

# Staff Report



Development Services Department

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**REPORT TO:** Heritage Kitchener

**DATE OF MEETING:** September 3, 2024

**SUBMITTED BY:** Garett Stevenson, Director of Development and Housing Approvals,  
519-741-2200 ext. 7070

**PREPARED BY:** Deeksha Choudhry, Heritage Planner, 519-741-2200 ext. 7602

**WARD(S) INVOLVED:** Ward 9

**DATE OF REPORT:** August 12, 2024

**REPORT NO.:** DSD-2024-360

**SUBJECT:** Heritage Permit Application HPA-2024-IV-017  
307 Queen Street South  
Foundation Repairs

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## RECOMMENDATION:

That pursuant to Section 33 of the *Ontario Heritage Act*, Heritage Permit Application HPA-2024-IV-017 be approved to permit the foundation repairs on the property municipally addressed as 307 Queen Street South in accordance with the supplementary information submitted with this application.

## REPORT HIGHLIGHTS:

- The purpose of this report is to present staff's recommendation for foundation repairs at the subject property municipally addressed as 307 Queen Street South.
- The key finding of this report is the proposed foundation repairs are necessary as the current cement mortar is not appropriate for the long-term conservation of the building. The proposed work will use pure hydraulic lime mortar to repair the foundation wall, matching the historic mortar in colour, texture, and tooling
- There are no financial implications associated with this report.
- Community engagement included consultation with the Heritage Kitchener committee.
- This report supports the delivery of core services.

## BACKGROUND:

The Development Services Department is in receipt of Heritage Permit Application HPA-2024-IV-017 seeking permission to repair the foundation walls at the subject property municipally addressed as 307 Queen Street South (Fig 1) (Attachment A).

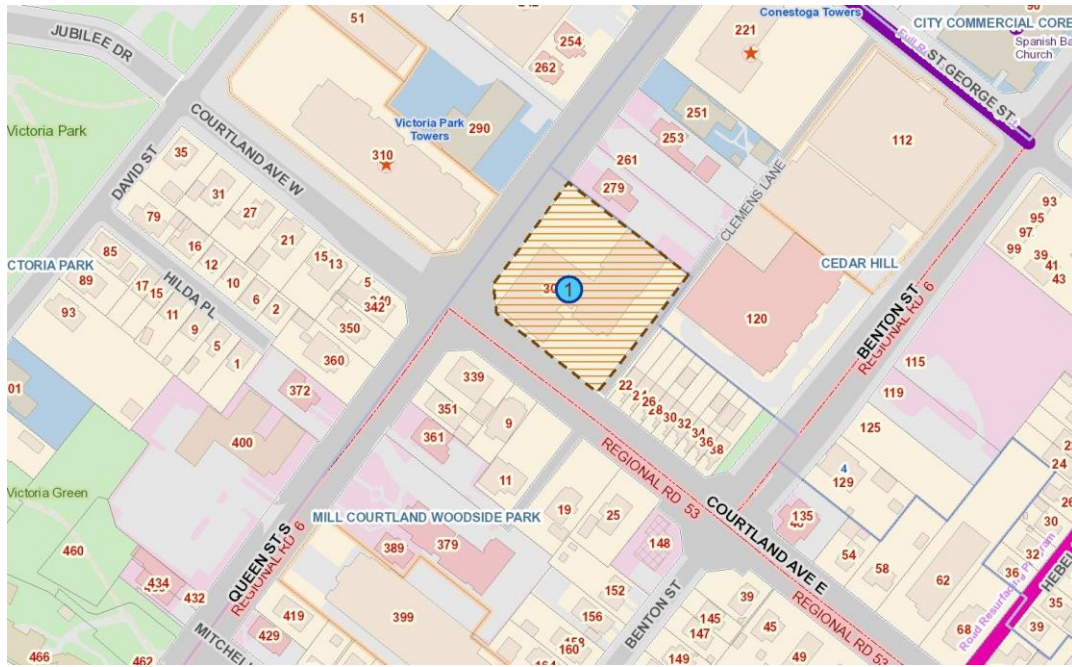


Figure 1. Location Map of 307 Queen Street South.

This permit has been brought before the Heritage Kitchener Committee as the subject property is designated under Part IV of the Ontario Heritage Act through Designating By-law 1988-78. In accordance with By-law 2009-089, delegating Council's approval for certain classes of alterations to Staff, delegated approval authority is permitted for Part IV designated properties after consultation with the Heritage Kitchener Committee.

## REPORT:

The subject property is located on the south side of Queen Street South between Courtland Avenue East and St. George Street. Home to the Bread and Roses Cooperative Homes, the subject property contains one of the oldest industrial buildings in Kitchener and is a complex of three buildings having separate construction dates.



**Figure 2. Front (west) façade of 1879 building of the complex.**

The original gable roofed building at the corner of Queen Street and Courtland Avenue East was constructed in 1879 by Emil Vogelsang, known as the father of the Berlin button industry (Fig. 2). This was his fourth and last button factory. The building was then taken over Williams, Greene and Rome, who were shirt manufacturers, and they built an addition c. 1893. During the first World War, the structure was used as a military barracks and was subsequently sold to the Rumpel Felt Company in 1919.

The designation encompasses all elevations and rooflines of the 1879 and 1893 buildings. It also includes the Queen Street façade of the c. 1919 building. The designation by-law identifies the property as being significant for its historical and architectural value, and protects the following features of the property:

- Exterior façade of each elevation, including the rooflines of the two older buildings on the site ( the so-called “1879” and “1893” buildings) and
- The façade and roofline of the Queen Street elevation of the newest building (the “1919 building”)

### **Proposed Foundation Repair**

The proposed work involves the foundation walls on the Queen Street South façade (west) and Courtland Avenue East façade (south) on the original 1879 building. According to a Building Condition Assessment done in 2022, spalled and cracked mortar was observed on the stone foundation walls on these facades (Fig. 3-4). Furthermore, according to the cover letter submitted with the heritage permit application the mortar of the stone

foundation wall along Courtland Avenue East was done in 2012. However, the mortar joints appear to have been repaired with cement, which is not an appropriate repointing agent. The cement patch does not bond well with sand and causes more damage when it falls.



**Figure 3. Cracking and spalling of the cement mortar on the side (south) façade facing Courtland Avenue East.**



**Figure 4. Cracking and spalling of the cement mortar on the front (west) façade facing Queen Street South.**

Lime based mortars are appropriate for their flexibility and breathability and minimize the risk for moisture-related damage and cracking. The applicant is proposing to carry out the repairs using “Daubois – XhN-60” mortar, which is a repointing mortar based on pure hydraulic lime, well graded sand, and air entraining agent and colorant. The new mortar will match the historic mortar in colour, texture, and tooling. There will be a mock up test prior to full application.

The project will be overseen by Rimkus Consulting, with the proposed work being one by Robertson Restoration, who specialize in masonry and restoration of historical/heritage buildings.

The proposed alterations meet the “Eight Guiding Principles in the Conservation of Built Heritage Properties”, especially:

- Respect for historical material – repair or conserve rather than replace building materials and finishes, except where absolutely necessary. Minimal intervention maintains the historic content of the resource.
- Respect for original fabric – repair with like materials. Repair to return the resource to its prior condition, without altering its integrity.
- Maintenance – with continuous care, future restoration will not be necessary. With regular upkeep, major conservation projects and their high costs can be avoided.

The proposed alterations meet the “*Standards and Guidelines for the Conservation of Historic Places in Canada*”, especially:

- Conserve the heritage value of an historic place. Do not remove, replace, or substantially alter its intact or repairable character-defining elements. Do not move a part of an historic place if its current location is a character-defining element.
- Conserve heritage value by adopting an approach calling for minimal intervention.

- Evaluate the existing condition of character-defining elements to determine the appropriate intervention needed. Use the gentlest means possible for any intervention. Respect heritage value when undertaking an intervention.
- Maintain character-defining elements on an ongoing basis. Repair character-defining elements by reinforcing their materials using recognized conservation methods. Replace in kind any extensively deteriorated or missing parts of character-defining elements, where there are surviving prototypes.

### Heritage Planning Comments

In reviewing the merits of this application, Heritage Planning Staff note the following:

- The subject property municipally addressed as 307 Queen Street South is designated under Part IV of the Ontario Heritage Act by way of designating by-law 1988-78.
- The proposal is for the repair of foundation walls of the 1879 building.
- Portions of the foundation walls are in poor condition, with spalling and cracks identified during a Building Condition Assessment in 2022.
- Previous work that has been done was done using cement mortar, which is not appropriate for historic buildings.
- The application proposed the repair of the foundation wall using pure hydraulic lime mortar to ensure the continued protected of the foundation walls.
- The proposed work is consistent with the Eight Guiding Principles in the Conservation of Built Heritage Properties and with Parks Canada's *The Standards and Guidelines for the Conservation of Historic Places in Canada*; and
- The proposed work will not adversely impact the building nor it's reasons for designation.

### **STRATEGIC PLAN ALIGNMENT:**

This report supports the delivery of core services.

### **FINANCIAL IMPLICATIONS:**

Capital Budget – The recommendation has no impact on the Capital Budget.

Operating Budget – The recommendation has no impact on the Operating Budget.

### **COMMUNITY ENGAGEMENT:**

INFORM – This report has been posted to the City's website with the agenda in advance of the Heritage Kitchener committee meeting.

CONSULT – Heritage Kitchener has been consulted regarding the subject Heritage Permit Application.

### **PREVIOUS REPORTS/AUTHORITIES:**

- Ontario Heritage Act, 2022

**APPROVED BY:** Justin Readman, General Manager, Development Services

**ATTACHMENTS:**

Attachment A – Heritage Permit Application HPA-2024-IV-017

Attachment B – Cover Letter – 307 Queen Street South Foundation Repair