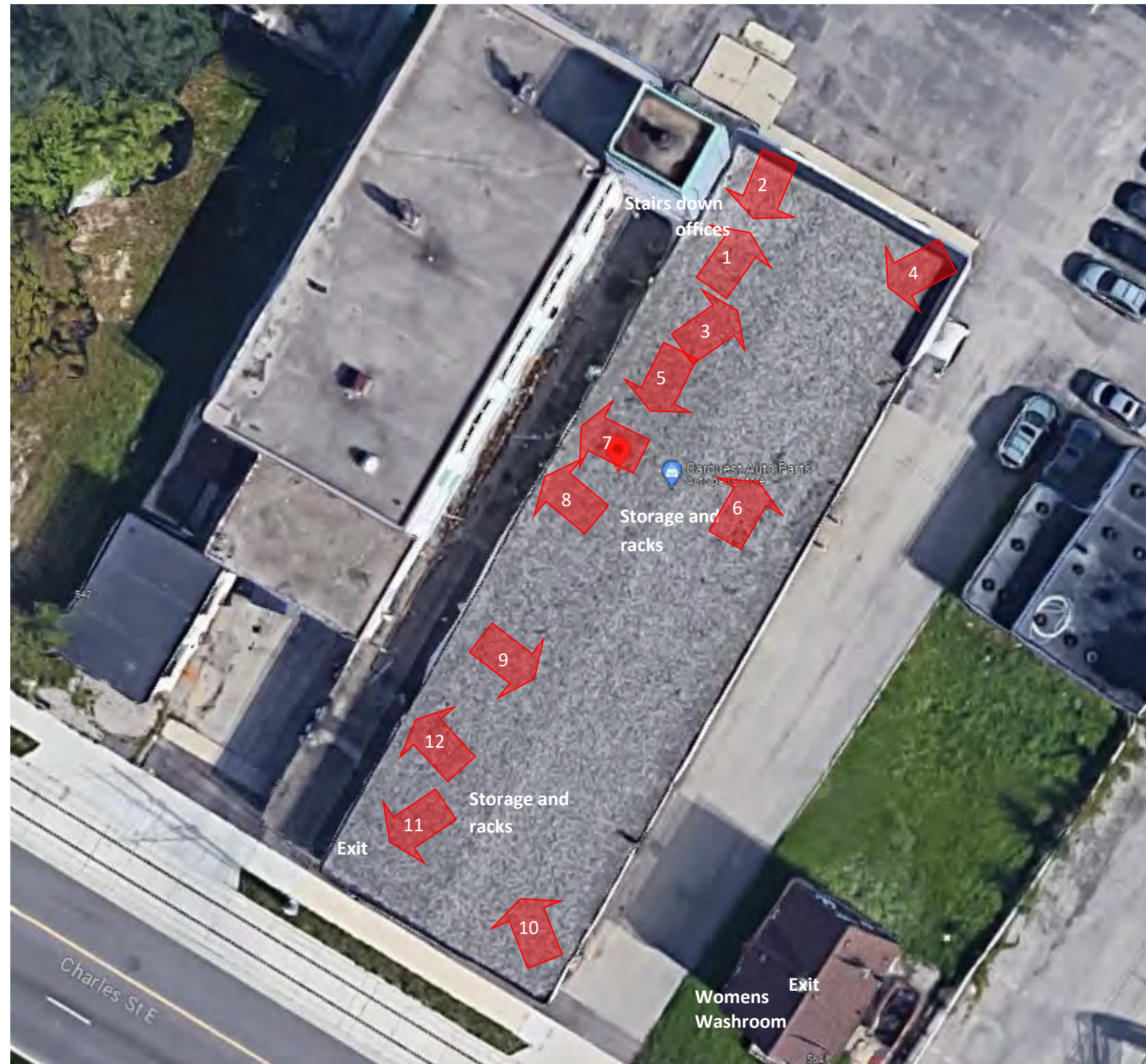


Figure 1: Aerial photo of Section "A", first floor, noting location of photos taken (Source: MHBC, 2023).



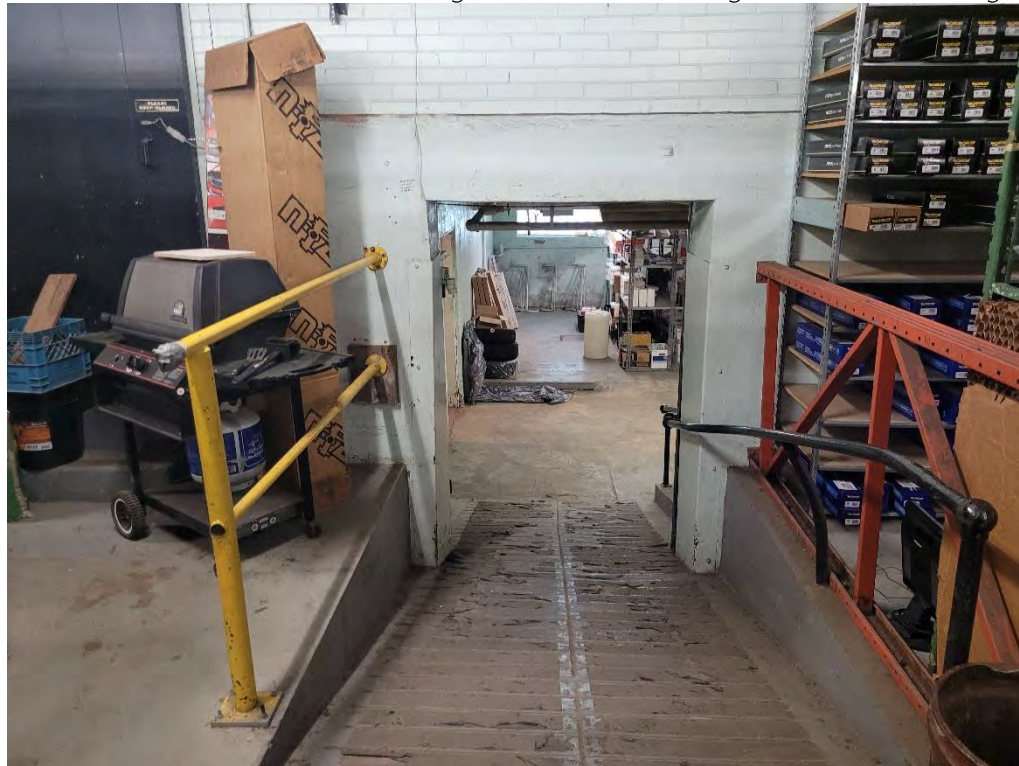
Photos 1 & 2: (left) View of hallway looking north towards Section "B", adjacent to offices, (right) View of Section "C" looking south towards storage area and racks, (Source: MHBC, 2023)



Photos 3 & 4: (left) View of store front, looking north-east, (right) View of store front, looking south-west, (Source: MHBC, 2023)



Photos 5 & 6: (left) View of store front looking south towards storage area and racks, (right) View of Section "C" storage area, looking north towards store front, (Source: MHBC, 2023)



Photos 7 & 8: (left) View of ramp to basement under Section "A", looking west, (right) View of loading bay and fire door, looking west towards Section "A", (Source: MHBC, 2023)



Photos 9 & 10: (left) View of storage area, looking east, (right) View of storage area, looking north-west, (Source: MHBC, 2023)



Photos 11 & 12: (left) View of exit, looking south-west, (right) View of loading bay/fire door, looking north-west (Source: MHBC, 2023)

Appendix F

Staff Bios.

Dan Currie, B.A., B.E.S, M.A., M.C.I.P, R.P.P, C.A.H.P

Dan Currie, a Partner with MHBC, joined MHBC Planning in 2009, after having worked in various positions in the public sector since 1997 including the Director of Policy Planning for the City of Cambridge and Senior Policy Planner for the City of Waterloo.

Dan provides a variety of planning services for public and private sector clients including a wide range of policy and development work. Dan has experience in a number of areas including strategic planning, growth plan policy, secondary plans, watershed plans, housing studies and downtown revitalization plans. Dan specializes in long range planning and has experience in growth plans, settlement area expansions and urban growth studies. He has provided expert planning evidence to the Local Planning Appeals Tribunal and heritage planning evidence to the Conservation Review Board.

Vanessa Hicks, M.A, C.A.H.P

Vanessa Hicks is an Associate and Senior Heritage Planner with MHBC. Vanessa and joined the firm after having gained experience as a Manager of Heritage Planning in the public realm where she was responsible for working with Heritage Advisory Committees in managing heritage resources, Heritage Conservation Districts, designations, special events and heritage projects. Vanessa is a full member of the Canadian Association of Heritage Professionals (CAHP) and graduated from the University of Waterloo with a Masters Degree in Planning, specializing in heritage planning and conservation.

Appendix G

Supplementary Digital Photos (USB)



MHBC
PLANNING
URBAN DESIGN
& LANDSCAPE
ARCHITECTURE