



Administration Centre: 400 Clyde Road, P.O. Box 729 Cambridge, ON N1R 5W6

Phone: 519-621-2761 Toll free: 1-866-900-4722 Fax: 519-621-4844 www.grandriver.ca

August 1, 2024

Committee of Adjustment
City of Kitchener
200 King Street West
Kitchener ON N2G 4V6
CofA@kitchener.ca

Re: Minor Variance Application A2024-059
15 Strange Street, Kitchener
1000213586 Ontario Inc.

The GRCA has no concerns with the above-noted application. Please refer to the GRCA comments attached for Site Plan Application SP24/048/S/AA for details.

We received review fees as part of the site plan application, and no further fees are required. A separate fee will be required for a GRCA permit.

We trust this information is of assistance. If you have any questions or require additional information, please contact me at 519-621-2761 ext. 2292 or theywood@grandriver.ca.

Sincerely,

A handwritten signature in black ink, appearing to read "Trevor Heywood".

Trevor Heywood
Resource Planner
Grand River Conservation Authority

Encl. GRCA Comments dated June 11, 2024



June 11, 2024

Arwa Alzoor
Planner
City of Kitchener
200 King Street West
Kitchener ON N2G 4V6
arwa.alzoor@kitchener.ca

**Re: Site Plan Application SP24/048/S/AA
15 Strange Street, Kitchener
1000213586 Ontario Inc.**

Dear Ms. Alzoor,

Grand River Conservation Authority (GRCA) staff have reviewed the above-noted application to add three additional dwelling units into an existing nine-unit building.

Recommendation

The GRCA has no concerns with the application. A GRCA permit is required prior to construction.

Documents Reviewed by Staff

Staff have reviewed the floor plans (NEO Architecture, revised May 16, 2024) and topographic survey (Guenther Rueb Surveying, dated February 20, 2024) submitted with this application. This follows our review of the previous site plan application (SP23/079/S/AA), which was withdrawn by the applicant.

GRCA Comments

The GRCA has reviewed this application under Ontario Regulation 686/21, acting on behalf of the Province regarding natural hazards identified in Section 3.1 of the Provincial Policy Statement (PPS, 2020), as a public body under the Planning Act, as

well as in accordance with Ontario Regulation 41/24 and GRCA's Board approved policies.

Information currently available at our office indicates that the subject lands contain the Westmount Creek floodplain. This reach of the floodplain is a two-zone policy area, and the property is entirely within the flood fringe. Residential development is permitted in the flood fringe subject to City and GRCA two-zone floodplain policies. The RFE for the property is 327.66 metres (CGVD 28) / 327.25 metres (CGVD 2013).

The application demonstrates that the renovated floors are not affected by floodwaters, the additional dwelling units are above the RFE, and that safe access is available in the existing parking lot. As such, the GRCA has no concerns with the application. A GRCA permit is required prior to construction.

Advisory Comment

On April 1, 2024, the Prohibited Activities, Exemptions and Permits Regulation under Conservation Authorities Act (Ontario Regulation 41/24) came into effect. GRCA's policies were also revised to conform with the new regulation, and were approved by the GRCA Board on May 24, 2024. While these changes increased GRCA's regulated allowance around the floodplain from 5 to 15 metres, it did not change the applicable City and GRCA floodplain requirements.

We received review fees as part of the previous site plan application, and no further fees are required. A separate fee will be required for a GRCA permit.

We trust this information is of assistance. If you have any questions or require additional information, please contact me at 519-621-2761 ext. 2292 or theywood@grandriver.ca.

Sincerely,



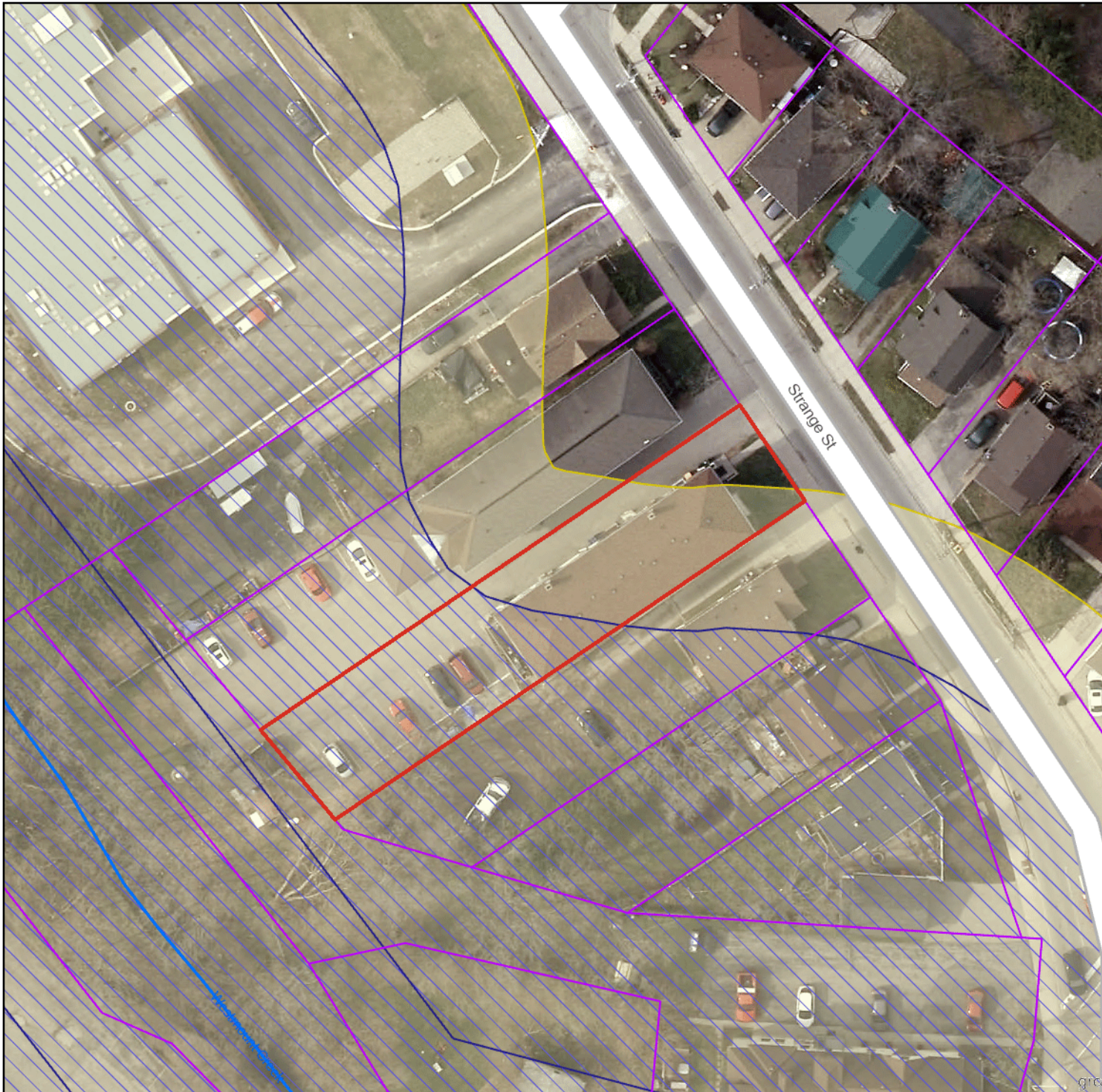
Trevor Heywood
Resource Planner
Grand River Conservation Authority

Encl. Resource Mapping




















cc: Richard D'Alessandro, NEO Architecture



15 Strange St, Kitchener



Legend

-  Regulation Limit (GRCA)
- Floodplain (GRCA)**
 -  Engineered
 -  Estimated
 -  Approximate
-  Floodplain - Special Policy Area (GRCA)
- Slope Erosion (GRCA)**
 -  Steep
 -  Oversteep
 -  Toe
- Slope Valley (GRCA)**
 -  Steep
 -  Oversteep
-  Regulated Watercourse (GRCA)
-  Regulated Waterbody (GRCA)
-  Wetland (GRCA)
-  Lake Erie Flood (GRCA)
-  Lake Erie Shoreline Reach (GRCA)
-  Lake Erie Dynamic Beach (GRCA)
-  Lake Erie Erosion (GRCA)
-  Parcel - Assessment (MPAC/MNRF)
-  Conservation Area Boundary (GRCA)

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Disclaimer: This map is for illustrative purposes only. Information contained herein is not a substitute for professional review or a site survey and is subject to change without notice. The Grand River Conservation Authority takes no responsibility for, nor guarantees, the accuracy of the information contained on this map. Any interpretations or conclusions drawn from this map are the sole responsibility of the user. The source for each data layer is shown in parentheses in the map legend. See [Sources and Citations](#) for details.

