



Administration Centre: 400 Clyde Road, P.O. Box 729 Cambridge, ON N1R 5W6

Phone: 519-621-2761 Toll free: 1-866-900-4722 Fax: 519-621-4844 www.grandriver.ca

June 27, 2024

Magda Cober
109 Edgehill Drive
Kitchener, ON N2P 2C6

by email

Re: Application for Permission No. 391/24, Pursuant to Ontario Regulation 41/24.

The Grand River Conservation Authority approved your application on June 25, 2024. The permit and attached schedules are enclosed. The schedules form part of the permit and describe the work as approved by the Grand River Conservation Authority. Any changes to these plans must be reviewed and approved by Grand River Conservation Authority staff.

Please note that this permission is based on existing information, policies, and practices, and does not bind nor imply that any other permission will be forthcoming. Please review when the permit expires as per the attached permit and keep a copy of the permit on-site.

If you have questions regarding this letter or the conditions described on the permit, please contact Andrew Herreman, Resource Planner, at (519) 621-2763 Extension 2228.

Encl.

c.c. Clerk, City of Kitchener
Building Inspector, City of Kitchener



Permit No. 391/24

Grand River Conservation Authority

Under Ontario Regulation 41/24 made under the Conservation Authorities Act, R.S.O. 1990, c. C.27, permission is granted to:

Magda Cober

Whose address for purposes pertaining to this project is:

109 Edgehill Drive
Kitchener, ON N2P 2C6

To execute proposed works in accordance with the following particulars and conditions:

Location of Work:	109 Edgehill Drive City of Kitchener
Purpose of Work:	To install a pool, landscaping wall, and construct a residential accessory building
This permit is valid from:	June 25, 2024
and expires on:	June 25, 2026

The attached Schedules form parts of this permit describing the approved work and must be implemented in order so that the true intent of the permit can be achieved.

The Permittee, by acceptance and in consideration of the issuance of this permit, agrees to the conditions listed on the reverse side of Schedule "A".

Dated at Cambridge, Ontario, this 25th day of June, 2024

GRAND RIVER CONSERVATION AUTHORITY

A handwritten signature in black ink that reads "Samantha Lawson".

Samantha Lawson,
Chief Administrative Officer



GRCA USE ONLY
APPLICATION NUMBER
391/24

Schedule "A" - Application for Permit Pursuant to Ontario Regulation 41/24

(Prohibited Activities, Exemptions and Permits Regulation)

Please read, complete each section as required, attach fee payment and sign and date this application. Payment must be addressed to the Grand River Conservation Authority. Applications can be mailed to:

Grand River Conservation Authority Administration Office
400 Clyde Road, P.O. Box 729, Cambridge, Ontario N1R 5W6
Telephone: 519-621-2761 Fax: (519) 621-4945

Owner's Contact Information:	
Name: Magda Cober	E-mail: magda.cober@gmail.com
Mailing Address: 109 Edgehill Drive	City/Town: Kitchener
Postal Code: N2P 2C6	Business Telephone:
Residential Telephone: 5194966566	Fax:

Agent/Consultant/Contractor's Contact Information	
Name:	E-mail:
Mailing Address:	City/Town:
Postal Code:	Business Telephone:
Residential Telephone:	Fax:

Location of Proposed Work:	
Municipal Address: 109 Edgehill Drive, Kitchener	
City/Town/Village: CITY OF KITCHENER	County/Region: REGIONAL MUNICIPALITY OF
Lot and Concession:	Township:

Application Type (check which applies). Refer to Fee Schedule on Pages 3 and 4.

- Minor Development
- Minor Interference with Wetlands, Alteration to Shorelines & Watercourses
- Standard Development
- Standard Interference with Wetlands, Alteration to Shorelines & Watercourses
- Major Development
- Major Interference with Wetlands, Alteration to Shorelines & Watercourses

Description of Proposed Work:

Sheds, garages, gazebo and outbuildings

Please Note: This application must include appropriate plan(s) showing the proposed work. Pre-consultation prior to submission is encouraged to confirm required information, plans, reports, and studies as applicable.

Current Land Use: Residential

Proposed Change in Use (if any):

I declare that I have read and agree to the General Conditions of Permit on the reverse of this form and that all information provided is true.

Signature of Owner:

Date:

Signature of Agent:

Date:

GENERAL CONDITIONS OF PERMIT

1. This permit does not absolve the permittee of the responsibility of obtaining necessary permission from applicable federal and provincial agencies or local municipalities.
2. The permittee agrees by acceptance of the permit:
 - (a) to indemnify and save harmless, the Grand River Conservation Authority and its officers, employees, or agents, from and against all damage, injury, loss, costs, claims, demands, actions and proceedings, arising out of or resulting from any act or omission of the permittee or of any of his agents, employees or contractors relating to any of the particular terms or conditions of this permit.
 - (b) that this permit shall not release the permittee from any legal liability or obligation and remains in force subject to all limitations, requirements and liabilities imposed by law.
 - (c) that all complaints arising from the proposed works authorized under this permit shall be reported immediately by the permittee to the Grand River Conservation Authority. The permittee shall indicate any action which has been taken, or is planned to be taken, with regard to each complaint.
 - (d) to provide certification of conformance to ensure compliance with the intent of the permit. This certification must be provided by an accredited professional and is to be submitted as may be specified in the permit.
3. Authorized representatives of the Grand River Conservation Authority will be granted entry at any time into lands which are the subject of this permit application in order to make such surveys, examinations, investigations, inspections or other arrangements which such representatives deem necessary.
4. The Grand River Conservation Authority may add conditions of approval or cancel this permit in accordance with the *Conservation Authorities Act* and/or Ontario Regulation 41/24.
5. This permit shall not be reassigned (non-transferable).
6. Permits are valid for up to two years unless otherwise noted on the permit. The maximum period of validity of a permit, including extensions, is 60 months. No notice will be issued on expiration of the permit, and it is the responsibility of the permittee to ensure a valid permit is in effect at the time work is occurring.
7. Requests to consider a permit extension must be received 60 calendar days before the expiry date on the permit.
8. The Grand River Conservation Authority may make copies of Schedule A and materials submitted in conjunction with Schedule A, as required, for the purposes of assessing the proposal and, where approved, to form part of the permit issued.
9. The Grand River Conservation Authority may request that GIS data files be submitted as part of Schedule A, to be used for business purposes pursuant to Regulation 41/24.

NOTICE OF COLLECTION

Pursuant to section 29(2) of the Municipal Freedom of Information and Protection of Individual Privacy Act R.S.O 1990, C.M.56 the personal information contained on this form is collected under the legal authority of the Conservation Authorities Act, R.S.O. 1990, c.27, as amended. This information is used to assess applications for and, where approved, issue the Permit. Information on this form may be disclosed to Government and Municipal Agencies for review and comment. The name of the applicant, location of the work and a description of the project may be published in GRCA documents including agendas, reports and meeting minutes which are posted on the GRCA website. Questions about the collection of personal information should be directed to the Freedom of Information Coordinator, Administration Division, Grand River Conservation Authority, 400 Clyde Road, P.O. Box 729, Cambridge, Ontario, N1R 5W6, (519) 621-2761.

GRCA Permit, Plan Review, Title Clearance, and Inquiry Fee Schedule 2023-2024

Please refer to the **Fee Notes** outlined below for more details.

Permit Fee Schedule	
Note: Applicants are encouraged to apply online on the GRCA Permits Application Page .	
Minor - Low risk of impact on natural hazards or natural feature. No technical reports required	
• Fee for Development Applications	\$465
• Fee for Alterations or Interference with Wetlands, Shorelines and Watercourses Applications	\$465
Standard - Moderate risk and/or potential impact on natural hazards or natural features. Detailed report and/or plans, site visit required	
• Fee for Development Applications	\$675
• Fee for Alterations or Interference with Wetlands, Shorelines and Watercourses Applications	\$1,185
Major - Requires one or more reports (Environmental Impact Study, Hydraulic Analysis, Stormwater Management, Geotechnical, etc.)	
• Fee for Development Applications	\$10,230
• Fee for Alterations or Interference with Wetlands, Shorelines and Watercourses Applications	Culvert/Bridge replacement \$6,710 All other applications \$10,230
Large Fill - over 1,000m ³	\$10,230 plus \$0.50/m ³
Works initiated prior to GRCA approval	2 times the fee for the category
Rural Water Quality Programs or GRCA projects	\$90
Permit Extension	\$90
Plans amended to an approved permit	\$90

Inquiry Schedule	
Title Clearance, Real Estate, and other Inquiry Fee (per request)	\$255/property

Plan Review Fee Schedule	
Subdivision and Vacant Land Condominium	
• Base fee	\$2,505
• Per net hectare	\$1,305/hectare
• Applicant driven modification	\$1,670
• Final clearance for registration of each stage: technical review required	\$6,708
• Final clearance Processing Fee: no reports or review required	\$255
• Fourth (4 th) and subsequent submission for review (same report)	\$575

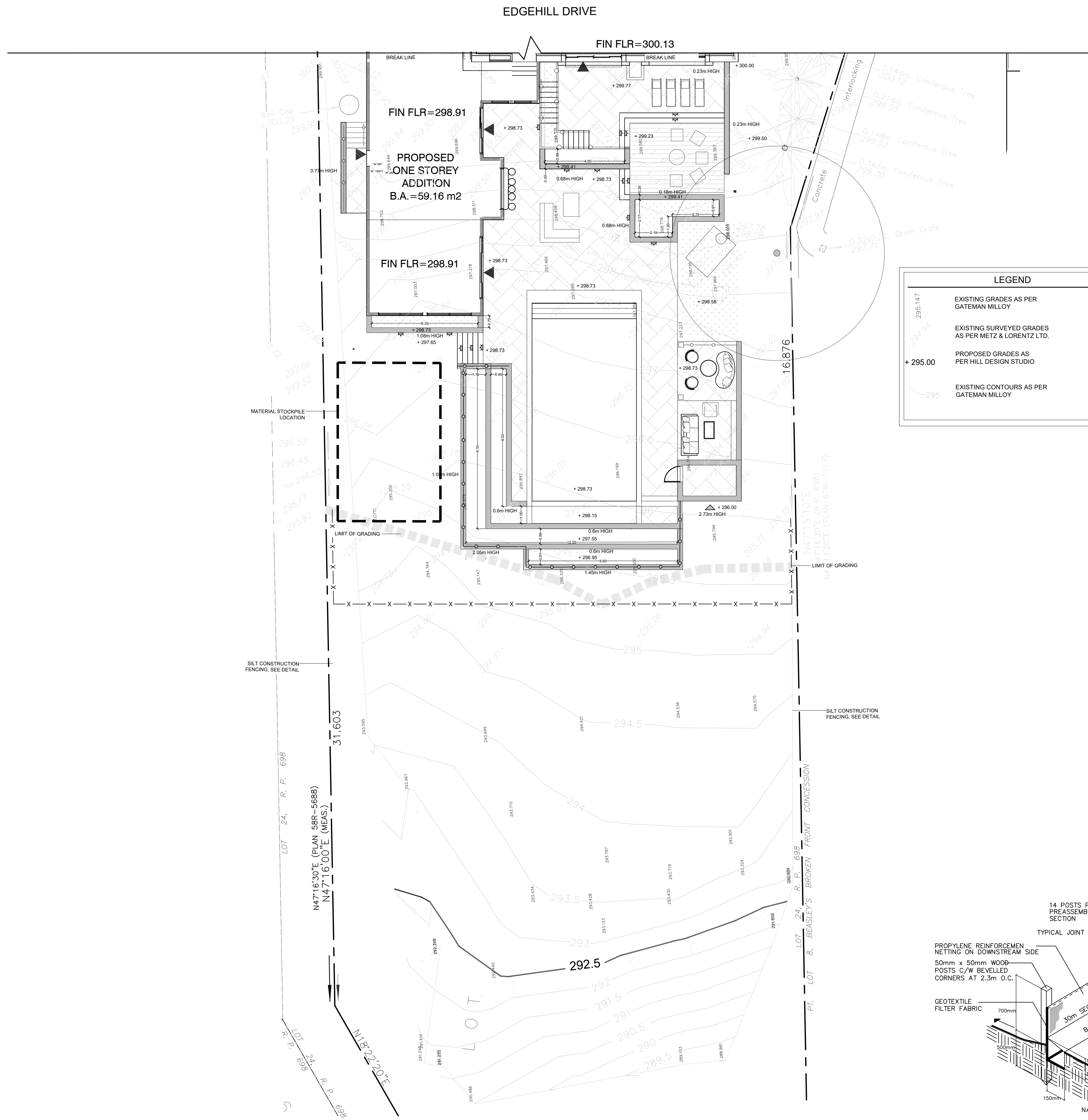
Plan Review Fee Schedule	
Official Plan and/or Zoning Bylaw Amendment	
• Major	\$2,500
• Minor	\$465
Consent	
• Major	\$1,185
• Minor	\$465
Minor Variances	
• Major	\$675
• Minor	\$300
Site Plan Approval Applications	
• Major	\$3,515
• Minor	\$465
Complex Applications	
	\$10,230
Below Water Table Aggregate Applications	
• No features of interest within 30 metres of licence limit	\$10,230
• Features of interest within 30 metres of licence limit	\$42,850
Above Water Table Aggregate Applications	
• No features of interest within 30 metres of licence limit	\$465
• Features of interest within 30 metres of licence limit	\$10,230

2024 Fee Notes

On April 1, 2024, the Prohibited Activities, Exemptions and Permits Regulation (Ontario Regulation 41/24) came into effect. This regulation replaces the Development, Interference with Wetlands and Alterations to Shorelines and Watercourses Regulation (Ontario Regulation 150/06). This Fee Schedule was updated on April 26, 2024 to reflect changes resulting from the new Regulation.

1. All fees are made payable and submitted directly to Grand River Conservation Authority.
2. Applicants are encouraged to consult with staff prior to submission of all applications to determine the extent and nature of the information required to accompany the application, and to determine the appropriate fee.
3. Applicants are encouraged to submit Permit applications through **the GRCA's online Permit Application System** after pre-submission consultation where appropriate.
4. Permit applications that fall into one or more categories will be charged one fee, at the highest rate.
5. Plan review applications that fall into one or more categories will be charged one fee, at the highest rate.
6. The Conservation Authority may provide a refund or require the applicant submit additional funds for a permit or plan review fee if it is found that an incorrect fee has been submitted.
7. Minor Categories – Low risk of impact on natural hazards. Plans required. No technical reports or site visits required.
8. Standard Permit Category – Moderate hazard risk and/or potential impact on natural hazards. Detailed plans required. Scoped technical reports and/or site visits required.
9. Major Permit Category– High hazard risk and/or potential impact to natural hazards. Detailed plans required. One or more technical report required (Environmental Impact Study, Hydraulic Analysis, Storm Water Management, Geotechnical, etc.). Development permit applications for: golf courses, trailer parks, campgrounds, lifestyle communities will be considered as a major permit.
10. Major Plan Review Category– High or Moderate hazard risk and/or potential impact on natural hazards. Detailed plans required. One or more technical reports (may be scoped) are required, and a site visit may be required.
11. Complex Plan Review Category - Planning Act (e.g. OPA/ZC) and/or Site plan applications for: golf courses, trailer parks, campgrounds, lifestyle communities.
12. Large Fill - The fee is applicable to material placed within the Conservation Authority's regulated areas. Grading associated with Planning Act approvals is not considered a large fill application.
13. Major permit applications that have previously paid application or clearance plan review fees to the GRCA will be charged fees under the Minor or Standard category.
14. Permit fees are non-refundable, except where review indicates that no permit is necessary.
15. Permit Extension – Permits are valid for up to 24 months unless otherwise specified on the permit. An application for an extension is \$90 and must be requested at least 60 calendar days before the expiry of the permit. Extensions will not be granted after the expiry date and will require a new application, full review, and the Schedule of Fees in effect at the time of submission will apply. The maximum period of validity of a permit, including extensions, is 60 months.

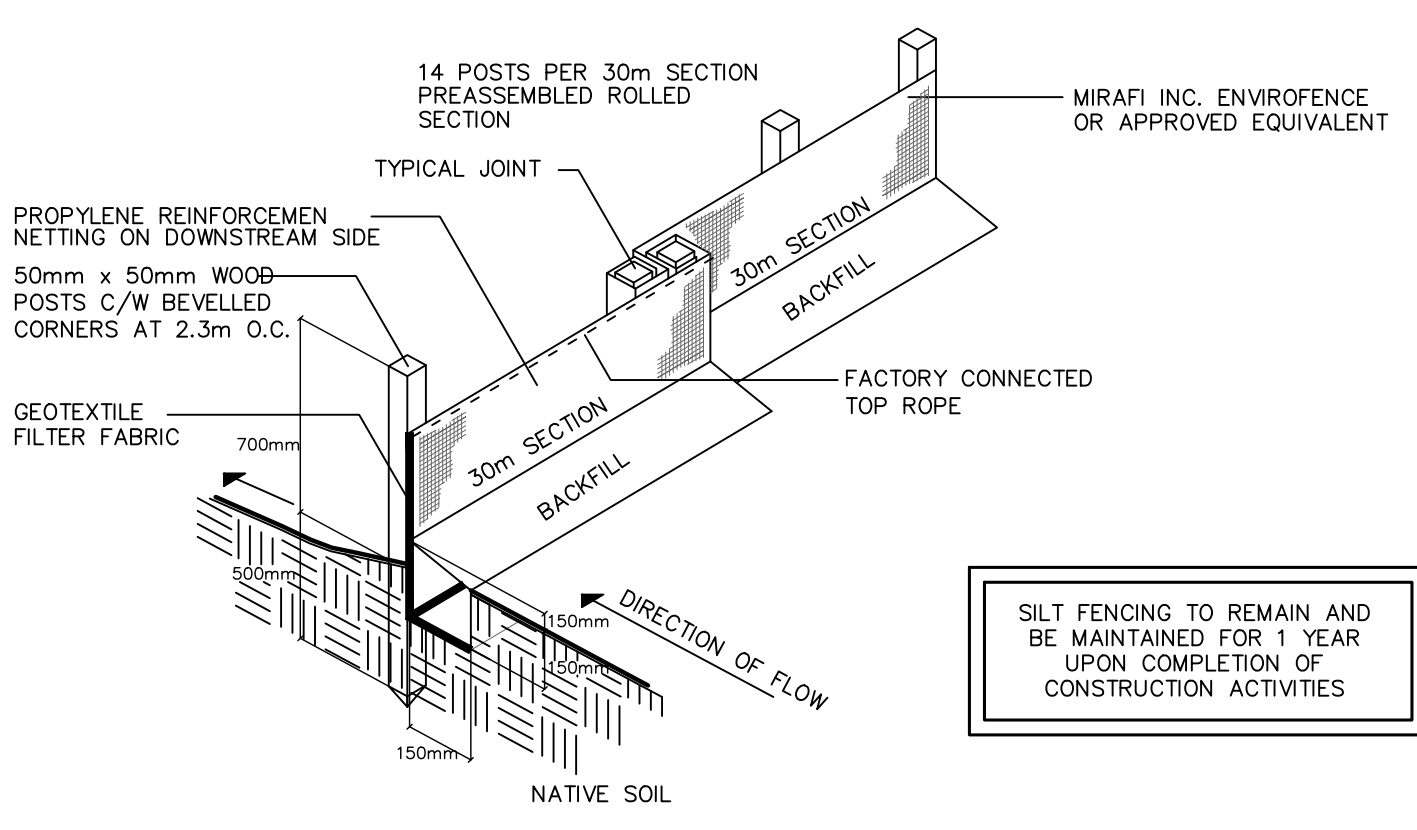
16. The subdivision or vacant land condominium base fee including per net hectare fee will be capped at \$30,000.
17. The net hectare fee will be based on the initial submission and will exclude lands outside of the development limit (e.g. natural hazard, natural heritage areas and buffers). Stormwater management facilities and other open space or park uses are to be included in the net hectare fee calculation.
18. At the submission of a subdivision or vacant land condominium application, 70% of the base fee and per net hectare is required. Prior to issuance of conditions of draft plan approval, the remaining 30% of the fee is required.
19. A Processing Fee will apply for a clearance letter for a subdivision or condominium application where no technical review/reports (e.g. no Erosion and Sediment Control plan, SWM brief, etc.) are required.
20. For Aggregate Applications, features of interest include all natural hazards including wetlands and watercourses.
21. Responses to Title Clearances, Real Estate and other Inquiries includes: Correspondence and mapping related to natural hazards and areas regulated under Ontario Regulation 41/24.



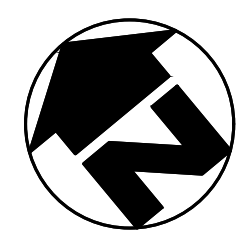
LEGEND

- 295.147 EXISTING GRADES AS PER GATEMAN MILLOY
- EXISTING SURVEYED GRADES AS PER METZ & LORENTZ LTD.
- + 295.00 PROPOSED GRADES AS PER HILL DESIGN STUDIO
- 295 EXISTING CONTOURS AS PER GATEMAN MILLOY

SCHEDULE B



1 SILT FENCE DETAIL
NTS



REVISIONS

no.	date	description	by
1.	JUN 26 24	Issued for Permit	AWH

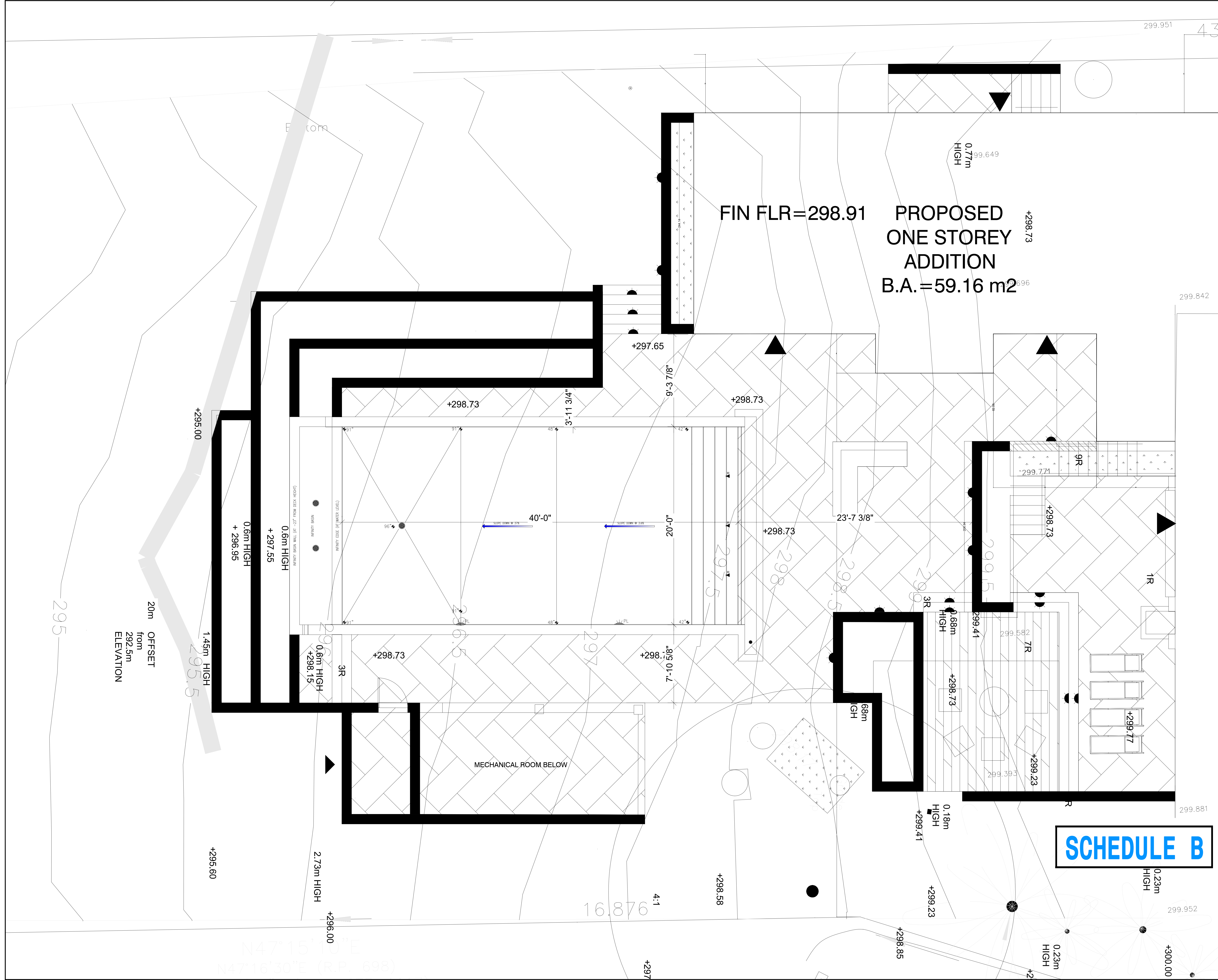
109 Edgehill Drive
Kitchener, ON
Cober Residence

CONSTRUCTION MANAGEMENT PLAN



PROJECT NO: 2023-67	DRAWN BY: EA
SCALE: 1:125	DESIGNED BY: AWH
SHEET: L2	APPROVED BY: AWH
	PLOT DATE: June 26, 2024

- POOL DEPTH MARKERS
- WATER DEPTH
- WALL INLET
- FLOOR INLET
- SURFACE SKIMMER
- POOL LIGHT
- HYDROTHERAPY JET FITTING
- LEVEL SENSOR w/ STATIC FITTING
- CUP ANCHOR
- CHANGE OF SLOPE LINE
- GUTTER DROPOUT
- DRAIN OUTLET
- HYDROSTATIC RELIEF VALVE
- FLOW DIRECTION w/ PIPE (DOWN)
- FLOW DIRECTION w/ PIPE (UP)



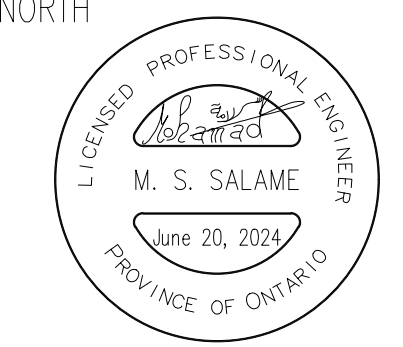
FIN FLR=298.91
 PROPOSED
 ONE STOREY
 ADDITION
 B.A.=59.16 m²

FIN FLR = +300.13

REVISIONS			
NO.	DATE	DESCRIPTION	INT.
1.	29-04-24	ELEVATIONS ADDED	
2.	30-05-24	ISSUED FOR COORDINATION	
3.	20-06-24	ISSUED FOR BUILDING PERMIT	
4.			
5.			
6.			
7.			
8.			
9.			
10.			

ALL DRAWINGS ARE THE PROPERTY OF AQUA PLANS AQUATIC CONSULTANTS INC., AND MUST BE RETURNED ON REQUEST. CONTRACTOR TO CHECK ALL DIMENSIONS. DO NOT SCALE DRAWINGS.

STAMP:
 MEMBER No.: 90272808
 KAMO CONSULTING INC.
 59 GEORGE STREET NORTH
 CAMBRIDGE, ONTARIO



AQUA PLANS
 aquatic consultants inc.
 ph: (519) 743-6760

PROJECT:
 COBER RESIDENCE
 109 EDGEHILL DRIVE

DRAWING TITLE:
 POOL SITE LAYOUT

SCALE: N.T.S.
 DATE: 17 JUNE 2024
 DRAWN BY: K.V.
 CHECKED BY: L.B.
 PROJECT NO.: 23075

DRAWING NO.:
PL1.0

SCHEDULE B

20m OFFSET
 from
 292.5m
 ELEVATION

N47°15'10"E
 16°30'E (R.P. 698)

GENERAL NOTES:

- COORDINATE POOL LAYOUT DIMENSIONS WITHIN THE POOL NATATORIUM WITH LATEST ARCHITECTURAL CONSTRUCTION DRAWINGS. IN CASE OF DISCREPANCIES, ARCHITECTURAL DRAWINGS SHALL GOVERN.
- FOR ALL EQUIPMENT, REQUIREMENTS, ACCESSORIES AND ALL MATERIAL ASSEMBLIES, SEE SPECIFICATIONS AND DRAWINGS.
- ALL ASSEMBLIES, LAYOUTS, EQUIPMENT AND MATERIALS SHALL MEET LOCAL, PROVINCIAL, OR PREVAILING CODES, AMENDMENTS AND HEALTH DEPARTMENT REQUIREMENTS (MOST STRINGENT OF SUCH).
- SPC SHALL VERIFY ALL DIMENSIONS, CONDITIONS AND COORDINATE / VERIFY ALL MECHANICAL, ELECTRICAL, STRUCTURAL, EQUIPMENT AND FINISH REQUIREMENTS AS NECESSARY PER CODE AND CONSTRUCTION DOCUMENTS.
- ALL CONDITIONS, CLEARANCES, FINISHES, EQUIPMENT AND ACCESSORIES SHALL COMPLY WITH PREVAILING ACCESSIBILITY REQUIREMENTS IN JURISDICTION.
- SEE SPECIFICATIONS AND ALL DRAWING DETAILS FOR POOL RELATED SCOPE OF WORK LIMITS.
- DRAWINGS AND DETAILS DEFINE LIMITS, SCOPE, DETAILS AND DATA FOR POOLS AND POOL-RELATED EQUIPMENT AND ACCESSORIES ONLY.

WATER STOPS:

- WATER STOP AT WALL AND FLOOR INTERSECTION SHALL BE 100mm PVC, RIBBED WITH CENTER BULB.

PIPING DESIGN NOTES:

- ALL PIPING TO BE SCHEDULE 40 PVC, NSF APPROVED, ASTM #D1785, UNLESS OTHERWISE NOTED.
 - ALL PIPING TO BE RUN IN POOL WALLS WERE POSSIBLE.
 - ALL PIPING TO AND FROM HEAT EXCHANGERS SHALL BE CPVC WITHIN 3050mm OF THE EXCHANGER UNIT. (BY OTHERS)
 - ALL VISIBLE PIPING MUST BE LABELED WITH DIRECTIONAL ARROWS & TYPE OF WATER IT CARRIES (i.e. SKIMMERS, MAIN DRAINS, ETC.) IDENTIFICATION AT 3048mm MAXIMUM O.C. INTERVALS.
- COLOUR CODE:**
 CHLORINE (LIQUID OR GAS) - YELLOW
 POTABLE WATER - GREEN
 (AS PER ONTARIO REGULATION - P.R.O. 1990, REG. 565, S. 6(4))
- PRESSURE PIPING:**
 - MAX. 2.3 m/s (7.5 FPS)
 - SUCTION PIPING:**
 - MAX. 1.50 m/s (5 FPS)
 - GRAVITY PIPING:**
 - MAX. 0.9 m/s (3 FPS)
- DRAIN AND SUCTION GRATES FREE OPEN AREAS TO PROVIDE FLOW VELOCITIES NOT TO EXCEED 0.45 m/s (1 1/2 FPS). ALL DRAIN GRATES SHALL BE SIZED FOR FULL PUMP FLOW.
 - STRUCTURAL SUPPORT FOR PIPING AS SPECIFIED BY MANUFACTURER. REFER TO DETAIL SHEETS.

ELECTRICAL NOTES: (ALL ELECTRICAL IS BY OTHERS)

- PRIMARY GROUNDING LOOP MUST BE PROVIDED BY CERTIFIED ELECTRICAL CONTRACTOR.
- ALL REINFORCING BAR IN POOL STRUCTURE MUST BE BONDED TO PRIMARY GROUNDING LOOP BY CERTIFIED ELECTRICAL CONTRACTOR.
- ALL METAL POOL FITTINGS AND ACCESSORIES WITHIN 1524mm OF POOL WATER MUST BE BONDED TO PRIMARY GROUNDING LOOP.
- ALL PUMPS SHALL BE WIRED BY CERTIFIED ELECTRICAL CONTRACTOR.
- GROUNDING OF CONCRETE REINFORCEMENT BY CERTIFIED ELECTRICAL CONTRACTOR.

WEEPING TILES:

- SPC TO PROVIDE AND INSTALL COMPLETE WEEPING TILE SYSTEM AS SHOWN ON THE POOL DRAWINGS.
- MECHANICAL CONTRACTOR TO COORDINATE PIPE LOCATION ON SITE. OFFSET AND/OR REVISE INVERT ELEVATION TO SUIT IF REQUIRED.
- CONTINUATION OF 100mmØ SOLID PIPE TO STORM SYSTEM BY PLUMBING CONTRACTOR. SUPPLY AND INSTALLATION OF 100mmØ SOLID PIPE BY PLUMBING CONTRACTOR.
- MAIN WEEPING TILE SUMP PIT SUPPLY AND INSTALLATION OR DRAIN TO LOWER GROUND

REINFORCEMENT:

- HOOKS AND BENDS SHALL CONFORM TO CAN/CSA A23.4 STANDARDS FOR MINIMUM BEND RADIUS AND EXTENSIONS. LENGTHS GIVEN FOR BENT BARS DO NOT INCLUDE THE RADIUS AND MINIMUM EXTENSION FOR STANDARD HOOKS.
- BARS SHALL BE LAPPED 36 BAR DIAMETERS AT SPLICES UNLESS DETAILED OTHERWISE. NO SPLICES SHALL BE PERMITTED IN SQUARE FOOTINGS.
- PROVIDE CORNER BARS AT ALL INTERSECTIONS OF BEAMS AND WALLS PER "TYPICAL DETAILS"
- COVER REQUIREMENTS FOR REINFORCING:
 A/POOL SLABS: 75mm RE: DETAILS
 B/POOL WALLS: 75mm RE: DETAILS
- REINFORCING IN SLABS ON GRADE SHALL BE PLACED AT THE CENTER OF THE SLAB, UNLESS NOTED OTHERWISE.

CAST-IN-PLACE CONCRETE

- ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CAN/CSA A23.1 CONCRETE MATERIALS AND METHODS OF CONCRETE CONSTRUCTION.
CONCRETE MIX SCHEDULE
 PORTLAND CEMENT: ASTM C150, TYPE F-1.
 PLASTICIZING ADMIXTURE: ASTM C494, TYPE A.
 WATER TO CEMENT RATIO: 0.50
 275kg CEMENT WITH A MAXIMUM OF 65kg OF FLY ASH
- STRENGTH LISTED SHALL BE MINIMUM DESIGN STRENGTH AT TWENTY EIGHT (28) DAYS OF 30 MPa.
- FIVE TO EIGHT PERCENT (5-8%) AIR ENTRAINMENT SHALL BE ADDED TO CONCRETE MIXES FOR STRUCTURAL ELEMENTS PERMANENTLY EXPOSED TO WEATHER.
- CALCIUM CHLORIDE SHALL NOT BE ADDED TO CONCRETE MIXTURES WITHOUT WRITTEN APPROVAL.
- DO NOT ADD WATER ON SITE.
- MAX SLUMP 75mm BEFORE ADDITION OF MICROFIBERS. MICROFIBERS TO BE PLANT ADDED.
- ALL CONCRETE TO BE CONTINUOUSLY WET CURED FOR 14 DAYS

POOL STRUCTURAL NOTES:

- ALL POOLS ARE DESIGNED TO WITHSTAND ANTICIPATED HYDRAULIC STRUCTURAL LOADING FOR BOTH FULL, AND EMPTY CONDITIONS.

GRANULAR BASE:

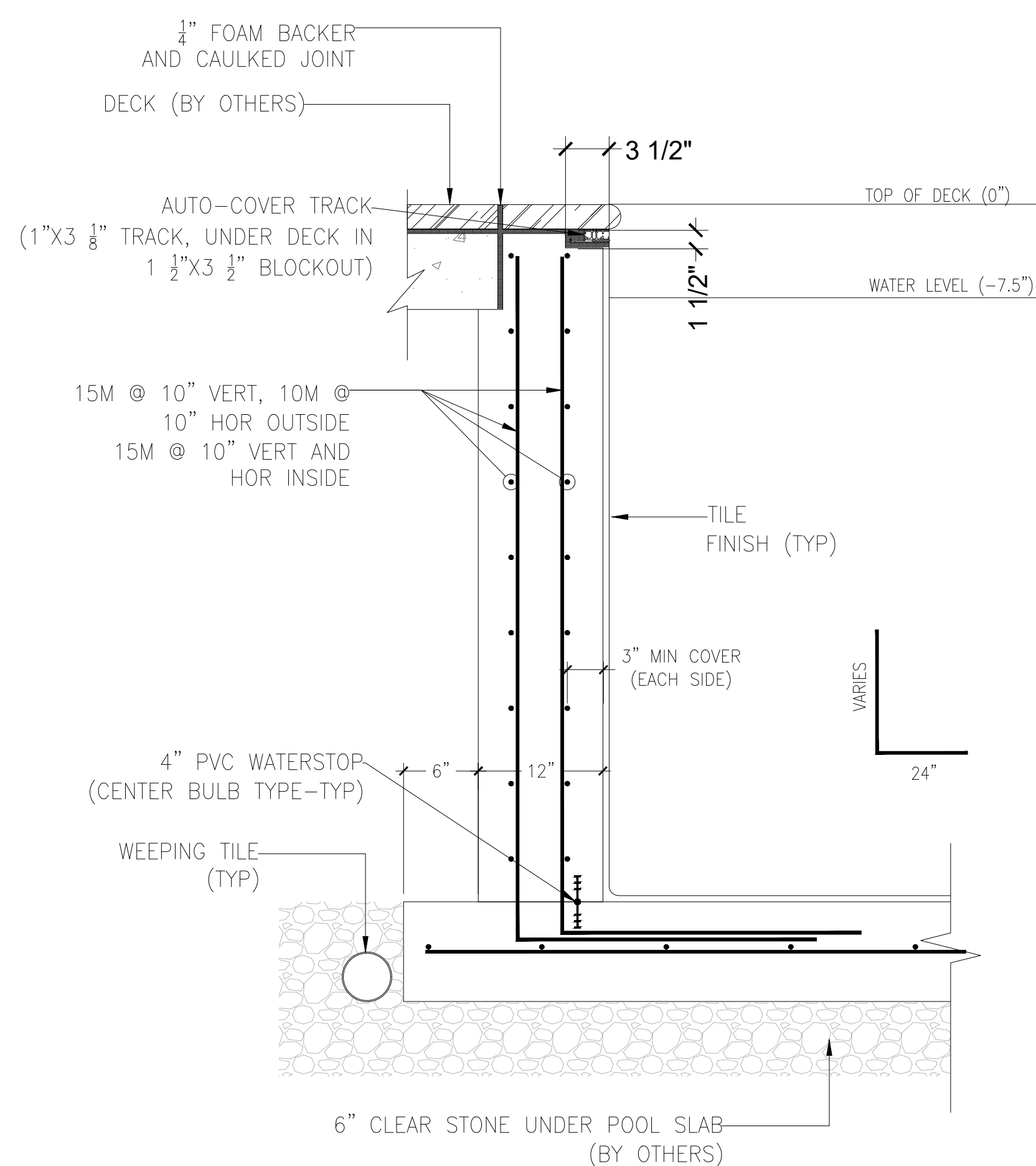
- SITE PREPARATION AND GRANULAR BASE UNDER POOL SLABS SHALL BE A MINIMUM 150mm THICK LAYER OF OPSS 1010 GRANULAR A MATERIAL COMPACTED TO 100% SPDD, UNLESS OTHERWISE STATED IN GEOTECHNICAL REPORT.

FOUNDATION DESIGN:

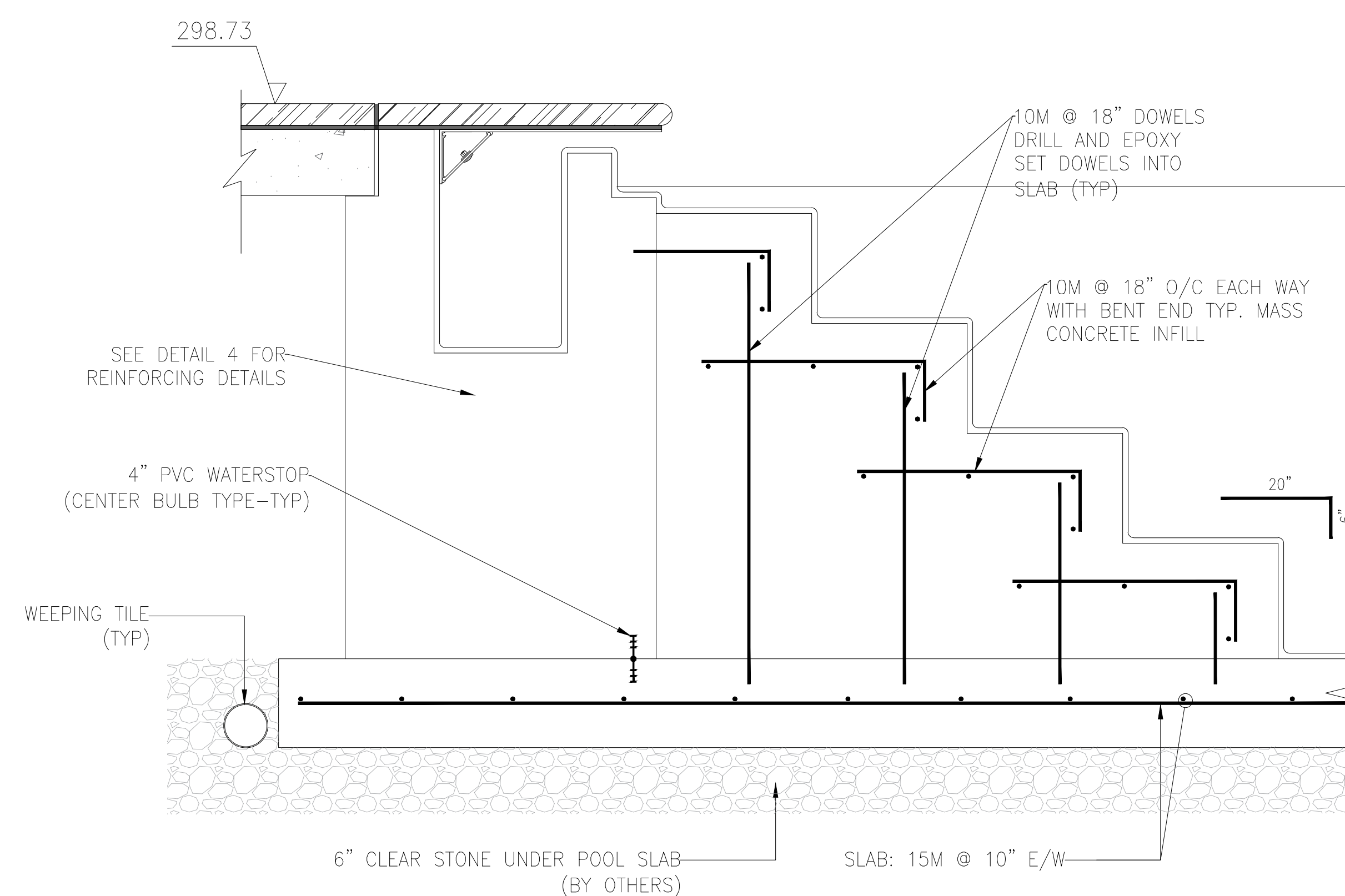
- REFERENCE THE GEOTECHNICAL REPORT FOR SUB GRADE IMPROVEMENT, ENGINEERED BACKFILL GRANULAR MATERIALS SHOULD BE PLACED IN THICKNESS AND COMPACTED AS PER SOIL REPORT.
- SOIL BEARING SHALL BE MIN. 95.76 KPa PRIOR TO NEW SOIL REPLACEMENT.
- EXCAVATION MATERIAL CAN BE USED FOR BACKFILLING IF APPROVED BY GEOTECHNICAL ENGINEER. ALL SPOILS TO BE STOCK PILED ON SITE FOR USE AS DIRECTED BY OWNER.
- ALL SOIL, CONCRETE, AND ANY OTHER TESTING WILL BE DONE AT OWNERS EXPENSE.
- PROVIDE HYDROSTATIC RELIEF VALVES IN EVERY MAIN DRAIN SUMP AT THE BOTTOM OF POOLS TO RELIEVE HYDROSTATIC PRESSURE.
- CONTRACTOR SHALL VERIFY THAT EXISTING BUILDING FOUNDATIONS WILL NOT BE UNDERMINED BY THE PROPOSED EXCAVATION. A MINIMUM SLOPE OF 1:1 FROM THE BOTTOM OF EXISTING FOOTING SHALL NOT BE UNDERMINED. SHOULD EXCAVATION INFRINGE UPON THIS AREA, THE CONTRACTOR SHALL BE RESPONSIBLE FOR DESIGN OF SHORING. A LICENSED STRUCTURAL ENGINEER HAVING JURISDICTION IN THE PROVINCE/STATE WHERE PROJECT IS LOCATED, SHALL BE RETAINED FOR THIS PURPOSE BY THE CONTRACTOR.)

CODES:

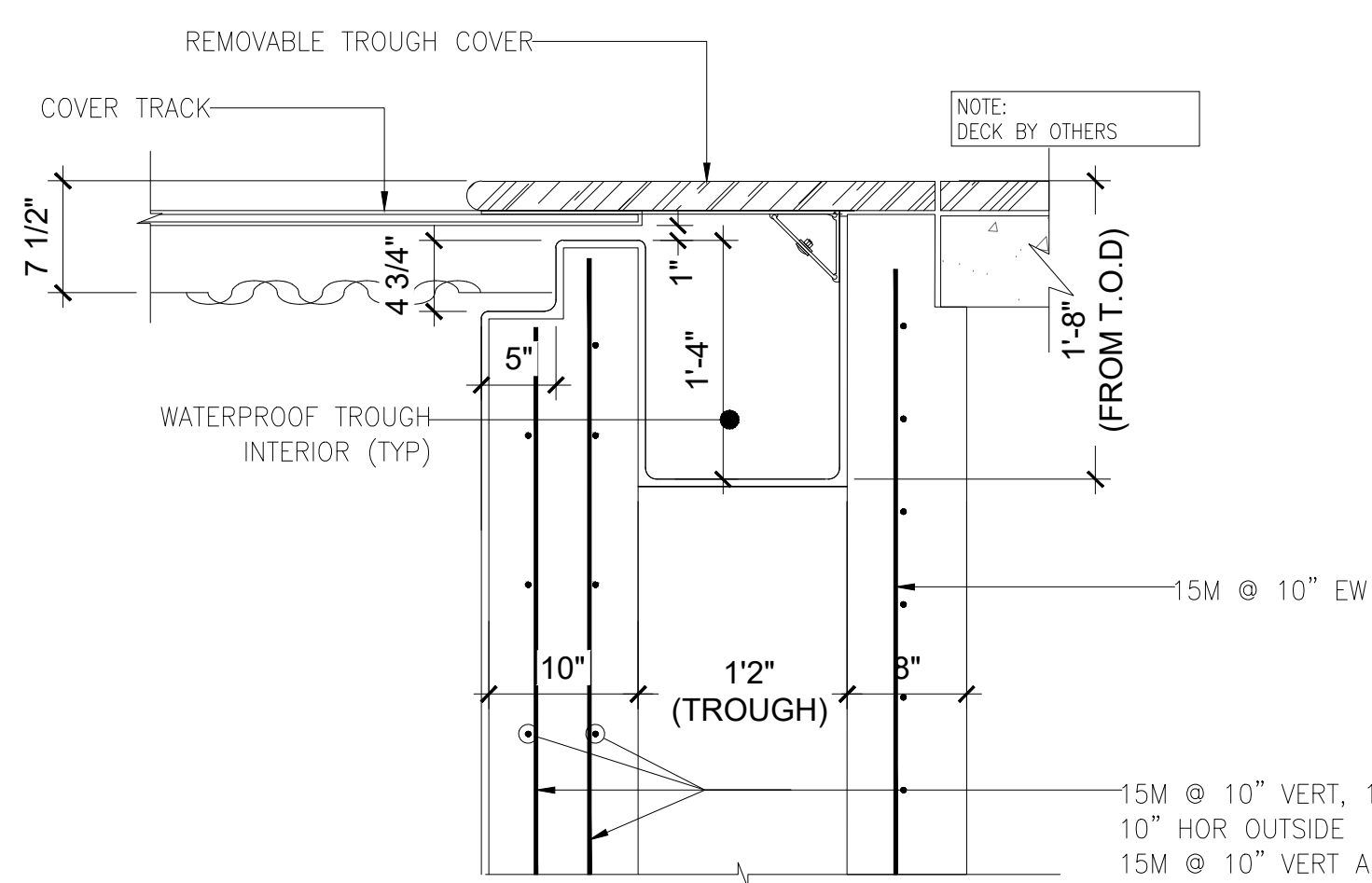
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST ISSUES AND AMENDMENTS OF THE FOLLOWING CODES:
 - PROVINCIAL BUILDING CODE
 - PROVINCIAL BUILDING CODE ACT
 - OCCUPATIONAL HEALTH AND SAFETY ACT.
 - PROVINCIAL PLUMBING CODE
 - ELECTRICAL SAFETY AUTHORITY
 - LOCAL BUILDING REGULATIONS AND BY-LAWS
- REQUIREMENTS FOR CONCRETE TO COMPLY WITH CSA A23.3 DESIGN OF CONCRETE STRUCTURES.
- CONCRETE AND REINFORCING STEEL: CAN/CSA A23.4 PRE-CAST CONCRETE MATERIALS AND CONSTRUCTION.
- WHERE CONFLICTS OCCUR BETWEEN THE BUILDING CODE AND MATERIAL CODES, THE BUILDING CODE SHALL GOVERN.



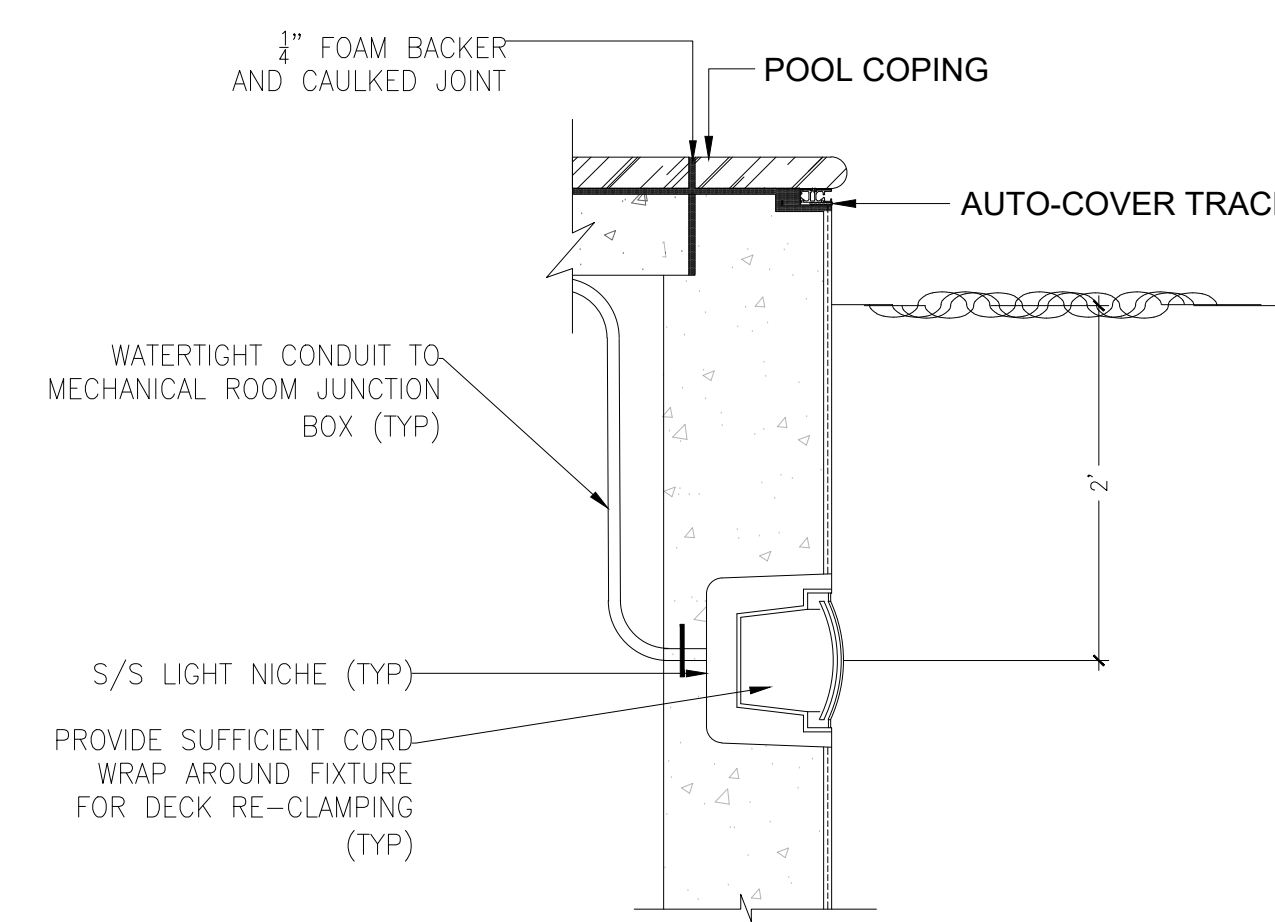
1 TYP. WALL SECTION
SCALE 1-1/4"=1'-0"



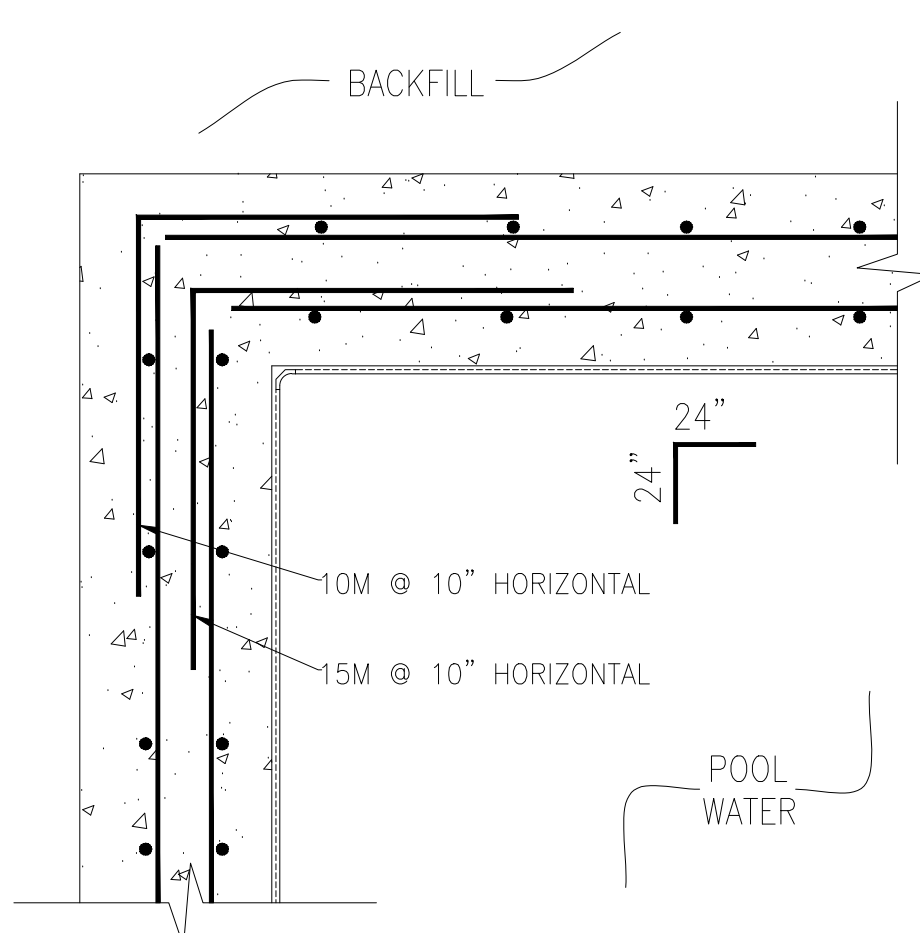
2 STAIR SECTION
SCALE 1-1/4"=1'-0"



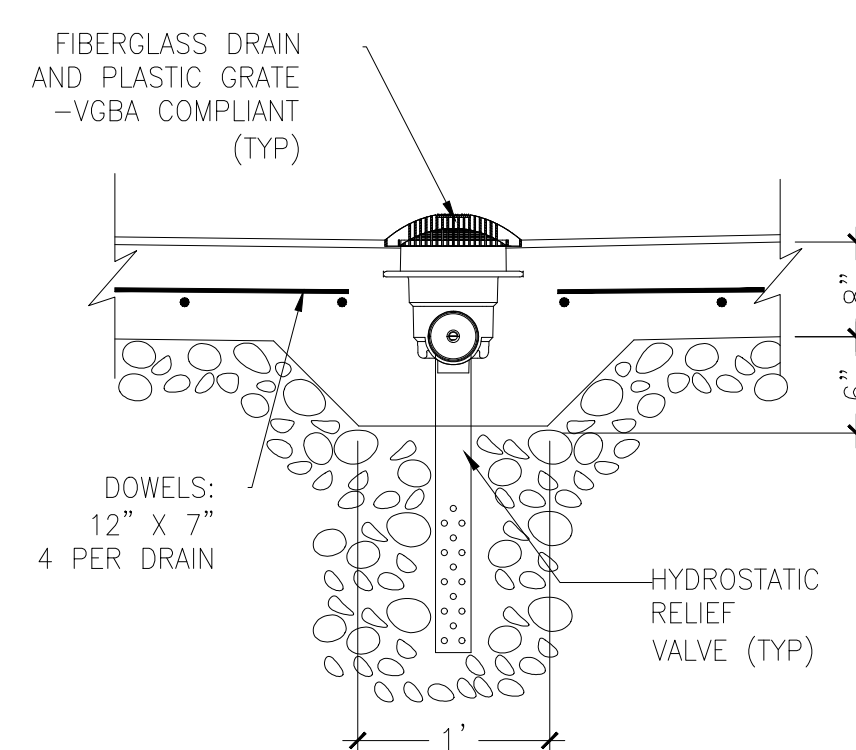
4 COVER TROUGH SECTION
SCALE 1-1/4"=1'-0"



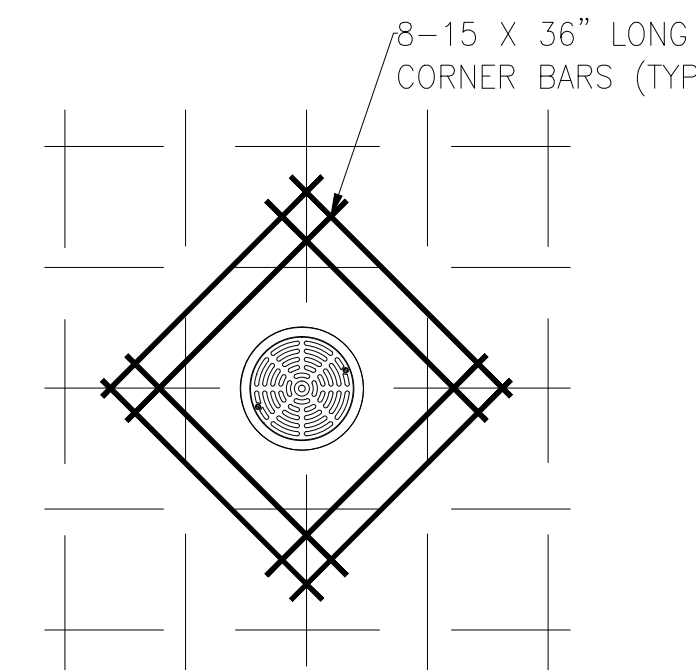
TYPICAL LIGHT SECTION
SCALE: 1-1/4"=1'-0"



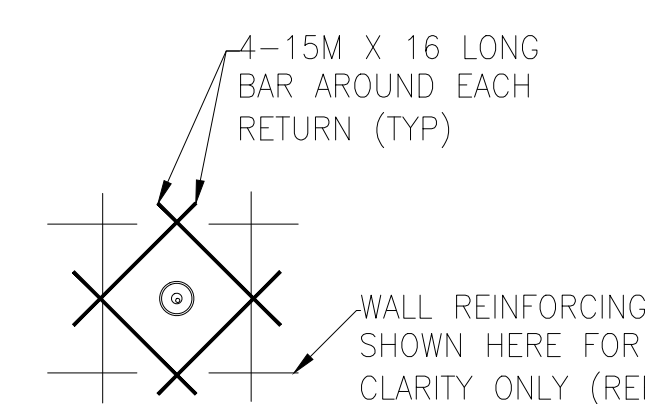
TYPICAL CORNER REINFORCING
N.T.S.



6 TYP. POOL DRAIN DETAIL
SCALE 3/4"=1'-0"



POOL MAIN DRAIN REINFORCING
TYP. SCALE: N.T.S.



INLET REINFORCING
TYP. SCALE: N.T.S.

SCHEDULE B

REVISIONS			
NO.	DATE	DESCRIPTION	INT.
1.	29-04-24	ELEVATIONS ADDED	
2.	30-05-24	ISSUED FOR COORDINATION	
3.	20-06-24	ISSUED FOR BUILDING PERMIT	
4.			
5.			
6.			
7.			
8.			
9.			
10.			

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STAMP:
 MEMBER No.: 90272808
 KAMO CONSULTING INC.
 59 GEORGE STREET NORTH
 CAMBRIDGE, ONTARIO



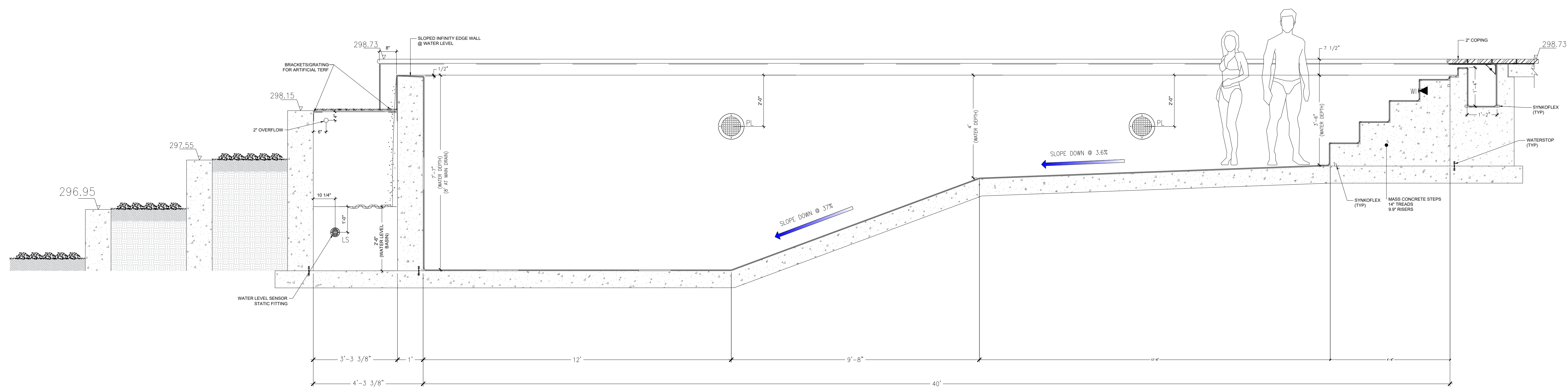
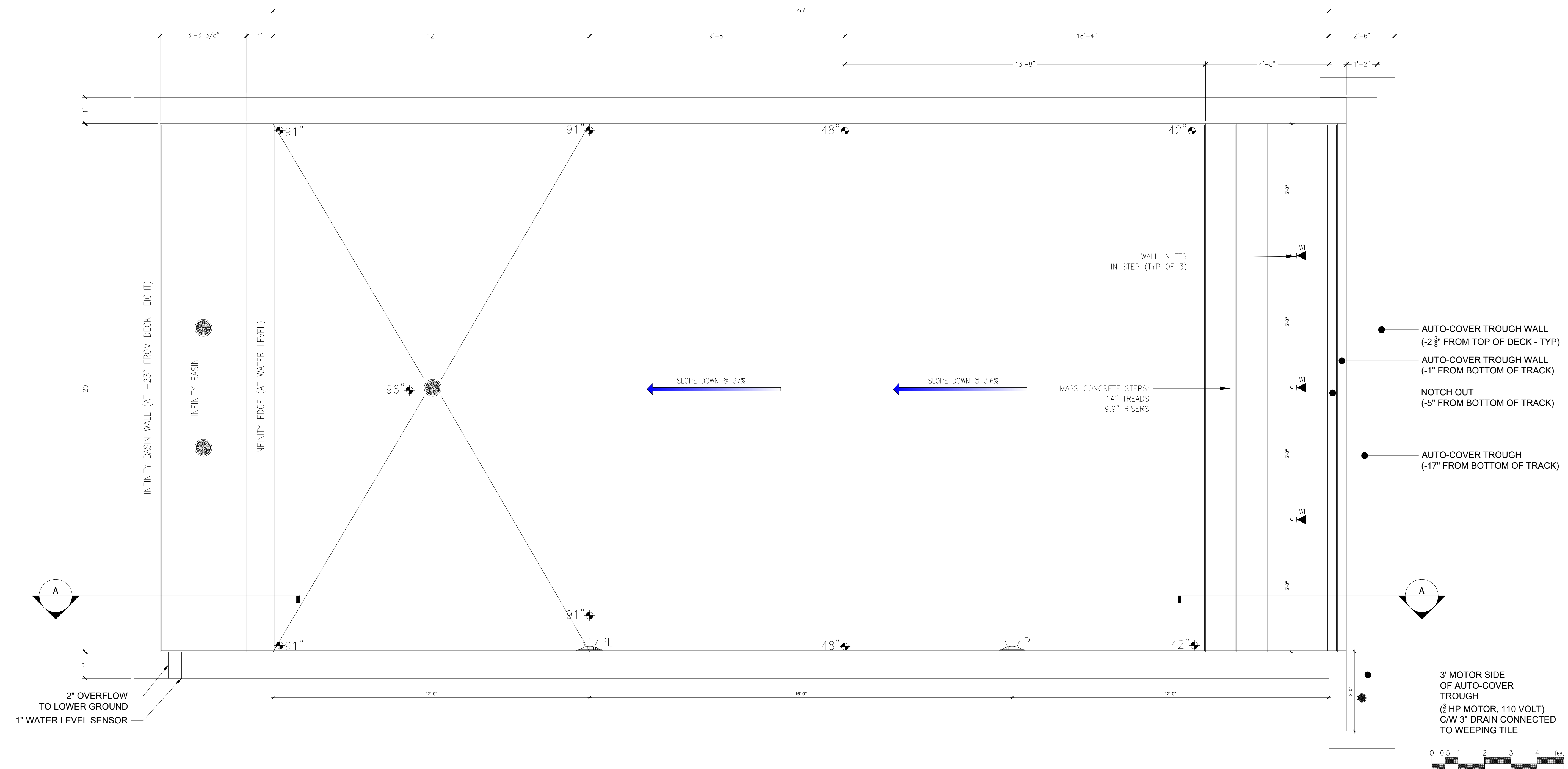
AQUA PLANS
 aquatic consultants inc.
 ph: (519) 743-6760

PROJECT:
COBER RESIDENCE
 109 EDGEHILL DRIVE

DRAWING TITLE:
GEN. NOTES AND DETAILS

SCALE: AS SHOWN DRAWING NO.:
 DATE: 17 JUNE 2024
 DRAWN BY: K.V.
 CHECKED BY: L.B.
 PROJECT NO.: 23075
PL1.1

- POOL DEPTH MARKERS
- XX" WATER DEPTH
- WI WALL INLET
- FI FLOOR INLET
- SK SURFACE SKIMMER
- PL POOL LIGHT
- HJ HYDROTHERAPY JET FITTING
- LS LEVEL SENSOR w/ STATIC FITTING
- CA CUP ANCHOR
- CHANGE OF SLOPE LINE
- GDO GUTTER DROPOUT
- DRAIN OUTLET
- HYDROSTATIC RELIEF VALVE
- FLOW DIRECTION w/ PIPE (DOWN)
- FLOW DIRECTION w/ PIPE (UP)



A POOL SECTION 1/2"=1'-0"

REVISIONS			
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MEMBER No.: 90272808
KAMO CONSULTING INC.
59 GEORGE STREET NORTH
CAMBRIDGE, ONTARIO

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aquatic consultants inc.
ph: (519) 743-6760

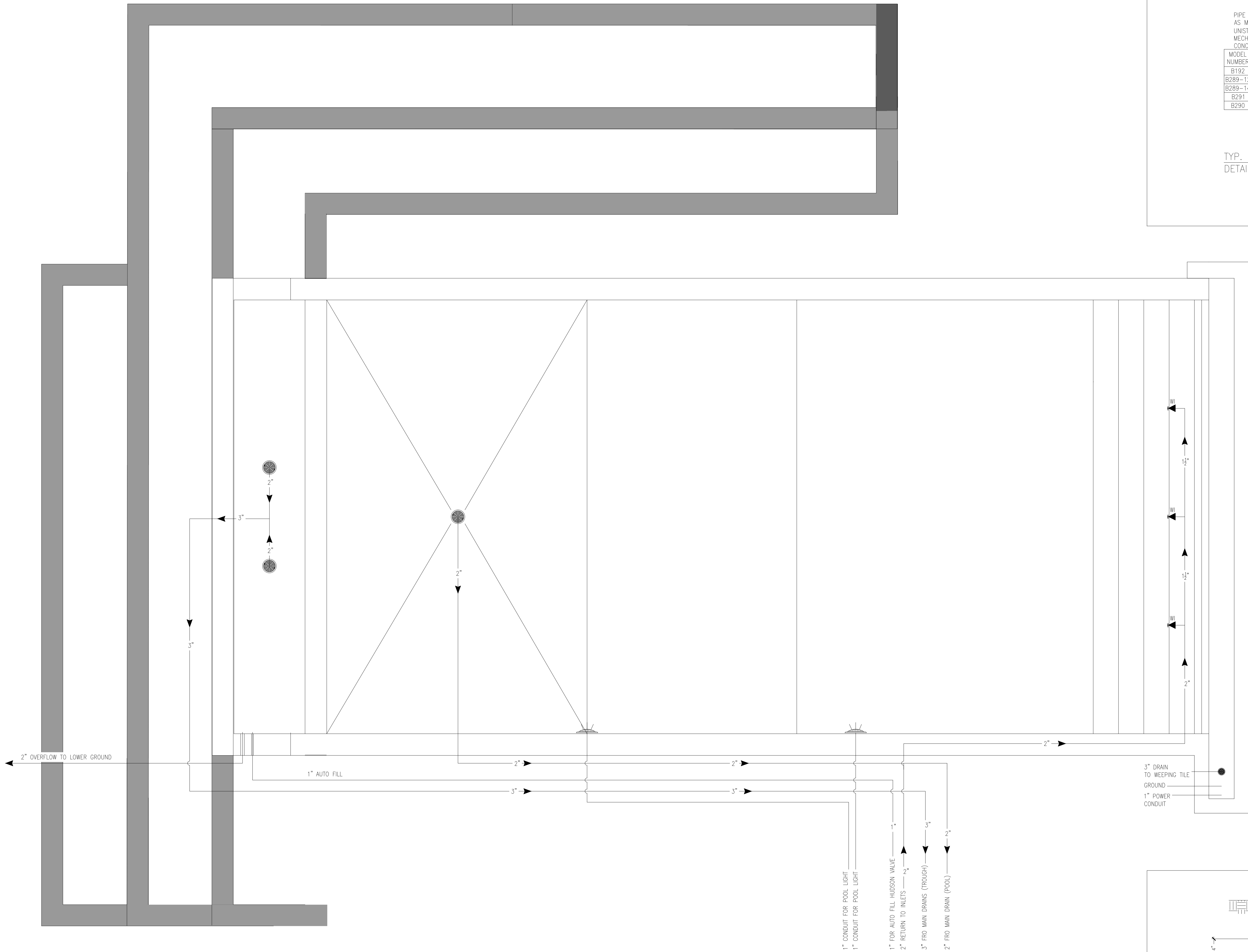
PROJECT:
COBER RESIDENCE
109 EDGEHILL DRIVE

DRAWING TITLE:
POOL PLAN AND SECTION

SCHEDULE B

SCALE:	1/2"=1'-0"	DRAWING NO.:	
DATE:	17 JUNE 2024		
DRAWN BY:	K.V		
CHECKED BY:	L.B		
PROJECT NO.:	23075		

PL2.0



PVC MAX. SUPPORT SPACING (in feet)

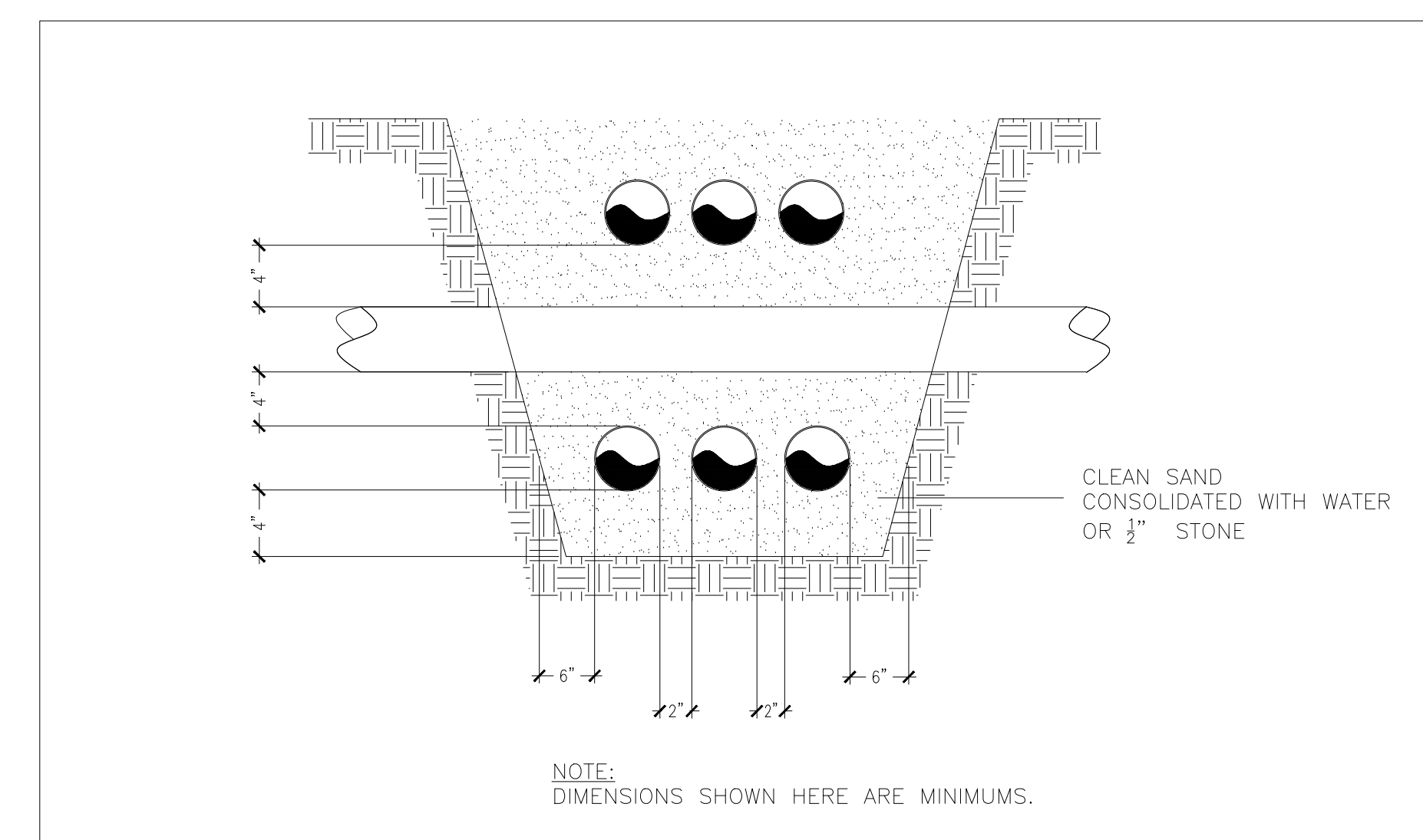
PIPE SIZE	SCH. 40			SCH. 80		
	15' (4570)	30' (9144)	60' (18288)	15' (4570)	30' (9144)	60' (18288)
1/2" (12.7)	3.0	2.9	2.6	3.1	3.0	2.7
3/4" (19.0)	3.4	3.2	3.0	3.5	3.4	3.1
1" (25.4)	3.9	3.7	3.4	4.0	3.9	3.6
1 1/8" (31.8)	4.3	4.2	3.9	4.6	4.4	4.1
1 1/2" (38.1)	4.7	4.5	4.1	5.0	4.8	4.4
2" (50.8)	5.2	5.0	4.6	5.6	5.4	5.0
3" (76.2)	6.7	6.4	5.9	7.2	6.9	6.4
4" (101.6)	7.6	7.3	6.7	8.2	7.9	7.3
6" (152.4)	9.2	8.9	8.2	10.3	9.9	9.2
8" (203.2)	10.7	10.2	9.5	12.0	11.5	10.6
10" (254.0)	12.0	11.5	10.7	13.7	13.1	12.1
12" (304.8)	13.2	12.7	11.8	15.2	14.6	13.5
14" (354.3)	14.0	13.5	12.4	16.2	15.6	14.4

NOTE: ALL PIPING 3" AND UNDER TO BE RUN INSIDE THE POOL/FLOOR, WHERE POSSIBLE (3 OF POOL WALL THICKNESS).

TYP. PIPE SUPPORT DETAIL SCALE: N.T.S.

- LEGEND (FOR ALL DWG'S)
- X | X | X POOL DEPTH MARKERS
 - XX" WATER DEPTH
 - WI WALL INLET
 - FI FLOOR INLET
 - SK SURFACE SKIMMER
 - PL POOL LIGHT
 - HJ HYDROTHERAPY JET FITTING
 - LS LEVEL SENSOR w/ STATIC FITTING
 - CA CUP ANCHOR
 - CHANGE OF SLOPE LINE
 - GDO GUTTER DROPOUT
 - DRAIN OUTLET
 - HYDROSTATIC RELIEF VALVE
 - FLOW DIRECTION w/ PIPE (DOWN)
 - FLOW DIRECTION w/ PIPE (UP)

SCHEDULE B



REVISIONS

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 KAMO CONSULTING INC.
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 CAMBRIDGE, ONTARIO

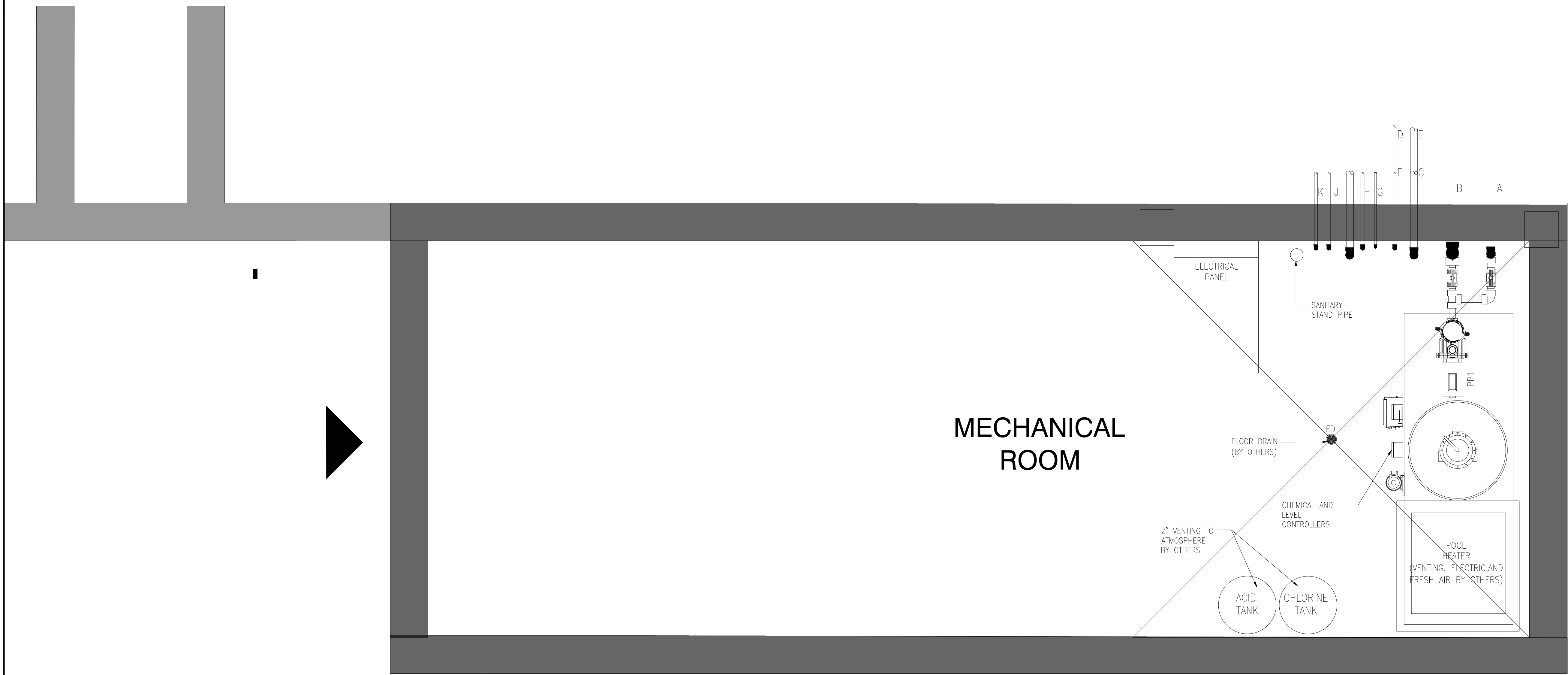
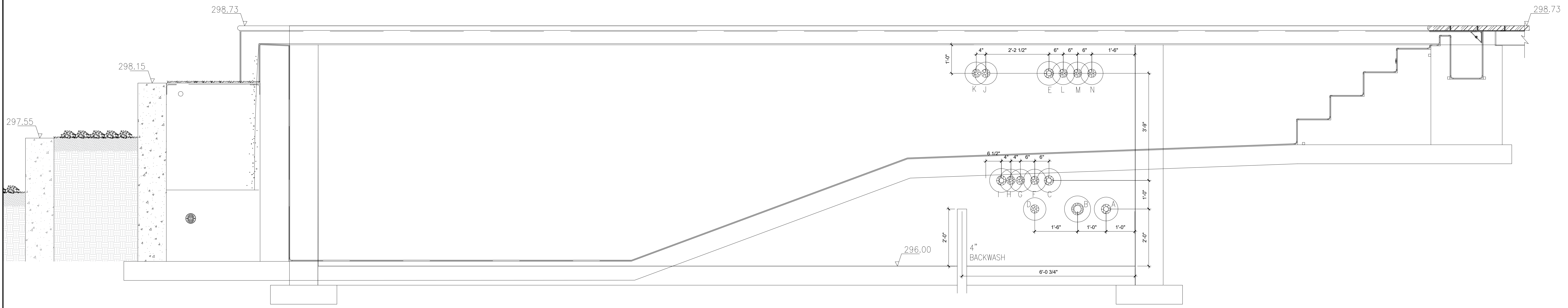
LICENCED PROFESSIONAL ENGINEER
 M. S. SALAME
 June 20, 2024
 PROVINCE OF ONTARIO

AQUA PLANS
 aquatic consultants inc.
 ph: (519) 743-6760

PROJECT:
COBER RESIDENCE
 109 EDGEHILL DRIVE

DRAWING TITLE:
POOL PIPING LAYOUT

SCALE: N.T.S. DRAWING NO.:
 DATE: 17 JUNE 2024
 DRAWN BY: K.V. **PL3.0**
 CHECKED BY: L.B.
 PROJECT NO.: 23075



PIPE SCHEDULE	
A	2" FROM MAIN DRAIN (POOL - SUCTION)
B	3" FROM MAIN DRAINS (TROUGH - SUCTION)
C	2" RETURN TO INLETS (PRESSURE)
D	AUTO FILL (HUDSON VALVE)
E	2" SPARE
F	1" GROUND WIRE
G	3/8" MAKE-UP WATER
H	1" CAT5
I	SPARE 2" TO HOUSE
J	1" CONDUIT FOR POOL LIGHT
K	1" CONDUIT FOR POOL LIGHT
L	1" COVER HOUSING TROUGH
M	1" CONDUIT TO KEY SWITCH
N	1" CONDUIT FOR FUTURE HOME AUTOMATION

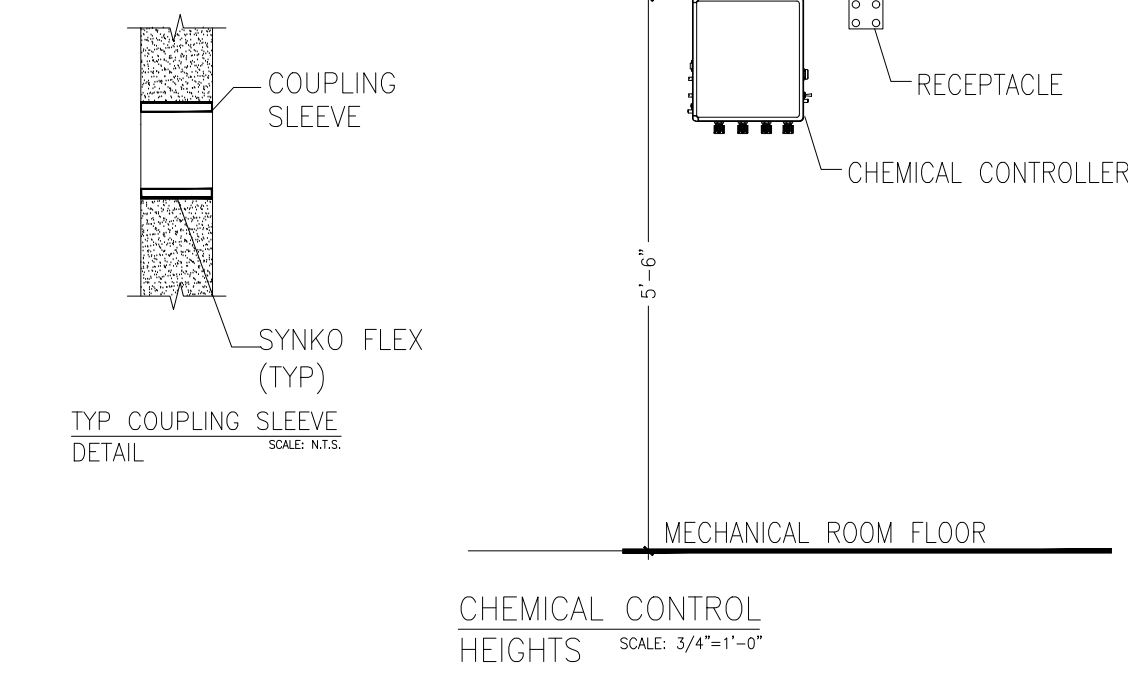
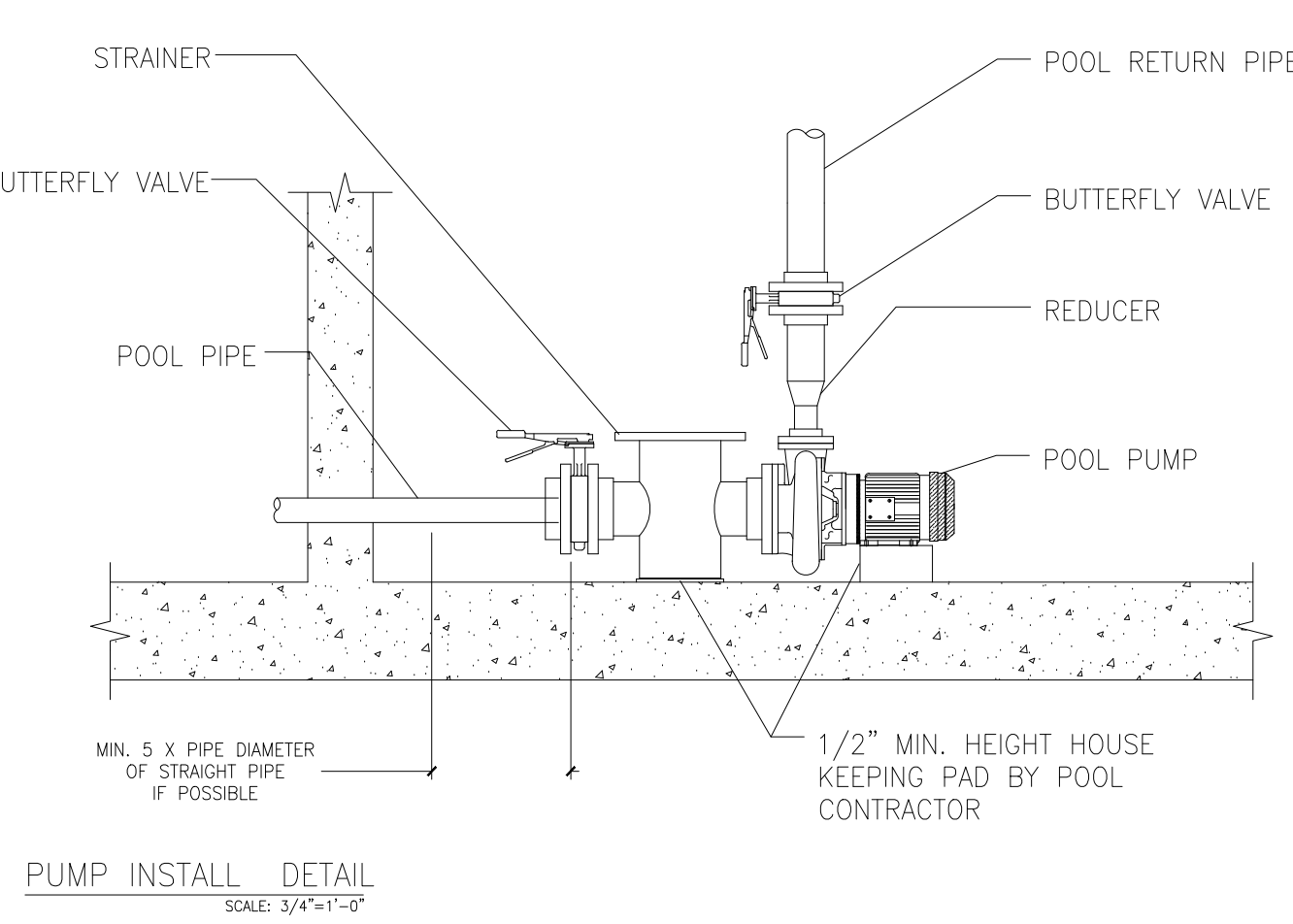
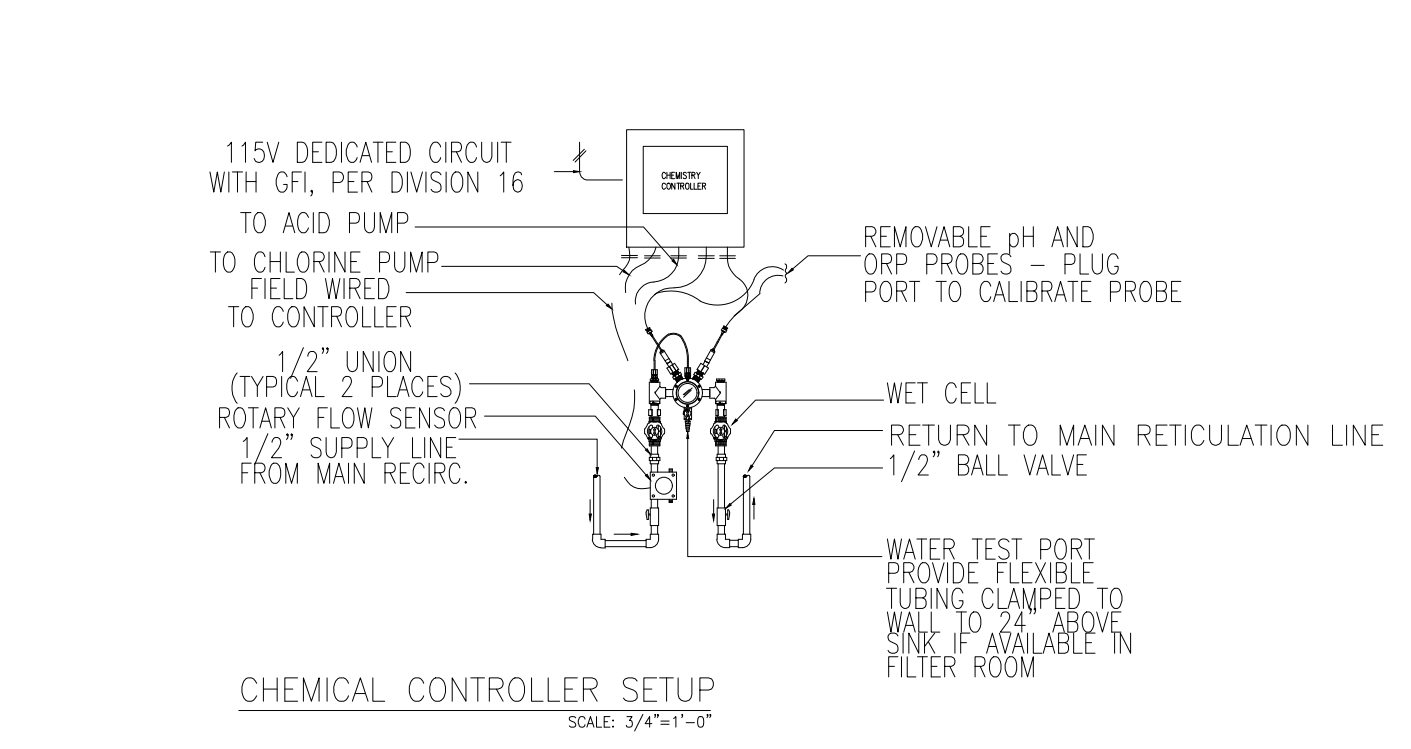
REVISIONS			
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STAMP:
 MEMBER No.: 90272808
 KAMO CONSULTING INC.
 59 GEORGE STREET NORTH
 CAMBRIDGE, ONTARIO

SCHEDULE B

LINK SEAL DETAILS													
PIPE SIZE (NOM. SIZE)	1"	1-1/2"	2"	2-1/2"	3"	3-1/2"	4"	5"	6"	8"	10"	12"	14"
PVC PIPE SLEEVE	2"	3"	3"	4"	4"	4 1/2"	5"	6"	8"	10"	12"	14"	16"
LINKS PER SEAL	4	5	6	9	8	10	10	10	10	12	15	17	30
LINKS SEAL SIZE	LS-300	LS-300	LS-300	LS-200	LS-300	LS-340	LS-300	LS-360	LS-475	LS-475	LS-410	LS-475	LS-340
LINK SLEEVES													
NOTE: ALLOW 3" FOR RIB	CS-3-1	CS-3 1/2	CS-4	CS-4	CS-5	CS-6	CS-6	CS-8	CS-10	CS-12	CS-14	CS-16	CS-16
HOLE SIZE (O.D.)	3.000	4.000	4.000	4.000	5.000	6.000	6.000	8.000	10.000	12.000	14.000	16.000	18.000



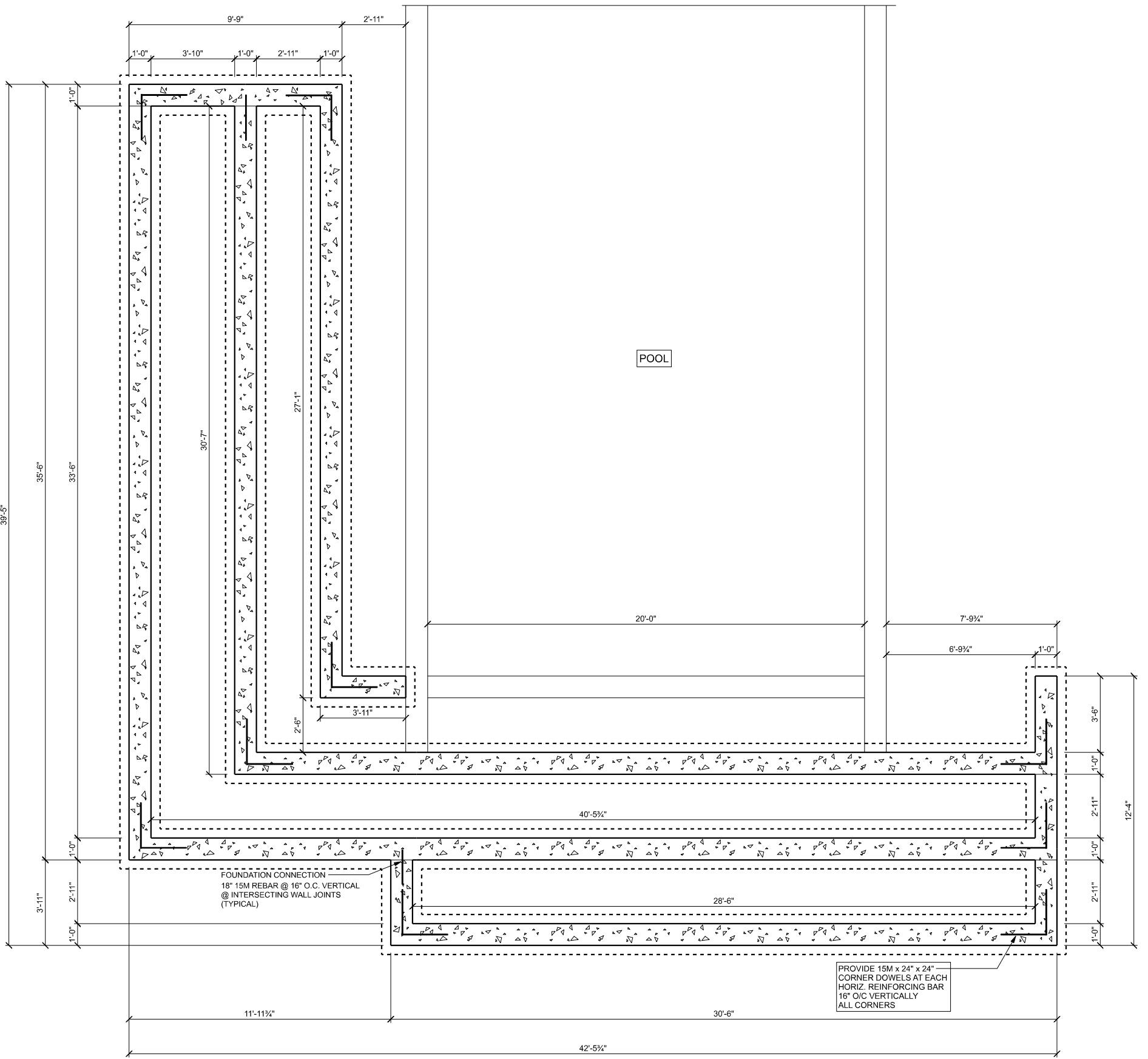
AQUA PLANS
 aquatic consultants inc.
 ph: (519) 743-6760

PROJECT:
COBER RESIDENCE
 109 EDGEHILL DRIVE

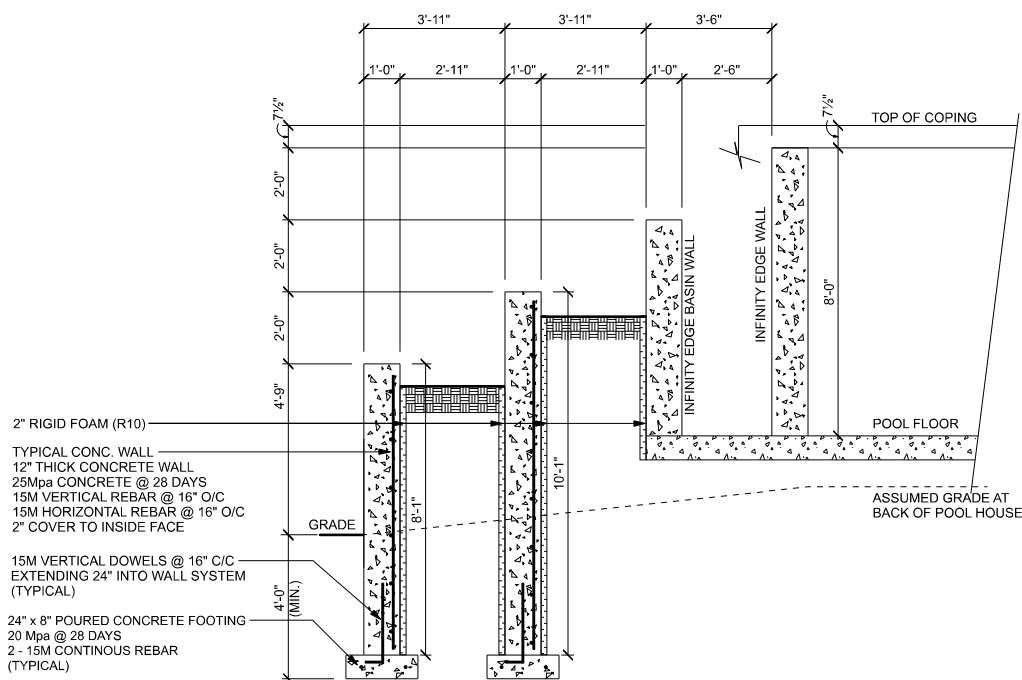
DRAWING TITLE:
POOL MECHANICAL LAYOUT AND DETAILS

SCALE:	N.T.S.	DRAWING NO.:	
DATE:	17 JUNE 2024		
DRAWN BY:	K.V.		
CHECKED BY:	L.B.		
PROJECT NO.:	23075		

PL5.0



PLANTER/ RETAINING WALL LAYOUT



PLANTER/ RETAINING WALL DETAIL



Kamo Consulting Inc.
June 25, 2024

SCHEDULE B

SCALE: 3/16"=1'-0"	DATE: Monday, June 24, 2024	A1
PROJECT: PLANTER/ RETAINING WALLS		
LOT NO. 109 EDGE HILL DRIVE, KITCHENER		
DRAWINGS BY: M.T.		



For foundation and conc. slab design

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER

QUALIFICATION INFORMATION

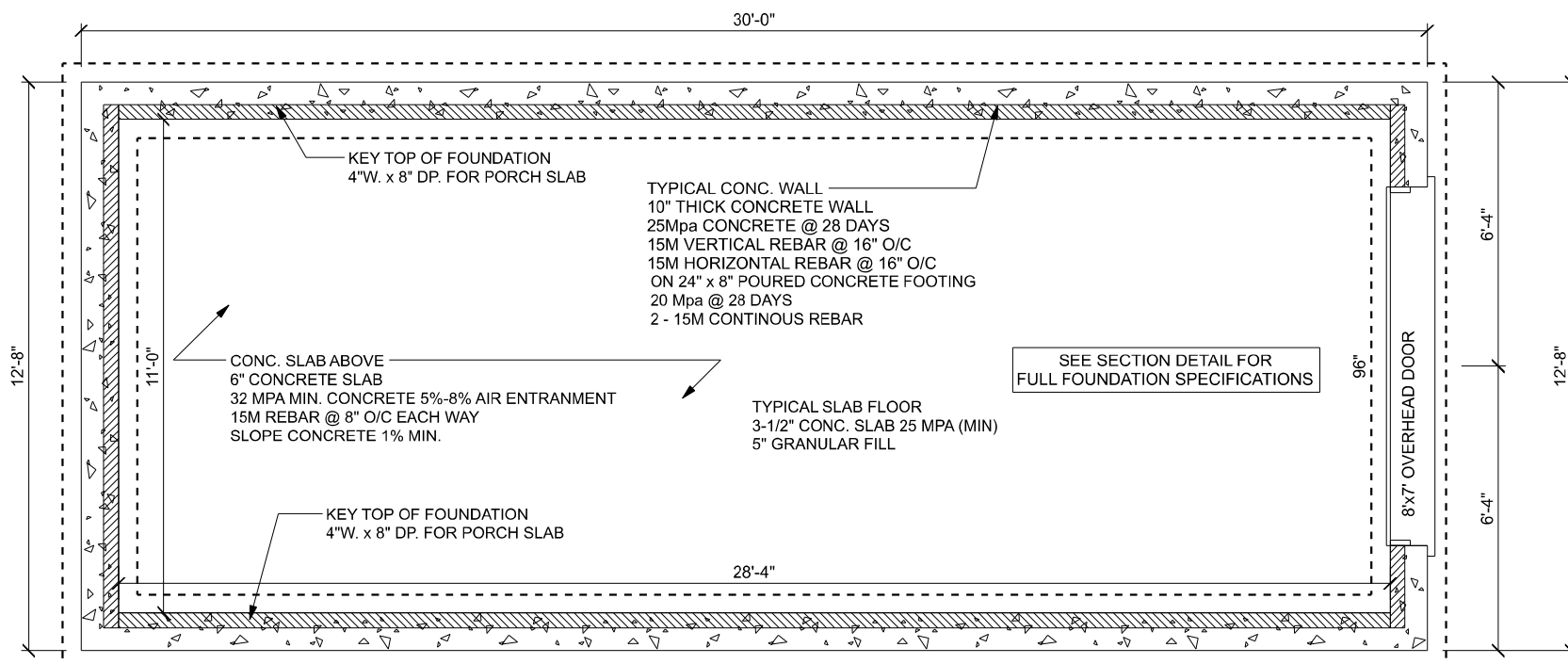
REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.4.1 OF THE BUILDING CODE

MICHAEL TOMLINSON 23013
 NAME SIGNATURE BCIN

REGISTRATION INFORMATION

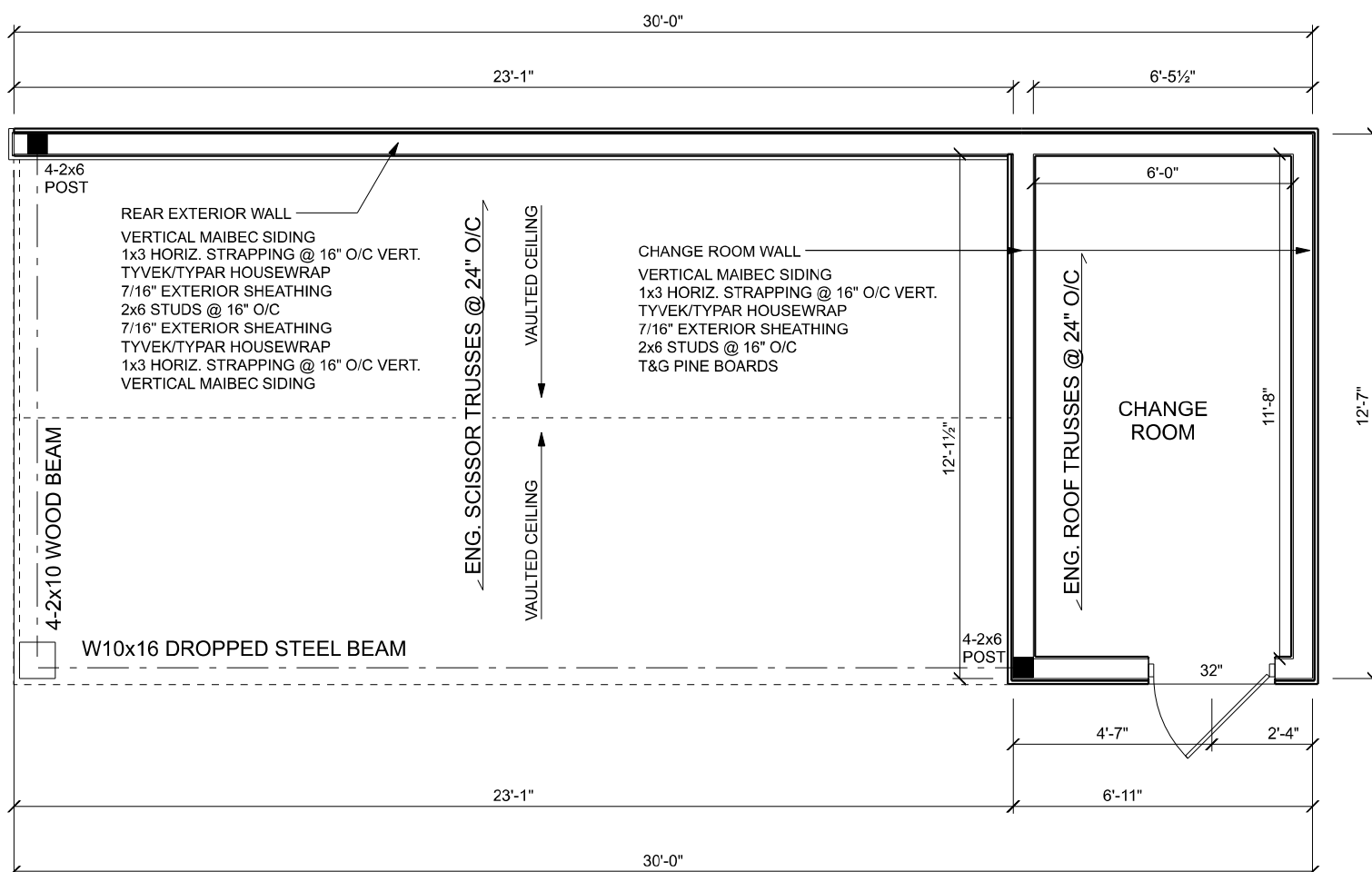
REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.5.1 OF THE BUILDING CODE

M. TOMLINSON RESIDENTIAL DRAFTING 31089
 FIRM NAME BCIN



FOUNDATION PLAN

ALL CONCRETE WALLS 10" THICK UNLESS NOTED OTHERWISE



COVERED AREA/CHANGE ROOM

ALL EXTERIOR WALLS 2"x 6" @ 16" O.C. UNLESS NOTED OTHERWISE
 ALL STRUCTURAL LINTELS TO BE 2-2x10 UNLESS OTHERWISE NOTED

SCHEDULE B



M. TOMLINSON RESIDENTIAL DRAFTING
 75 OWEN AVENUE, KITCHENER, ON
 (519) 897-6322
 mtrdrafting@gmail.com
 -PROVIDING ONTARIO WITH DESIGN SOLUTIONS FOR 25 YEARS-

SCALE: 3/16"=1'-0" DATE: Tuesday, May 21, 2024
 PROJECT: COVERED PATIO/CHANGE ROOM
 LOT NO. 109 EDGE HILL DRIVE, KITCHENER
 DRAWINGS BY: M.T.

A1



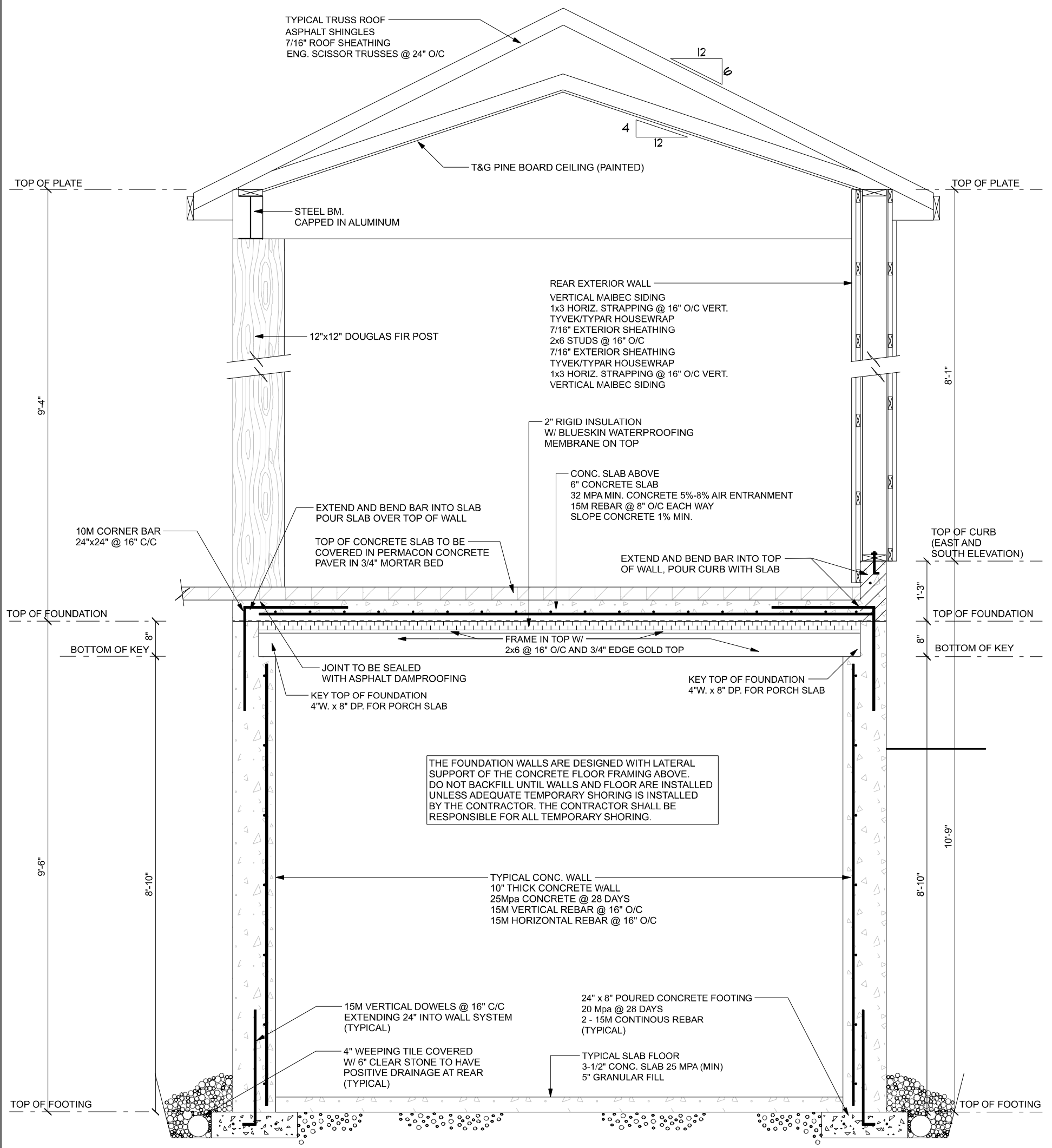
THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER

QUALIFICATION INFORMATION
 REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.4.1 OF THE BUILDING CODE

MICHAEL TOMLINSON 23013
 NAME SIGNATURE BCIN

REGISTRATION INFORMATION
 REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.5.1 OF THE BUILDING CODE

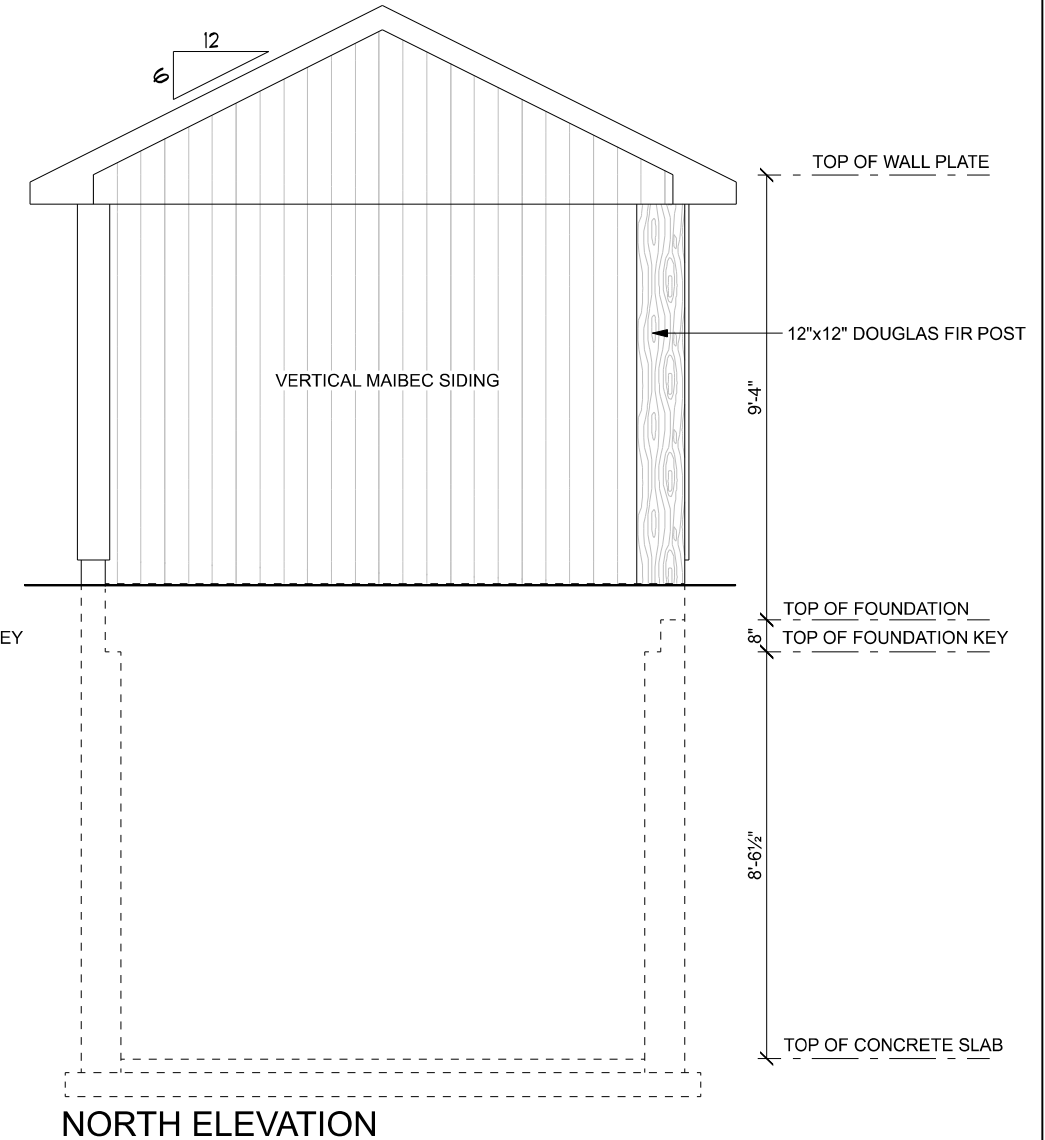
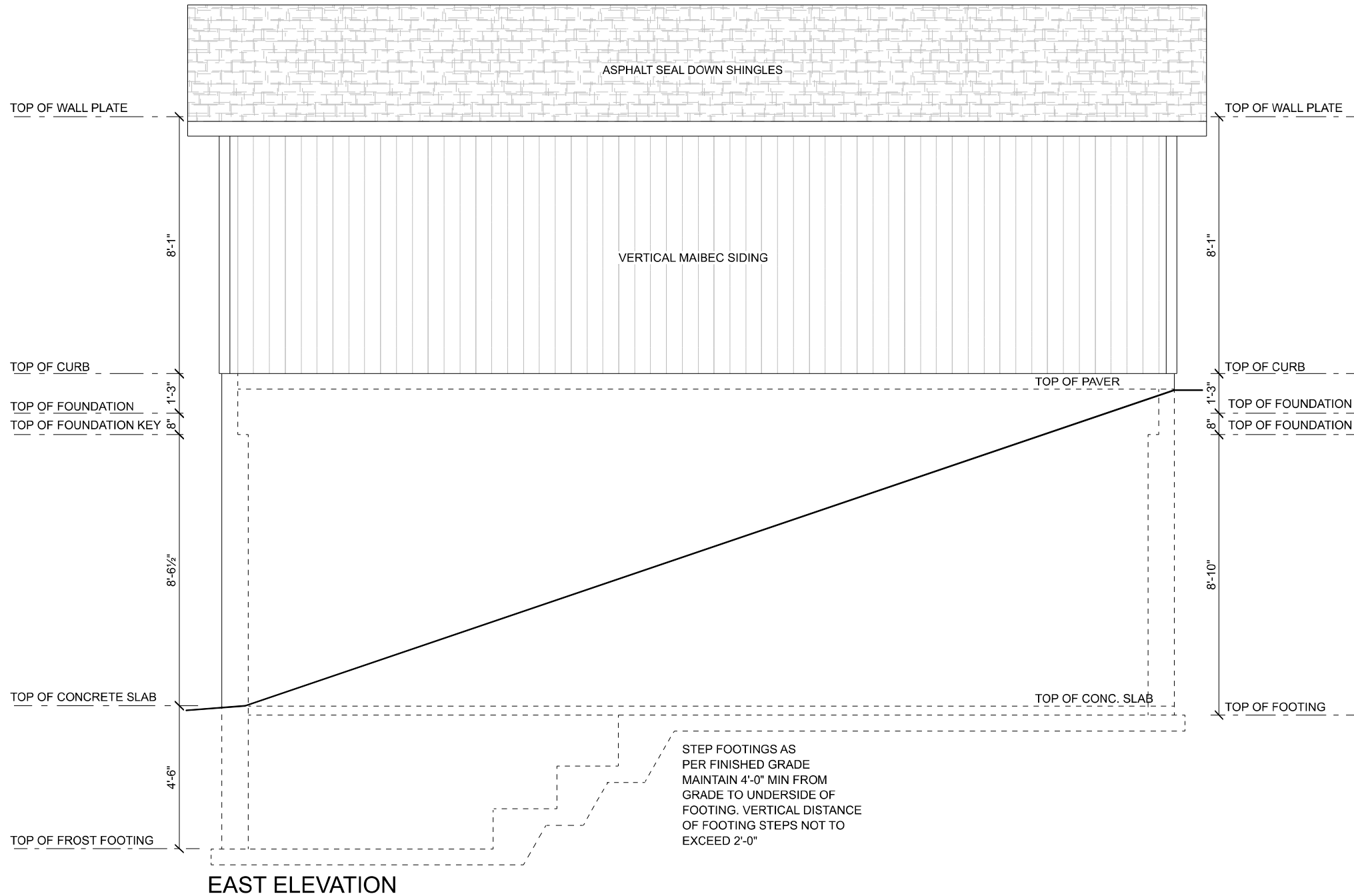
M. TOMLINSON RESIDENTIAL DRAFTING 31089
 FIRM NAME BCIN



POOL HOUSE SECTION

SCHEDULE B

	M. TOMLINSON RESIDENTIAL DRAFTING 75 OWEN AVENUE, KITCHENER, ON (519) 897-6322 mtrdrafting@gmail.com -PROVIDING ONTARIO WITH DESIGN SOLUTIONS FOR 25 YEARS-	SCALE: 3/16"=1'-0"	DATE: Tuesday, May 21, 2024	<h1>A2</h1>
		PROJECT: COVERED PATIO/CHANGE ROOM		
		LOT NO. 109 EDGE HILL DRIVE, KITCHENER		
		DRAWINGS BY: M.T.		



SCHEDULE B

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER

QUALIFICATION INFORMATION
 REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.4.1 OF THE BUILDING CODE

MICHAEL TOMLINSON 23013
 NAME SIGNATURE BCIN

REGISTRATION INFORMATION
 REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.5.1 OF THE BUILDING CODE

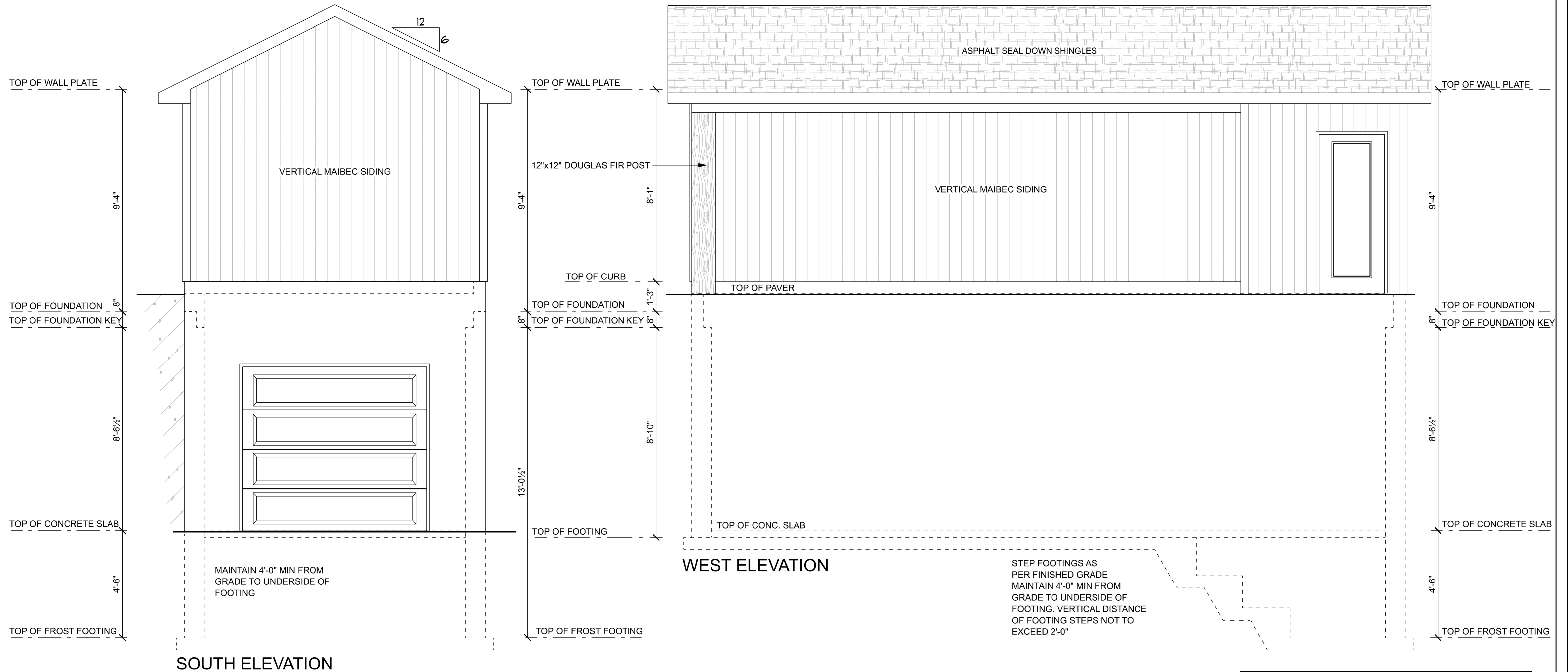
M. TOMLINSON RESIDENTIAL DRAFTING 31089
 FIRM NAME BCIN



M. TOMLINSON RESIDENTIAL DRAFTING
 75 OWEN AVENUE, KITCHENER, ON
 (519) 897-6322
 mtrdrafting@gmail.com
 -PROVIDING ONTARIO WITH DESIGN SOLUTIONS FOR 25 YEARS-

SCALE: 3/16"=1'-0"	DATE: Friday, May 17, 2024
PROJECT: COVERED PATIO/CHANGE ROOM	
LOT NO. 109 EDGE HILL DRIVE, KITCHENER	
DRAWINGS BY: M.T.	

A3



SCHEDULE B

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER

QUALIFICATION INFORMATION
 REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.4.1 OF THE BUILDING CODE

MICHAEL TOMLINSON	23013
NAME	BCIN
SIGNATURE	
REGISTRATION INFORMATION	
REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.5.1 OF THE BUILDING CODE	
M. TOMLINSON RESIDENTIAL DRAFTING	31089
FIRM NAME	BCIN



M. TOMLINSON RESIDENTIAL DRAFTING
 75 OWEN AVENUE, KITCHENER, ON
 (519) 897-6322
 mtrdrafting@gmail.com
 -PROVIDING ONTARIO WITH DESIGN SOLUTIONS FOR 25 YEARS-

SCALE: 3/16"=1'-0"	DATE: Friday, May 17, 2024
PROJECT: COVERED PATIO/CHANGE ROOM	
LOT NO. 109 EDGE HILL DRIVE, KITCHENER	
DRAWINGS BY: M.T.	

A4