

REPORT TO: Heritage Kitchener

DATE OF MEETING: June 3, 2025

SUBMITTED BY: Garrett Stevenson, Director of Development and Housing Approvals,
519-783-8922

PREPARED BY: Michelle Drake, Senior Heritage Planner, 519-783-8909

WARD(S) INVOLVED: Ward 2

DATE OF REPORT: May 16, 2025

REPORT NO.: DSD-2025-247

SUBJECT: Heritage Permit Application HPA-2025-IV-012
119 Arlington Blvd (Catholic Mausoleum, Woodland Cemetery)
Repairs to Exterior Steps & Cleaning of the Exterior of the Building

RECOMMENDATION:

That pursuant to Section 33 of the *Ontario Heritage Act*, Heritage Permit Application HPA-2025-IV-012 be approved to permit the repair of the exterior steps and cleaning of the exterior of the Catholic Mausoleum building in the Woodland Cemetery on the property municipally addressed as 119 Arlington Boulevard, in accordance with the supplementary information submitted with the application, subject to the following conditions:

1. That samples of the proposed replacement limestone be reviewed and approved by Heritage Planning staff prior to commencing work;
2. That samples of existing mortar and proposed mortar, and the detailing of the side cope wall joints, be reviewed and approved by Heritage Planning staff prior to commencing work;
3. That the materials and methods to clean the exterior of the building be reviewed and approved by Heritage Planning staff prior to commencing work; and further,
4. That surface cleaning tests be reviewed and approved by Heritage Planning staff prior to proceeding with cleaning the entire exterior of the building.

REPORT HIGHLIGHTS:

- The purpose of this report is to present Heritage Planning staff's recommendation for the proposed repair of exterior steps and cleaning of the exterior of the Catholic Mausoleum building at Woodland Cemetery on the subject property municipally addressed as 119 Arlington Boulevard.
- The key finding of this report is that the repair of exterior steps and cleaning of the exterior of the building will follow recognized heritage conservation practices to

ensure that there will be no negative impacts to the heritage attributes of the subject property.

- There are no financial implications associated with this report.
- Community engagement included consultation with the City's Heritage Kitchener committee.
- This report supports the delivery of core services.

BACKGROUND:

The Development Services Department is in receipt of Heritage Permit Application HPA-2025-IV-012 seeking permission to repair the exterior steps and clean the exterior of the Catholic Mausoleum building in the Woodland Cemetery at the subject property municipally addressed as 119 Arlington Boulevard. The subject property is owned by the City of Kitchener.

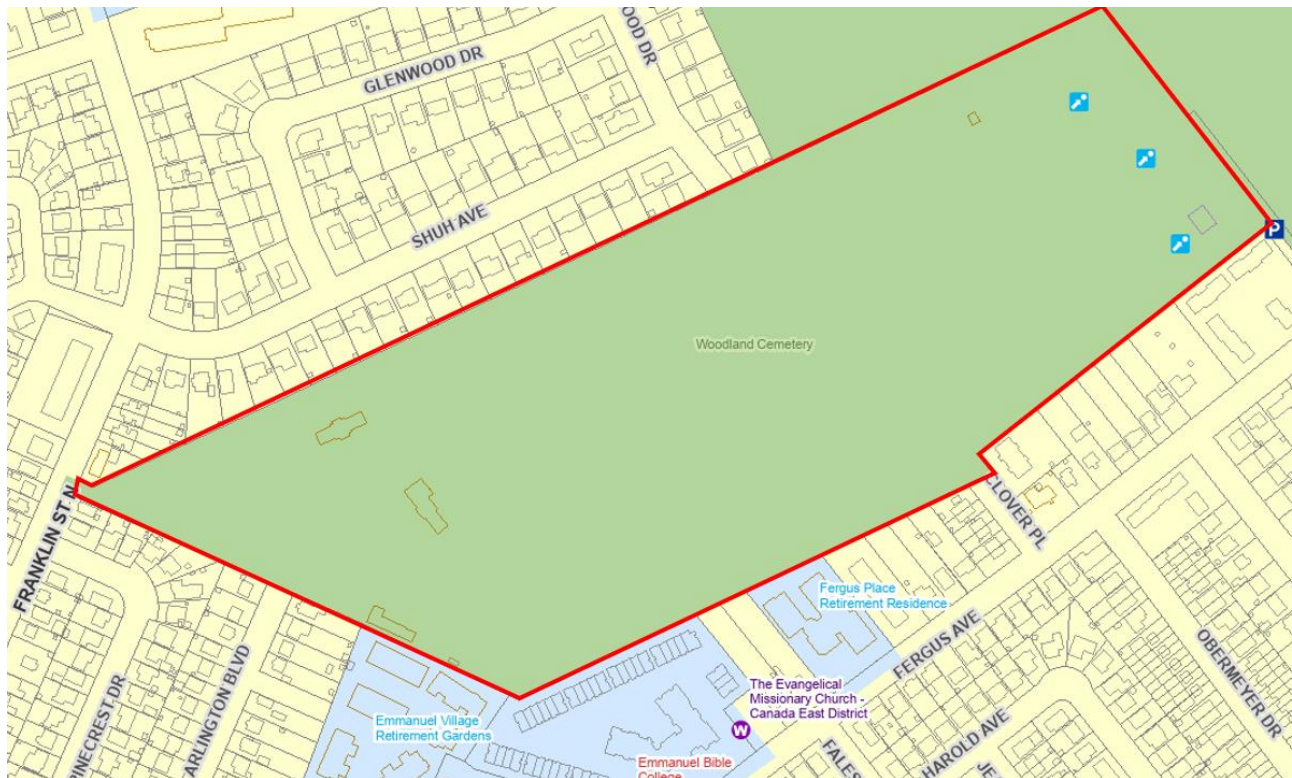


Figure 1.0 Location Map – 119 Arlington Boulevard (Woodland Cemetery)

REPORT:

The subject property is located north of Weber Street East, accessed by vehicle or foot from Arlington Boulevard and by foot from Franklin Street North, and generally surrounded by residential properties, and Idlewood Park (see Figure 1.0). The Catholic Mausoleum in Woodland Cemetery was built in 1924-25 by the Canadian Mausoleum Company. Figure 2.0 identifies the location of the Catholic Mausoleum in red. The subject property is individually designated under Part IV of the *Ontario Heritage Act*. Designating By-law 1986-250 designates the property as being of historic and architectural value being comprised of all elevations of the building and the stained-glass windows. Designating By-law 1986-250 identifies the following heritage attributes:

- All elevations; and,
- All stained-glass windows.

As a result, issuance of a Heritage Permit is required to carry out alterations to the building, including repairs which may impact the heritage attributes.

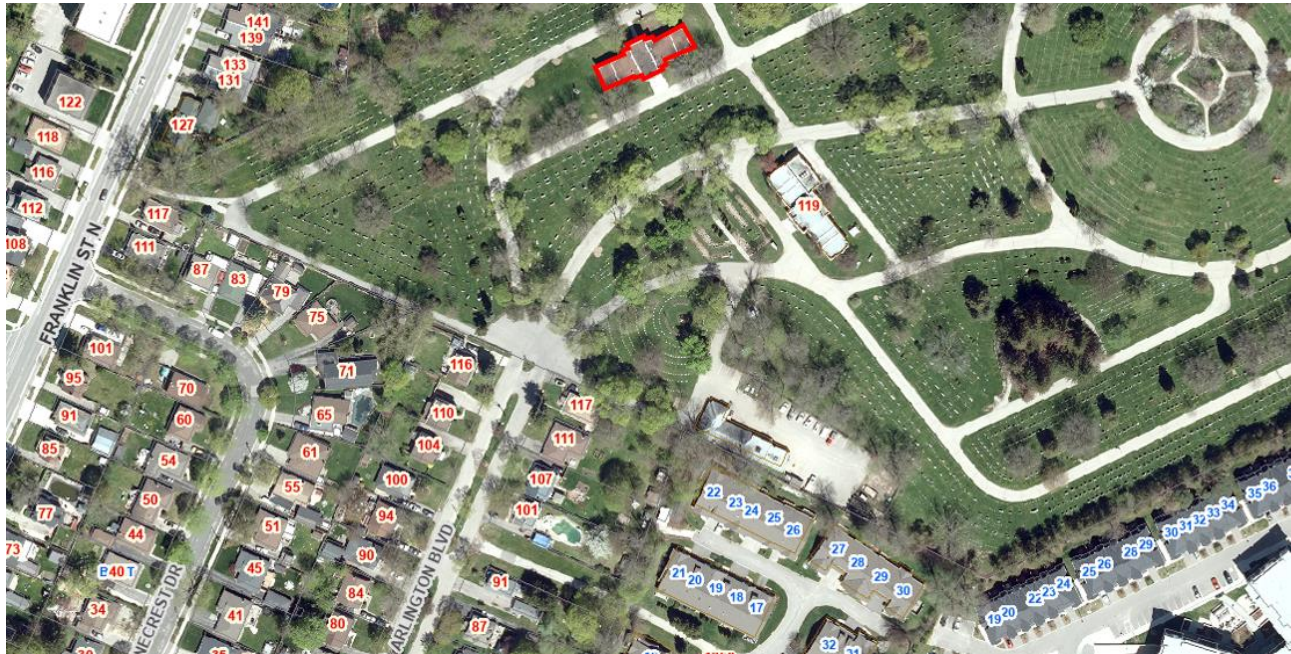


Figure 2.0 Location Map – Catholic Mausoleum, 119 Arlington Boulevard

Proposed Alterations

Figure 3.0 identifies the existing exterior steps leading to the entrance of the Catholic Mausoleum. The applicant is proposing to repair the exterior steps and clean the exterior of the building.

The repair of the exterior steps will involve: the removal of the top landing limestone and replacement with a new Flint Hills limestone to match the existing; top side concrete repairs to the base slab; installation of a new adhesive membrane (e.g., Blueskin) on top of the existing concrete structure; removal of both cope stones for review by engineer to identify and carry out necessary repairs; reinstallation/resetting of both cope stones; removal and replacement of non-original (c. 2005) poured concrete steps to match existing; and, removal and reinstallation of non-original guard rail after above noted work is complete. The scope of work may also require the removal of mortar and repointing with an approved mortar that has a compressive strength less than the existing mortar and limestone. The replacement of the top landing limestone is required because it has been compromised by water infiltration, and a waterproof barrier is required to be installed below the top landing limestone to protect the basement of the interior of the building. During the work, the cope stones will be stored adjacent to the exterior steps behind a fenced enclosure until they can be prepared for reinstallation/resetting.

The scope and methods for cleaning the building are not yet confirmed. The City has retained Limen Group (which employs members of the Canadian Association of Heritage Professionals) and the method for cleaning will likely involve moderated steam cleaning. Chemical cleaning will not be permitted. Heritage Planning staff will review and approve the scope and methods for cleaning to ensure that the work complies with heritage

conservation practices, including the Federal (Parks Canada) “*Standards and Guidelines for the Conservation of Historic Places in Canada*,” the Provincial (Ministry of Citizenship and Multiculturalism) “*Eight Guiding Principles in the Conservation of Built Heritage Properties*,” and the U.S. Department of the Interior National Parks Service Cultural Resources Heritage Preservation Services “*Preservation Brief 1: Assessing Cleaning and Water-Repellant Treatments for Historic Masonry Buildings*.”

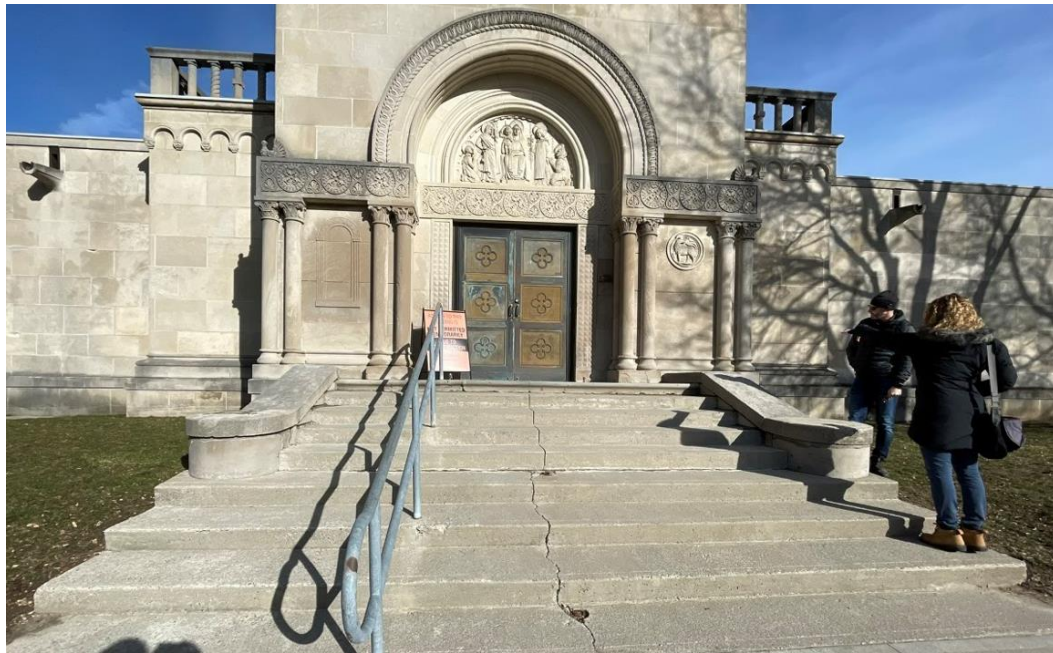


Figure 3.0 Front Elevation – Catholic Mausoleum, 119 Arlington Boulevard (2024)

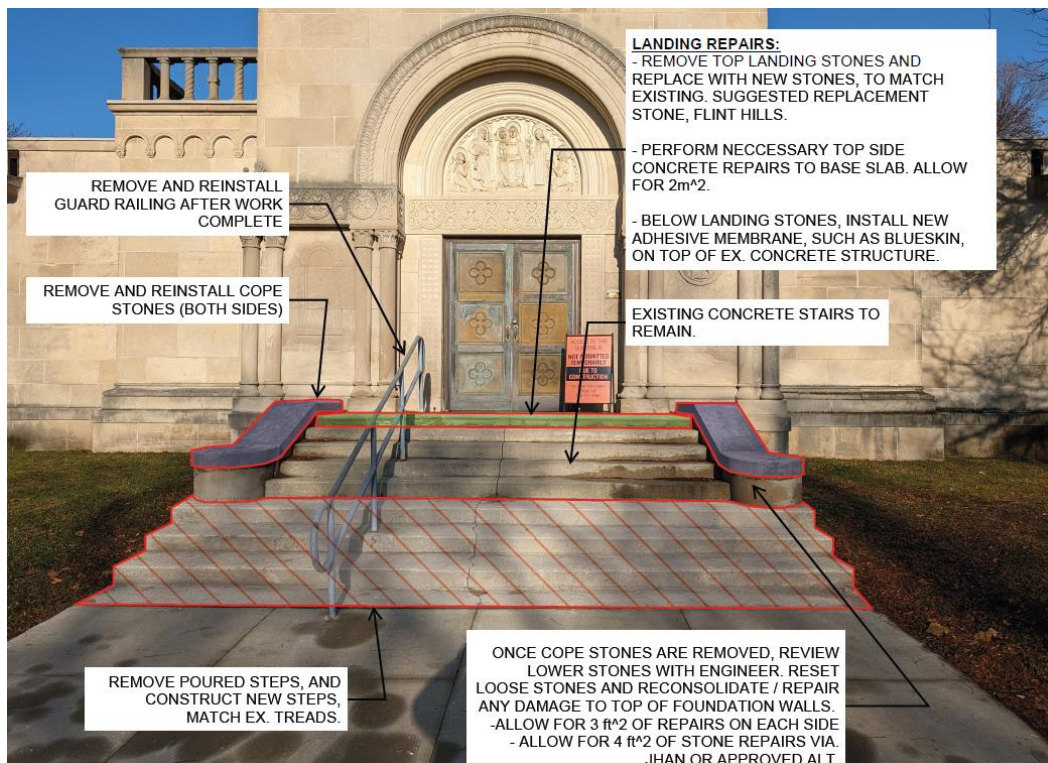


Figure 4.0 Front Step Repairs – Catholic Mausoleum, 119 Arlington Boulevard (Tacoma, 2025)

The Federal (Parks Canada) “*Standards and Guidelines for the Conservation of Historic Places in Canada*” provides the following recommended guidelines for masonry repairs:

- Retaining sound and repairable masonry that contributes to the heritage value of the historic place;
- Repairing masonry by repointing the mortar joints where there is evidence of deterioration, such as disintegrating or cracked mortar, loose bricks, or damp walls;
- Removing deteriorated or inappropriate mortar by carefully raking the joints, using hand tools or appropriate mechanical means to avoid damaging the masonry;
- Using mortars that ensure the long-term preservation of the masonry assembly, and are compatible in strength, porosity, absorption and vapour permeability with the existing masonry units. Pointing mortars should be weaker than the masonry units; bedding mortars should meet structural requirements; and the joint profile should be visually compatible with the masonry in colour, texture and width;
- Duplicating original mortar joints in colour, texture, width and joint profile;
- Replacing in kind extensively deteriorated or missing parts of masonry elements, based on documentary and physical evidence;
- Repairing masonry by patching, piecing-in or consolidating, using recognized conservation methods. Repair might include the limited replacement in kind, or replacement with a compatible substitute material, of extensively deteriorated or missing masonry units, where there are surviving prototypes. Repairs might also include dismantling and rebuilding a masonry wall or structure, if an evaluation of its overall condition determines that more than limited repair or replacement in kind is required; and,
- Replacing in kind an irreparable masonry element, based on documentary and physical evidence.

The Federal (Parks Canada) “*Standards and Guidelines for the Conservation of Historic Places in Canada*” provides the following recommended guidelines for masonry cleaning:

- Cleaning masonry, only when necessary, to remove heavy soiling or graffiti. The cleaning method should be as gentle as possible to obtain satisfactory results;
- Cleaning masonry with chemical products that damage masonry or mortar, such as using acid on limestone or marble are not recommended;
- Carrying out surface cleaning tests to determine the gentlest means possible and the appropriate level of cleanliness. The test should be observed over a sufficient period of time to determine its immediate and long-term effects; and,
- Cleaning treatments for purely aesthetic purposes should be avoided because they can aggravate and accelerate deterioration.

The Provincial (Ministry of Citizenship and Multiculturalism) “*Eight Guiding Principles in the Conservation of Built Heritage Properties*” provides the following recommended principles:

- Respect for historical material: Repair/conservate rather than replace building materials and finishes except where absolutely necessary. Minimal intervention maintains the heritage content of the built resource;
- Respect for original fabric: Repair with like materials. Repair to return the resource to its prior condition, without altering its integrity; and,
- Maintenance: With continuous care, future restoration will not be necessary. With regular upkeep, major conservation projects and their high costs can be avoided.

The U.S. Department of the Interior National Parks Service Cultural Resources Heritage Preservation Services “*Preservation Brief 1: Assessing Cleaning and Water-Repellent Treatments for Historic Masonry Buildings*” provides the following technical advice for the cleaning of limestone:

- Choose the appropriate cleaner. The importance of testing cleaning methods and materials cannot be over emphasized. Applying the wrong cleaning agents to historic masonry can have disastrous results. Acidic cleaners can be extremely damaging to acid-sensitive stones, such as marble and limestone, resulting in etching and dissolution of these stones.
- Soaking. Prolonged spraying or misting with water is particularly effective for cleaning limestone and marble. It is also a good method for removing heavy accumulations of soot, sulfate crusts or gypsum crusts that tend to form in protected areas of a building not regularly washed by rain. Water is distributed to lengths of punctured hose or pipe with non-ferrous fittings hung from moveable scaffolding or a swing stage that continuously mists the surface of the masonry with a very fine spray. A timed on-off spray is another approach to using this cleaning technique. After one area has been cleaned, the apparatus is moved on to another. Soaking is often used in combination with water washing and is also followed by a final water rinse. Soaking is a very slow method - it may take several days or a week-but it is a very gentle method to use on historic masonry.
- Alkaline Cleaners. Alkaline cleaners should be used on acid-sensitive masonry, including limestone. Alkaline cleaning products consist primarily of two ingredients: a non-ionic detergent or surfactant; and an alkali, such as potassium hydroxide or ammonium hydroxide. Like acidic cleaners, alkaline products are usually applied to pre-wet masonry, allowed to dwell, and then rinsed off with water. (Longer dwell times may be necessary with alkaline cleaners than with acidic cleaners.) Two additional steps are required to remove alkaline cleaners after the initial rinse. First the masonry is given a slightly acidic wash-often with acetic acid-to neutralize it, and then it is rinsed again with water.
- High-pressure water washing completed too close to the surface can abrade and mar limestone.

In reviewing the merits of this application, Heritage Planning Staff note the following:

- The subject property is designated under Part IV of the *Ontario Heritage Act*;
- Drawing SK labelled “*Front Stair Repairs*” prepared by Tacoma Engineers and dated April 24, 2025 was prepared by Nick Lawler who is a member of the Canadian Association of Heritage Professionals;
- The proposed repairs will extend the life of the exterior steps;
- The steps to remove, store and protect the stones until they are reinstalled have been outlined and are in keeping with heritage conservation practices;
- Heritage Planning staff will review and approve the proposed replacement limestone to ensure an appropriate match;
- Heritage Planning staff will review and approve the proposed mortar to ensure that it is lime based with a compressive strength that does not exceed that of the existing mortar and masonry and therefore in keeping with heritage conservation practices;
- Heritage Planning staff will review and approve the materials and methods to clean the exterior of the building to ensure that they are in keeping with heritage

conservation practices, including the Federal Standards and Guidelines and the US Preservation Brief 1 referenced earlier in this report;

- Heritage Planning staff will review and approval surface cleaning tests to the exterior of the building to ensure that they are in keeping with heritage conservation practices, including the Federal Standards and Guidelines and the US Preservation Brief 1 referenced earlier in this report; and,
- The repair of the exterior steps and the cleaning of the exterior of the building will not adversely affect the character of the property nor the façade of the building.

In accordance with the Heritage Permit Application form, the approval of any application under the *Ontario Heritage Act* shall not be a waiver of any of the provisions of any by-law of the City of Kitchener or legislation, including, but not limited to, the requirements of the Ontario Building Code and Zoning By-law.

STRATEGIC PLAN ALIGNMENT:

This report supports the delivery of core services.

FINANCIAL IMPLICATIONS:

Capital Budget – The recommendation has no impact on the Capital Budget.

Operating Budget – The recommendation has no impact on the Operating Budget.

COMMUNITY ENGAGEMENT:

INFORM – This report has been posted to the City's website with the agenda in advance of the Heritage Kitchener committee meeting.

CONSULT – The Heritage Kitchener committee has been consulted regarding the Heritage Permit Application.

PREVIOUS REPORTS/AUTHORITIES:

- Designating By-law 1986-250

APPROVED BY: Justin Readman, General Manager, Development Services Department

ATTACHMENTS:

Attachment A – Heritage Permit Application HPA-2025-IV-012