

**TOWER A - 44 STOREYS**

ZONING BY-LAW 85-1	REQUIRED	PROPOSED
MAX. FRONT YARD SETBACK (KING ST W)	10.0 m	32.3 m
MAX. SIDE YARD SETBACK (PINE ST)	10.0 m	38.5 m
MIN. REAR YARD SETBACK	14.0 m	1.0 m
MAX. FLOOR SPACE RATIO	4.0	6.6

**ZONING BY-LAW 2019-051**

FOR ENTIRE BUILDING	REQUIRED	PROPOSED
MIN. LOT WIDTH	30.0 m	61.73 m
MIN. LOT AREA	1500 sq. m.	6,250.3 m <sup>2</sup>
MIN. SIDE YARD SETBACK	3.0 m	1.0 m
MIN. BUILDING BASE HEIGHT	3 storeys	7 storeys
MAXIMUM BUILDING BASE HEIGHT	6 storeys	7 storeys
MINIMUM STREET LINE GROUND FLOOR BUILDING HEIGHT	4.5 m	3.2 m
MINIMUM FACADE OPENINGS	10%	5%
MINIMUM STREET LINE FACADE OPENINGS	20%	5%

LEVEL 7-12 PHYSICAL SEPARATION:	REQUIRED	PROPOSED
NORTH PROPERTY LINE, RIGHT SIDE	6.0 m	1.0 m
NORTHWEST PROPERTY LINE	6.0 m	1.8 m
NORTH PROPERTY LINE, LEFT SIDE	6.0 m	2.3 m
EAST PROPERTY LINE, NORTH SIDE	6.0 m	4.2 m
SOUTH PROPERTY LINE	6.0 m	6.1 m
EAST PROPERTY LINE, SOUTH SIDE	6.0 m	2.4 m
WEST PROPERTY LINE	6.0 m	38.2 m
FRONT YARD PROPERTY LINE	6.0 m	31.4 m
FLOOR PLATE AREA	2000.0 sq.m	2080.0 sq.m

LEVEL 13-18 PHYSICAL SEPARATION:	REQUIRED	PROPOSED
NORTH PROPERTY LINE, RIGHT SIDE	9.0 m	5.1 m
NORTHWEST PROPERTY LINE	9.0 m	2.7 m
NORTH PROPERTY LINE, LEFT SIDE	9.0 m	2.7 m
EAST PROPERTY LINE, NORTH SIDE	9.0 m	14.6 m
SOUTH PROPERTY LINE	9.0 m	14.0 m
FRONT YARD PROPERTY LINE	9.0 m	52.2 m
WEST PROPERTY LINE	9.0 m	42.9 m
FLOOR PLATE AREA	1200 sq. m.	856.5 sq.m

LEVEL 19-36 PHYSICAL SEPARATION:	REQUIRED	PROPOSED
NORTH PROPERTY LINE, RIGHT SIDE	12.0 m	5.1 m
NORTHWEST PROPERTY LINE	12.0 m	2.7 m
NORTH PROPERTY LINE, LEFT SIDE	12.0 m	2.7 m
EAST PROPERTY LINE, NORTH SIDE	12.0 m	14.6 m
SOUTH PROPERTY LINE	12.0 m	14.0 m
FRONT YARD PROPERTY LINE	12.0 m	52.2 m
WEST PROPERTY LINE	12.0 m	42.9 m
FLOOR PLATE AREA	900 sq. m.	856.5 sq.m

LEVEL 37-45 PHYSICAL SEPARATION:	REQUIRED	PROPOSED
NORTH PROPERTY LINE, RIGHT SIDE	15.0 m	5.1 m
NORTHWEST PROPERTY LINE	15.0 m	2.7 m
NORTH PROPERTY LINE, LEFT SIDE	15.0 m	2.7 m
EAST PROPERTY LINE, NORTH SIDE	15.0 m	14.6 m
SOUTH PROPERTY LINE	15.0 m	14.0 m
FRONT YARD PROPERTY LINE	15.0 m	52.2 m
WEST PROPERTY LINE	15.0 m	42.9 m
FLOOR PLATE AREA	900 sq. m.	856.5 sq.m

MIN. COMMUNITY/COMMERCIAL USE (STREET LINE GROUND FLOOR)	50%	0%
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ABOVE GRADE STRUCTURED PARKING (STREET LINE GROUND + SECOND FLOOR)	NOT PERMITTED	*
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MAX. ABOVE GRADE STRUCTURED PARKING SPACE OCCUPIED (STREET LINE FACADE WITHIN BASE OF BUILDING)	50%	100%
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MIN. STREET LINE GROUND FLOOR FACADE OPENING	40%	5%
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**864-872 KING ST  
APARTMENTS**

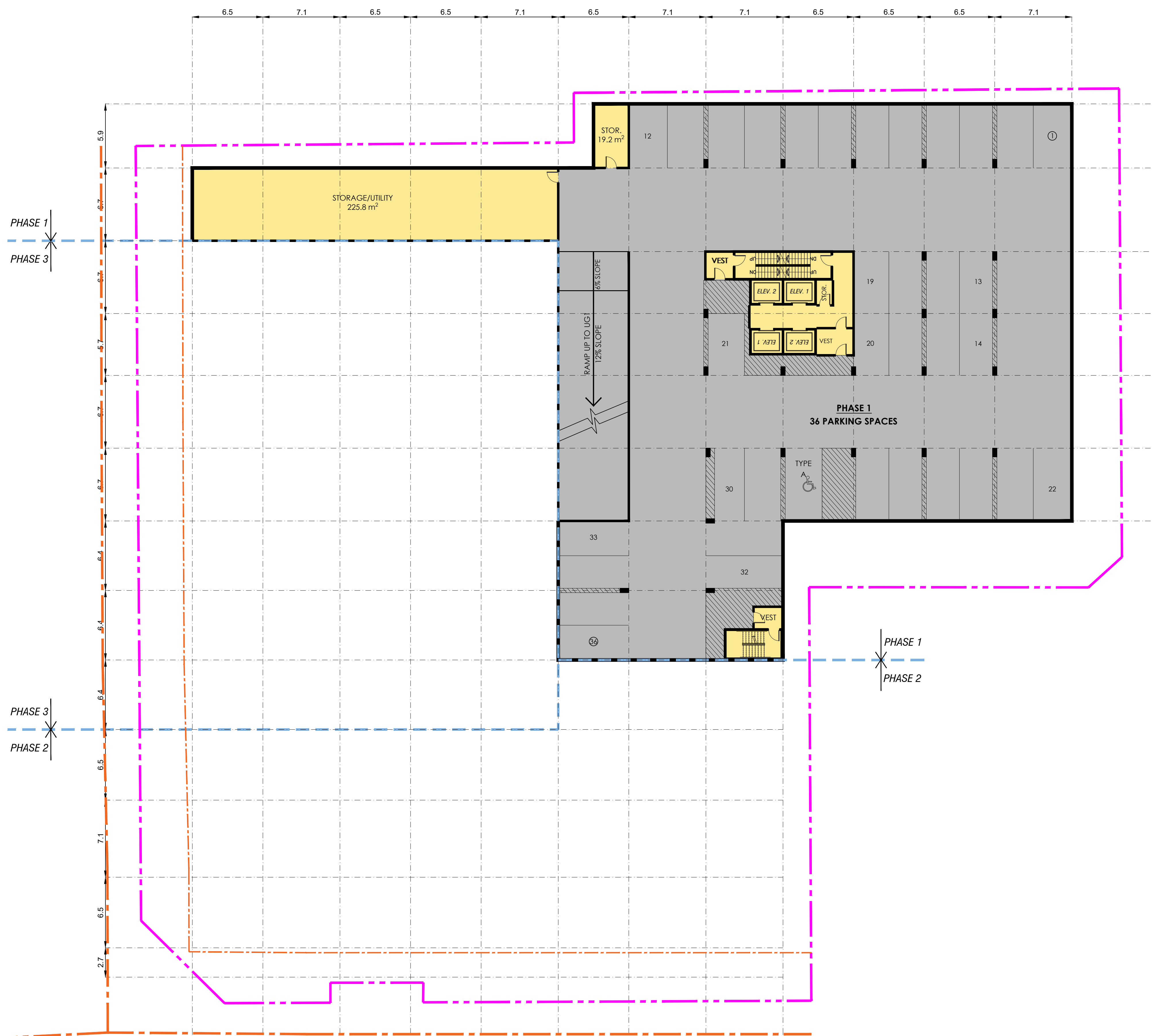
KITCHENER, ON

**TBG ANALYSIS**

DATE: 2024-07-25  
SCALE 1:200



**TBG**



**TOWER A - 44 STOREYS**

ZONING BY-LAW 85-1	REQUIRED	PROPOSED
MAX. FRONT YARD SETBACK (KING ST W)	10.0 m	32.3 m
MAX. SIDE YARD SETBACK (PINE ST)	10.0 m	38.5 m
MIN. REAR YARD SETBACK	14.0 m	1.0 m
MAX. FLOOR SPACE RATIO	4.0	6.6

ZONING BY-LAW 2019-051	REQUIRED	PROPOSED
FOR ENTIRE BUILDING	MIN.	MIN.
MIN. LOT WIDTH	30.0 m	61.73 m
MIN. LOT AREA	1500 sq. m.	6250.3 m <sup>2</sup>
MIN. SIDE YARD SETBACK	3.0 m	1.0 m
MIN. BUILDING BASE HEIGHT	3 storeys	7 storeys
MAXIMUM BUILDING BASE HEIGHT	6 storeys	7 storeys
MINIMUM STREET LINE GROUND FLOOR BUILDING HEIGHT	4.5 m	3.2 m
MINIMUM FACADE OPENINGS	10%	5%
MINIMUM STREET LINE FACADE OPENINGS	20%	5%

LEVEL 7-12 PHYSICAL SEPARATION:	MIN.	MIN.
NORTH PROPERTY LINE, RIGHT SIDE	6.0 m	1.0 m
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WEST PROPERTY LINE	6.0 m	38.2 m
FRONT YARD PROPERTY LINE	6.0 m	31.4 m
FLOOR PLATE AREA	2000.0 sq.m	2080.0 sq.m

LEVEL 13-18 PHYSICAL SEPARATION:	MIN.	MIN.
NORTH PROPERTY LINE, RIGHT SIDE	9.0 m	5.1 m
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MIN. COMMUNITY/COMMERCIAL USE (STREET LINE GROUND FLOOR)	50%	0%
ABOVE GRADE STRUCTURED PARKING (STREET LINE GROUND + SECOND FLOOR)	NOT PERMITTED	*
MAX. ABOVE GRADE STRUCTURED PARKING SPACE OCCUPIED (STREET LINE FACADE WITHIN BASE OF BUILDING)	50%	100%
MIN. STREET LINE GROUND FLOOR FACADE OPENING	40%	5%

**864-872 KING ST APARTMENTS**  
KITCHENER, ON

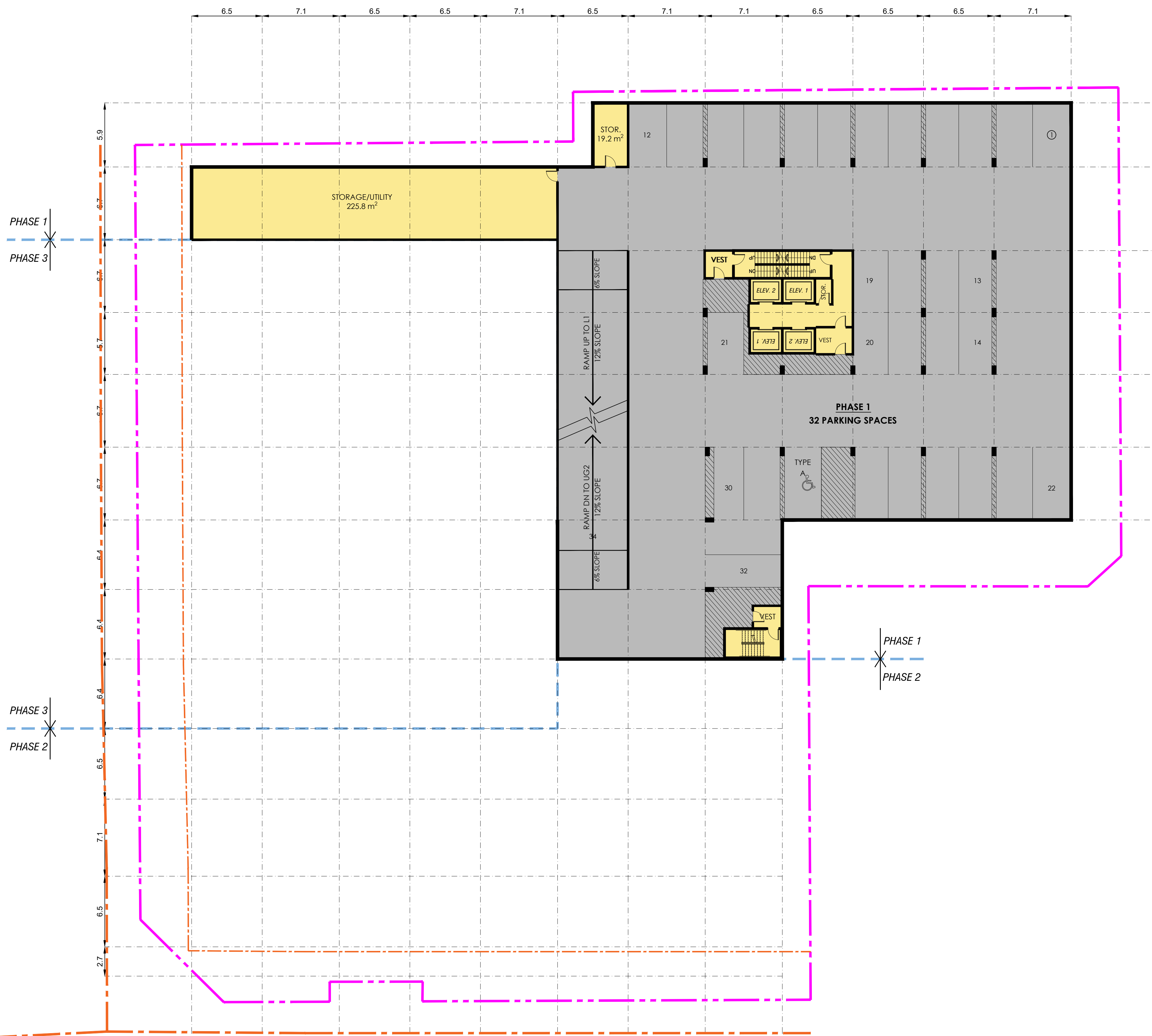
**PROPOSED UNDERGROUND PARKING LEVEL P2**

DATE: 2024-10-15  
SCALE 1:200



**PL2**





**TOWER A - 44 STOREYS**

ZONING BY-LAW 85-1	REQUIRED	PROPOSED
MAX. FRONT YARD SETBACK (KING ST W)	10.0 m	32.3 m
MAX. SIDE YARD SETBACK (PINE ST)	10.0 m	38.5 m
MIN. REAR YARD SETBACK	14.0 m	1.0 m
MAX. FLOOR SPACE RATIO	4.0	6.6

ZONING BY-LAW 2019-051	REQUIRED	PROPOSED
FOR ENTIRE BUILDING	MIN.	MIN.
MIN. LOT WIDTH	30.0 m	61.73 m
MIN. LOT AREA	1500 sq. m.	6,250.3 m²
MIN. SIDE YARD SETBACK	3.0 m	1.0 m
MIN. BUILDING BASE HEIGHT	3 storeys	7 storeys
MAXIMUM BUILDING BASE HEIGHT	6 storeys	7 storeys
MINIMUM STREET LINE GROUND FLOOR BUILDING HEIGHT	4.5 m	3.2 m
MINIMUM FACADE OPENINGS	10%	5%
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LEVEL 7-12 PHYSICAL SEPARATION:	MIN.	MIN.
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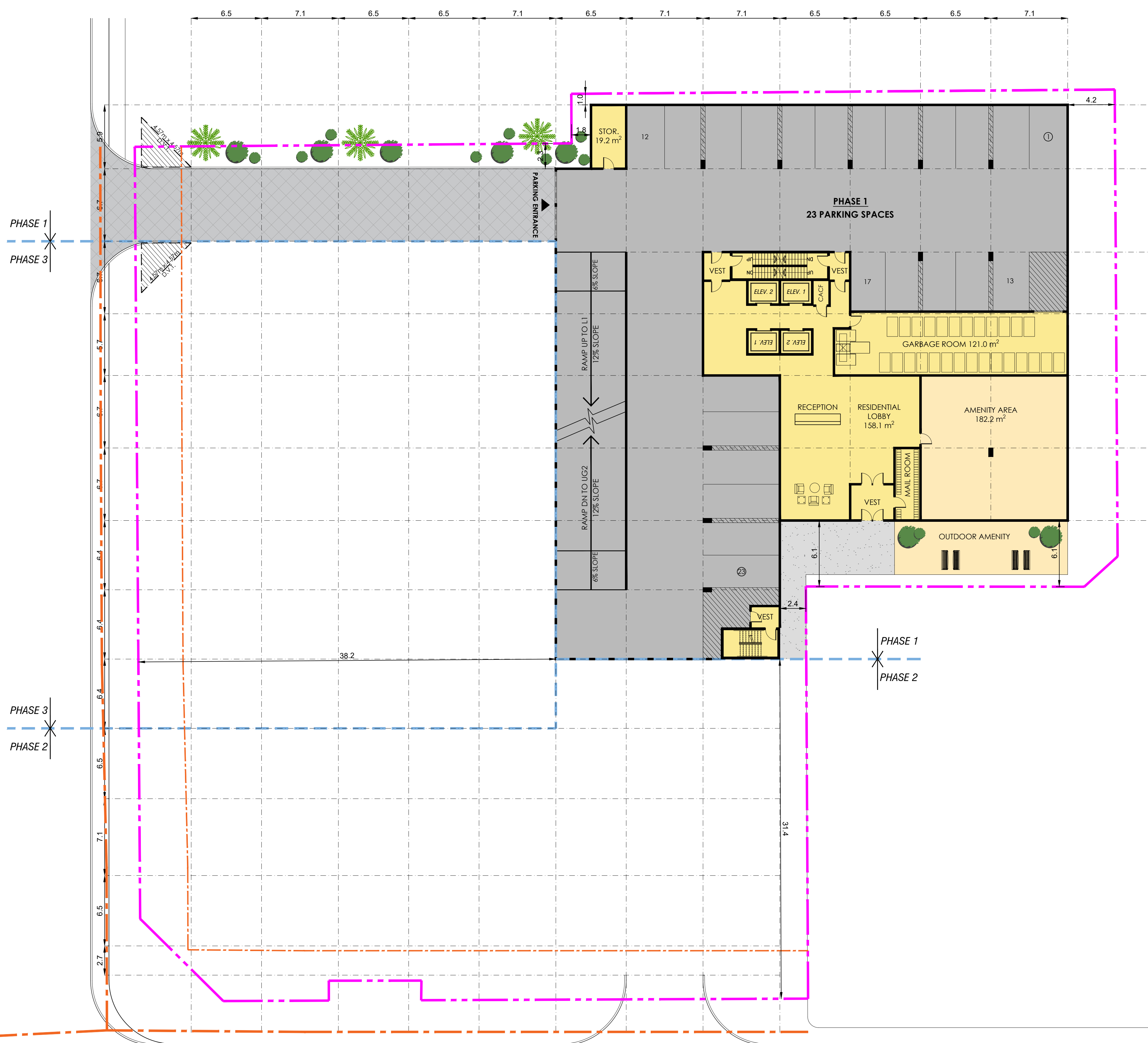
**864-872 KING ST  
APARTMENTS**  
KITCHENER, ON

**PROPOSED UNDERGROUND PARKING  
LEVEL P1**

DATE: 2024-10-15  
SCALE 1:200



**PL1**



**TOWER A - 44 STOREYS**

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ZONING BY-LAW 2019-051	REQUIRED	PROPOSED
FOR ENTIRE BUILDING	MIN.	MIN.
MIN. LOT WIDTH	30.0 m	61.73 m
MIN. LOT AREA	1500 sq. m.	6,250.3 m²
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MIN. BUILDING BASE HEIGHT	3 storeys	7 storeys
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MIN. STREET LINE GROUND FLOOR FACADE OPENING	40%	5%

**864-872 KING ST  
APARTMENTS**  
KITCHENER, ON

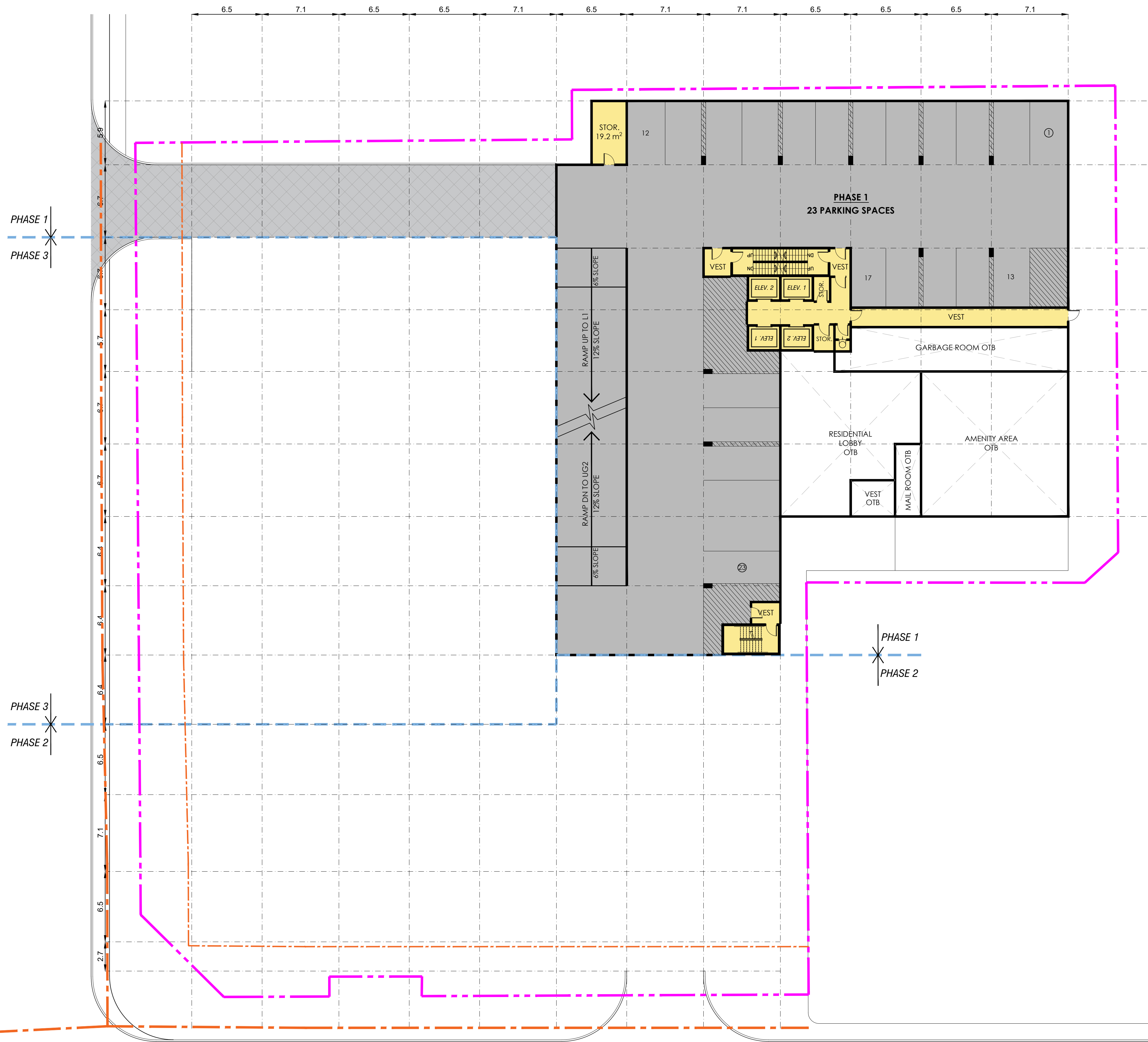
**PROPOSED GROUND FLOOR**



**SP1**

DATE: 2024-10-15  
SCALE 1:200





**TOWER A - 44 STOREYS**

ZONING BY-LAW 85-1	REQUIRED	PROPOSED
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**864-872 KING ST APARTMENTS**

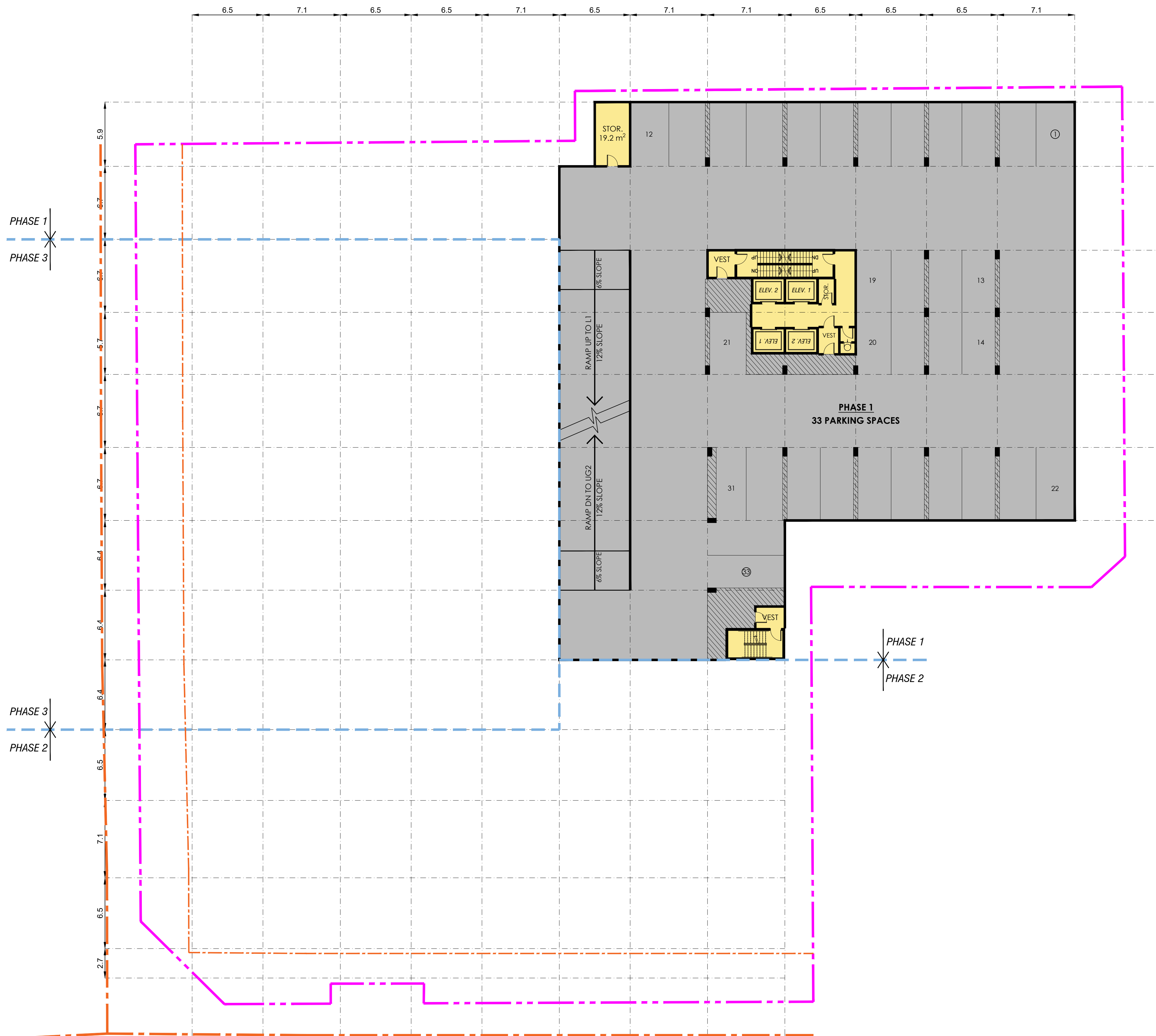
KITCHENER, ON

**LEVEL 2**

DATE: 2024-10-15  
SCALE 1:200



**P1**



**TOWER A - 44 STOREYS**

ZONING BY-LAW 85-1	REQUIRED	PROPOSED
MAX. FRONT YARD SETBACK (KING ST W)	10.0 m	32.3 m
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**864-872 KING ST  
APARTMENTS**  
KITCHENER, ON

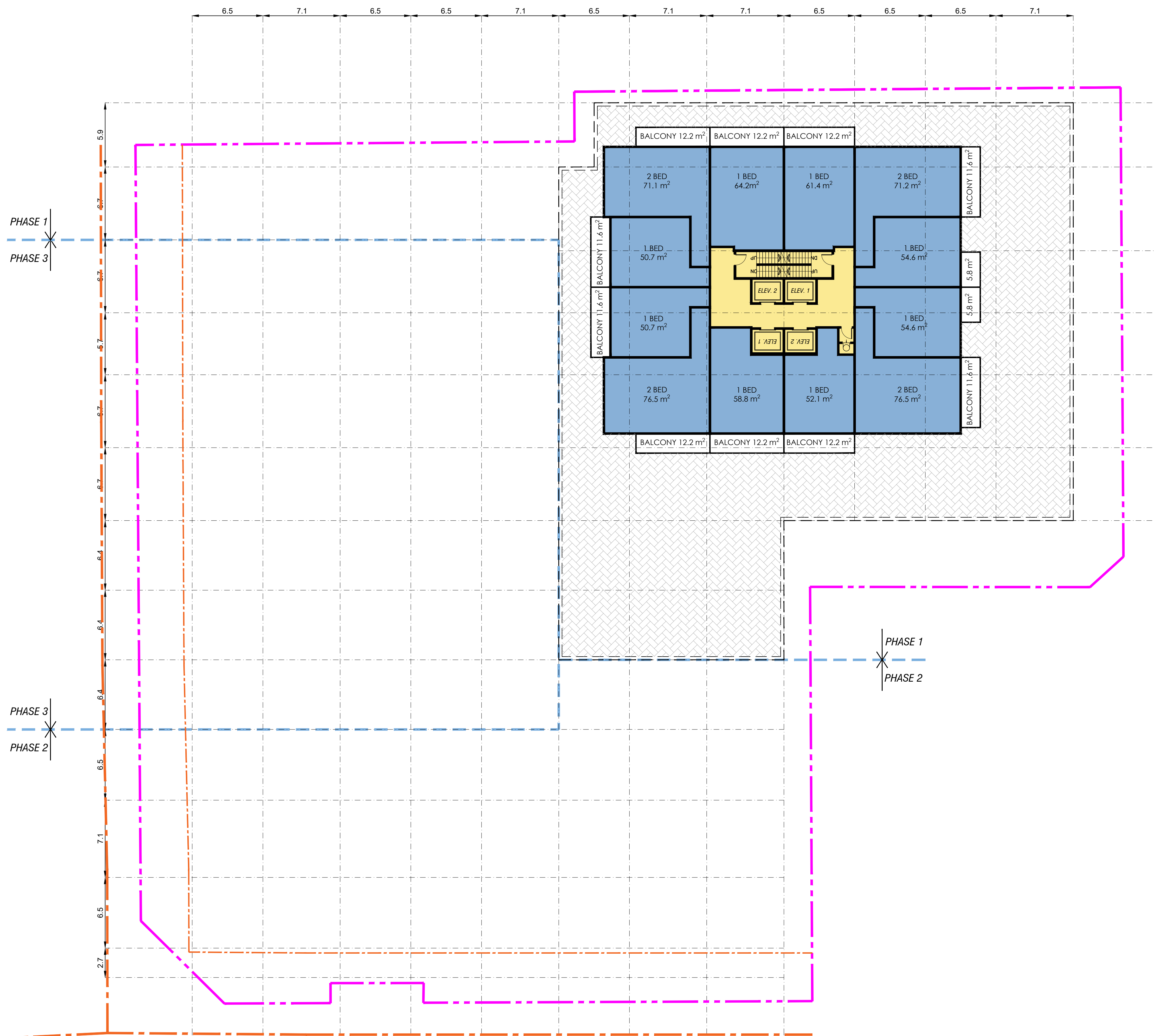
**PROPOSED LEVEL 3-7**

DATE: 2024-10-15  
SCALE 1:200



**P2**





**TOWER A - 44 STOREYS**

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MAX. FRONT YARD SETBACK (KING ST W)	10.0 m	32.3 m
MAX. SIDE YARD SETBACK (PINE ST)	10.0 m	38.5 m
MIN. REAR YARD SETBACK	14.0 m	1.0 m
MAX. FLOOR SPACE RATIO	4.0	6.6

ZONING BY-LAW 2019-051	REQUIRED	PROPOSED
FOR ENTIRE BUILDING	MIN.	MIN.
MIN. LOT WIDTH	30.0 m	61.73 m
MIN. LOT AREA	1500 sq. m.	6,250.3 m²
MIN. SIDE YARD SETBACK	3.0 m	1.0 m
MIN. BUILDING BASE HEIGHT	3 storeys	7 storeys
MAXIMUM BUILDING BASE HEIGHT	6 storeys	7 storeys
MINIMUM STREET LINE GROUND FLOOR BUILDING HEIGHT	4.5 m	3.2 m
MINIMUM FACADE OPENINGS	10%	5%
MINIMUM STREET LINE FACADE OPENINGS	20%	5%

LEVEL 7-12 PHYSICAL SEPARATION:	MIN.	MIN.
NORTH PROPERTY LINE, RIGHT SIDE	6.0 m	1.0 m
NORTHWEST PROPERTY LINE	6.0 m	1.8 m
NORTH PROPERTY LINE, LEFT SIDE	6.0 m	2.3 m
EAST PROPERTY LINE, NORTH SIDE	6.0 m	4.2 m
SOUTH PROPERTY LINE	6.0 m	6.1 m
EAST PROPERTY LINE, SOUTH SIDE	6.0 m	2.4 m
WEST PROPERTY LINE	6.0 m	38.2 m
FRONT YARD PROPERTY LINE	6.0 m	31.4 m
FLOOR PLATE AREA	2000.0 sq.m	2080.0 sq.m

LEVEL 13-18 PHYSICAL SEPARATION:	MIN.	MIN.
NORTH PROPERTY LINE, RIGHT SIDE	9.0 m	5.1 m
NORTHWEST PROPERTY LINE	9.0 m	2.7 m
NORTH PROPERTY LINE, LEFT SIDE	9.0 m	2.7 m
EAST PROPERTY LINE, NORTH SIDE	9.0 m	14.6 m
SOUTH PROPERTY LINE	9.0 m	14.0 m
FRONT YARD PROPERTY LINE	9.0 m	52.2 m
WEST PROPERTY LINE	9.0 m	42.9 m
FLOOR PLATE AREA	1200 sq. m.	856.5 sq.m

LEVEL 19-36 PHYSICAL SEPARATION:	MIN.	MIN.
NORTH PROPERTY LINE, RIGHT SIDE	12.0 m	5.1 m
NORTHWEST PROPERTY LINE	12.0 m	2.7 m
NORTH PROPERTY LINE, LEFT SIDE	12.0 m	2.7 m
EAST PROPERTY LINE, NORTH SIDE	12.0 m	14.6 m
SOUTH PROPERTY LINE	12.0 m	14.0 m
FRONT YARD PROPERTY LINE	12.0 m	52.2 m
WEST PROPERTY LINE	12.0 m	42.9 m
FLOOR PLATE AREA	900 sq. m.	856.5 sq.m

LEVEL 37-45 PHYSICAL SEPARATION:	MIN.	MIN.
NORTH PROPERTY LINE, RIGHT SIDE	15.0 m	5.1 m
NORTHWEST PROPERTY LINE	15.0 m	2.7 m
NORTH PROPERTY LINE, LEFT SIDE	15.0 m	2.7 m
EAST PROPERTY LINE, NORTH SIDE	15.0 m	14.6 m
SOUTH PROPERTY LINE	15.0 m	14.0 m
FRONT YARD PROPERTY LINE	15.0 m	52.2 m
WEST PROPERTY LINE	15.0 m	42.9 m
FLOOR PLATE AREA	900 sq. m.	856.5 sq.m

MIN. COMMUNITY/COMMERCIAL USE (STREET LINE GROUND FLOOR)	50%	0%
ABOVE GRADE STRUCTURED PARKING (STREET LINE GROUND + SECOND FLOOR)	NOT PERMITTED	*
MAX. ABOVE GRADE STRUCTURED PARKING SPACE OCCUPIED (STREET LINE FACADE WITHIN BASE OF BUILDING)	50%	100%
MIN. STREET LINE GROUND FLOOR FACADE OPENING	40%	5%

**864-872 KING ST  
APARTMENTS**

KITCHENER, ON

**PROPOSED TYP. RESIDENTIAL UNITS  
LEVEL 8**

DATE: 2024-10-15  
SCALE 1:200



**P3**





BUILDING DATA - Revised Proposal						
BUILDING AREAS	Phase 1					
BELOW GRADE	MET (sq.m.)	IMP.(sq.ft.)	PARKING			
P1 - UNDERGROUND PARKING	2287.9	24626.7	32			
P2 - UNDERGROUND PARKING	2287.9	24626.7	36			
ABOVE GRADE	MET (sq.m.)	IMP.(sq.ft.)	1 BED	2 BED	TOTAL	
LEVEL 1 - PARKING	1391.7	14980	23			
LEVEL 2 - PARKING	1591.6	17132	23			
LEVEL 3 - PARKING		0	33			
LEVEL 4 - PARKING	2062.1	22196	33			
LEVEL 5 - PARKING	2062.1	22196	33			
LEVEL 6 - PARKING	2062.1	22196	33			
LEVEL 7 - PARKING	2062.1	22196	33			
LEVEL 1 - AMENITY	182.2	1961				
LEVEL 1 - COMMERCIAL	0.0	0				
LEVEL 1 - COMMON AREA	488.2	5255				
LEVEL 3 - RESIDENTIAL						
LEVEL 4 - RESIDENTIAL						
LEVEL 5 - RESIDENTIAL						
LEVEL 6 - RESIDENTIAL						
LEVEL 7 - RESIDENTIAL						
LEVEL 8 - RESIDENTIAL	856.5	9219	8	4	12	
LEVEL 9 - RESIDENTIAL	856.5	9219	8	4	12	
LEVEL 10 - RESIDENTIAL	856.5	9219	8	4	12	
LEVEL 11 - RESIDENTIAL	856.5	9219	8	4	12	
LEVEL 12 - RESIDENTIAL	856.5	9219	8	4	12	
LEVEL 13 - RESIDENTIAL	856.5	9219	8	4	12	
LEVEL 14 - RESIDENTIAL	856.5	9219	8	4	12	
LEVEL 15 - RESIDENTIAL	856.5	9219	8	4	12	
LEVEL 16 - RESIDENTIAL	856.5	9219	8	4	12	
LEVEL 17 - RESIDENTIAL	856.5	9219	8	4	12	
LEVEL 18 - RESIDENTIAL	856.5	9219	8	4	12	
LEVEL 19 - RESIDENTIAL	856.5	9219	8	4	12	
LEVEL 20 - RESIDENTIAL	856.5	9219	8	4	12	
LEVEL 21 - RESIDENTIAL	856.5	9219	8	4	12	
LEVEL 22 - RESIDENTIAL	856.5	9219	8	4	12	
LEVEL 23 - RESIDENTIAL	856.5	9219	8	4	12	
LEVEL 24 - RESIDENTIAL	856.5	9219	8	4	12	
LEVEL 25 - RESIDENTIAL	856.5	9219	8	4	12	
LEVEL 26 - RESIDENTIAL	856.5	9219	8	4	12	
LEVEL 27 - RESIDENTIAL	856.5	9219	8	4	12	
LEVEL 28 - RESIDENTIAL	856.5	9219	8	4	12	
LEVEL 29 - RESIDENTIAL	856.5	9219	8	4	12	
LEVEL 30 - RESIDENTIAL	856.5	9219	8	4	12	
LEVEL 31 - RESIDENTIAL	856.5	9219	8	4	12	
LEVEL 32 - RESIDENTIAL	856.5	9219	8	4	12	
LEVEL 33 - RESIDENTIAL	856.5	9219	8	4	12	
LEVEL 34 - RESIDENTIAL	856.5	9219	8	4	12	
LEVEL 35 - RESIDENTIAL	856.5	9219	8	4	12	
LEVEL 36 - RESIDENTIAL	856.5	9219	8	4	12	
LEVEL 37 - RESIDENTIAL	856.5	9219	8	4	12	
LEVEL 38 - RESIDENTIAL	856.5	9219	8	4	12	
LEVEL 39 - RESIDENTIAL	856.5	9219	8	4	12	
LEVEL 40 - RESIDENTIAL	856.5	9219	8	4	12	
LEVEL 41 - RESIDENTIAL	856.5	9219	8	4	12	
LEVEL 42 - RESIDENTIAL	856.5	9219	8	4	12	
LEVEL 43 - RESIDENTIAL	856.5	9219	8	4	12	
LEVEL 44 - RESIDENTIAL	856.5	9219	8	4	12	
LEVEL 45 - RESIDENTIAL	856.5	9219	8	4	12	
LEVEL 46 - RESIDENTIAL						
LEVEL 47 - RESIDENTIAL						
LEVEL 48 - RESIDENTIAL						
LEVEL 49 - RESIDENTIAL						
LEVEL 20 - RESIDENTIAL						
LEVEL 51 - RESIDENTIAL						
LEVEL 52 - RESIDENTIAL						
LEVEL 53 - RESIDENTIAL						
LEVEL 54 - RESIDENTIAL						
LEVEL 55 - RESIDENTIAL						
LEVEL 56 - RESIDENTIAL						
<b>TOTAL GFA - ABOVE GRADE</b>	<b>44449.1</b>	<b>478446</b>	<b>279</b>	<b>304</b>	<b>152</b>	<b>456</b>
<b>FSR (6,329.1 sq.m. LOT AREA)</b>	<b>7.1</b>		<b>Parking Spaces/Unit</b>			<b>0.612</b>