

SUBJECT AREA(S)



**AMENDMENT TO BY-LAW 85-1
AREA 1 -**
FROM HIGH INTENSITY MIXED USE CORRIDOR ZONE (MU-3)
TO HIGH INTENSITY MIXED USE CORRIDOR ZONE (MU-3)
WITH SPECIAL REGULATION PROVISION 817R AND HOLDING PROVISION 114H

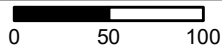
BY-LAW 85-1
I-2 COMMUNITY INSTITUTIONAL ZONE
I-3 MAJOR INSTITUTIONAL ZONE
MU-2 MEDIUM INTENSITY MIXED USE CORRIDOR ZONE
MU-3 HIGH INTENSITY MIXED USE CORRIDOR ZONE
R-5 RESIDENTIAL FIVE ZONE
R-6 RESIDENTIAL SIX ZONE
R-7 RESIDENTIAL SEVEN ZONE
R-8 RESIDENTIAL EIGHT ZONE
BY-LAW 2019-051
OSR-2 OPEN SPACE: GREENWAYS ZONE
RES-4 LOW RISE RESIDENTIAL FOUR ZONE

ZONE GRID REFERENCE
SCHEDULE NO. 75
OF APPENDIX 'A'
KITCHENER ZONING BY-LAW 85-1 AND 2019-051
— ZONE LIMITS

MAP NO. 1

KING PINE KITCHENER INC.

864, 866, 868, 872, 876 KING ST W



SCALE 1:4,000

DATE: OCTOBER 14, 2024

ZONING BY-LAW AMENDMENT ZBA24/022/K/ES

OFFICIAL PLAN AMENDMENT N/A

City of Kitchener

DEVELOPMENT SERVICES DEPARTMENT, PLANNING

FILE:
ZBA24022KES_MAP1
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