



HERITAGE PERMIT APPLICATION & SUBMISSION REQUIREMENTS

Development & Housing Approvals
200 King Street West, 6th Floor
Kitchener ON N2G 4V6
519-741-2426; planning@kitchener.ca

STAFF USE ONLY

Date Received:	Accepted By:	Application Number:
		HPA-

PART B: HERITAGE PERMIT APPLICATION FORM

1. NATURE OF APPLICATION

- ☐ Exterior
 ☐ Interior
 ☐ Signage
☐ Demolition
 ☒ New Construction
 ☐ Alteration
 ☐ Relocation

2. SUBJECT PROPERTY

Municipal Address: 1404 Doon Village Road, Kitchener

Legal Description (if know): TRACT BIEHNS PT UNNUMBERED LOT RP 58R-9299 PARTS 2&3

Building/Structure Type: ☒ Residential ☐ Commercial ☐ Industrial ☐ Institutional

Heritage Designation: ☐ Part IV (Individual) ☒ Part V (Heritage Conservation District)

Is the property subject to a Heritage Easement or Agreement? ☐ Yes ☒ No

3. PROPERTY OWNER

Name: [REDACTED]

Address: 1404 Doon Village Road

City/Province/Postal Code: Kitchener Ontario N2P 1A5

Phone: [REDACTED]

Email: [REDACTED]

4. AGENT (if applicable)

Name: Richard D'Alessandro

Company: NEO Architecture Inc.

Address: 270 King Street East

City/Province/Postal Code: Kitchener Ontario N2G 2L1

Phone: 519-590-0265

Email: richard@neoarchitecture.ca

A city for everyone

Working together • Growing thoughtfully • Building community

5. WRITTEN DESCRIPTION

Provide a written description of the project including any conservation methods proposed. Provide such detail as materials to be used, measurements, paint colours, decorative details, whether any original building fabric is to be removed or replaced, etc. Use additional pages as required. Please refer to the City of Kitchener Heritage Permit Application Submission Guidelines for further direction.

see Heritage Permit Application Supplemental, appended.

6. REVIEW OF CITY OF KITCHENER HERITAGE PERMIT APPLICATION SUBMISSION GUIDELINES

Describe why it is necessary to undertake the proposed work:

see Heritage Permit Application Supplemental, appended.

Describe how the proposal is consistent with the Part IV individual designating by-law or the Part V Heritage Conservation District Plan:

see Heritage Permit Application Supplemental, appended.

Describe how the proposal is consistent with Parks Canada's *Standards and Guidelines for the Conservation of Historic Places in Canada* (www.historicplaces.ca/en/pages/standards-normes.aspx):

see Heritage Permit Application Supplemental, appended.

7. PROPOSED WORKS

- a) Expected start date: May 9, 2025 Expected completion date: December 31, 2025
- b) Have you discussed this work with Heritage Planning Staff? ☒ Yes ☐ No
 - If yes, who did you speak to? Michelle Drake, Senior Heritage Planner
- c) Have you discussed this work with Building Division Staff? ☒ Yes ☐ No
 - If yes, who did you speak to? Sheryl Rice Menezes, Senior Planning Technician
- d) Have you applied for a Building Permit for this work? ☒ Yes ☐ No
- e) Other related Building or Planning applications: Application number 25-106755

8. ACKNOWLEDGEMENT

The undersigned acknowledges that all of the statements contained in documents filed in support of this application shall be deemed part of this application. The undersigned acknowledges that receipt of this application by the City of Kitchener - Planning Division does not guarantee it to be a 'complete' application. The undersigned acknowledges that the Council of the City of Kitchener shall determine whether the information submitted forms a complete application. Further review of the application will be undertaken and the owner or agent may be contacted to provide additional information and/or resolve any discrepancies or issues with the application as submitted. Once the application is deemed to be fully complete, the application will be processed and, if necessary, scheduled for the next available Heritage Kitchener committee and Council meeting. Submission of this application constitutes consent for authorized municipal staff to enter upon the subject property for the purpose of conducting site visits, including taking photographs, which are necessary for the evaluation of this application. The undersigned acknowledges that where an agent has been identified, the municipality is authorized but not required to contact this person in lieu of the owner and this person is authorized to act on behalf of the owner for all matters respecting the application. The undersigned agrees that the proposed work shall be done in accordance with this application and understands that the approval of this application under the *Ontario Heritage Act* shall not be a waiver of any of the provisions of any by-law of the City of Kitchener or legislation including but not limited to the requirements of the Building Code and the Zoning By-law. The undersigned acknowledges that in the event this application is approved, any departure from the conditions imposed by the Council of the City of Kitchener or from the plans or specifications approved by the Council of the City of Kitchener is prohibited and could result in a fine being imposed or imprisonment as provided for under the *Ontario Heritage Act*.

Signature of Owner/Agent: RPDA

Date: March 31, 2025

Signature of Owner/Agent: _____

Date: _____

9. AUTHORIZATION

If this application is being made by an agent on behalf of the property owner, the following authorization must be completed:

I / We, Peggy Reitzel, owner of the land that is subject of this application,

hereby authorize Richard D'Alessandro, NEO Architecture Inc. to act on my / our behalf in this regard.

Signature of Owner/Agent: _____

Date: March 31, 2025

Signature of Owner/Agent: _____

Date: _____

The personal information on this form is collected under the legal authority of Section 33(2), Section 42(2), and Section 42(2.2) of the Ontario Heritage Act. The information will be used for the purposes of administering the Heritage Permit Application and ensuring appropriate service of notice of receipt under Section 33(3) and Section 42(3) of the Ontario Heritage Act. If you have any questions about this collection of personal information, please contact the Manager of Corporate Records, Legislated Services Division, City of Kitchener (519-741-2769).

STAFF USE ONLY

Application Number: _____

Application Received: _____

Application Complete: _____

Notice of Receipt: _____

Notice of Decision: _____

90-Day Expiry Date: _____

PROCESS:☐ Heritage Planning Staff: _____☐ Heritage Kitchener: _____☐ Council: _____

March 31, 2025

Development & Housing Approvals

200 King Street West, 6th Floor
Kitchener, ON N2G 4V6
planning@kitchener.ca
(519)-741-2426
Attn: Michelle Drake

RE: Heritage Permit Application

Municipal Address : 1404 Doon Village Road, Kitchener

Legal Description: TRACT BIEHNS PT UNNUMBERED LOT RP 58R-9299 PARTS 2&3

Owner:



Agent: Richard D'Alessandro, NEO Architecture Inc.
richard@neoarchitecture.ca
519-590-0265

Assigned Staff: Michelle Drake, Senior Heritage Planner
michelle.drake@kitchener.ca
519-783-8909

5. Written Description:

The application herein is for a proposed 1991.22sqft (184.99sqm) 1-Storey Rear Addition to an existing 1-Storey Non-Historic House (single-detached dwelling) constructed in 1994. The necessary Permit has already been granted by GRCA for construction within the 2-Zone Flood Fringe, and a Building Permit Application is under review by the City of Kitchener Building Department.

6. Review of City of Kitchener Heritage Permit Application Submission Guidelines

Describe why it is necessary to undertake the proposed work:

The proposed work is necessary in order to facilitate the expansion and enhancement of an existing but relatively new house (non historic building) by its resident - which is their right - for the sole purpose of enjoying more of the natural setting for which the Village is known. Afterall, there is no sense in preserving what we can only enjoy by means that are prohibited.

"While a primary objective of the plan is to conserve the natural and man-made heritage of Upper Doon, it is not the intention to create a museum-like character. On the contrary, it is vital that the Village remain a living and vibrant part of the City." (UDHCDP section 4.3 Economic Objectives)

Describe how the proposal is consistent with the Part IV individual designating by-law or the Part V Heritage Conservation District Plan:

The proposal herein is consistent with the intent of the Upper Doon Heritage Conservation District Plan (UDHCDP), which is to guide future development within the Village to ensure that the intrinsic heritage qualities of the district are preserved and enhanced (section 2 subsection ii).

Worth particular consideration is the following excerpt from UDHCDP subsection 5.9.3. iii) Policies for New Building:

“It is not the intent or desire that new building should reproduce past building styles. It is vital that the historic character of the Village remain ‘honest’ and not become a self-conscious historic pastiche. In this regard new building should be of good contemporary design and complementary to the height, proportion, scale and character of the district. The natural environment of Upper Doon is also a feature to which new building design should respond to with an emphasis on natural building form and materials.

In accordance with the criteria outlined in section 5.9.3. of the UDHCDP and subsection iii) for New Building:

The proposed is a rear addition of lesser size and height, located entirely behind and obscured by the existing house to which it is being added. As shown by the Exterior Renderings provided, the proposed addition will be rarely if at all visible from the street, obscured as it is by existing trees and the existing house itself. The character and quality of the streetscape, therefore, will remain unaffected.

Through both its placement and exterior treatment, the addition will appear as a mirage; where the addition is visible, only just barely and from rather extreme angles, the prior state of the house as well as the established streetscape are all the more apparent, thus preserving the likeness of both.

The roof(s), windows, materials and colours of the proposed addition are of good contemporary design that complement the existing house, as opposed to a misguided attempt at copying it or those like it.

We firmly believe that this is how we must treat all new buildings, in the shadow of those historic; for every brick or board that goes up now in their likeness, makes those bricks and boards that went up then less special and worth less.

Sameness, for the sake of preserving uniqueness is counterproductive.

Also noteworthy is the following excerpt from UDHCDP subsection 5.9.3. iii) Policies for New Building:

"Indeed appropriate and complementary design of new building is as important to conserving the character of the Village as the restoration of the historic building stock. Upper Doon is distinctly different from the enclosing new residential subdivisions and to import new subdivision house design would be to diminish its special and individual charm."

For the purposes of preserving natural heritage in the Village, it would be hard to argue that the UDHCDP hasn't been successful with respect to guiding density and uses of new building. Arguably less successful, has been its implementation since 1988 for the purposes of guiding the appearance of new building, with respect to the uniqueness of the Village and the statement above.

Contemporary design unadulterated, for a building constructed in the year 2025 as sure as those constructed in the 19th century, in keeping with the times, is the only way to preserve the genuine past without forgoing the genuine future.

Describe how the proposal is consistent with Parks Canada's Standards and Guidelines for the Conservation of Historic Places in Canada:

Inasmuch as the Upper Doon Heritage Conservation District Plan (UDHCDP) objectives and policies are consistent with Parks Canada's Standards and Guidelines for the Conservation of Historic Places in Canada, which they surely are, the proposed is consistent by way of responding to the UDHCDP.

Please contact us immediately if there are any questions or concerns related to this proposal or the information on which it is based.

Sincerely,

NEO Architecture Inc.



RICHARD D'ALESSANDRO
ASSOCIATE

0.01A PREFINISHED VERTICAL METAL SIDING
(MANUFACTURER: METALCLIX / VIGOREST) (STYLE:
MODERNO) (BELLARS / PANEL) (SERIES:
MODERNO) (EXPOSURE: 12" / 12") (COLOR:
GREY) (82/25/35) (RIVER ROCK GRAY / 18-0254)
OR SIMILAR / APPROVED ALTERNATE

0.01B PREFINISHED VERTICAL STANDING SEAM METAL
ROOF (MANUFACTURERS: IDEAL PROOFING /
AGWAY) (STYLE: HERITAGE SERIES, STIFFENER
RIBS REMOVED / AIR STANDING SEAM, NO
STIFFENER FLUTHS) (COLOR: JET BLACK
TEXTURED D6 60325) (FINISH: WRINKLE COAT CO
OR SIMILAR / APPROVED ALTERNATE)

0.02A PREFINISHED VINYL SLIDING DOOR (OCCUPANT
PANEL SHOWN) w/ DASHED LINES. REFER TO DOOR
SCHEDULE & ELEVATIONS FOR DETAILS.

0.02B THERMALLY BROKEN EXTRUDED ALUMINUM
WINDOW FRAME SYSTEM w/CO INSULATED
SEALED DOUBLE GLAZING

0.03A PREFINISHED BENET METAL FLASHING (COLOR:
TBD, TO MATCH SIDING BELOW)

0.03B PREFINISHED METAL RIDGE CAP (COLOR:
TO MATCH SIDING)

0.05A CONCRETE FOUNDATION WALL (FINISH:
SANDBLASTED)

0.06A TEMPERED GLASS GUARDRAIL c/w PREFINISHED
EXTRUDED ALUMINUM POSTS AND TOP & BOTTOM
RAILS REFER TO SECTION FOR HEIGHT
REQUIREMENTS, MANUFACTURER / COLLECTION
(PROFILE: C12 CW GAR-RT TOP RAIL) (COLOR:
GAR 800 GREY)

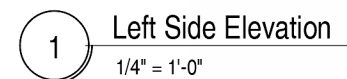
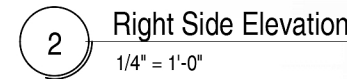
0.08A PREFINISHED FIBER-CEMENT PANEL
(MANUFACTURER: JAMESHARDY (FINISH:
SMOOTH) (SERIES: STATEMENT COLLECTION)
(COLOR: MIDNIGHT BLACK)

8	Mar 28/25	Issued for Heritage Permit
7	Mar 14/25	Issued for Building Permit
6	Dec 03/24	Issued for Budget Costing
3	Nov 4/24	Issued for Coordination
2	Oct 22/24	Issued for Coordination
1	Sept 27/24	Issued for Coordination
No.	DATE	ISSUE

270 King St E., Kitchener ON, N2G 2L1 | 519 590 1636
nearchitecture.ca



A301



3.01A	PREFINISHED VERTICAL METAL LINING (MANUFACTURER: METALLIC / VIGORET) (STYLE: MONVO (BELLARA PLANK) (FINISH: WOODSHADE / EXPRESSIVE) (COLOUR: URBAN GREY 783 CW 0182535 / RIVER ROCK (COLOUR: 10654) OR SIMILAR & APPROVED ALTERNATE
3.01B	PREFINISHED VERTICAL METAL LINING FRAMING MANUFACTURER: IDEAL ROOMING / AGWAY (STYLE: HERITAGE SERIES, STIFFENER RISERS REMOVED / AN STANDING SEAM, NO STIFFENER FLUTES) (COLOUR: FOR DETAILS, THERMALLY BROKEN EXTRUDED ALUMINUM WINDOW WALL FRAME SYSTEM CW IN INSULATED SEALED DOUBLE GLAZING
3.02B	PREFINISHED ALUMINUM ENTRY DOOR SYSTEM CW STEEL INSULATED DOOR PANEL. REFER TO DOOR SCHEDULE & ELECTION FOR DETAILS. THERMALLY BROKEN EXTRUDED ALUMINUM WINDOW WALL FRAME SYSTEM CW IN INSULATED SEALED DOUBLE GLAZING
3.02D	PREFINISHED BROKEN EXTRUDED ALUMINUM WINDOW WALL FRAME SYSTEM CW IN INSULATED SEALED DOUBLE GLAZING
3.02D	PREFINISHED BROKEN EXTRUDED ALUMINUM SKYLIGHT FRAME SYSTEM CW IN INSULATED SEALED DOUBLE GLAZING
3.03	PREFINISHED BENT METAL FLASHING (COLOUR: TBD, TO MATCH SIDING BELOW)
3.04	PREFINISHED METAL RIDGE CAP (COLOUR: TO MATCH ROOF)
3.05	CONCRETE FOUNDATION WALL (FINISH: SANDBLASTED)
3.06	TEMPERED GLASS GUARDRAIL c/w PREFINISHED EXTRUDED ALUMINUM POSTS AND TOP & BOTTOM RAILS. REFER TO SECTION FOR HEIGHT REQUIREMENTS. (MANUFACTURER: GRECO) (PROFILE: C12 CW GAR-R7 TOP RAIL) (COLOUR: GAR 600 GREY)
3.07	PREFINISHED VERTICAL STANDING SEAM METAL ROOF MANUFACTURER: TBD / STYLE: TBD / COLOUR: DARK GREY
3.08	PREFINISHED FIBERCEMENT PANEL (MANUFACTURER: JAMESHARDY) (FINISH: SMOOTH) (SERIES: STATEMENT COLLECTION) (COLOUR: MIDNIGHT BLACK)

8	Mar 28/25	Issued for Heritage Permit
7	Mar 14/25	Issued for Building Permit
6	Dec 03/24	Issued for Budget Costing
3	Nov 4/24	Issued for Coordination
2	Oct 22/24	Issued for Coordination
1	Sept 27/24	Issued for Coordination
No.	DATE	ISSUE

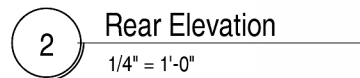
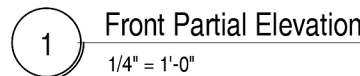
270 King St E., Kitchener ON, N2G 2L1 | 519 590 1636
neoarchitecture.ca



DRAWING

PROJECT No. _____

A300





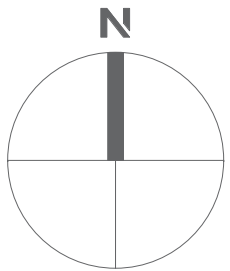
1404 Doon Village Oasis

1404 Doon Village Rd., Kitchener Ontario

DRAWING LIST

ARCHITECTURAL

DWG. No.:	DWG. Name:	REV#:	DATE:
A00 - PROJECT INFORMATION			
A000	Cover Sheet	7	Mar 14/25
A001	General Notes	7	Mar 14/25
A002	Code Compliance Matrix	7	Mar 14/25
A10 - SITE			
A100	Site Plan	7	Mar 14/25
A20 - PLANS			
A200	Foundation Plan	7	Mar 14/25
A201	Proposed Ground Floor Plan	7	Mar 14/25
A203	Roof Plan	7	Mar 14/25
A21 - ENLARGED PLANS			
A210	Enlarged Floor Plans	7	Mar 14/25
A25 - REFLECTED CEILING PLANS			
A250	Reflected Ceiling Plan	7	Mar 14/25
A30 - ELEVATIONS			
A300	Building Elevations	7	Mar 14/25
A301	Building Elevations	7	Mar 14/25
A35 - BUILDING SECTIONS			
A350	Building Sections	7	Mar 14/25
A40 - WALL SECTIONS			
A400	Wall Sections	7	Mar 14/25
A401	Wall Sections	7	Mar 14/25
A55 - INTERIOR ELEVATIONS			
A550	Interior Elevations	7	Mar 14/25
A75 - SECTION DETAILS			
A750	Section Details	7	Mar 14/25
A80 - SCHEDULES			
A800	Door & Window Schedule	7	Mar 14/25
D20 - DEMOLITION			
D200	Demolition Plans	7	Mar 14/25

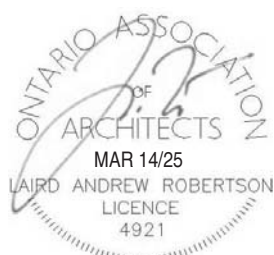


BUILDING PERMIT

7	Mar 14/25	Issued for Building Permit
6	Dec 03/24	Issued for Budget Costing
No.	DATE	ISSUE

NEO
ARCHITECTURE INC

270 King St. E. Kitchener, ON, N2G 2L1 | 519 590 1636
neearchitecture.ca



OWNER

1404 Doon Village Road, Kitchener On, N2P 1A5

PROJECT
1404 Doon Village Oasis

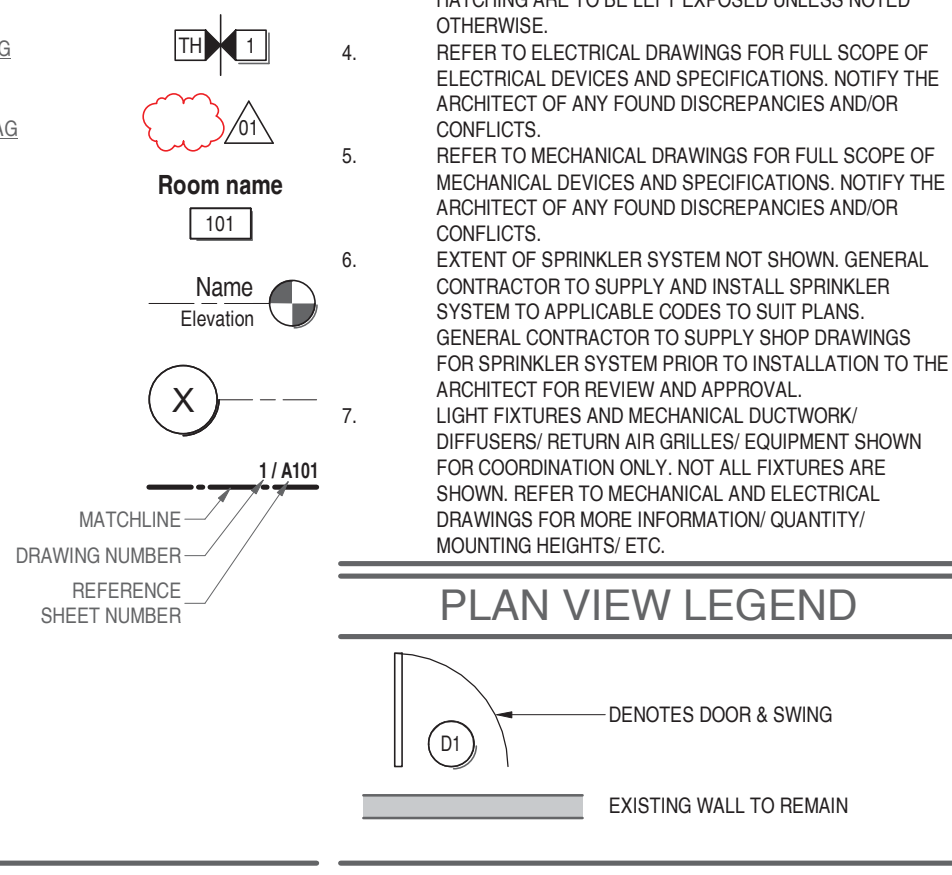
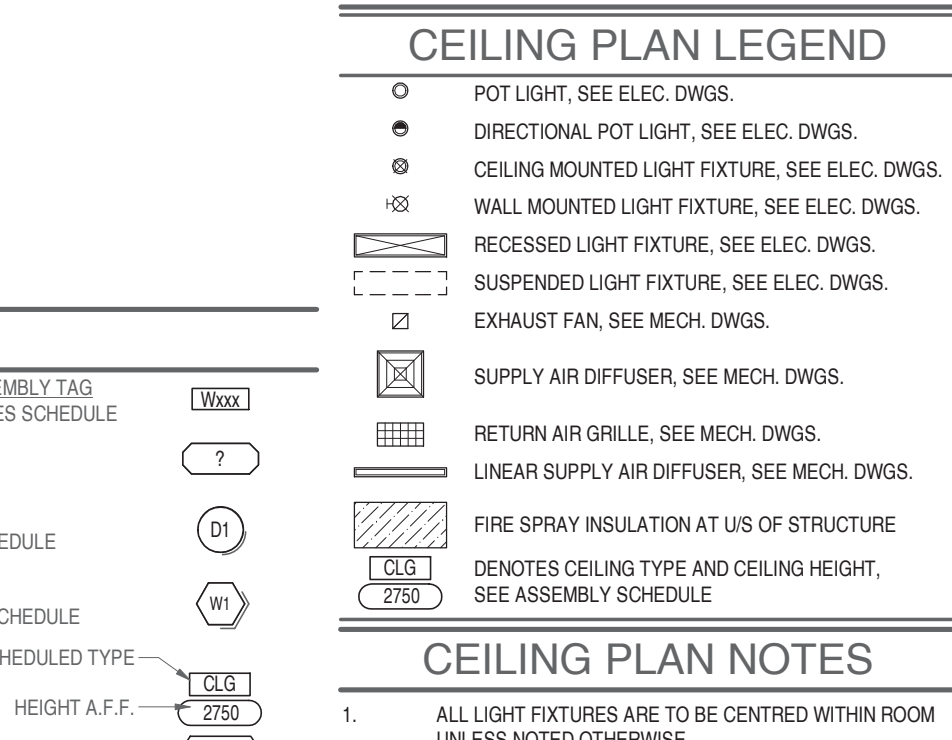
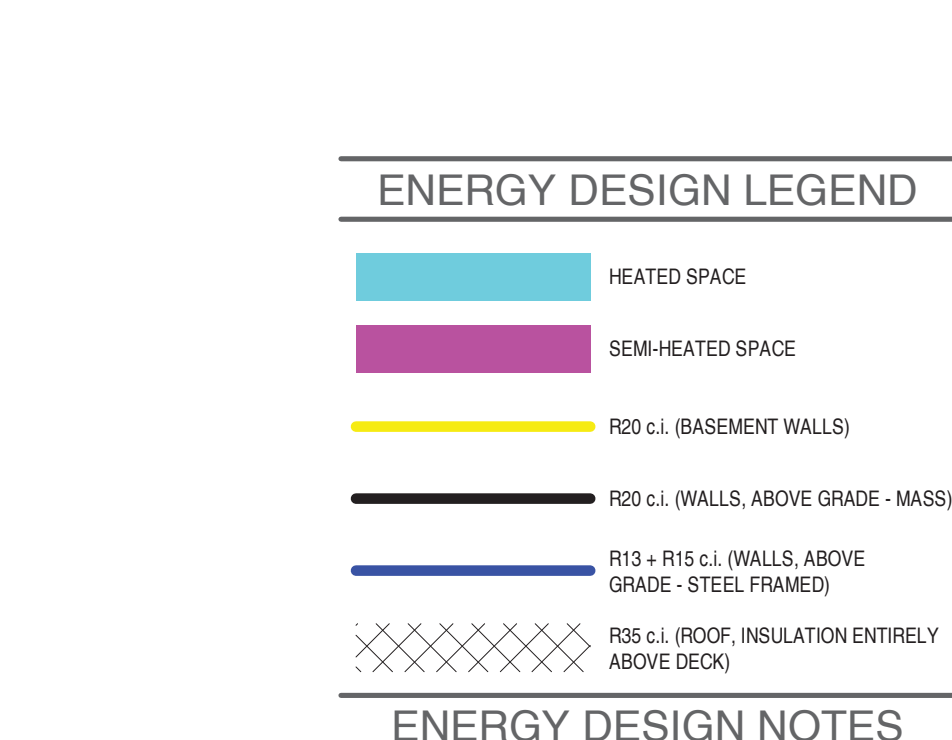
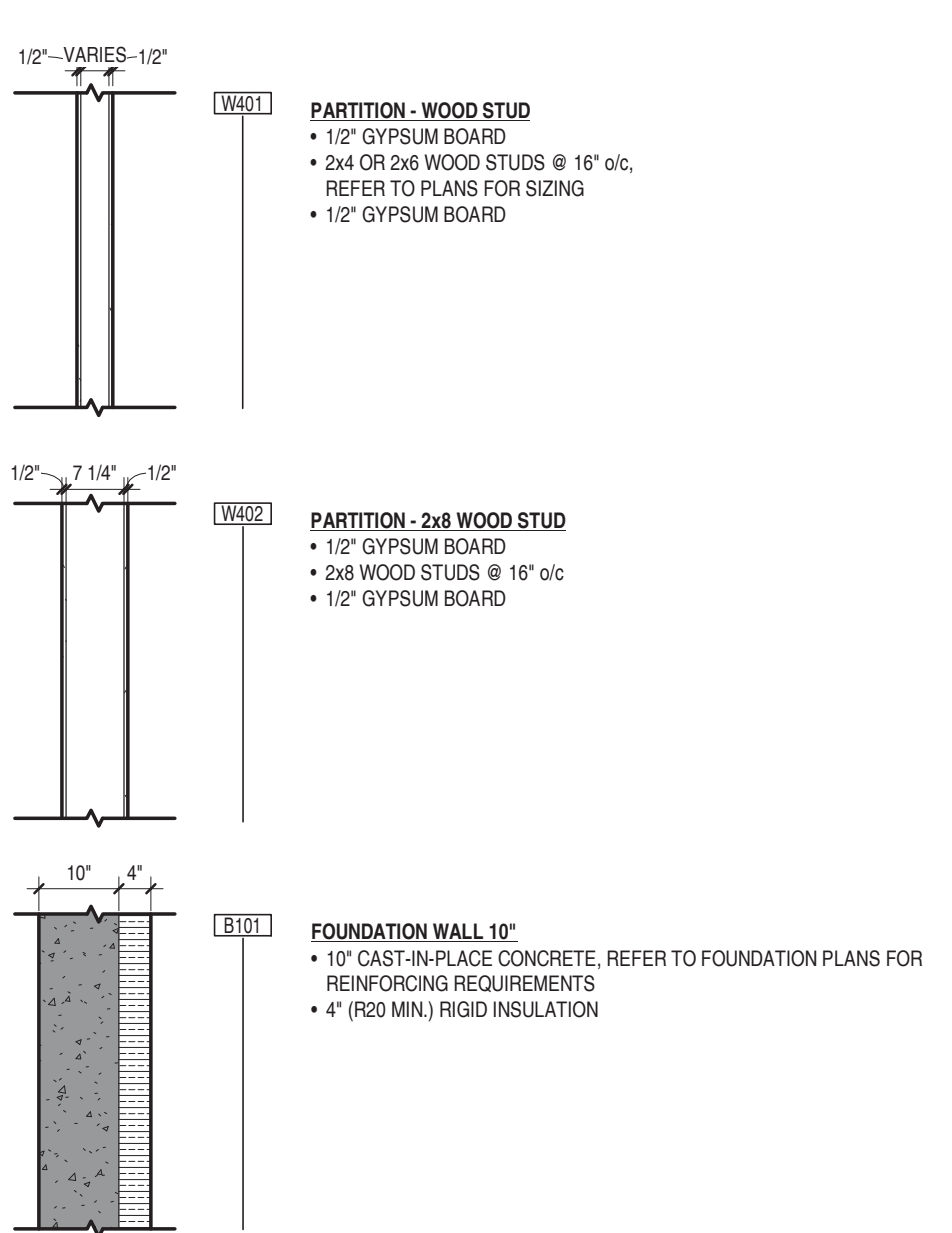
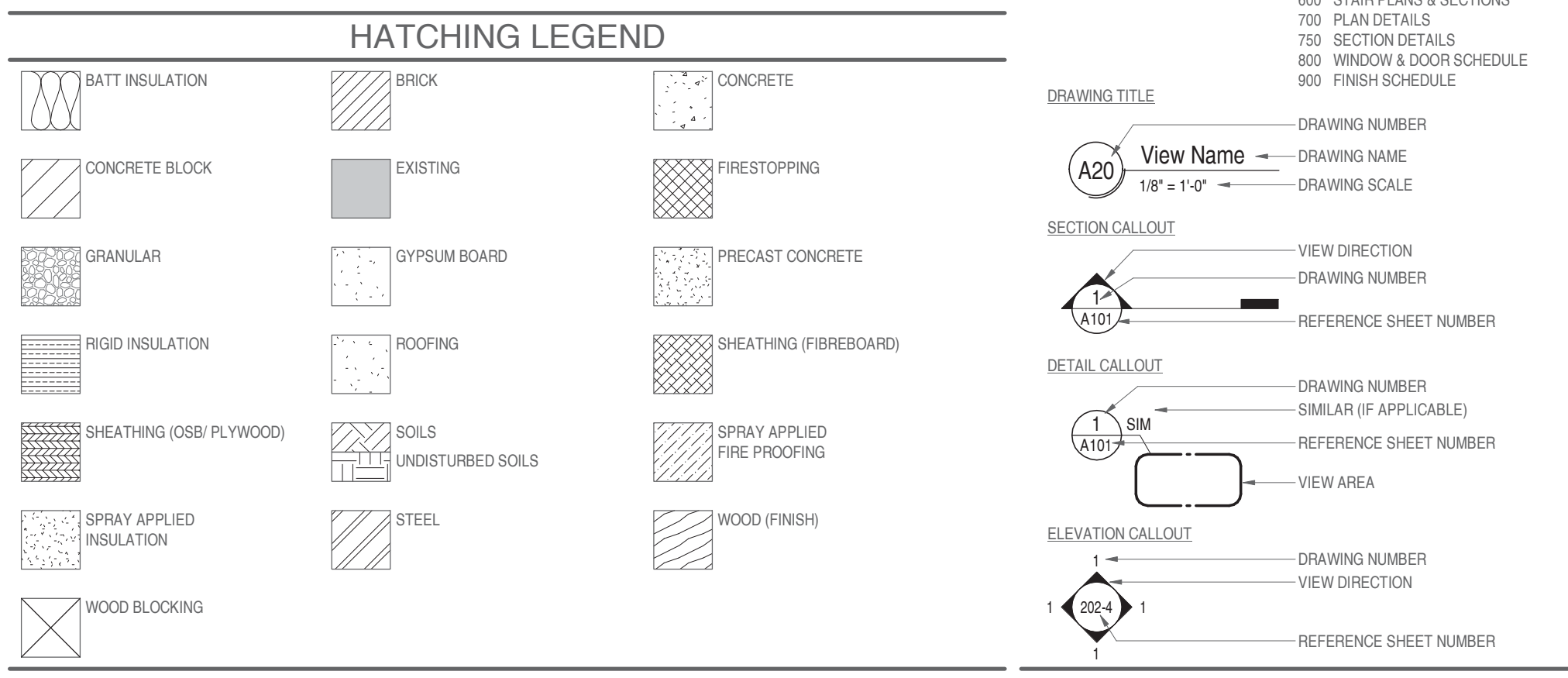
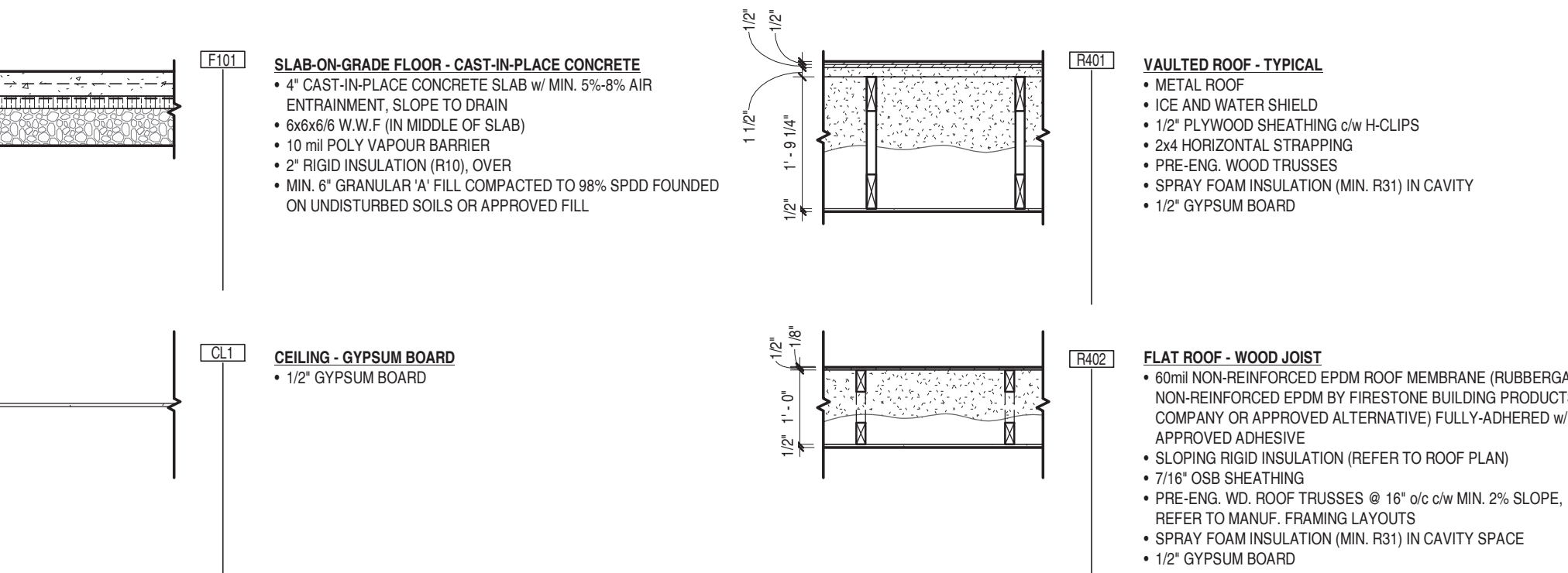
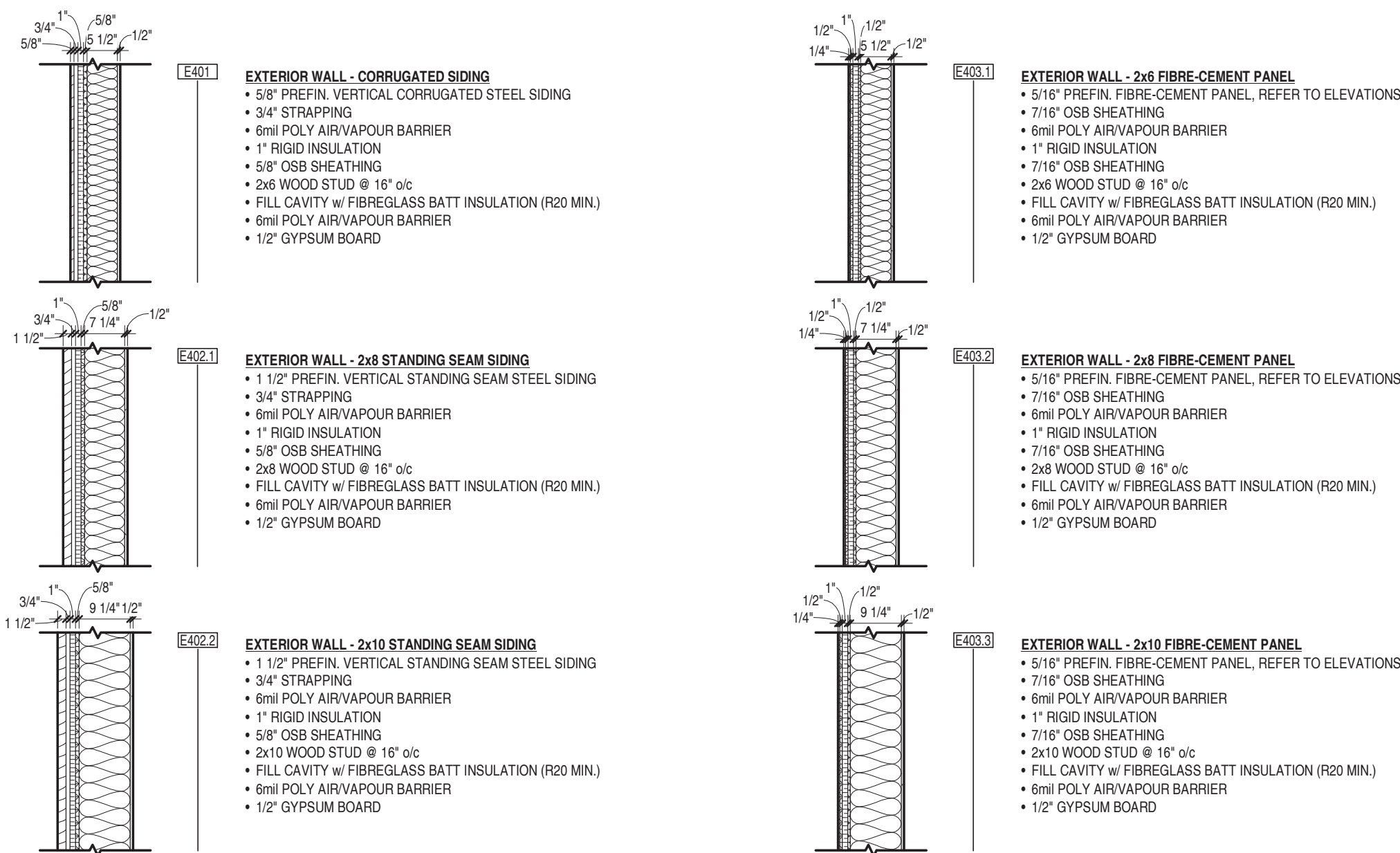
1404 Doon Village Road, Kitchener On, N2P 1A5

DRAWING

Cover Sheet

PROJECT No:	24-008
PROJECT DATE	September 23, 2024
DRAWN BY	zsckickler

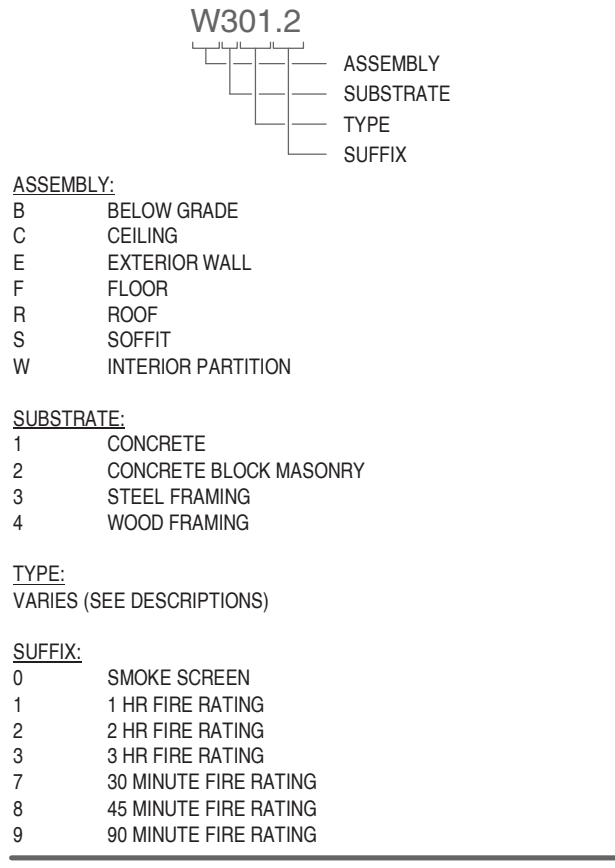
A000



GENERAL NOTES

1. DO NOT SCALE DRAWINGS.
2. THE DRAWINGS HEREIN ARE AN INSTRUMENT OF SERVICE AND IS THE PROPERTY OF NEO ARCHITECTURE INC. & CANNOT BE MODIFIED AND/OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF NEO ARCHITECTURE INC.
3. THE CONTRACTOR SHALL VERIFY DIMENSIONS AND EXISTING CONDITIONS ON SITE AND SHALL REPORT ALL DISCREPANCIES TO THE CONSULTANT BEFORE PROCEEDING WITH THE WORK.
4. DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE CIVIL, LANDSCAPE, STRUCTURAL, MECHANICAL, ELECTRICAL, DRAWINGS AND GEOTECHNICAL REPORTS, WHERE APPLICABLE. FURTHERMORE, ALL ARCHITECTURAL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE FULL ARCHITECTURAL DRAWING SET, IN ITS ENTIRETY. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL DRAWINGS ARE READ IN CONJUNCTION WITH ALL SUBCONTRACTORS.
5. ALL MATERIAL AND WORKMANSHIP SHALL COMPLY WITH ALL APPLICABLE CANADIAN CONSTRUCTION STANDARDS AND THE ONTARIO BUILDING CODE.
6. WORK SHALL BE PERFORMED IN A MANNER THAT WILL MINIMIZE THE INTERRUPTION OF ACCESS IN ALL AREAS AFFECTED BY CONSTRUCTION. EMERGENCY EXITING SHALL BE MAINTAINED AT ALL TIMES.
7. ALL CUTTING AND PATCHING OF EXISTING FINISHES WILL BE DONE TO THE HIGHEST STANDARD. COORDINATE THIS WORK WITH ALL CONTRACT DOCUMENTS.
8. ALL MATERIAL USED FOR NEW CONSTRUCTION SHALL BE NEW AND FREE OF DEFECTS. CONTRACTOR WILL BE RESPONSIBLE TO PATCH, REPAIR AND MAKE GOOD ALL AREAS AFFECTED BY THE WORK, INCLUDING MECHANICAL AND ELECTRICAL PATCH AND REPAIRS, TO THE SATISFACTION OF THE CONSULTANTS.
9. SUPPLY AND MAINTAIN ON A DAILY BASIS ALL INTERIOR AND EXTERIOR TEMPORARY COVERINGS, FENCING, TARPING, BRACING, FLOOR PLATE LAMINATE, AND OTHER SEPARATIONS REQUIRED TO MAINTAIN THE SAFETY OF THE PUBLIC AND PROVIDE ACCESS TO PUBLIC SPACES DURING THE WORK OF THIS CONTRACT. COORDINATE THESE PROTECTIVE MEASURES WITH OWNER AND ANY ADJACENT PROPERTIES IF NEEDED. REMOVE AND/OR DISPOSE OF ALL ITEMS NOTED FROM SITE AFTER COMPLETION OF THE CONTRACT WORK.
10. MAINTAIN A CLEAN AND ORDERLY SITE AT ALL TIMES.
11. COORDINATE WITH OWNER RE: [S] FOR GARBAGE BIN LOCATION. SUPPLY AND INSTALL PROTECTIVE MEASURES TO ENSURE THE GENERAL PUBLIC SAFETY.
12. COORDINATE WITH OWNER ANY SCHEDULING FOR PARKING AND/OR DISRUPTION OF PARKING AND TRAFFIC FLOW.
13. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND ALL THEIR SUBCONTRACTORS TO VISIT THE SITE AND FAMILIARIZE THEMSELVES WITH ALL ASPECTS OF THE PROJECT.
14. ALL NEW SIGNAGE TO BE COORDINATED WITH OWNER'S REQUIREMENTS. IT IS PERMITTED AND DRAWINGS BY OTHERS.
15. GENERAL CONTRACTOR SHALL RETAIN RESPONSIBILITY OF A FIRESTOPPING COMPANY AND SUBMIT U.L.C. SYSTEMS) PROPOSED FOR ALL PENETRATIONS THROUGH VERTICAL SEPARATIONS TO CONSULTANT FOR APPROVAL PRIOR TO INSTALLATION OF FIRESTOPPING. THE FIRESTOPPING COMPANY SHALL PROVIDE A LETTER AT THE COMPLETION OF THE PROJECT STATING THAT THEY INSPECTED AND CERTIFY PROPER INSTALLATION.
16. SEE INTERIOR ELEVATIONS FOR LOCATIONS OF MISCELLANEOUS MECHANICAL & ELECTRICAL ITEMS. IF LOCATION IS NOT INDICATED ON ARCHITECTURAL DRAWINGS, REFER TO MECHANICAL & ELECTRICAL DRAWINGS FOR GENERAL LOCATIONS.
17. SHIRT WALLS MUST BE TO BE FULL HEIGHT AND SEALED TO UNDERSIDE OF ROOF. FIRESTOPPING TO HAVE RATING NOT LESS THAN SHIRT WALL.
18. ALL INTERIOR BLOCK WALL AND/OR PARTITIONS TO EXTEND FULL HEIGHT TO UNDERSIDE OF STRUCTURE ABOVE. CONTRACTOR TO PROVIDE COMPLETE SEAL AT ALL PENETRATIONS. PROVIDE DEFLECTION GAP AS REQUIRED.
19. GENERAL CONTRACTOR TO PROVIDE ENGINEERED STEEL STUD SHOP DRAWINGS.
20. SITE VISIT TO VERIFY DIMENSIONS PRIOR TO FABRICATION OF DOORS, WINDOWS AND MILLWORK.
21. ALL WALLS, CEILINGS AND SURFACES THAT ARE TO BE PAINTED SHALL BE REPAIRED, PATCHED AND SANDED SMOOTH, AS REQUIRED, READY FOR PAINT.
22. PORTABLE FIRE EXTINGUISHERS TO BE INSTALLED IN CONFORMANCE WITH THE OFC 6.2 AND MUST HAVE A MINIMUM RATING OF 21ABC OR PER MUNICIPAL BYLAW.
23. SUPPLY & INSTALL SEALANT AT LOCATIONS OF ABUTTING DISSIMILAR MATERIALS AND EQUIPMENT. VISIBLE OR OTHERWISE, TO PROTECT BUILDING COMPONENTS FROM AIR INFILTRATION AND MOISTURE PROTECTION. COLOUR TO MATCH ADJACENT SURFACE.
24. THE DRAWINGS INDICATE THE PHYSICAL DIMENSIONS, EXISTING LEVELS AND SIMILAR ITEMS BEING INDICATED WHERE KNOWN. ALL INFORMATION RELATIVE TO EXISTING CONDITIONS IS OFFERED TO ASSIST THE CONTRACTOR IN EVALUATION OF THE WORK. BUT WITH NO SPECIFIC REPRESENTATION EITHER EXPRESSED OR IMPLIED, AS TO COMPLETENESS OR ACCURACY. BE RESPONSIBLE FOR ANY OMISSIONS OR CONCLUSIONS MADE ON THE BASIS OF THIS INFORMATION AND THAT OF ANY ADDITIONAL SITE INSPECTIONS, IF MADE.
25. ALL INTERIOR CONCRETE BLOCK WALLS TO EXTEND FULL HEIGHT TO US OF STRUCTURE UNLESS NOTED OTHERWISE. PROVIDE FOR DEFLECTION GAP AS REQUIRED.
26. GENERAL CONTRACTOR TO VERIFY ELEVATOR SHAFT SIZE PRIOR TO CONSTRUCTION WITH APPROVED SHOP DRAWINGS.
27. ALL AREAS DESIGNATED FOR MECHANICAL SPACE TO RECEIVE FIRE STOPPING AND DAMPERS AT ALL FLOOR PENETRATIONS.
28. THE CONTRACTOR SHALL ENSURE THAT ALL PORTIONS OF EXPOSED FOUNDATION WALLS ARE TO BE CAREFULLY FORMED AND POURED AND THAT ALL SURFACE IMPERFECTIONS, SCUFFS, CHIPS, ABRASIONS, INCLUDING FORM TIES ARE REMOVED AND THE SURFACE IS MADE GOOD.
29. ALL EXTERIOR EXPOSED ARCHITECTURAL CONCRETE SURFACES TO BE SEALED.
30. RELACE 13mm GYPSUM BOARD WITH 16mm GYPSUM BOARD IN NECESSARY LOCATIONS TO KEEP GYPSUM BOARD THICKNESS CONSISTENT.
31. ALL GYPSUM BOARD IN ALL WASHROOMS, KITCHENS, AND MECHANICAL/ELECTRICAL ROOMS IS TO BE MOISTURE RESISTANT GYPSUM BOARD AS SPECIFIED.
32. ALL GYPSUM BOARD IN SHOWER AREAS IS TO BE MOISTURE RESISTANT TILE BACKER GYPSUM BOARD AS SPECIFIED.

ASSEMBLY LEGEND



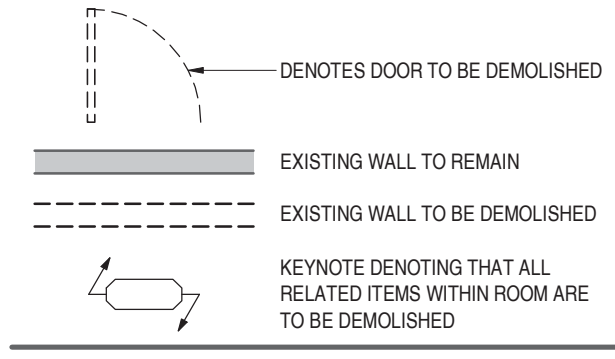
ASSEMBLY NOTES

1. REFER TO GENERAL NOTES FOR ADDITIONAL INFORMATION.
 2. GYPSUM BOARD FOR RATED ASSEMBLIES SHALL BE IN CONFORMANCE WITH APPLICABLE CANADIAN WRITERS' LABORATORIES OF CANADA DESIGN. REFER TO ASSEMBLIES FOR DESIGNATION WHERE APPLICABLE.
 3. ALL FIRE STOPPING OF SERVICE PENETRATIONS SHALL BE INSTALLED IN CONFORMANCE WITH CBC ARTICLE 3.13.1.
 4. SUPPLY AND INSTALL, GYPSUM BOARD CONTROL JOINTS IN WALLS EXCEEDING 9 METRES IN LENGTH SPACED AT A MAXIMUM OF 9 METRES c/c. INSTALL CONTROL JOINTS AS PER MANUFACTURER'S INSTALLATION INSTRUCTIONS.
 5. ALL STEEL STUDS TO BE STAMPED BY DRYWALL CONTRACTORS ENGINEERS. STANDARD SHOP DRAWINGS TO BE PROVIDED TO CONSULTANTS FOR REVIEW.
 6. REFER TO ROOM FINISH SCHEDULE FOR FINISHES.
 7. WEATHERIGHT MEMBRANES, PROTECTED WITH WEATHERIGHT MEMBRANES, MAINTAIN CLEAN, SAFE, & ORDERLY SITE AT ALL TIMES. SHOULD MATERIAL RESEMBLING SPRAYTROWEL APPLIED ASBESTOS OR OTHER TOXIC/HAZARDOUS MATERIALS BE ENCOUNTERED DURING DEMOLITION, STOP WORK, TAKE PREVENTIVE MEASURES & NOTIFY ARCHITECT AND/OR OWNER IMMEDIATELY. DO NOT PROCEED WITHOUT WRITTEN INSTRUCTIONS.

DOOR GENERAL NOTES

 1. DOOR AND FRAME SUPPLY (HOLLOW METAL & ALUMINUM) SHALL PROVIDE ALL REQUIRED CLOSURE TRIMS FOR ALL EXTERIOR FRAMES TO SUIT CORRESPONDING OPENINGS.

DEMOLITION LEGEND



DEMOLITION NOTES

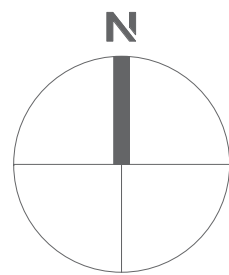
1. WITH ALL REMOVALS, CONTRACTOR TO MAKE GOOD ADJACENT REMAINING SURFACES, INCLUDING BUT NOT LIMITED TO, FLOORING BASE, WALLS, CEILING, MILLWORK & FIXTURES.
2. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO DESIGN ALL SHORING AND TEMPORARY BRACING AS PER O. REG. 213.91 AND THE CONTRACTOR SHALL RETAIN AN ENGINEER AS REQUIRED.
3. DISPOSE OF REMOVED ITEMS IN A LAWFUL MANNER IN ACCORDANCE WITH THE MUNICIPALITY HAVING JURISDICTIONS RULES & REGULATIONS.
4. ALL EXISTING WALLS TO REMAIN ARE SHOWN DASHED.
5. ALL EXISTING WALLS TO BE REMOVED ARE SHOWN DASHED OR AS KEYNOTED WITHIN PLANS. NOT ALL ITEMS WILL HAVE A KEYNOTE PROVIDED FOR CONVENIENCE. WHERE DASHED WALLS ARE SHOWN, IT IS UNDERSTOOD THAT THE CONTRACTOR SHALL REMOVE ALL WITHIN ARE TO BE DEMOLISHED & REMOVED, UNLESS NOTED OTHERWISE.
6. OWNER TO HAVE RIGHT OF FIRST REFUSAL FOR ALL MATERIALS REMOVED. ALL REMOVED ITEMS SHALL BE DISPOSED IN ACCORDANCE TO NOTE #3.
7. COORDINATE WITH STRUCTURAL, MECHANICAL & ELECTRICAL DRAWINGS FOR ALL RELATED COMPONENTS OF DEMOLITION, MODIFICATION & PROPOSED WORK.
8. PROVIDE AN ADVISORY REPORT TO THE MECHANICAL/ELECTRICAL SERVICES/CONNECTIONS AS REQUIRED TO ACCOMMODATE DEMOLITION, OR AS A RESULT OF DEMOLITION.
9. ENSURE ALL FLOOR AREAS ARE FREE OF HAZARDS DURING & AFTER DEMOLITION. LEVEL, PATCH, & GRIND FLOOR AS REQUIRED TO CREATE SMOOTH SURFACE READY TO RECEIVE FINISHED FLOORING.
10. EXTERIOR OPENINGS CREATED BY DEMOLITION ARE TO BE SHORDED AND FASTENED WITH 16mm PLYWOOD SUPPORTING ALL SIDES.
11. HORIZONTAL EXTERIOR OPENINGS CREATED BY DEMOLITION ARE TO BE FURTHER PROTECTED WITH VERTICAL THURTTENT MEASURES.
12. MAINTAIN CLEAN, SAFE, & ORDERLY SITE AT ALL TIMES. SHOULD MATERIAL RESEMBLING SPRAY/TROWEL APPLIED ASBESTOS OR OTHER TOXIC/HAZARDOUS MATERIALS BE ENCOUNTERED DURING DEMOLITION, STOP WORK, TAKE PREVENTATIVE MEASURES & NOTIFY ARCHITECT AND/OR OWNER IMMEDIATELY. DO NOT PROCEED WITHOUT WRITTEN INSTRUCTIONS.
- 13.

DOOR GENERAL NOTES

1. DOOR AND FRAME SUPPLIER (HOLLOW METAL & ALUMINUM) SHALL PROVIDE ALL REQUIRED CLOSURE TRIMS FOR ALL EXTERIOR FRAMES TO SUIT CORRESPONDING OPENINGS.
2. PROVIDE WEATHER STRIPPING TO ALL EXTERIOR DOORS.
3. PROVIDE SEALANT AROUND ALL EXTERIOR HOLLOW METAL AND ALUMINUM DOOR FRAMES ON EXTERIOR AND INTERIOR SIDES. SEALANT COLOUR TO MATCH FRAMES. RATED INTERIOR HOLLOW METAL FRAMES TO BE FILLED SOLID WITH MORTAR.
4. EXTERIOR HOLLOW METAL DOORS TO HAVE REINFORCED CORNERS TO PREVENT WARPING.
5. SHIM CLOSERS ON EXTERIOR DOORS TO PREVENT CUTTING OF WEATHERSTRIPPING.
6. ALL FIRE RATED DOORS TO HAVE POSITIVE LATCHING MECHANISM HARDWARE IN ACCORDANCE WITH CBC 3.1.8.1.5.
7. EXTERIOR HOLLOW METAL FRAMES & ALUMINUM FRAMINGS WITH FOAMED-IN-PLACE INSULATION.
8. ALUMINUM DOOR HARDWARE TO BE SUPPLIED AND INSTALLED BY ALUMINUM FRAME CONTRACTOR.

ABBREVIATIONS:

		J	
AB	AIR BARRIER	JT	JANITOR JOINT
AC	AIR CONDITIONING		
ACS	ACRYLIC STUCCO FINISH	K	
ACT	ACOUSTIC CEILING TILE	KP	KICKPLATE
AF	ACCESS FLOOR	KCT	KITCHEN CEILING TILE
AFB	ABOVE FINISHED FLOOR		
ALFB	ASPHALT IMPREGATED FIBRE BOARD	L	
ALUM	ALUMINUM	LAM	LAMINATE
ANOD	ANODIZED	LAV	LAVATORY
ANNOX	ANNUNCIATOR PANEL	LOCK	LOCKERS
APPROX	APPROXIMATE	LSG	LAMINATED SAFETY GLASS
ARCH	ARCHITECTURAL	LTWT	LIGHT WEIGHT
AT	AUDITORIUM	LP	LOW POINT
AVB	AIR / VAPOUR BARRIER		
AV	AUDIO / VISUAL	M	
B		m²	SQUARE METERS
BBFM	BEAM BY FLOOR MANUFACTURER	MAG	MAGNETIC LOCK
BD	BOARD	MANUF	MANUFACTURED
BEW	BOTTOM EACH WAY	MAX	MAXIMUM
BF	BARRIER FREE	MAT	MATERIAL
BG	BUMPER GUARD	MDF	MEDIUM DENSITY FIBRE BOARD
BLDG	BUILDING	MECH	MECHANICAL
BLK	BLOCK	MED	MEDIUM
BLLL	BOTTOM LOWER LAYER	MEMB	MEMBRANE
BM	BENCH MARK	MEZZ	MEZZANINE
BP	BASE PLATE	MHO	MAGNETIC HOLD OPEN
BR	BRICK	MIN	MINIMUM
BSMT	BASEMENT	MISC	MISCELLANEOUS
BSP	BENT STEEL PLATE	ML	MAGNETIC LOCK
BTM	BOTTOM	MO	MASONRY OPENING
BTW	BETWEEN	MT	METAL
BU	STEEL BUILT UP (TO OWSJ)	MTD	MOUNTED
BUL	BOTTOM UPPER LAYER	N	
C		NBC	NATIONAL BUILDING CODE
CA	CLEAN ANODIZED	NIC	NOT IN CONTRACT
CB	CATCH BASIN	NFBH	NON FREEZE HOSE BIB
CBD	CEMENT BOARD	NS	NUMBER
c/c	CENTER TO CENTER	NTS	NOT TO SCALE
CJ	CORNER GUARD	O	
CIP	CAST-IN-PLACE	OBG	ONTARIO BUILDING CODE ON CENTER
CG	CONSTRUCTION JOINT	OD	OUTSIDE DIMENSION
CL	CENTER LINE	OFF	OFFSIDE FACE
CLG	CEILING	OFFC	OFFICE
CLR	COLOR	OH	OVERHEAD
CLST	CLOSET	OPSD	ONTARIO PROVINCIAL STANDARD DETAIL
CMP	COMPOSITE METAL PANEL	OPSS	ONTARIO PROVINCIAL STANDARD SPECIFICATION
COL	COLUMN	OS	OVERFLOW SCUPPER
CONST	CONSTRUCTION	OSB	ORIENTED STRAND BOARD
CONC	CONCRETE	OWSJ	OPEN WEB STEEL JOIST
COORD	COORDINATE	P	
CPT	CARPET	PDO	POWER DOOR OPERATOR
CR	CARD READER	PED	PEDESTAL
CRS	COURSE	P.LAM	PLASTIC LAMINATE
CT	CURTAIN TRACK	PLYWD	PLYWOOD
c/w	CERAMIC WALL TILE	PNT	PAINT(ED)
D		POLY	POLYETHYLENE
DEG	DEGREE	PREFIN	PREFINISHED
DF	DRAINING FOUNTAIN	PT	PRESSURE TREATED
DIA	DIAMETER	PTD	PAPER TOWEL DISPENSER
Ø	DIAMETER	R	
DIM	DIMENSION	R&D	REMOVE AND DISPOSE
DIV	DIVISION	R&R	REMOVE AND REINSTATE
DN	DOWN	RA	RAIL ANCHOR
DP	DEMOUNTABLE PARTITION	RAD	RADIUS
DS	DOOR SEAL	RCF	REFLECTED CEILING PLAN
DSW	DOOR SWEEP	RD	ROOF DRAIN
DET	DETAIL	REINF	REINFORCED
DW	DISHWASHER	REQD	REQUIRED
DWG(S)	DRAWING(S)	RFE	RECESSED FIRE EXTINGUISHER
E		RHC	RECESSED HEATING CABINET
EA	EACH	RJ	ROOF JOIST
EF	EACH FACE	RM	ROOM
ELEC	ELECTRICAL	RO	ROUGH OPENING
ELEV	ELEVATION	RTU	ROOF TOP UNIT
ECC	EPOXY CEILING COATING	RWL	RAIN WATER LEADER
EFC	EPOXY FLOOR COATING	S	
EJ	EXPANSION JOINT	SC	SAWCUT
ELECT	ELECTRICAL	SHT	SHEET
EMP	EMERGENCY POWER	SM	SIMILAR
ENCL	ENCLOSED	SPEC	SPECIFICATION
EP	ELECTRICAL PANEL	SPF	SUPRICE PINE FIR
EQU	EQUAL	SF	SQUARE FOOT
EQUIP	EQUIPMENT	SND	SANITARY NAPKIN DISPOSAL
ES	ELECTRICAL STRIKE	SOB	SLAB ON-GRADE
ESRI	ELECTRICAL STRIKE ROUGH IN	SS	STAINLESS STEEL
ETC	ET CETERA	STFP	STEPPED FOOTING
EW	EACH WAY	STL	STEEL
EWG	EPOXY WALL COATING	STM	STORM
EXTG	EXISTING	STOR	STORAGE
EXT	EXTERIOR	STRUCT	STRUCTURAL
F		SUSP	SUSPENDED
FAP	FIRE ALARM PANEL	SWPD	SIDE WALL ROOF DRAIN
FCRD	FLOW CONTROL ROOF DRAIN	T	
FD	FLOOR DRAIN	TB	THERMALLY BROKEN
FDC	FIRE DEPARTMENT CONNECTION	TBAL	THERMALLY BROKEN ALUMINUM
FEC	FIRE EXTINGUISHER CABINET	TBHM	THERMALLY BROKEN HOLLOW METAL
FHC	FIRE HOSE CABINET	TEMP	TEMPERED
FIN	FINISH	TH	THICK
FJ	FLOOR JOIST	TJ	TIE JOIST
FL	FLOOR	TLL	TOP LOWER LAYER
FLASH	FLASHING	TOP	TOP OF
FND	FOUNDATION	TUL	TOP UPPER LAYER
FR	FIRE RESISTANCE RATING	TYP	TYPICAL
FS	FIRE SEPARATION	U	
ft	SQUARE FEET	UG	UNDERGROUND
G		ULC	UNDERWRITERS LABORATORIES OF CANADA
GA	GALVANIZED	UNO	UNLESS NOTED OTHERWISE
GALV	GALVANIZED	UR	URINAL
GB	GRAB BAR	UIS	UNDERSIDE OF
GC	GENERAL CONTRACTOR	V	
GL	GLAZING	V8	VAPOUR BARRIER
GRAN	GRANULAR	VCT	VINYL COMPOSITE TILE
GWB	GYPSUM WALL BOARD	VEST	VESTIBULE
GWG	GEORGIAN WIRE GLASS	VERT	VERTICAL
GYP	GYPSUM	VEF	VERTICAL EACH FACE
H		VI	VINYL
HB	HOSE BIB	VEF	VERTICAL INSIDE FACE
HD	HAND DRYER	VOF	VERTICAL OUTSIDE FACE
HEF	HORIZONTAL EACH FACE	W	
HE	HORIZONTAL INSIDE FACE	W	WIDE
HL	HOT LAID (ASPHALT)	WC	WATER CLOSET
HM	HOLLOW METAL	WD	WOOD
HOF	HORIZONTAL OUTSIDE FACE	WR	WASTE RECEPTACLE
HORIZ	HORIZONTAL	WFE	WALL MOUNTED FIRE EXTINGUISHER
HP	HIGH POINT	WV	WATER VALVE
HR	HOUR	WWM	WELDED WIRE MESS
HLR	HAND RAIL	WID	WASHER/DRYER
HSS	HOLLOW STRUCTURAL STEEL	w/o	WITHOUT
HT	HEIGHT	W	WASHROOM
HTR	HEATER	w	WITH
HYD	HYDRANT	X	
I		XTR	EXISTING TO REMAIN
IIC	INCLUDED IN CONTRACT		
ID	INSIDE DIMENSION		
IF	INSIDE FACE		
IHM	INCLUDED HOLLOW METAL		
INCL	INCLUDED		
INSUL	INSULATION		
INT	INTERIOR		
IRWB	IMPACT RESISTANT WALL BOARD		

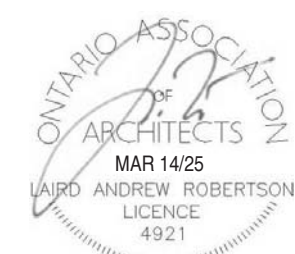


BUILDING PERMI

7	Mar 14/25	Issued for Building Permit
6	Dec 03/24	Issued for Budget Costing
No.	DATE	ISSUE

NEO
ARCHITECTURE INC.

270 KING ST. E., SUITE 100, NORTH YORK, ON, M2N 2Z1 | 416 390 1030
neoaarchitecture.ca



OWNE

1404 Doon Village Road, Kitchener On, N2P 1A5

1404 Doon Village Oasis

1404 Doon Village Road, Kitchener On, N2P 1A5

General Notes

PROJECT No.
24-008

PROJECT DATE
September 23, 2024

DRAWN BY
zschickler

A001

FILE PATH: C:\Users\NEO\OneDrive\Documents\24-008 DoonVillageOasis\404_RVT25_1chardF AP98.rvt
PLOT DATE: 2025-03-14 11:48:01 AM



ONTARIO BUILDING CODE MATRIX

Prepared by:
NEO ARCHITECTURE INC.
1-243 King Street East
Kitchener, ON N2G 2K8
Project:
1404 Doon Village Road
Kitchener, ON
Rear Addition
Owner: Peggy Reitzel

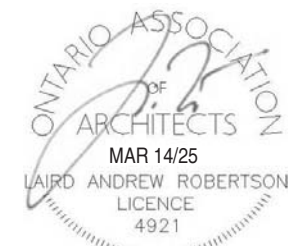
Item	Ontario Building Code Data Matrix								OBC Reference		
1	Project Description: 1404 Doon Village Road Kitchener, ON Rear Addition <div><input type="checkbox"/> New<div><input type="checkbox"/> Change of Use</div><input checked="" type="checkbox"/> Addition<div><input type="checkbox"/> Alteration</div><input type="checkbox"/> Demolition</div>								<input type="checkbox"/> Part 3	<input checked="" type="checkbox"/> Part 9	<input type="checkbox"/> Part 11
2	Major Occupancy(s): <div>GROUP C (RESIDENTIAL)</div>								3.1.2.1.(1)	9.10.2.	
3	Building Area (m²):	Existing: 249.7	New: 183.9	Total: 433.6				[A]1.4.1.2.	1.1.3.2.		
4	Gross Floor Area (m²):	Existing: 249.7	New: 183.9	Total: 433.6				[A]1.4.1.2.	1.1.3.2.		
	Basement	--	--	--							
	Ground Floor (Residential)	249.7	183.9	433.6							
	*EXCLUDES GARAGES										
5	Number of Storeys:	Above Grade: 1	Below Grade: 0					3.2.1.1.	2.1.1.3.		
6	Building Height:	9.1 m									
7	Number of Streets / Access Routes:	1						3.2.2.10. & 3.2.5.	9.10.19.		
8	Building Classification:	GROUP C (RESIDENTIAL)						3.2.2.	9.10.4.		
9	Sprinkler System:	--		<input type="checkbox"/> Entire Building <input type="checkbox"/> Partially Sprinklered <input type="checkbox"/> In Lieu of Roof Rating <input checked="" type="checkbox"/> Not Required				3.2.2.62. 3.2.1.5. 3.2.2.17.	9.10.8.		
10	Standpipe Required:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No						3.2.9.			
11	Fire Alarm Required:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No						3.2.4.	9.10.17.2.		
12	Water Service / Supply is Adequate:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No						3.2.5.7.	N/A		
13	High Building:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No						3.2.6.	N/A		
14	Permitted Construction:	<input type="checkbox"/> Combustible	<input type="checkbox"/> Non-Combustible	<input checked="" type="checkbox"/> Both				3.2.2.62.	9.10.6.		
	Actual Construction:	<input checked="" type="checkbox"/> Combustible	<input type="checkbox"/> Non-Combustible	<input type="checkbox"/> Both							
15	Mezzanine(s) Area (m²):	--						3.2.1.1.(3-8)	9.10.4.1.		
16	Occupant Load:	<input type="checkbox"/> m² / person		<input checked="" type="checkbox"/> Design of Building				3.1.17.1.	9.9.1.3.		
	Floor Level:	Space:		Occupancy:	Load:						
	Existing to Remain										
	Total:										
17	Barrier-free Design:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No						3.8.	9.5.2.		
18	Hazardous Substances:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No						3.3.6./3.3.1.19.	9.10.13.(4)		
19	Required Fire Resistance Rating (FRR)	Horizontal Assemblies FRR (hours)		Listed Design No. or Description (SB-2)				3.2.2.62. & 3.2.1.4.	9.10.8. 9.10.9. 9.10.9.4.(2)		
		Floor (N/A)		--							
		Roof (N/A)		--							
		Mezz. (N/A)		--							
		Supporting Members FRR (hours)		Listed Design No. or Description (SB-2)							
		Floor (N/A)		--							
		Roof (N/A)		--							
		Mezz. (N/A)		--							
	Spatial Separation - Construction of Exterior Walls:								3.9.3.2.	9.10.14.	
20	Walls	Area of EBF (m²)	L.D. (m)	L/H Ratio	Permitted U.O.s (%)	Proposed U.O.s (%)	F.R.R. (Hours)	Listed Design or Description	Combustible Construction	Comb Constr Non Cladding	Non-Comb Construction
	North				REFER TO SPATIAL SEPARATION ELEVATIONS						
	East										
	West										
	South										
21	Other: --										

BUILDING PERMIT

7	Mar 14/25	Issued for Building Permit
6	Dec 03/24	Issued for Budget Costing
No.	DATE	ISSUE

NEO
ARCHITECTURE INC

270 King St E, Kitchener, ON N2G 2L1 | 519 590 1636
neoaarchitecture.ca



OWNER

1404 Doon Village Road, Kitchener On, N2P 1A5

PROJECT
1404 Doon Village Oasis

1404 Doon Village Road, Kitchener On, N2P 1A5

DRAWING

Code Compliance Matrix

PROJECT NO:

24-008

PROJECT DATE

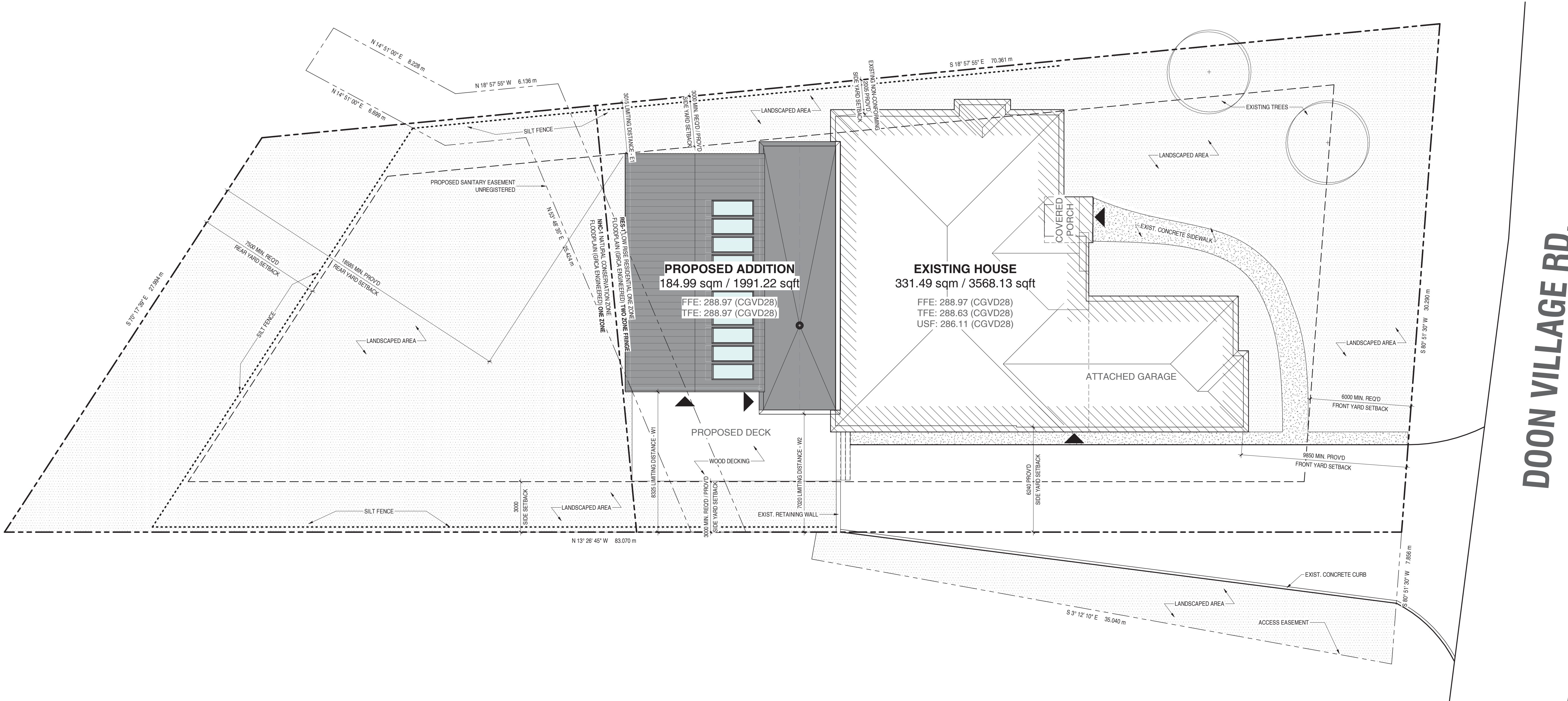
September 23, 2024

DRAWN BY

zscklickler

A002

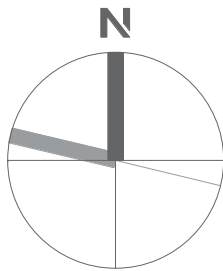
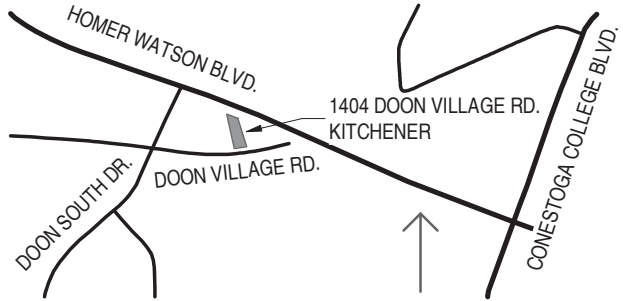
FILE PATH: C:\Users\NEO User\Documents\24-008 DoonVillageOasis\404_P\VT25_1chardf AP88.rvt
PLOT DATE: 2025-03-14 11:48:01 AM



DOON VILLAGE RD.

2019-051	City of Kitchener Zoning By-Law	Required		Proposed		Variance	
	ZONING	RES-1 (282), (267)	NHC	RES-1 (282), (267)	NHC	RES-1 (282), (267)	NHC
7.2 (Table 7-1)	PERMITTED USES	Single-Detached Dwelling	Natural Heritage Conservation	Single-Detached Dwelling	Natural Heritage Conservation	Single-Detached Dwelling	Natural Heritage Conservation
(282) b)	Minimum Lot Area	2023m²		2023.45m²			
(267)	Minimum Lot Width	29.5m		30.29m			
7.3 (Table 7-3)	Minimum Front Yard or Exterior Yard Setback	6.0m (3)		9.85m			
	Maximum Front Yard Setback	(3)		N/A			
	Minimum Interior Side Yard Setback	3.0m		3.0m			
	Minimum Rear Yard Setback	7.5m		18.59m			
	Maximum Lot Coverage	55% (4)		40%			
	Maximum Building Height	11.0m (6)		10.0m			
5.6 (Table 5-5)	Maximum number of storeys	3		1			
	Minimum parking spaces:	1 per dwelling unit (1)		3 per dwelling unit (3)			

RFE: 288.10 (CGVD28)

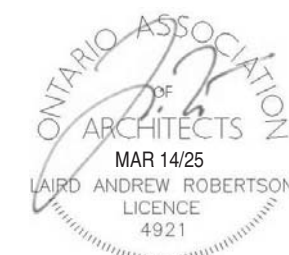


BUILDING PERMIT

No.	DATE	ISSUE
7	Mar 14/25	Issued for Building Permit
6	Dec 03/24	Issued for Budget Costing
5	Nov 29/24	Revised & Reissued for GRCA Permit
4	Nov 27/24	Issued for GRCA Permit
3	Nov 4/24	Issued for Coordination

NEO
ARCHITECTURE INC

270 King St E, Kitchener, ON N2G 2L1 | 519 590 1636
neoaarchitecture.ca



OWNER

1404 Doon Village Road, Kitchener On, N2P 1A5

PROJECT
1404 Doon Village Oasis

1404 Doon Village Road, Kitchener On, N2P 1A5

DRAWING

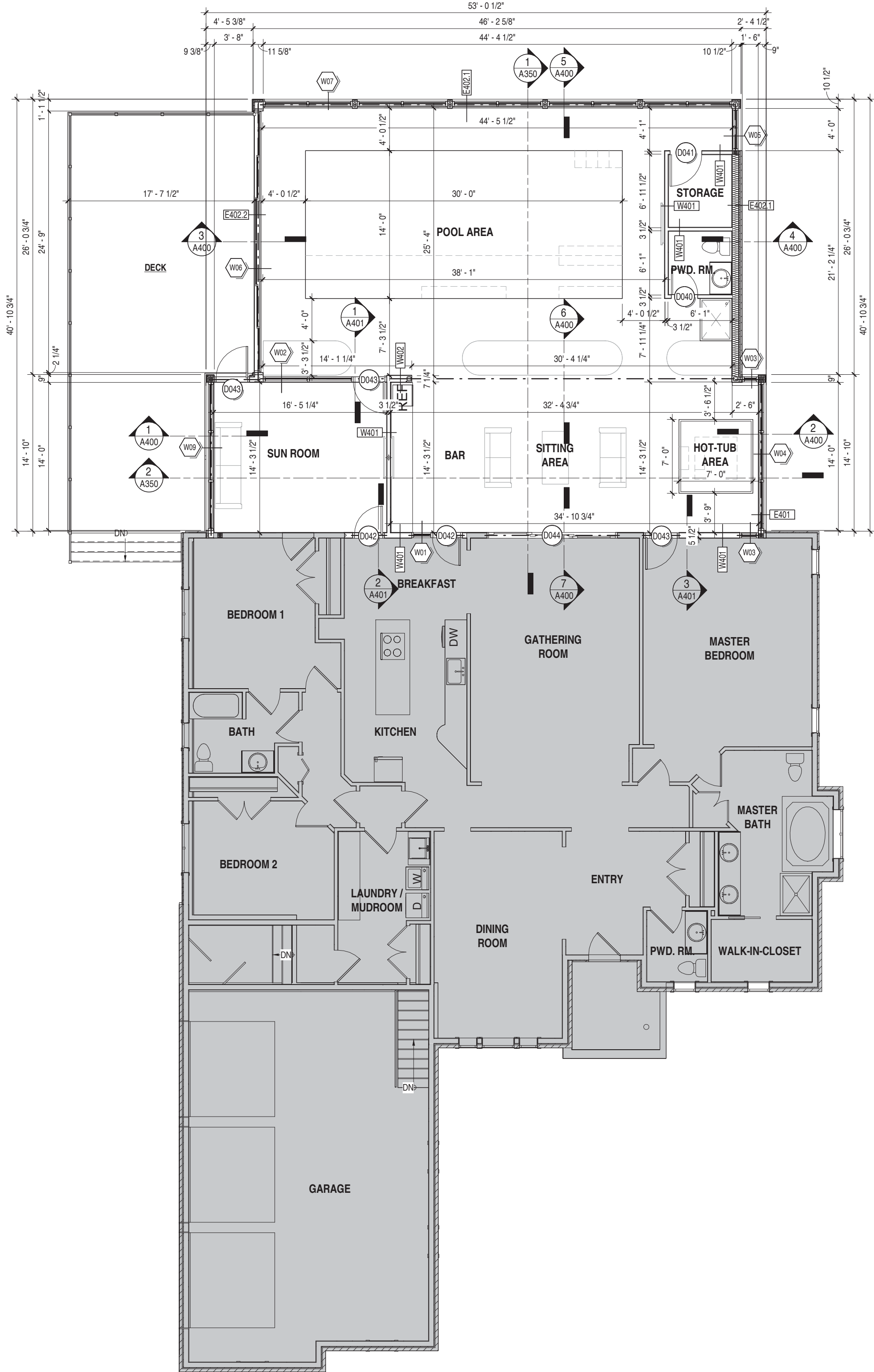
Site Plan

PROJECT No:	24-008
PROJECT DATE	September 23, 2024
DRAWN BY	zscklickler

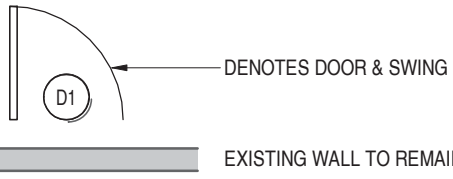
A100

FILE PATH: C:\Users\NEO User\Documents\24-008 DoonVillageOasis\404_RVT25_1chardFAP88.rvt
PLOT DATE: 2025-03-14 11:48:02 AM

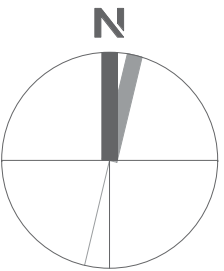
2 Proposed Ground Floor Plan
1/8" = 1'-0"



PLAN VIEW LEGEND



KEYNOTE LEGEND

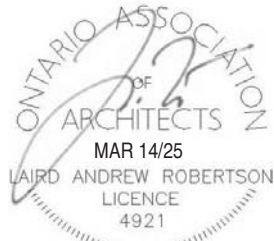


BUILDING PERMIT

7	Mar 14/25	Issued for Building Permit
6	Dec 03/24	Issued for Budget Costing
3	Nov 4/24	Issued for Coordination
2	Oct 22/24	Issued for Coordination
1	Sept 27/24	Issued for Coordination
No.	DATE	ISSUE

NEO
ARCHITECTURE INC

270 King St E, Kitchener, ON N2G 2L1 | 519 590 1636
neoarchitecture.ca



OWNER

1404 Doon Village Road, Kitchener On, N2P 1A5

PROJECT
1404 Doon Village Oasis

1404 Doon Village Road, Kitchener On, N2P 1A5

DRAWING

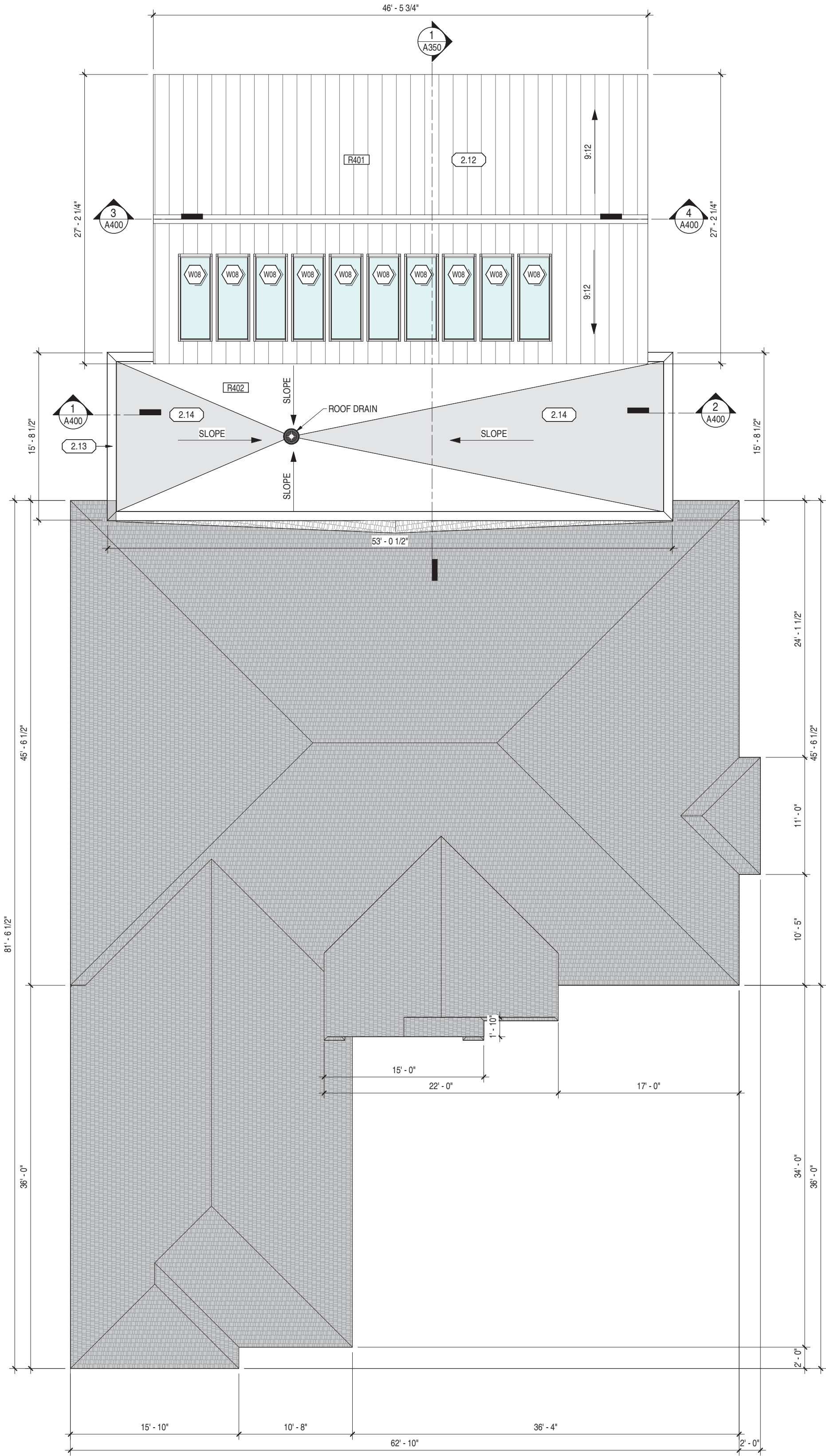
Proposed Ground Floor Plan

PROJECT No:
24-008
PROJECT DATE
September 23, 2024
DRAWN BY
zsckickler

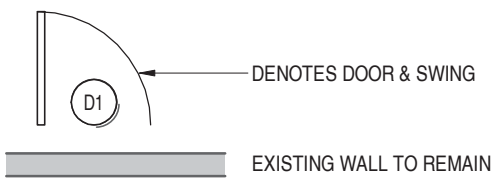
A201

FILE PATH: C:\Users\NEO\User\Documents\24-008 DoonVillageOasis\404_RVT25_1chardFAP88.rvt
PLOT DATE: 2025-03-14 11:48:03 AM

1 ROOF PLAN
1/8" = 1'-0"

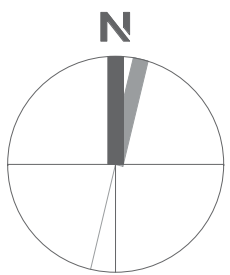


PLAN VIEW LEGEND



KEYNOTE LEGEND

- 2.12 PREFINISHED VERTICAL METAL ROOF (MANUFACTURER: TBD/ STYLE: TBD/ COLOUR: LIGHT GREY)
2.13 PREFINISHED BENT METAL FLASHING
2.14 EXTENT OF CROSS-SLOPE FRAMING (SHOWN SHADED)



BUILDING PERMIT

7	Mar 14/25	Issued for Building Permit
6	Dec 03/24	Issued for Budget Costing
3	Nov 4/24	Issued for Coordination
2	Oct 22/24	Issued for Coordination
1	Sept 27/24	Issued for Coordination
No.	DATE	ISSUE

NEO
ARCHITECTURE INC

270 King St. E. Kitchener, ON, N2G 2L1 | 519 590 1636
neoarchitecture.ca



OWNER

1404 Doon Village Road, Kitchener On, N2P 1A5

PROJECT
1404 Doon Village Oasis

1404 Doon Village Road, Kitchener On, N2P 1A5

DRAWING

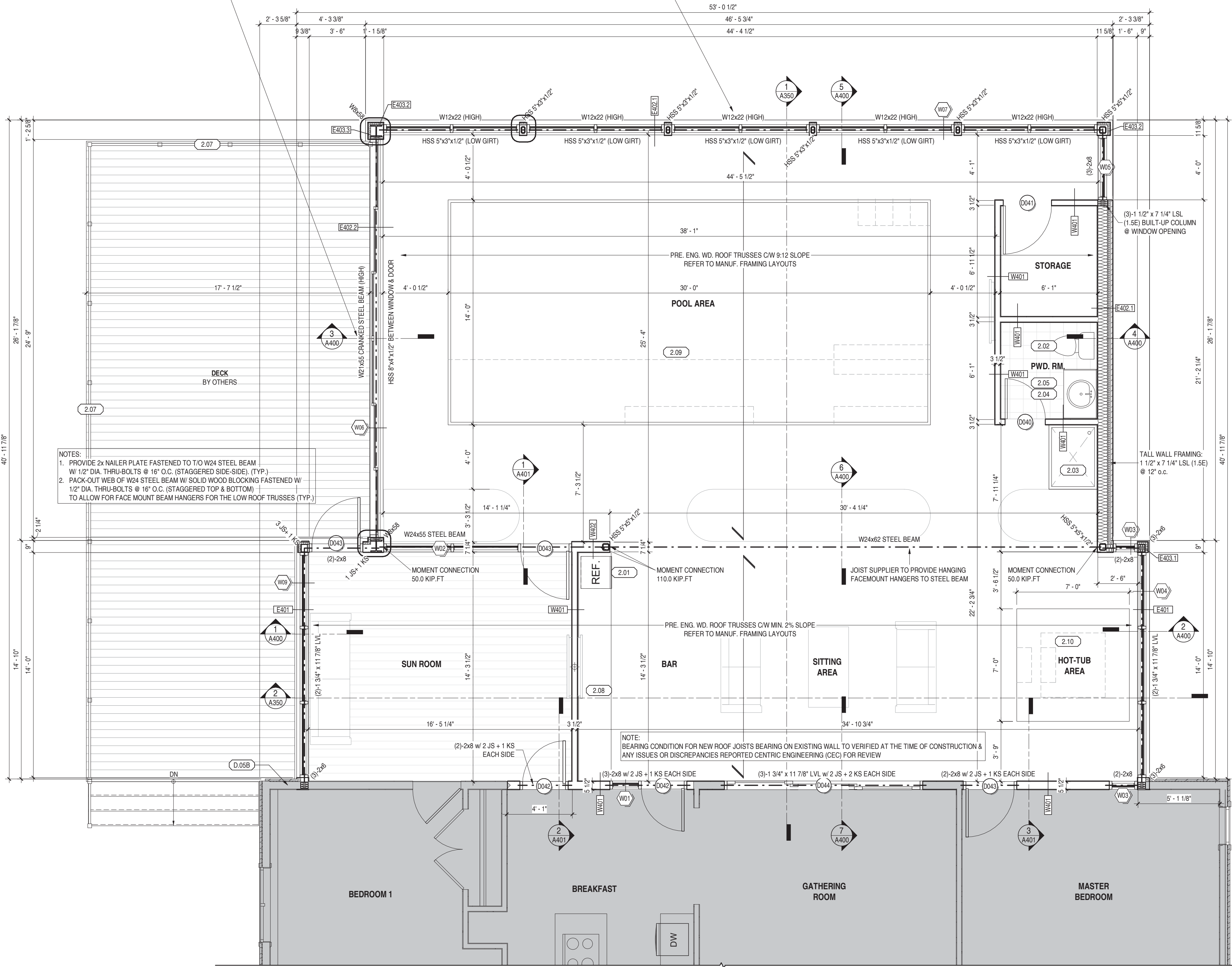
Roof Plan

PROJECT No.
24-008
PROJECT DATE
September 23, 2024
DRAWN BY
zsckickler

A203

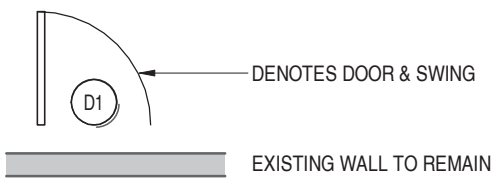
NOTES:
1. PROVIDE MOMENT CONNECTION RATED FOR 50.0 KIP-FT FROM W21x55 TO COLUMNS.
2. PROVIDE MOMENT CONNECTION RATED FOR 50.0 KIP-FT AT T/O CRANKED BEAM.
3. FULLY WELD LOW GIRTS TO FACE OF COLUMNS W/ MIN. 3/16" WELDS ALL AROUND.
4. PROVIDE 2x NAILER PLATE FASTENED TO T/O W21x55 CRANKED BEAM W/ 1/2" DIA. THRU-BOLTS @ 16" O.C. (STAGGERED SIDE-SIDE)

NOTES:
1. PROVIDE MOMENT CONNECTION RATED FOR 30.0 KIP-FT FROM W12x22 TO COLUMNS. (TYP.)
2. FULLY WELD LOW GIRTS TO FACE OF COLUMNS W/ MIN. 3/16" WELDS ALL AROUND. (TYP.)
3. PROVIDE 2x NAILER PLATE FASTENED TO T/O W12x22 W/ 1/2" DIA. THRU-BOLTS @ 16" O.C. (STAGGERED SIDE-SIDE)



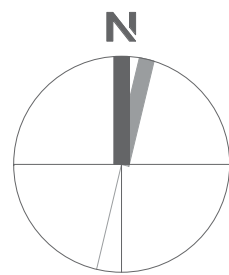
1 GROUND ENLARGED FLOOR PLAN
1/4" = 1'-0"

PLAN VIEW LEGEND



KEYNOTE LEGEND

- 2.01 BAR REFRIGERATOR, CONTRACTOR TO COORDINATE INSTALLATION.
- 2.02 WATER CLOSET, REFER TO MECH. DWGS.
- 2.03 WALK-IN ACRYLIC SHOWER BASE C/W SHOWER HEAD & CONTROLS, REFER TO MECH. DWGS.
- 2.04 VANITY C/W SINK BASIN & FAUCET, REFER TO MECH. DWGS. PROVIDE BLOCKING IN WALLS AS REQUIRED FOR FASTENING OF VANITY, CONTRACTOR TO COORDINATE ON SITE.
- 2.05 SUPPLY & INSTALL BATHROOM MIRROR & TOILET PAPER HOLDER PROVIDE SOLID BLOCKING AS REQUIRED FOR FASTENING.
- 2.07 GUARDRAIL TO 42" A.F.F. U.N.O. PROVIDE HANDRAILS AS SHOWN ON STAIR PLANS & SECTIONS. REFER TO ELEVATIONS FOR DETAILS.
- 2.08 COUNTERTOP
- 2.09 PREFABRICATED FIBERGLASS POOL INSERT C/W PLUMBING & SYSTEMS AS REQUIRED. POOL FOUNDATIONS (IF REQUIRED) BY OTHERS (MANUFACTURER: LATHAM POOLS) (MODEL: PROVIDENCE 14) OR APPROVED ALTERNATIVE
- 2.10 PREFURNISHED IN-GROUND HOT-TUB SYSTEM C/W PLUMBING & SYSTEMS AS REQUIRED. HOT-TUB FOUNDATIONS (IF REQUIRED) BY OTHERS
- D.05B SIDING & SHEATHING TO BE ADDED TO EXISTING STUD (MATCH COLOUR TO EXISTING SIDING)

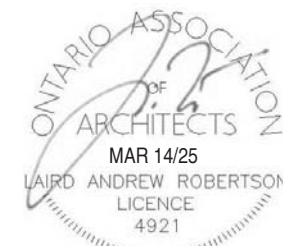


BUILDING PERMIT

No.	DATE	ISSUE
7	Mar 14/25	Issued for Building Permit
6	Dec 03/24	Issued for Budget Costing
3	Nov 4/24	Issued for Coordination
2	Oct 22/24	Issued for Coordination
1	Sept 27/24	Issued for Coordination

NEO
ARCHITECTURE INC

270 King St. E. Kitchener, ON N2G 2L1 | 519 590 1636
neoaarchitecture.ca



OWNER

1404 Doon Village Road, Kitchener On, N2P 1A5

PROJECT
1404 Doon Village Oasis

1404 Doon Village Road, Kitchener On, N2P 1A5

DRAWING

Enlarged Floor Plans

PROJECT No:
24-008
PROJECT DATE
September 23, 2024
DRAWN BY
zsckickler

A210



REVIEWED & SEALED FOR STRUCTURAL
INFORMATION ONLY.
REFER TO S1.0 FOR STRUCTURAL NOTES

FILE PATH: C:\Users\NEO User\Documents\24-008 Doon Village Oasis\404_RVT25_1chardf AP88.dwt
PLOT DATE: 2025-03-14 11:48:03 AM

2 Ground Floor Reflected Ceiling Plan
1/4" = 1'-0"

NOTES:
1. PROVIDE MOMENT CONNECTION RATED FOR 50.0 KIP-FT FROM W21x65 TO COLUMNS. (TYP.)
2. PROVIDE MOMENT CONNECTION RATED FOR 50.0 KIP-FT AT T/O CRANKED BEAM.
3. FULLY WELD LOW GIRTS TO FACE OF COLUMNS W/ MIN. 3/16" WELDS ALL AROUND.
4. PROVIDE 2x NAILER PLATE FASTENED TO T/O W21x65 CRANKED BEAM W/ 1/2" DIA. THRU-BOLTS @ 16" O.C. (STAGGERED SIDE-SIDE)

NOTES:
1. PROVIDE MOMENT CONNECTION RATED FOR 30.0 KIP-FT FROM W12x22 TO COLUMNS. (TYP.)
2. FULLY WELD LOW GIRTS TO FACE OF COLUMNS W/ MIN. 3/16" WELDS ALL AROUND. (TYP.)
3. PROVIDE 2x NAILER PLATE FASTENED TO T/O W12x22 W/ 1/2" DIA. THRU-BOLTS @ 16" O.C. (STAGGERED SIDE-SIDE)

NOTES:
1. PROVIDE 2x NAILER PLATE FASTENED TO T/O W24 STEEL BEAM W/ 1/2" DIA. THRU-BOLTS @ 16" O.C. (STAGGERED SIDE-SIDE). (TYP.)
2. PACK-OUT WEB OF W24 STEEL BEAM W/ SOLID WOOD BLOCKING FASTENED W/ 1/2" DIA. THRU-BOLTS @ 16" O.C. (STAGGERED TOP & BOTTOM) TO ALLOW FOR FACE MOUNT BEAM HANGERS FOR THE LOW ROOF TRUSSES (TYP.)

NOTE:
BEARING CONDITION FOR NEW ROOF JOISTS BEARING ON EXISTING WALL TO VERIFIED AT THE TIME OF CONSTRUCTION & ANY ISSUES OR DISCREPANCIES REPORTED CENTRIC ENGINEERING (CEC) FOR REVIEW

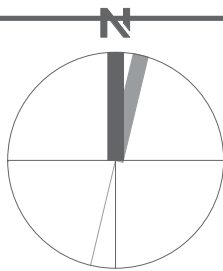
NOTES:
1. STUDS ARE TO EXTEND TO WALL DOUBLE TOP PLATE AT T/O GABLE END WALL.
2. ROOF SHEATHING TO BE NAILED DIRECTLY TO WALL DOUBLE TOP PLATE W/ 2 ROWS OF 3" NAILS @ 6" O.C.

CEILING PLAN LEGEND

- POT LIGHT, SEE ELEC. DWGS.
- DIRECTIONAL POT LIGHT, SEE ELEC. DWGS.
- CEILING MOUNTED LIGHT FIXTURE, SEE ELEC. DWGS.
- WALL MOUNTED LIGHT FIXTURE, SEE ELEC. DWGS.
- RECESSED LIGHT FIXTURE, SEE ELEC. DWGS.
- SUSPENDED LIGHT FIXTURE, SEE ELEC. DWGS.
- EXHAUST FAN, SEE MECH. DWGS.
- SUPPLY AIR DIFFUSER, SEE MECH. DWGS.
- RETURN AIR GRILLE, SEE MECH. DWGS.
- LINEAR SUPPLY AIR DIFFUSER, SEE MECH. DWGS.
- FIRE SPRAY INSULATION AT UIS OF STRUCTURE
- CLG 1 DENOTES CEILING TYPE AND CEILING HEIGHT, SEE ASSEMBLY SCHEDULE

CEILING PLAN NOTES

- ALL LIGHT FIXTURES ARE TO BE CENTRED WITHIN ROOM UNLESS NOTED OTHERWISE.
- ALL CEILINGS ARE GYPSUM BOARD UNLESS NOTED OTHERWISE.
- AREAS THAT ARE NOT DENOTED WITH A CEILING TAG NOR HATCHING ARE TO BE LEFT EXPOSED UNLESS NOTED OTHERWISE.
- REFER TO ELECTRICAL DRAWINGS FOR FULL SCOPE OF ELECTRICAL DEVICES AND SPECIFICATIONS. NOTIFY THE ARCHITECT OF ANY FOUND DISCREPANCIES AND/OR CONFLICTS.
- REFER TO MECHANICAL DRAWINGS FOR FULL SCOPE OF MECHANICAL DEVICES AND SPECIFICATIONS. NOTIFY THE ARCHITECT OF ANY FOUND DISCREPANCIES AND/OR CONFLICTS.
- EXTENT OF SPRINKLER SYSTEM NOT SHOWN. GENERAL CONTRACTOR TO SUPPLY AND INSTALL SPRINKLER SYSTEM TO APPLICABLE CODES TO SUIT PLANS. GENERAL CONTRACTOR TO SUPPLY SHOP DRAWINGS FOR SPRINKLER SYSTEM PRIOR TO INSTALLATION TO THE ARCHITECT FOR REVIEW AND APPROVAL.
- LIGHT FIXTURES AND MECHANICAL DUCTWORK/ DIFFUSERS/ RETURN AIR GRILLES/ EQUIPMENT SHOWN FOR COORDINATION ONLY. NOT ALL FIXTURES ARE SHOWN. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR MORE INFORMATION/ QUANTITY/ MOUNTING HEIGHTS/ ETC.

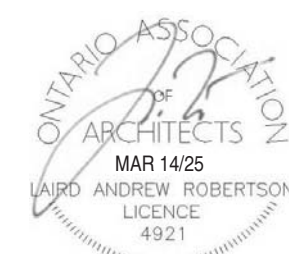


BUILDING PERMIT

7	Mar 14/25	Issued for Building Permit
6	Dec 03/24	Issued for Budget Costing
3	Nov 4/24	Issued for Coordination
2	Oct 22/24	Issued for Coordination
No.	DATE	ISSUE

NEO
ARCHITECTURE INC

270 King St E, Kitchener, ON N2G 2L1 | 519 590 1636
neoaarchitecture.ca



OWNER

1404 Doon Village Road, Kitchener On, N2P 1A5

PROJECT
1404 Doon Village Oasis

1404 Doon Village Road, Kitchener On, N2P 1A5

DRAWING

Reflected Ceiling Plan

PROJECT No:
24-008
PROJECT DATE
September 23, 2024
DRAWN BY
zsckickler

A250

3.01A	REFINISHED VERTICAL METAL SIDING (MANUFACTURER: METALLIC / VIEWSET) (STYLE: MODINO / BELLARA PLANK) (FINISH: WOODSHADE / EXPRESSIONE) (COLOUR: URBAN GREY T83 C01/82535 / RIVER ROCK GRAY 1/80254) OR SIMILAR & APPROVED ALTERNATE
3.01B	REFINISHED VERTICAL STANDING SEAM METAL ROOFING (MANUFACTURER: IDEAL ROOFING / AGWAY) (STYLE: HERITAGE SERIES, STIFFENER RIBS REMOVED) / AN STANDING SEAM, NO STIFFENER FLUTES) (FINISH: UNPAINTED FOR DETAILS, TEXTURED D1 600309 / EBOY WRINKLE COAT C0 08822) OR SIMILAR & APPROVED ALTERNATE
3.02B	REFINISHED ALUMINUM ENTRY DOOR SYSTEM CW STEEL INSULATED DOOR PANEL, REFER TO DOOR SCHEDULE & ELEVATIONS FOR DETAILS, THERMALLY BROKEN EXTRUDED ALUMINUM WINDOW WALL FRAME SYSTEM CW INSULATED SEALED DOUBLE GLAZING
3.02D	REFINISHED ALUMINUM ENTRY DOOR SYSTEM CW STEEL INSULATED DOOR PANEL, REFER TO DOOR SCHEDULE & ELEVATIONS FOR DETAILS, THERMALLY BROKEN EXTRUDED ALUMINUM WINDOW WALL FRAME SYSTEM CW INSULATED SEALED DOUBLE GLAZING
3.02D	REFINISHED ALUMINUM ENTRY DOOR SYSTEM CW STEEL INSULATED DOOR PANEL, REFER TO DOOR SCHEDULE & ELEVATIONS FOR DETAILS, THERMALLY BROKEN EXTRUDED ALUMINUM WINDOW WALL FRAME SYSTEM CW INSULATED SEALED DOUBLE GLAZING
3.03	REFINISHED BENT METAL FLASHING (COLOUR: TBD, TO MATCH SIDING ABOVE)
3.04	REFINISHED METAL RIDGE CAP (COLOUR: TO MATCH ROOFING)
3.05	CONCRETE FOUNDATION WALL (FINISH: SANDBLASTED)
3.06	TEMPERED GLASS GLAZING, c/w PREHINCHED EXTRUDED ALUMINUM FRAME SYSTEM (TOP & BOTTOM RAILS), REFER TO SECTIONS FOR HEIGHT REQUIREMENTS (MANUFACTURER: GRECO) (PROFILE: C12 CW GAR-R7 TOP RAIL) (COLOUR: GAR 50 GREY)
3.07	REFINISHED VERTICAL STANDING SEAM STEEL ROOF (MANUFACTURER: TBD / STYLE: TBD / COLOUR: DARK GREY)
3.08	REFINISHED FIBER-CEMENT PANEL (MANUFACTURER: JAMESHARDY) (FINISH: SMOOTH) (SERIES: STATEMENT COLLECTION) (COLOUR: MIDNIGHT BLACK)

8	Mar 28/25	Issued for Heritage Permit
7	Mar 14/25	Issued for Building Permit
6	Dec 03/24	Issued for Budget Costing
3	Nov 4/24	Issued for Coordination
2	Oct 22/24	Issued for Coordination
1	Sept 27/24	Issued for Coordination
No.	DATE	ISSUE

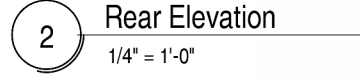
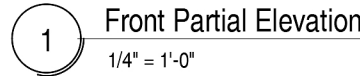
270 King St. E., Mitcheller ON, N2G 2L1 | 519 590 1030
neoarchitecture.ca



DRAWING

PROJECT No. _____

A300





KEYNOTE LEGEND

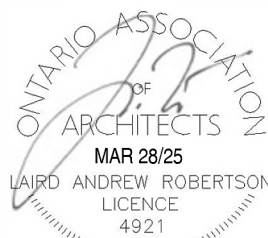
- 3.01A PREFINISHED VERTICAL METAL SIDING (MANUFACTURER: METALUNIC / VICKSTEY) (STYLE: MODERNO / BELLARA PLANK) (SERIES: WOODSHADE / EXPRESSENCE) (COLOUR: URBAN GREY 783 QC182535 / RIVER ROCK GRAY 18-0254) OR SIMILAR & APPROVED ALTERNATE
- 3.01B PREFINISHED VERTICAL STANDING SEAM METAL ROOFING (MANUFACTURER: IDEAL ROOFING / AGWAY) (STYLE: HERITAGE SERIES, STIFFENER RIBS REMOVED / AR STANDING SEAM, NO STIFFENER FLUTES) (COLOUR: JET BLACK TEXTURED ID 60039 / EBONY WRINKLE COAT QC 09822) OR SIMILAR & APPROVED ALTERNATE
- 3.02A PREFINISHED VINYL SLIDING DOOR, OPERABLE PANEL SHOWN w/ DASHED LINES. REFER TO DOOR SCHEDULE & ELEVATIONS FOR DETAILS
- 3.02C THERMALLY BROKEN EXTRUDED ALUMINUM WINDOW WALL FRAME SYSTEM C/W INSULATED SEALED DOUBLE GLAZING
- 3.03 PREFINISHED BENT METAL FLASHING (COLOUR: TBD TO MATCH SIDING) BELOW
- 3.04 PREFINISHED METAL RIDGE CAP (COLOUR: TO MATCH ROOFING)
- 3.05 CONCRETE FOUNDATION WALL (FINISH: SANDBLASTED)
- 3.06 TEMPERED GLASS GUARDRAIL c/w PREFINISHED EXTRUDED ALUMINUM POSTS AND TOP & BOTTOM RAILS). REFER TO SECTIONS FOR HEIGHT REQUIREMENTS. (MANUFACTURER: GRECO) (PROFILE: C12 C/W GAR-R7 TOP RAIL) (COLOUR: GAR 800 GREY)
- 3.08 PREFINISHED FIBER-CEMENT PANEL (MANUFACTURER: JAMESHARDIE) (FINISH: SMOOTH) (SERIES: STATEMENT COLLECTION) (COLOUR: MIDNIGHT BLACK)

BUILDING PERMIT

No.	DATE	ISSUE
8	Mar 28/25	Issued for Heritage Permit
7	Mar 14/25	Issued for Building Permit
6	Dec 03/24	Issued for Budget Costing
3	Nov 4/24	Issued for Coordination
2	Oct 22/24	Issued for Coordination
1	Sept 27/24	Issued for Coordination

NEO
ARCHITECTURE INC

270 King St E, Kitchener, ON N2G 2L1 | 519 590 1636
neearchitecture.ca



OWNER

1404 Doon Village Road, Kitchener On, N2P 1A5

PROJECT
1404 Doon Village Oasis

1404 Doon Village Road, Kitchener On, N2P 1A5

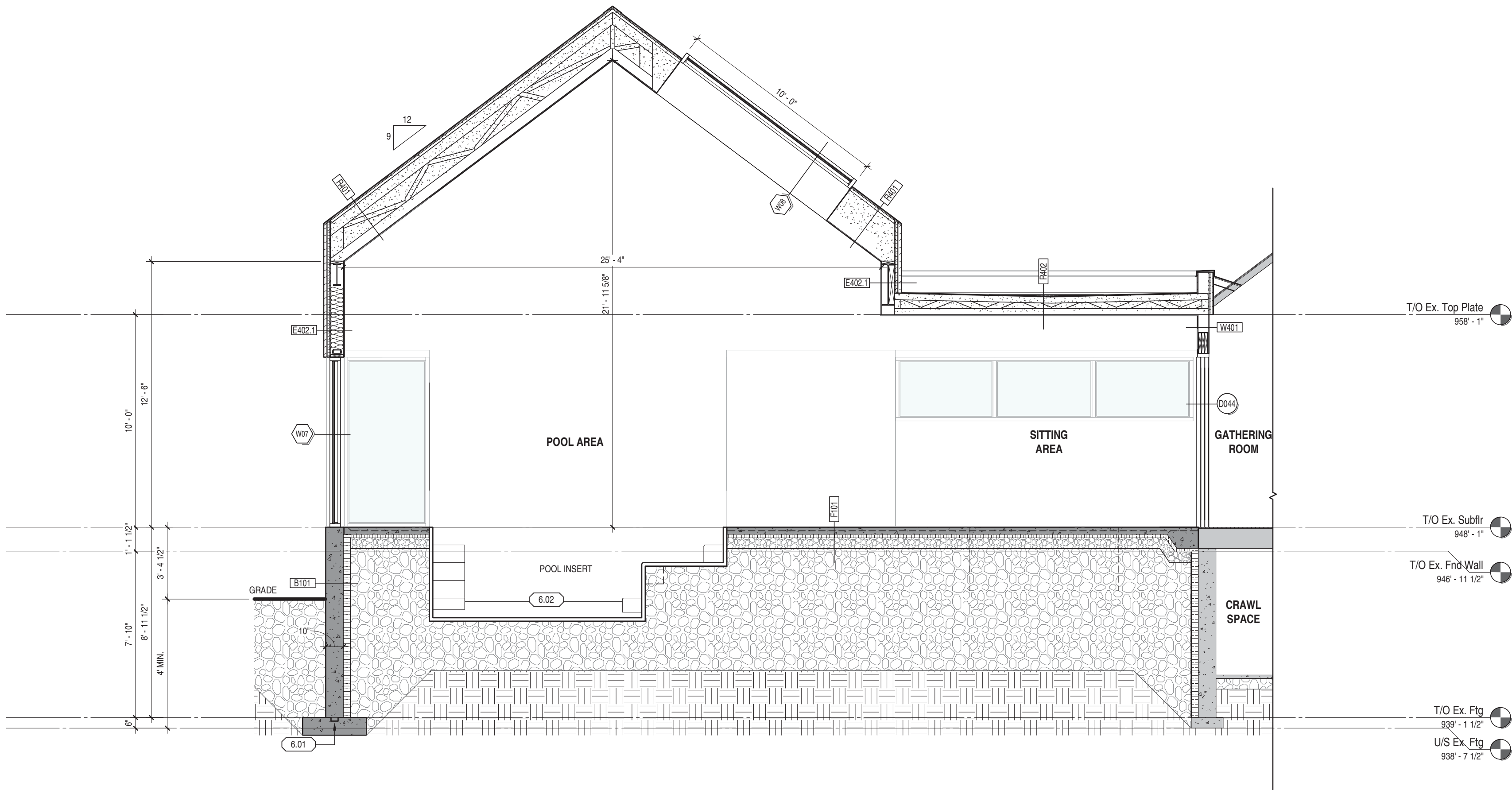
DRAWING

Building Elevations

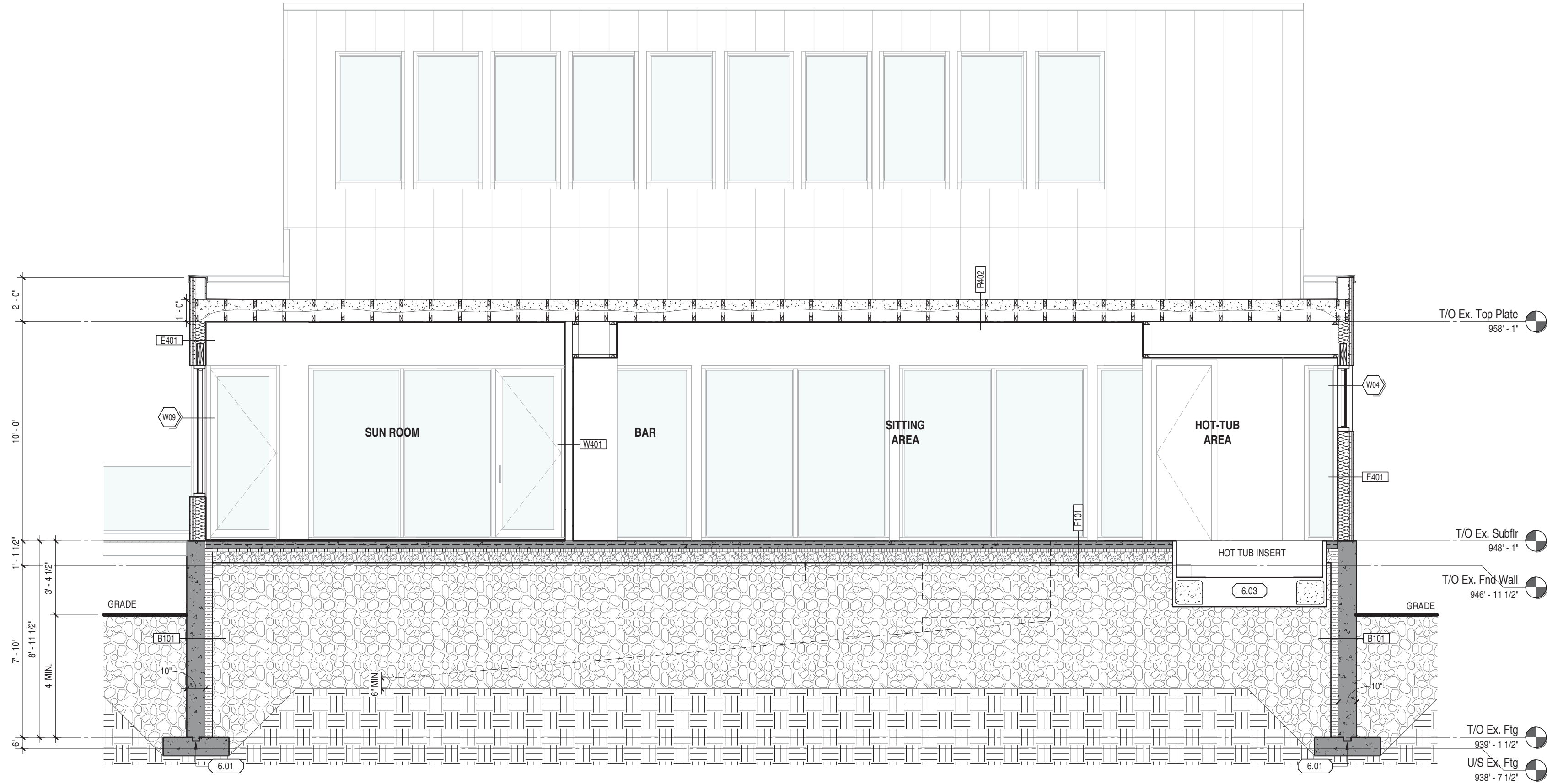
PROJECT No:
24-008
PROJECT DATE
September 23, 2024
DRAWN BY
zsckickler

A301

FILE PATH: C:\Users\NEO User\Documents\24-008 Doon Village Oasis\404_RVT25_1chardFAP88.rvt
PLOT DATE: 2025-03-14 11:48:09 AM



1 Building Section 1
1/4" = 1'-0"



2 Building Section 2
1/4" = 1'-0"

KEYNOTE LEGEND

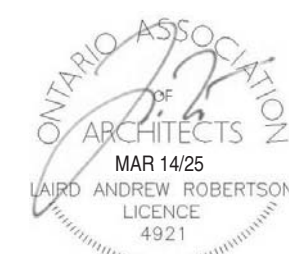
- | | |
|------|---|
| 6.01 | CONT. 2x4" SHEAR KEY NOTCH |
| 6.02 | PREFABRICATED FIBERGLASS POOL INSERT C/W PLUMBING & SYSTEMS AS REQUIRED (MANUFACTURER: LATHAM POOLS) (MODEL: PROVIDENCE 14) OR APPROVED ALTERNATIVE |
| 6.03 | PREFINISHED IN-GROUND HOT-TUB SYSTEM C/W PLUMBING & SYSTEMS AS REQUIRED |

BUILDING PERMIT

7	Mar 14/25	Issued for Building Permit
6	Dec 03/24	Issued for Budget Costing
3	Nov 4/24	Issued for Coordination
2	Oct 22/24	Issued for Coordination
1	Sept 27/24	Issued for Coordination
No.	DATE	ISSUE

NEO
ARCHITECTURE INC

270 King St. E. Kitchener, ON N2G 2L1 | 519 590 1636
neoarchitecture.ca



OWNER

1404 Doon Village Road, Kitchener On, N2P 1A5

PROJECT
1404 Doon Village Oasis

1404 Doon Village Road, Kitchener On, N2P 1A5

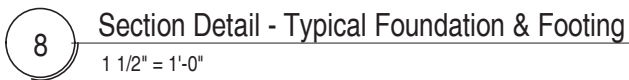
DRAWING

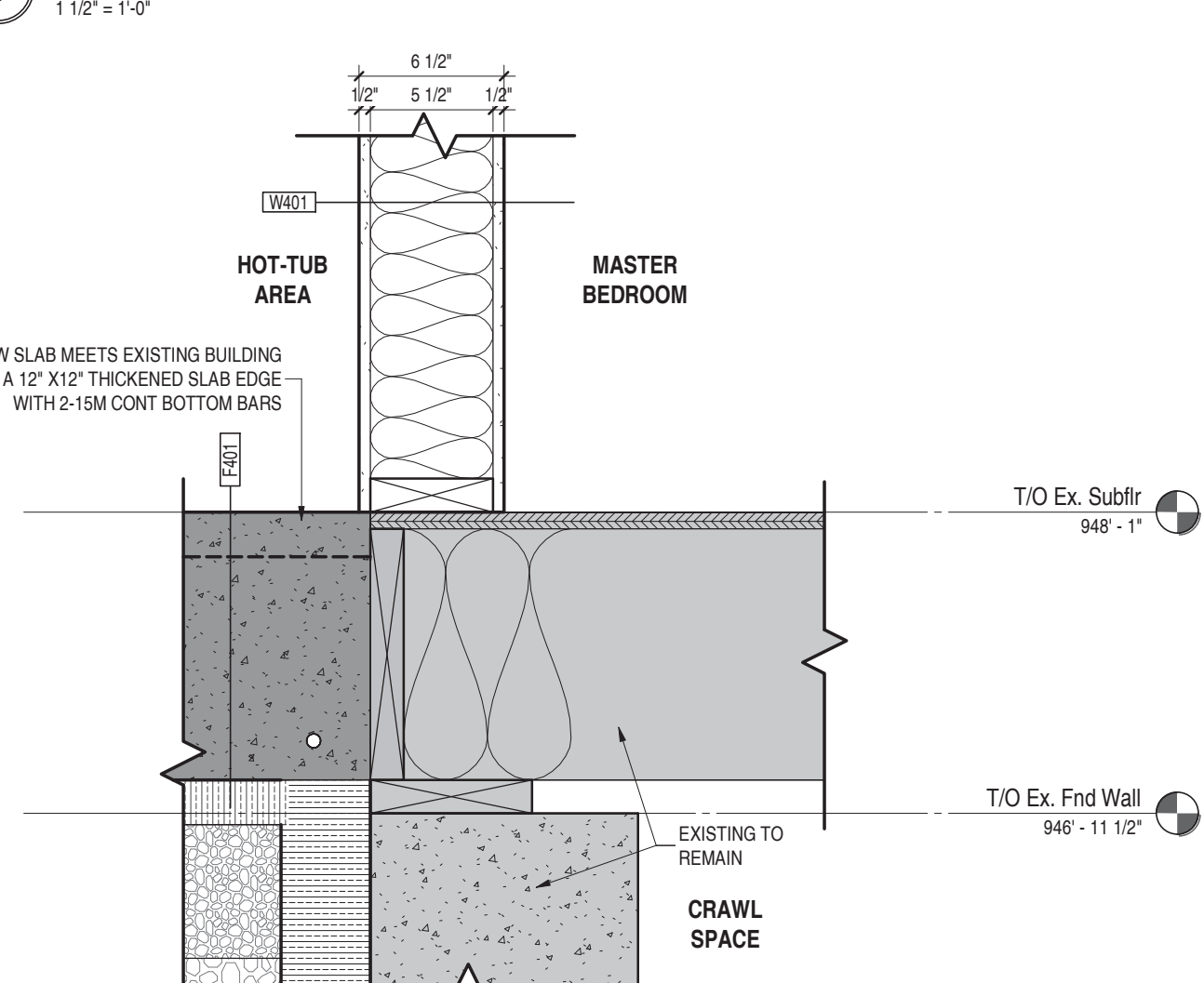
Building Sections

PROJECT NO:
24-008
PROJECT DATE
September 23, 2024
DRAWN BY
zsckickler

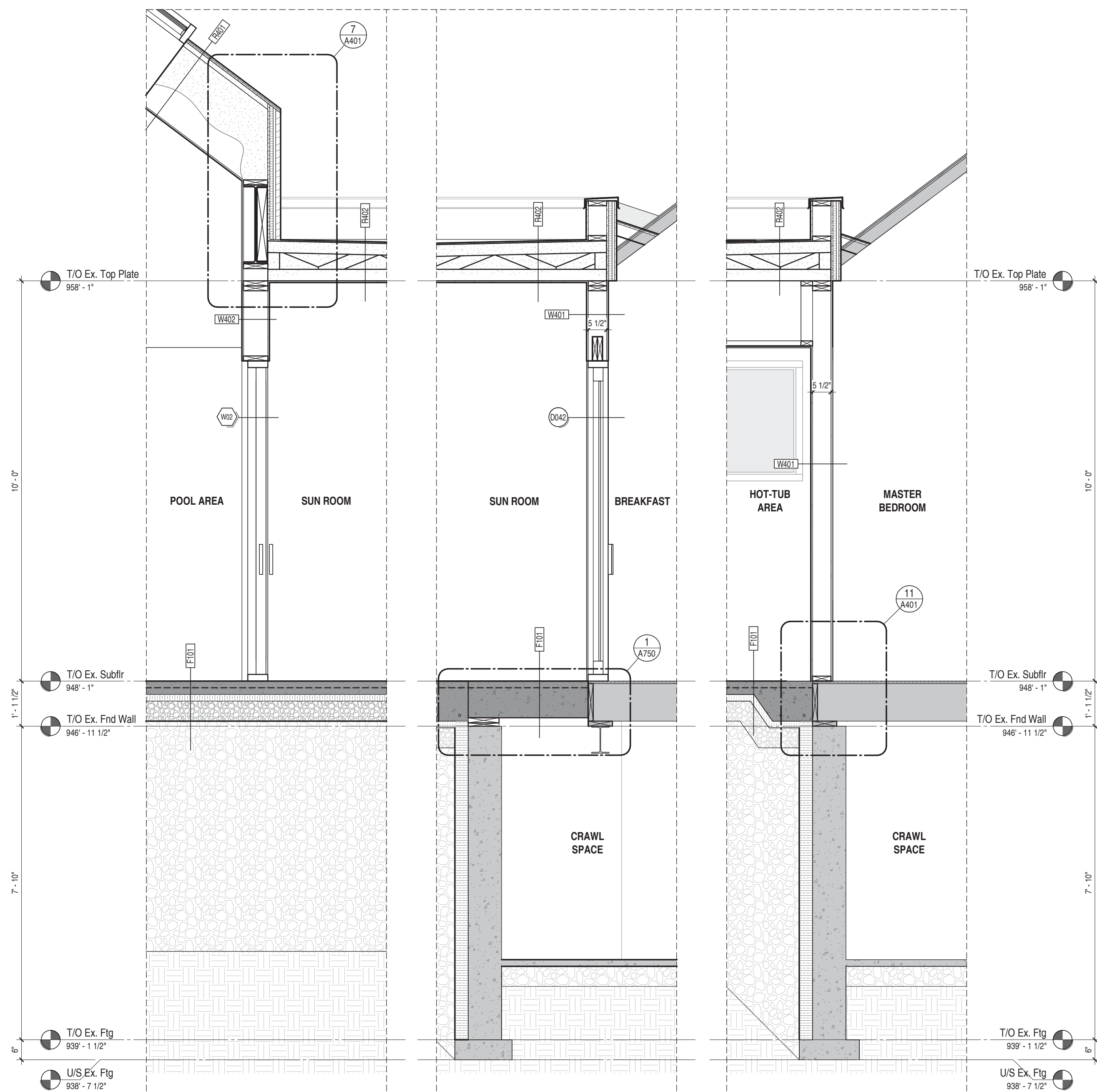
A350

6.01 CONT. 2x4" SHEAR KEY NOTCH
6.03 PREFINISHED IN-GROUND HOT-TUB SYSTEM C/W
PLUMBING & SYSTEMS AS REQUIRED





11 Section Detail - SOG. at Exsting Floor Connection
1 1/2" = 1'-0"

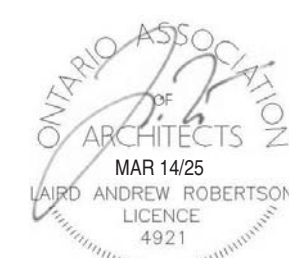


3 Section
1/2" = 1'-0"

7	Mar 14/25	Issued for Building Permit
6	Dec 03/24	Issued for Budget Casting
3	Nov 4/24	Issued for Coordination
2	Oct 22/24	Issued for Coordination
No.	DATE	ISSUE

NEO
ARCHITECTURE INC.

270 King St E., Kitchener ON, N2G 2L1 | 519 590 1636
nearchitecture.ca



OWNE

1404 Doon Village Road, Kitchener On, N2P 1A5

PROJECT
1404 Doon Village Oasis

1404 Doon Village Road, Kitchener On, N2P 1A5

DRAW

Wall Sections

PROJECT No. _____

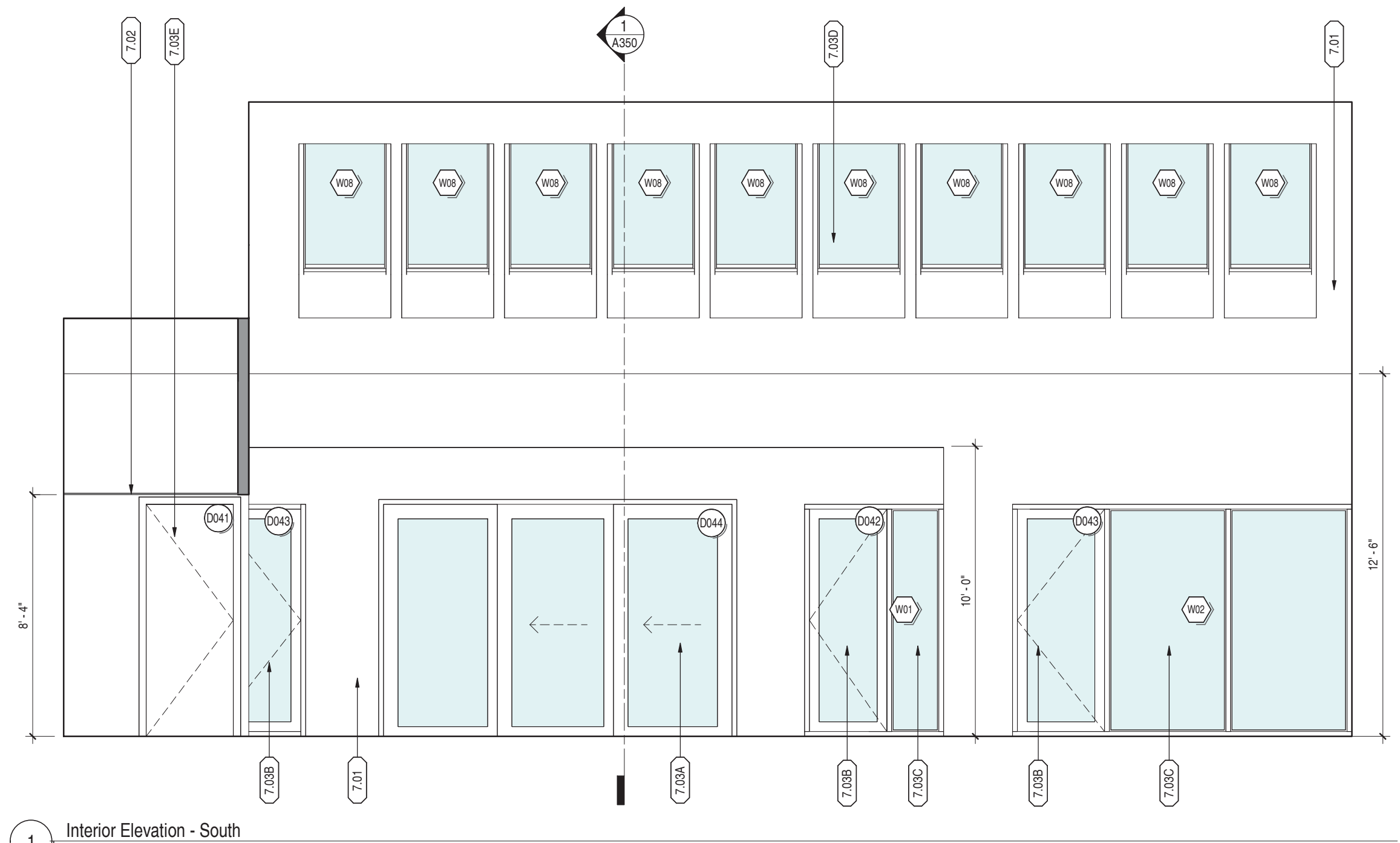
24-008

PROJECT DATE
September 23, 2024

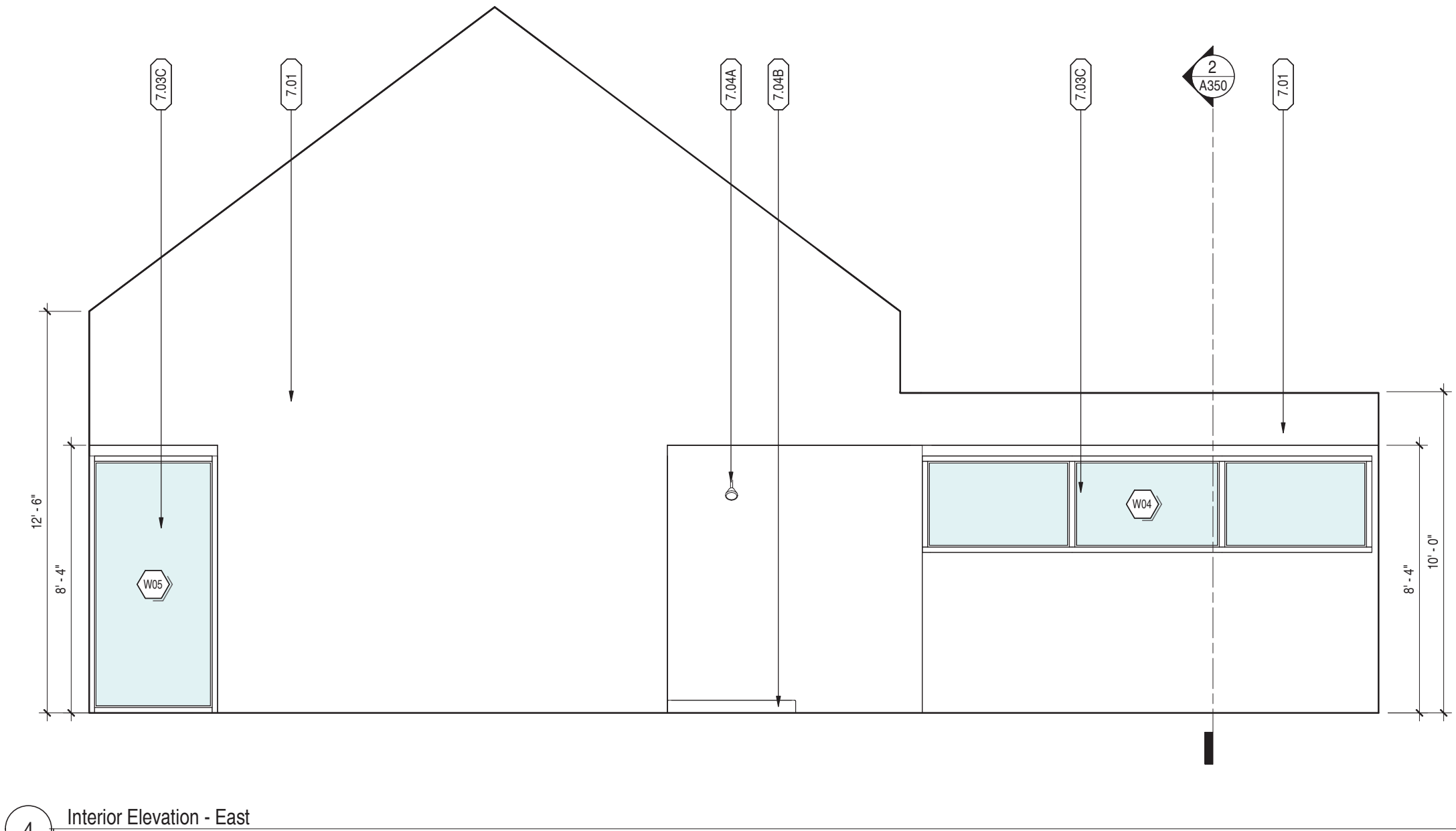
DRAWN BY
zschickle

A401

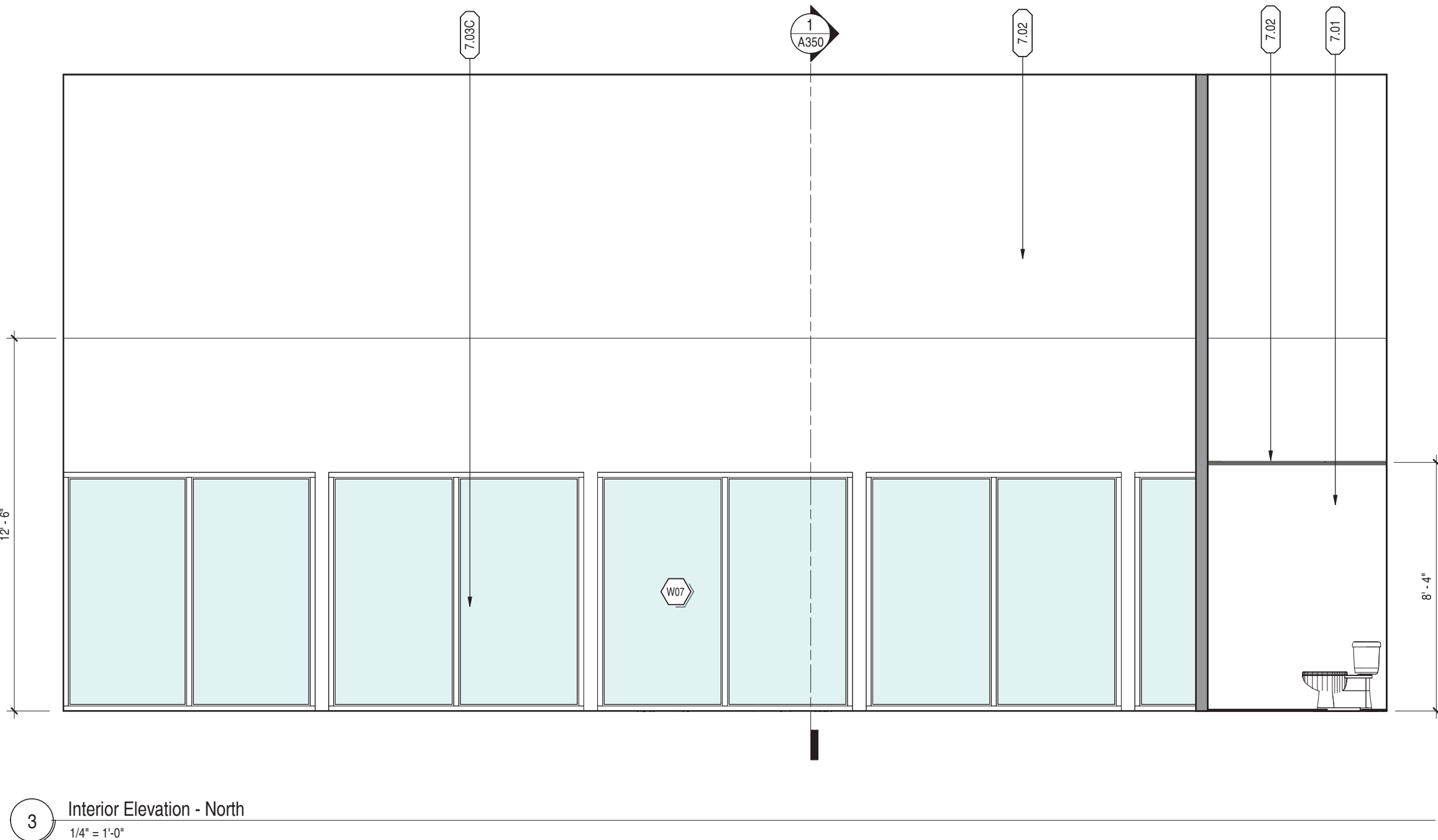
FILE PATH: C:\Users\NEO\OneDrive\Documents\24-008 DoonVillageOasis\404_RVT\25_1chickFAP88.rvt
PLOT DATE: 2025-03-14 11:48:11 AM



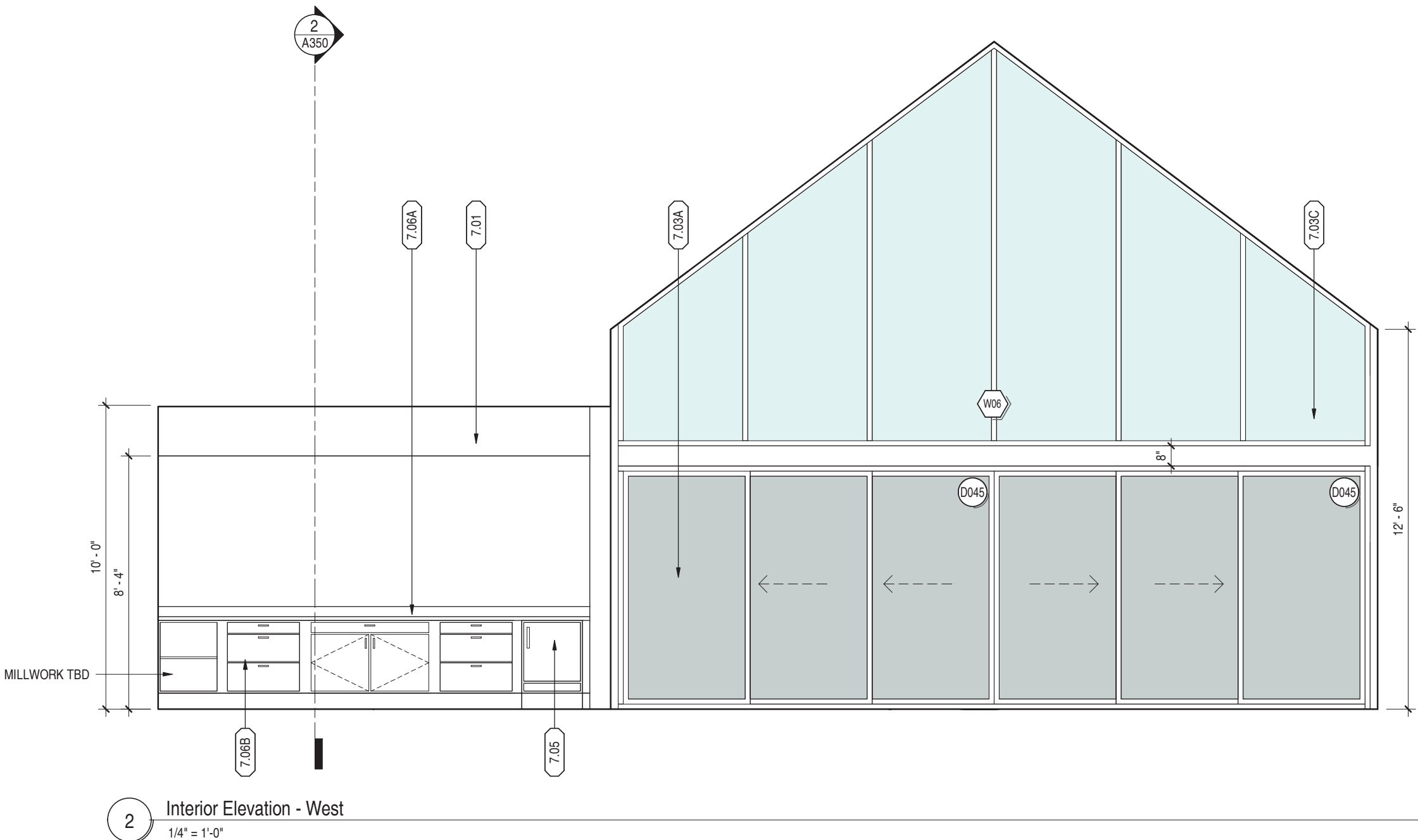
1 Interior Elevation - South
1/4" = 1'-0"



4 Interior Elevation - East
1/4" = 1'-0"



3 Interior Elevation - North
1/4" = 1'-0"



2 Interior Elevation - West
1/4" = 1'-0"

KEYNOTE LEGEND

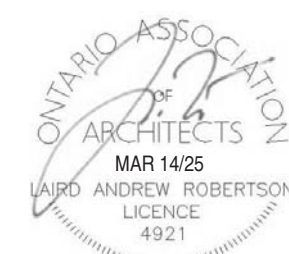
7.01	GYPSUM WALL BOARD
7.02	GYPSUM CEILING BOARD
7.03A	PREFINISHED VINYL SLIDING DOOR, OPERABLE PANEL SHOWN w/ DASHED LINES. REFER TO DOOR SCHEDULE & ELEVATIONS FOR DETAILS.
7.03B	PREFINISHED ALUMINUM ENTRY DOOR SYSTEM c/w STEEL INSULATED DOOR PANEL. REFER TO DOOR SCHEDULE & ELEVATIONS FOR DETAILS.
7.03C	THERMALLY BROKEN EXTRUDED ALUMINUM WINDOW WALL FRAME SYSTEM c/w INSULATED SEALED DOUBLE GLAZING
7.03D	THERMALLY BROKEN EXTRUDED ALUMINUM SKYLIGHT FRAME SYSTEM c/w INSULATED SEALED DOUBLE GLAZING
7.03E	WOOD FRAMED ENTRY DOOR, REFER TO DOOR SCHEDULE & ELEVATIONS FOR DETAILS.
7.04A	SHOWER HEAD
7.04B	WALK-IN ACRYLIC SHOWER BASE c/w SHOWER HEAD & CONTROLS, REFER TO MECH. DWGS.
7.05	BAR REFRIGERATOR, CONTRACTOR TO COORDINATE INSTALLATION.
7.06A	COUNTERTOP
7.06B	BASE CABINETS

BUILDING PERMIT

7	Mar 14/25	Issued for Building Permit
6	Dec 03/24	Issued for Budget Costing
3	Nov 4/24	Issued for Coordination
2	Oct 22/24	Issued for Coordination
No.	DATE	ISSUE

NEO
ARCHITECTURE INC

270 King St. E, Kitchener, ON N2G 2L1 | 519 590 1636
neoarchitecture.ca



OWNER

1404 Doon Village Road, Kitchener On, N2P 1A5

PROJECT
1404 Doon Village Oasis

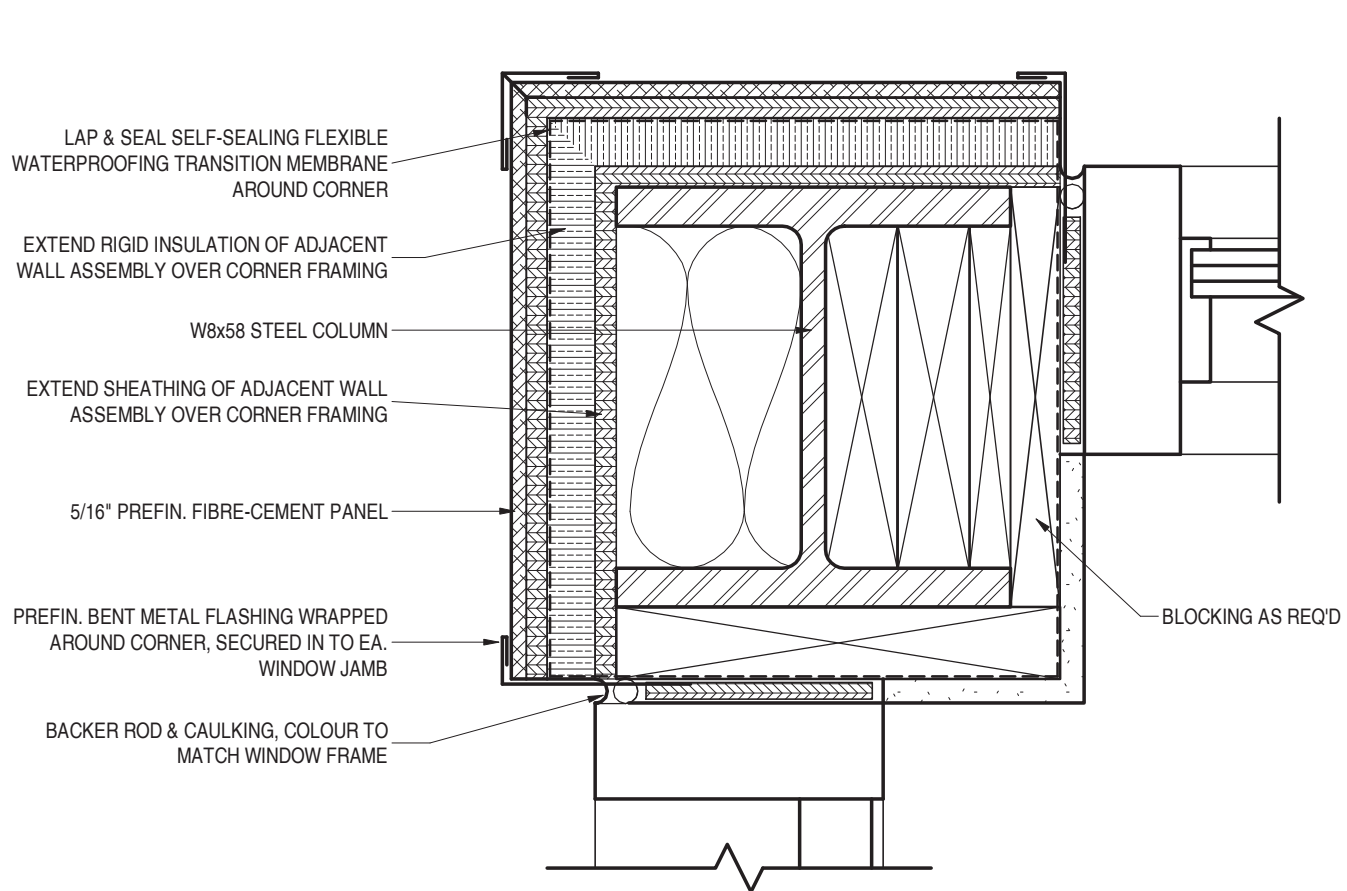
1404 Doon Village Road, Kitchener On, N2P 1A5

DRAWING

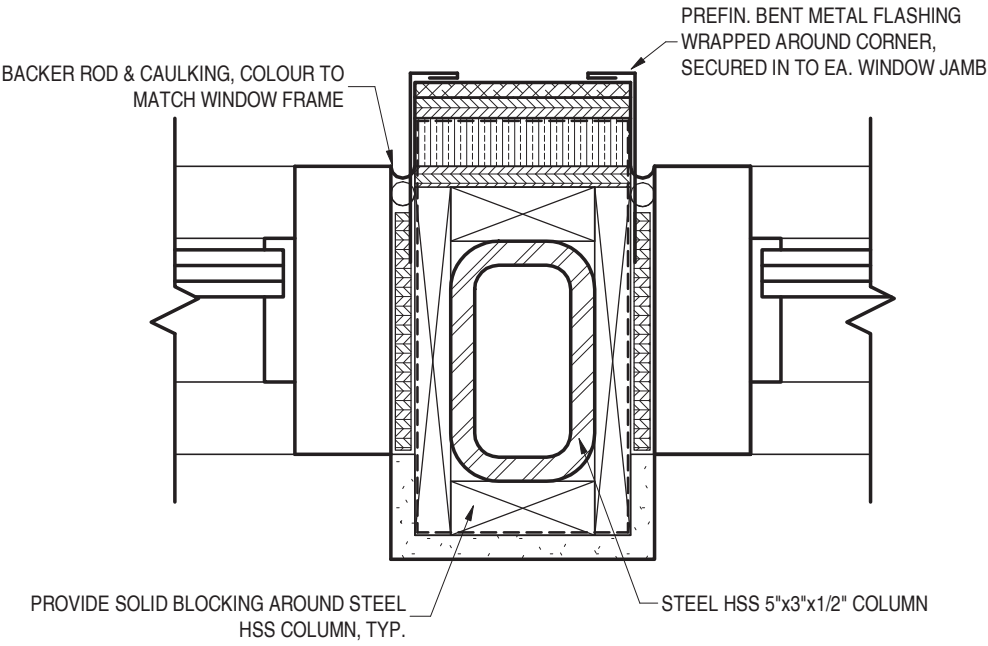
Interior Elevations

PROJECT No.	24-008
PROJECT DATE	September 23, 2024
DRAWN BY	zsckickler

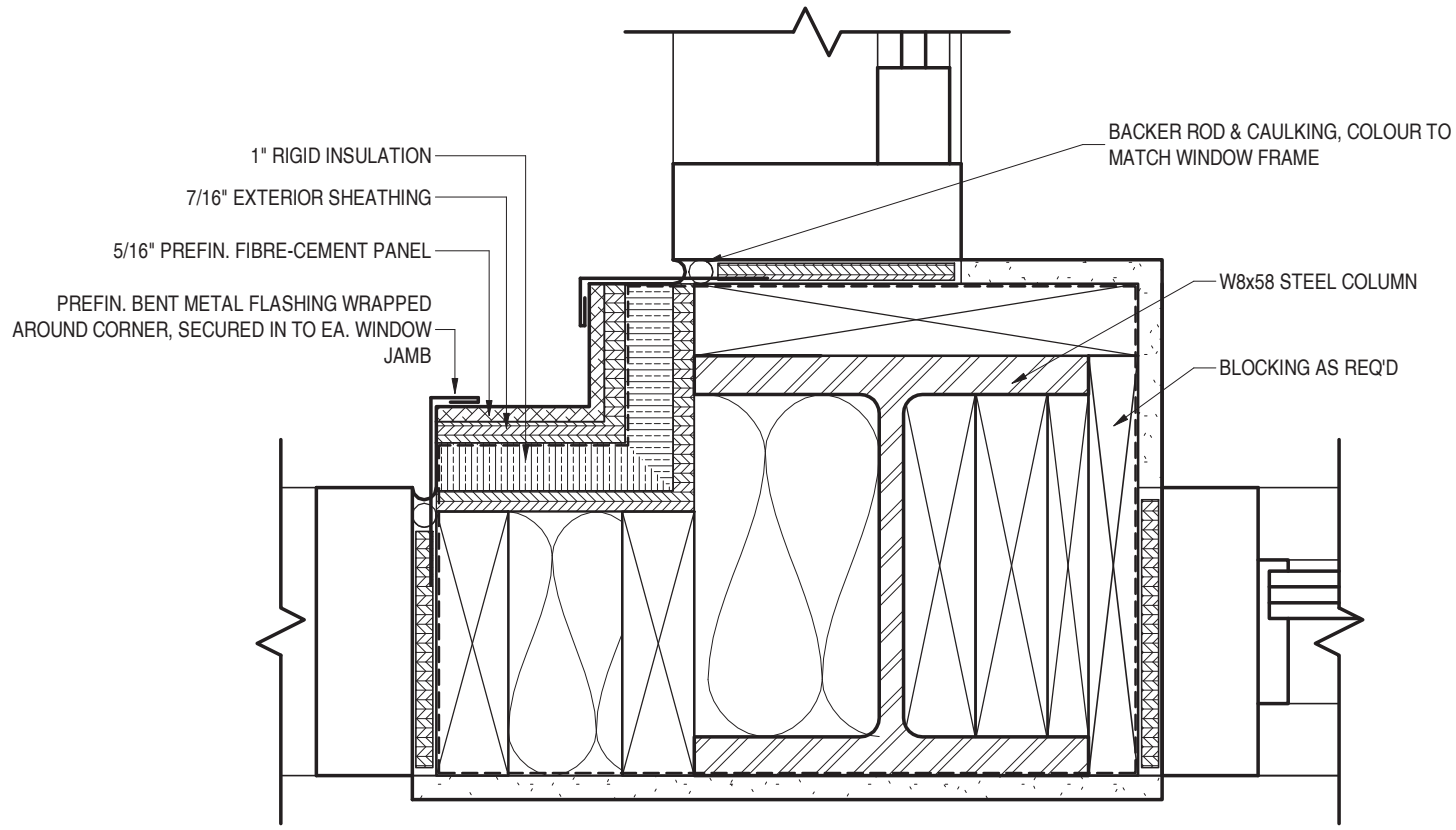
A550



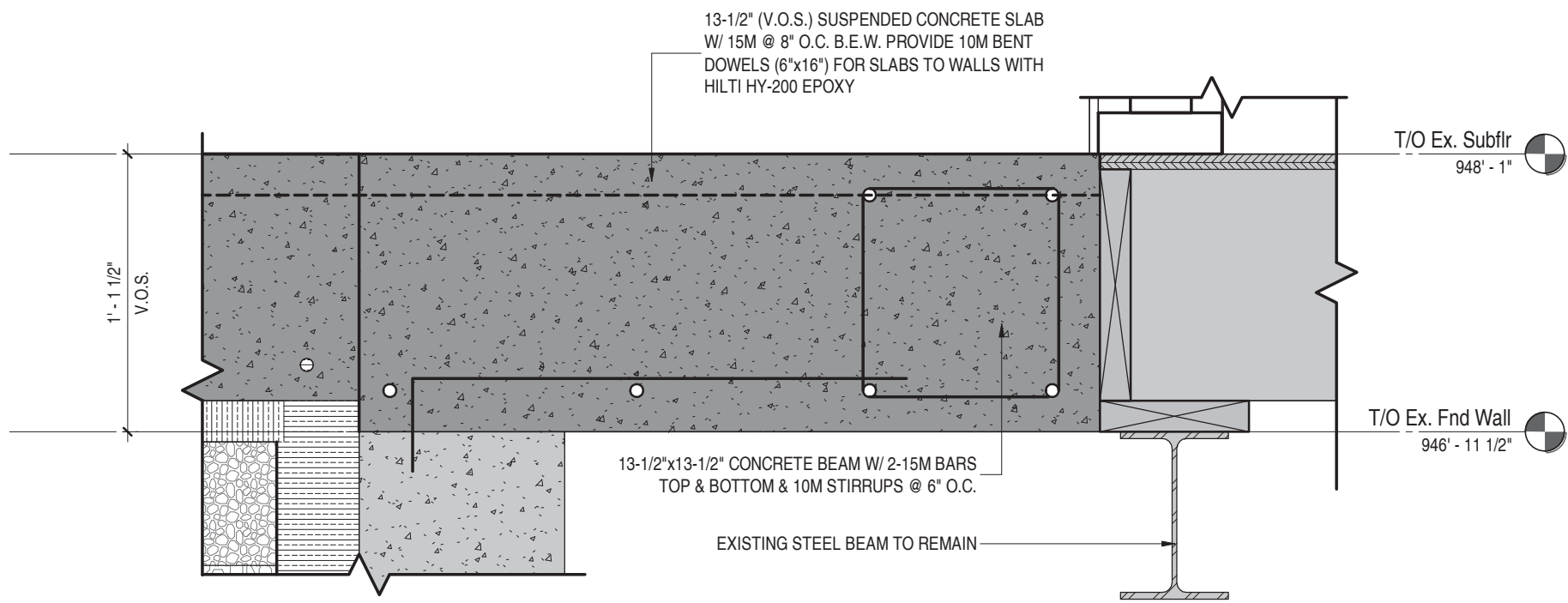
2 Plan Detail - Steel Column at Exterior Corner and Window Jamb
3" = 1'-0"



4 Plan Detail - Typical Window Jamb at HSS Post
3" = 1'-0"



3 Plan Detail - Exterior Corner at Interior Wall and Window Jamb
3" = 1'-0"



1 Section Detail - SOG. at Existing Foundation Bumpout
1 1/2" = 1'-0"

BUILDING PERMIT

7	Mar 14/25	Issued for Building Permit
6	Dec 03/24	Issued for Budget Costing
No.	DATE	ISSUE

NEO
ARCHITECTURE INC

270 King St. E. Kitchener, ON, N2G 2L1 | 519 590 1636
neoarchitecture.ca



OWNER

1404 Doon Village Road, Kitchener On, N2P 1A5

PROJECT
1404 Doon Village Oasis

1404 Doon Village Road, Kitchener On, N2P 1A5

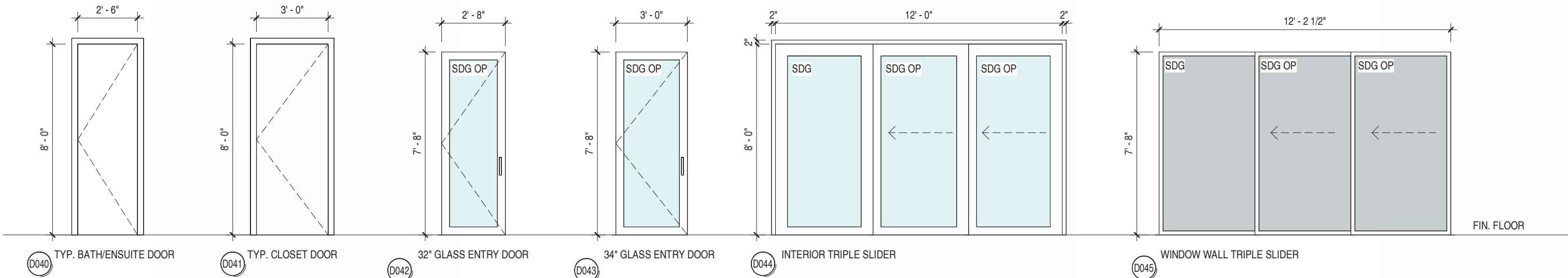
DRAWING

Section Details

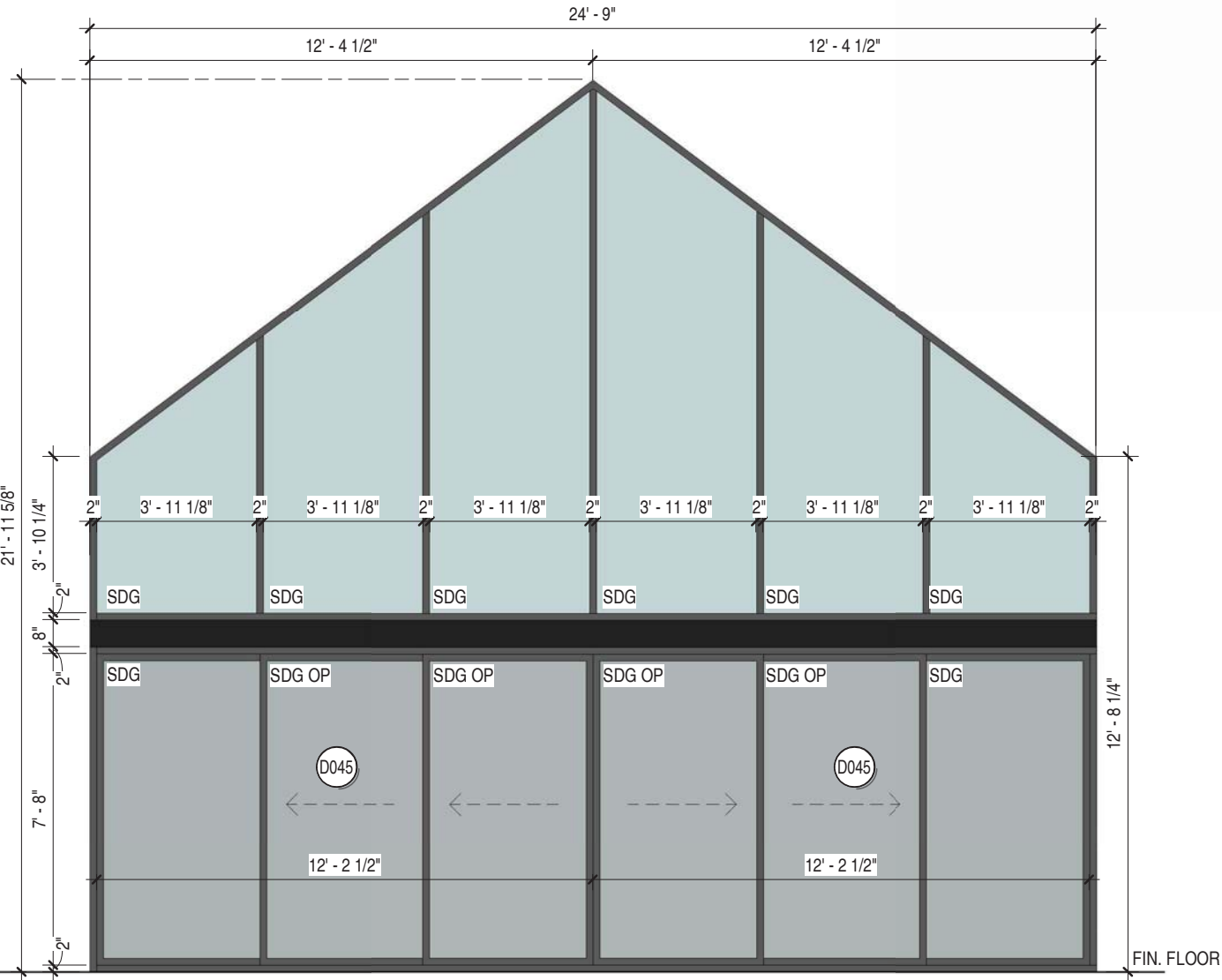
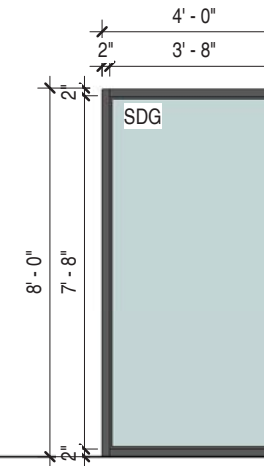
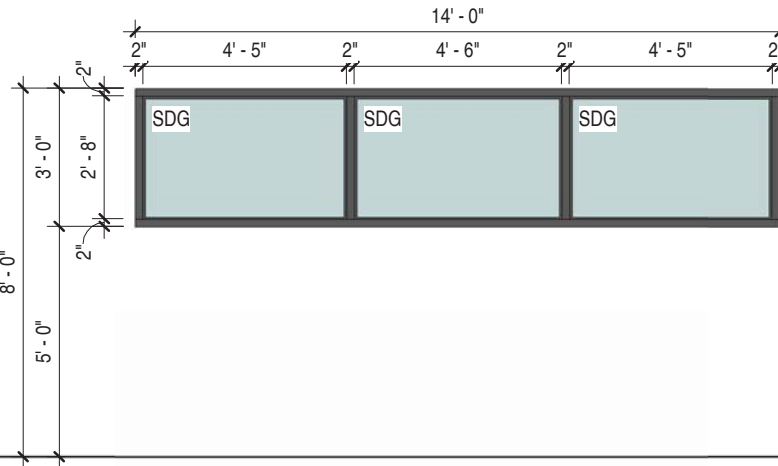
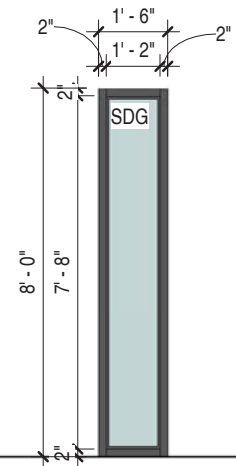
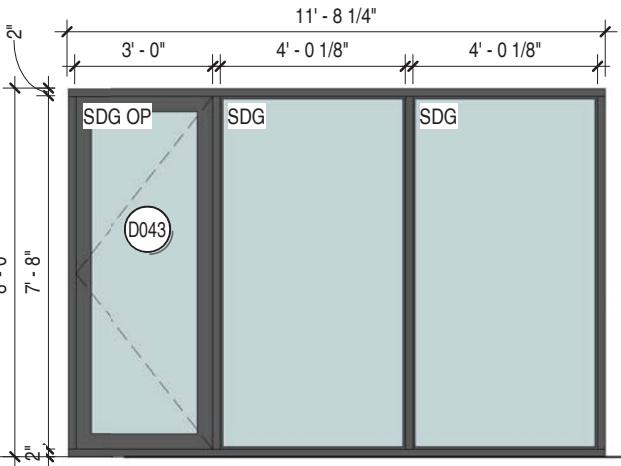
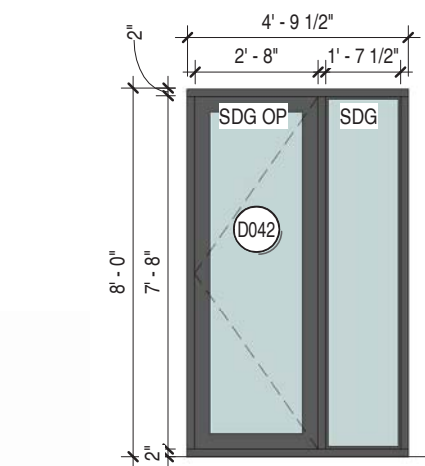
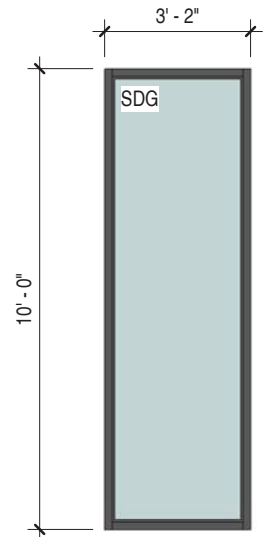
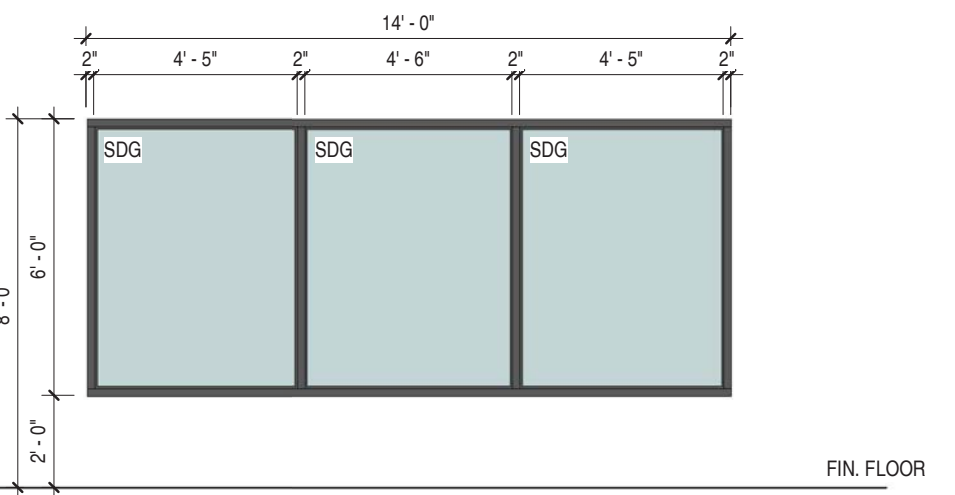
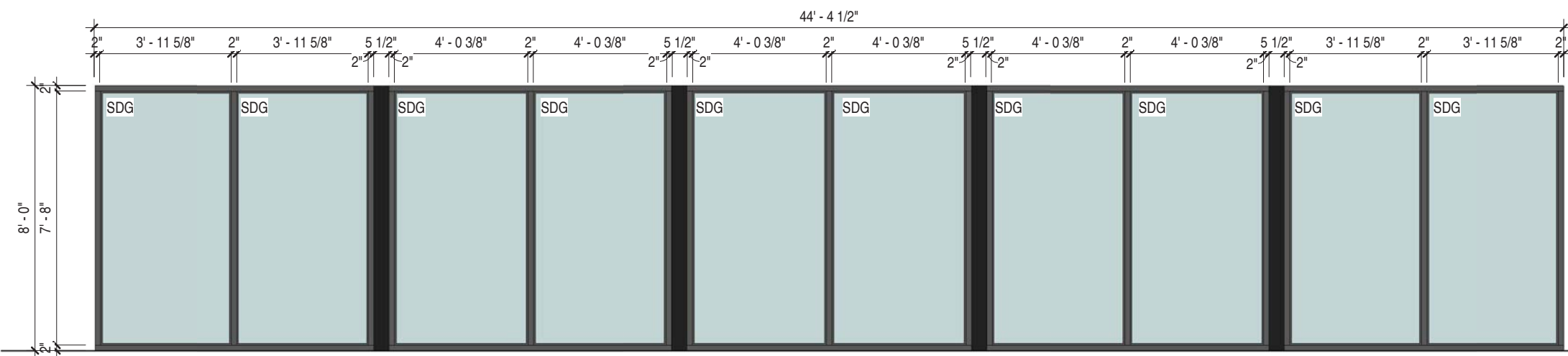
PROJECT No.
24-008
PROJECT DATE
September 23, 2024
DRAWN BY
zsckickler

A750

DOOR SCHEDULE																					
Type Mark	Fire Rating	Door						Frame				Comments	Hardware								
		Door Type	Door Material	Door Finish	Qty	Width	Height	Frame Type	Frame Material	Frame Finish	Glazing		Passage Set	Privacy Set	Dummy Pull	Lock Set	Exit Device	Threshold	Weatherstripping	Door Sweep	Kick Plate
D040		X	SC WD	PT.	1	2'-6"	8'-0"		WD	PT.	X	TYP. BATHENSUITE DOOR									
D041		X	SC WD	PT.	1	3'-0"	8'-0"		WD	PT.	X	TYP. CLOSET DOOR									
D042		X	INSUL. FIBREGLASS	PT.	1	2'-8"	7'-8"		PREFIN. VINYL	PT.	SDG.	ENTRANCE/PATIO DOORS									
D043		X	INSUL. FIBREGLASS	PT.	1	3'-0"	7'-8"		PREFIN. VINYL	PT.	SDG.	ENTRANCE/PATIO DOORS									
D044		X	INSUL. FIBREGLASS	PT.	1	12'-0"	8'-0"		PREFIN. VINYL	PT.	SDG.	TRIPLE SLIDING DOOR									
D045		X	INSUL. FIBREGLASS	PT.	1	12'-2 1/2"	7'-8"		PREFIN. VINYL	PT.	SDG.	TRIPLE SLIDING DOOR									



3 DOOR ELEVATIONS
1 : 50



2 WINDOW ELEVATIONS
1 : 50

DOOR GENERAL NOTES

- DOOR AND FRAME SUPPLIER (HOLLOW METAL & ALUMINUM) SHALL PROVIDE ALL REQUIRED CLOSURE TRIMS FOR ALL EXTERIOR FRAMES TO SUIT CORRESPONDING OPENINGS.
- PROVIDE WEATHERSTRIPPING TO ALL EXTERIOR DOORS.
- PROVIDE SEALANT AROUND ALL EXTERIOR HOLLOW METAL AND ALUMINUM DOOR FRAMES ON EXTERIOR AND INTERIOR SIDES. SEALANT COLOUR TO MATCH FRAMES. RATED INTERIOR HOLLOW METAL FRAMES TO BE FILLED SOLID WITH MORTAR.
- EXTERIOR HOLLOW METAL DOORS TO HAVE REINFORCED CORES TO PREVENT WARPING.
- SHIM CLOSERS ON EXTERIOR DOORS TO PREVENT CUTTING OF WEATHERSTRIPPING.
- ALL FIRE RATED DOORS TO HAVE POSITIVE LATCHING MECHANISM HARDWARE IN ACCORDANCE WITH OBC 3.1.8.13.
- FILL EXTERIOR HOLLOW METAL FRAMES & ALUMINUM FRAMING WITH FOAMED-IN-PLACE INSULATION.
- ALUMINUM DOOR HARDWARE TO BE SUPPLIED AND INSTALLED BY ALUMINUM FRAME CONTRACTOR.

DOOR & WINDOW LEGEND

AFF	ABOVE FINISHED FLOOR
AL	ALUMINUM
ANOD	ANODIZED
CR	CARD READER
ES	ELECTRIC STRIKE
FG	FROSTED GLAZING
FGL	FIRELITE GLASS
FLR	FLOOR
GALV	GALVANIZED
GL	GLASS / GLAZING
GWG	GEORGIAN WIRED GLASS
HC	HOLLOW COPE
HM	HOLLOW METAL
ID	REFER TO INTERIOR DESIGN DRAWINGS
INSUL	INSULATED
LINK	CHAIN LINK
MAG	MAG-LOCK
MAS	MASONITE
MDF	MEDIUM DENSITY FIBREBOARD
MIR	MIRROR
MTL	METAL
OH	OVERHEAD
OP	OPERABLE
PLAM	PLASTIC LAMINATE
PNT	PAINT (ED)
PREFIN	PREFINISHED
RB	RUBBER
SC	SOLID CORE
SDG	SEALED DOUBLE GLAZING
SP	GLAZED SPANDREL PANEL
SSC	SEMI-SOLID CORE
STG	SEALED TRIPLE GLAZING
STL	STEEL
STN	STAINED
SV	SITE VERIFY
TG	TEMPERED GLAZING
THSHD	THRESHOLD
VI	VINYL
VT	VENT
WD	WOOD
WW	WOOD VENEER
X	OWNER SELECTED

BUILDING PERMIT

7	Mar 14/25	Issued for Building Permit
6	Dec 03/24	Issued for Budget Costing
3	Nov 4/24	Issued for Coordination
2	Oct 22/24	Issued for Coordination
No.	DATE	ISSUE

NEO
ARCHITECTURE INC

270 King St. E. Kitchener, ON N2G 2L1 | 519 590 1636
neoarchitecture.ca



OWNER

1404 Doon Village Road, Kitchener On, N2P 1A5

PROJECT
1404 Doon Village Oasis

1404 Doon Village Road, Kitchener On, N2P 1A5

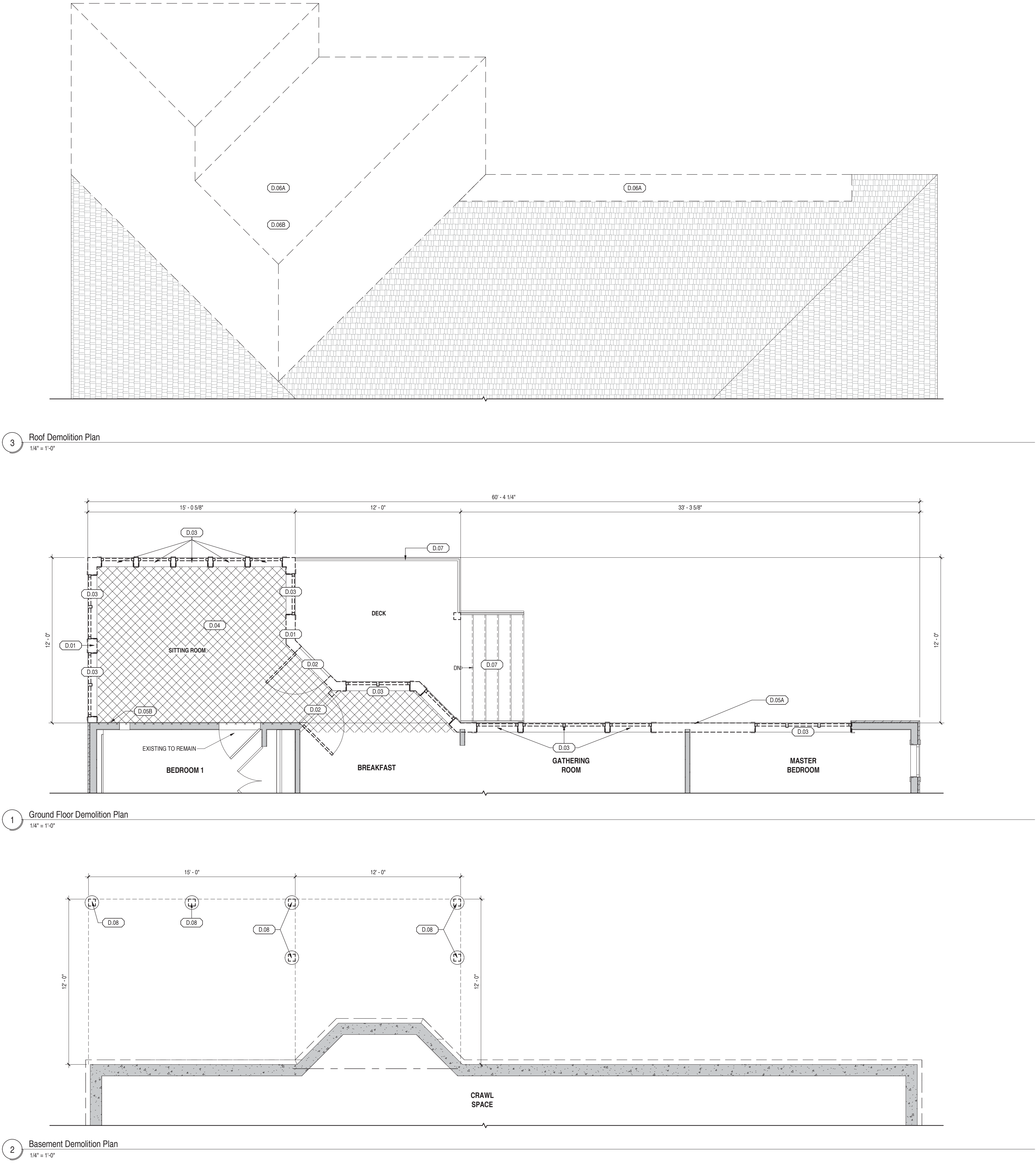
DRAWING

Door & Window Schedule

PROJECT No:
24-008
PROJECT DATE
September 23, 2024
DRAWN BY
zsckickler

A800

FILE PATH: C:\Users\NEO User\Documents\24-008 Doon Village Oasis\404_RVT25_1chardF AP88.rvt
PLOT DATE: 2025-03-14 11:48:14 AM



DEMOLITION NOTES

1.

WITH ALL REMOVALS, CONTRACTOR TO MAKE GOOD ADJACENT REMAINING SURFACES, INCLUDING BUT NOT LIMITED TO, FLOORING BASE, WALLS, CEILING, MILLWORK & FIXTURES.

2.

IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO DESIGN ALL SHORING AND TEMPORARY BRACING AS PER O. REG. 213(9) AND THE CONTRACTOR SHALL RETAIN AN ENGINEER AS REQUIRED.

3.

DISPOSE OF REMOVED ITEMS IN A LAWFUL MANNER IN ACCORDANCE WITH THE MUNICIPALITY HAVING JURISDICTION'S RULES & REGULATIONS.

4.

ALL EXISTING WALLS TO REMAIN ARE SHOWN SHADED.

5.

ALL EXISTING WALLS AND ITEMS TO BE REMOVED ARE SHOWN DASHED OR AS KEYNOTED WITHIN PLANS. NOT ALL ITEMS WILL HAVE A KEYNOTE PROVIDED FOR CONVENIENCE. WHERE DASHED WALLS ARE SHOWN, IT IS ASSUMED THAT ALL SUB-ELEMENTS AND SYSTEMS WITHIN ARE TO BE DEMOLISHED & REMOVED, UNLESS NOTED OTHERWISE.

6.

OWNER TO HAVE RIGHT OF FIRST REFUSAL FOR ALL ITEMS REMOVED. ALL REMOVED ITEMS SHALL BE DISPOSED IN ACCORDANCE TO NOTE #3.

7.

COORDINATE WITH STRUCTURAL, MECHANICAL, & ELECTRICAL DRAWINGS FOR ALL RELATED COMPONENTS OF DEMOLITION, MODIFICATION, & PROPOSED WORK.

8.

REMOVE AND/OR RELOCATE ALL MECHANICAL & ELECTRICAL SERVICES/CONNECTIONS AS REQUIRED TO ACCOMMODATE DEMOLITION, OR AS A RESULT OF DEMOLITION.

9.

ENSURE ALL FLOOR AREAS ARE FREE OF HAZARDS DURING & AFTER DEMOLITION. LEVEL, PATCH, & GRIND FLOOR AS REQUIRED TO CREATE SMOOTH SURFACE READY TO RECEIVE FINISHED FLOORING.

10.

ALL EXTERIOR OPENINGS CREATED BY DEMOLITION ARE TO BE HOARDED AND SECURELY FASTENED WITH 16mm PLYWOOD SUPPORTED ALL SIDES.

11.

HORIZONTAL EXTERIOR OPENINGS CREATED BY DEMOLITION ARE TO BE FURTHER PROTECTED WITH WEATHERTIGHT MEMBRANES.

12.

MAINTAIN CLEAN, SAFE, & ORDERLY SITE AT ALL TIMES.

13.

SHOULD MATERIAL RESEMBLING SPRAY/TROWEL APPLIED ASBESTOS OR OTHER TOXIC/HAZARDOUS MATERIALS BE ENCOUNTERED DURING DEMOLITION, STOP WORK, TAKE PREVENTITIVE MEASURES & NOTIFY ARCHITECT AND/OR OWNER IMMEDIATELY. DO NOT PROCEED WITHOUT WRITTEN INSTRUCTIONS.

DEMOLITION LEGEND

DENOTES DOOR TO BE DEMOLISHED

EXISTING WALL TO REMAIN

EXISTING WALL TO BE DEMOLISHED

KEYNOTE DENOTING THAT ALL RELATED ITEMS WITHIN ROOM ARE TO BE DEMOLISHED

KEYNOTE LEGEND

D.01

DEMOLISH EXISTING WALL, COORDINATE REMOVALS W/ PROPOSED PLANS & STRUCTURAL PLANS WHERE APPLICABLE.

D.02

DEMOLISH EXISTING DOOR, FRAME & HARDWARE

D.03

DEMOLISH EXISTING GLAZING & FRAME

D.04

DEMOLISH PORTION OF EXISTING FLOOR (SHOWN HATCHED)

D.05A

DEMOLISH EXISTING SIDING. COORDINATE REMOVALS W/ PROPOSED PLANS

D.05B

SIDING & SHEATHING TO BE ADDED TO EXISTING STUD (MATCH COLOUR TO EXISTING SIDING)

D.06A

DEMOLISH EXISTING ROOF

D.06B

ADD SHEATHING & SHINGLES TO WHERE EXISTING ROOF IS EXPOSED (MATCH WITH EXISTING SHINGLES)

D.07

DEMOLISH EXISTING STAIR, GUARDS & HANDRAILS

D.08

DEMOLISH EXISTING POST

BUILDING PERMIT

7	Mar 14/25	Issued for Building Permit
6	Dec 03/24	Issued for Budget Costing
3	Nov 4/24	Issued for Coordination
2	Oct 22/24	Issued for Coordination
No.	DATE	ISSUE

NEO
ARCHITECTURE INC

270 King St. E. Kitchener, ON N2G 2L1 | 519 590 1636
neearchitecture.ca



OWNER

1404 Doon Village Road, Kitchener On, N2P 1A5

PROJECT
1404 Doon Village Oasis

1404 Doon Village Road, Kitchener On, N2P 1A5

DRAWING

Demolition Plans

PROJECT No.
24-008
PROJECT DATE
September 23, 2024
DRAWN BY
zsckickler

D200

Michelle Drake

From: richard NEO <richard@neoarchitecture.ca>
Sent: Thursday, March 27, 2025 9:55 AM
To: Michelle Drake
Subject: Re: BP 25 106755 - Addition to 1404 Doon Village Road
Attachments: 24-008 Doon Village 1404 Oasis_UDHCD_20250327.pdf

Good morning Michelle,

Please see attached, Draft Exterior Renderings, for the purposes of our Review with the Neighbourhood Representative and to support your Recommendation -

What I hope you will see from these, is the effect of its placement and exterior materials;
The proposed addition is rarely visible from the street, obscured as it is by existing trees and the existing house itself.

And where it is visible, only barely and from rather extreme angles, it is like a mirage, where the prior state of the building as well as the established streetscape is much more apparent, preserving the likeness of both.

We firmly believe that this is how we must treat all new buildings, in the shadow of those historic;
For every brick or board that goes up *now* in their likeness, makes those bricks and boards that went up *then* worth less.
Sameness, for the sake of preserving uniqueness is counterproductive.

Let me know when the Neighbourhood Representative might be available to discuss, if necessary.

In the meantime, I will prepare our formal Application and improve the legibility of our Drawings, per your suggestion.

Best,

Richard D'Alessandro
NEO Architecture

Michelle Drake

From: richard NEO <richard@neoarchitecture.ca>
Sent: Wednesday, April 9, 2025 10:09 AM
To: Michelle Drake
Subject: Re: 1404 Doon Village Road, heritage Permit Application

Hi Michelle,

- Height of Existing Single-detached Dwelling is: **8m***
- Height of Proposed Addition is: **7.5m***

*Both are measured from Finished Floor Elevation (FFE) rather than Grade, in order to compare using a consistent benchmark; the relative height, of one to the other, is what's relevant.

- Proposed Material for Flat Roof is: ROOF MEMBRANE (PRODUCT: EPDM / TPO, COLOUR: **BLACK / GREY**)
- Proposed Material for Walls:

PREFINISHED VERTICAL METAL SIDING (MANUFACTURER: METALUNIC / VICWEST, STYLE: MODERNO / BELLARA PLANK, SERIES: WOODSHADE / EXPRESSENCE, COLOUR: URBAN **GREY** 783 QC182535 / RIVER ROCK **GRAY** 18-0254) OR SIMILAR & APPROVED ALTERNATE

- Proposed Material for Gable Roof & Walls is:

PREFINISHED VERTICAL STANDING SEAM METAL SIDING (MANUFACTURER: IDEAL ROODING / AGWAY, STYLE: HERITAGE SERIES STIFFENER RIBS REMOVED / AR STANDING SEAM NO STIFFENER FLUTES, COLOUR: JET **BLACK** TEXTURED ID 60039 / **EBONY** WRINKLE COAT QC 09822) OR SIMILAR & APPROVED ALTERNATE

I will send Updated Drawings that include this information, shortly.

Thank you,

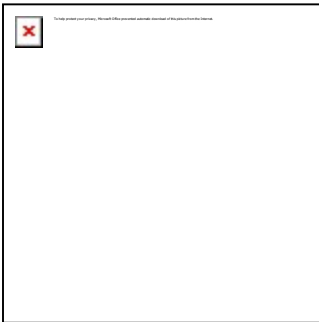
Richard D'Alessandro
NEO Architecture

Michelle Drake

From: richard NEO <richard@neoarchitecture.ca>
Sent: Wednesday, April 9, 2025 12:26 PM
To: Michelle Drake
Subject: Re: 1404 Doon Village Road, heritage Permit Application

Hi Michelle,

Please see below, link to Updated Drawings, for your reference:



[myQNAPcloud share link](#)

I have shared data for you via myQNAPcloud share link service.

www.myqnapcloud.com

I realize that you did not actually request the Material for the portion with Flat Roof -
Upon further consideration, we would like to exclude this from the HPA if possible.

Ultimately, we may decide to make the Addition all one material, in either **Black or Dark Grey** (Graphite),
as per **below**:

Please confirm this is acceptable.

Thank you,

- Proposed Material for Flat Roof is: ROOF MEMBRANE (PRODUCT: EPDM / TPO, COLOUR: **BLACK / GREY**)
- ~~Proposed Material for Walls:-
PREFINISHED VERTICAL METAL SIDING (MANUFACTURER: METALUNIC / VICWEST, STYLE:
MODERNO / BELLARA PLANK, SERIES: WOODSHADE / EXPRESSENCE, COLOUR: URBAN
GREY 783-QC182535 / RIVER ROCK **GRAY** 18-0254) OR SIMILAR & APPROVED ALTERNATE~~
- Proposed Material for Gable Roof & Walls is:
PREFINISHED VERTICAL STANDING SEAM METAL SIDING (MANUFACTURER: IDEAL ROODING /
AGWAY) (STYLE: HERITAGE SERIES STIFFENER RIBS REMOVED / AR STANDING SEAM NO

STIFFENER FLUTES) (COLOUR: JET **BLACK** TEXTURED ID 60039 / **EBONY** WRINKLE COAT QC 09822) OR SIMILAR & APPROVED ALTERNATE

-OR-

PREFINISHED VERTICAL STANDING SEAM METAL SIDING (MANUFACTURER: IDEAL ROODING / AGWAY) (STYLE: HERITAGE SERIES STIFFENER RIBS REMOVED / AR STANDING SEAM NO STIFFENER FLUTES) (COLOUR: GRAPHITE **GREY** TEXTURED ID 60035 / **GRAPHITE** WRINKLE COAT QC 09821) OR SIMILAR & APPROVED ALTERNATE

Richard D'Alessandro
NEO Architecture

Hi Michelle,

- Height of Existing Single-detached Dwelling is: **8m***
- Height of Proposed Addition is: **7.5m***

*Both are measured from Finished Floor Elevation (FFE) rather than Grade, in order to compare using a consistent benchmark; the relative height, of one to the other, is what's relevant.

- Proposed Material for Flat Roof is: ROOF MEMBRANE (PRODUCT: EPDM / TPO, COLOUR: **BLACK / GREY**)
- ~~Proposed Material for Walls:-~~
~~PREFINISHED VERTICAL METAL SIDING (MANUFACTURER: METALUNIC / VICWEST, STYLE: MODERNO / BELLARA PLANK, SERIES: WOODSHADE / EXPRESSENCE, COLOUR: URBAN GREY 783-QC182535 / RIVER ROCK GRAY 18-0254) OR SIMILAR & APPROVED ALTERNATE~~
- Proposed Material for Gable Roof & Walls is:
PREFINISHED VERTICAL STANDING SEAM METAL SIDING (MANUFACTURER: IDEAL ROODING / AGWAY) (STYLE: HERITAGE SERIES STIFFENER RIBS REMOVED / AR STANDING SEAM NO STIFFENER FLUTES) (COLOUR: JET **BLACK** TEXTURED ID 60039 / **EBONY** WRINKLE COAT QC 09822) OR SIMILAR & APPROVED ALTERNATE
-OR-
PREFINISHED VERTICAL STANDING SEAM METAL SIDING (MANUFACTURER: IDEAL ROODING / AGWAY) (STYLE: HERITAGE SERIES STIFFENER RIBS REMOVED / AR STANDING SEAM NO STIFFENER FLUTES) (COLOUR: GRAPHITE **GREY** TEXTURED ID 60035 / **GRAPHITE** WRINKLE COAT QC 09821) OR SIMILAR & APPROVED ALTERNATE

I will send Updated Drawings that include this information, shortly.

Thank you,

Richard D'Alessandro
NEO Architecture

Michelle Drake

From: richard NEO <richard@neoarchitecture.ca>
Sent: Thursday, April 10, 2025 9:49 AM
To: Michelle Drake
Subject: Re: 1404 Doon Village Road, heritage Permit Application

Good morning Michelle,

The intent behind one (1) single metal cladding material for the addition, would be to simplify four (4) materials total down to just three (3), and in order to further exemplify the differences between new and old.

Also, a darker colour has the effect of diminishing scale (think of a black dress).

However, I would welcome a discussion on the topic with the Neighbourhood Representative and whomever else might have concerns, prior to meeting with the Committee.

Thank you,

Richard D'Alessandro
NEO Architecture

Michelle Drake

From: richard NEO <richard@neoarchitecture.ca>
Sent: Thursday, April 10, 2025 9:51 AM
To: Michelle Drake
Subject: Re: 1404 Doon Village Road, heritage Permit Application

Hey Michelle,

Agway AR Standing Seam is an Alternate.

Ideal Heritage Roofing would be our first choice:

<https://idealroofing.ca/products/roofing-and-siding/heritage/>

The link to the Heritage Roofing brochure seems to be broken - I will forward from our product representative shortly.

Thank you,

Richard D'Alessandro
NEO Architecture

Michelle Drake

From: richard NEO <richard@neoarchitecture.ca>
Sent: Thursday, April 10, 2025 10:15 AM
To: Michelle Drake
Subject: Re: 1404 Doon Village Road, heritage Permit Application

Michelle,

That is correct, Standing Seam (Heritage Series by Ideal, or otherwise) can be applied to Walls as well as Roofs, which is the intent here.

It looks like the Wrinkle Coat finishes/colours are new and not updated on Ideal's literature. But you can see from their website that they are available (see screenshot, below).

HERITAGE^{TM*}

S E R I E S

HIDDEN FASTENER STEEL ROOF PANELS

HIGH-END ROOFING PANELS

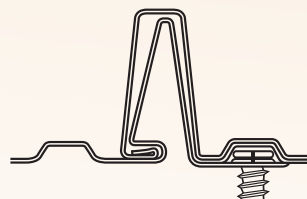
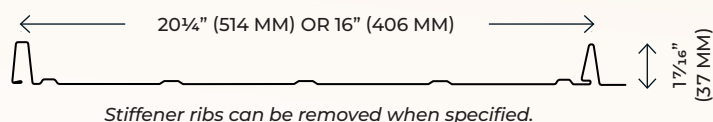
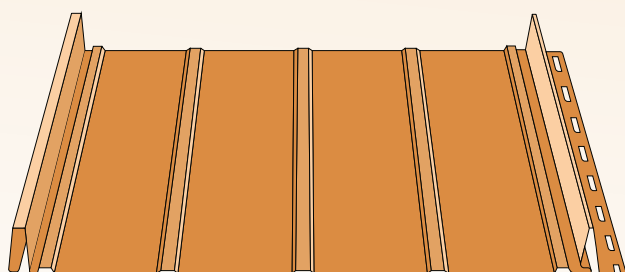
FOR COMMERCIAL AND RESIDENTIAL BUILDINGS



TOP-OF-THE-LINE ROOFING

Designed as a roofing panel for prestige, commercial and residential buildings, **IDEAL ROOFING's HERITAGE™ SERIES** steel roof panels bring back the rich traditional style and appearance of standing seam roofs.

- **Easy installation: no clips and no seamer necessary**
- **Save time and labour costs**
- **Allow for natural movement of roofing system**



HIDDEN FASTENER PANEL

CANADIAN PATENT: # 1259466
USA PATENT: # 4926608

THE HERITAGE™ SERIES STEEL PANELS are offered in standard widths of 20 1/4" or 16" – to suit and adapt to any style of sloped roof and to enhance any building architecture.



BRIGHT SILVER

STRUCTURAL PROPERTIES

TOTAL NOMINAL THICKNESS (INCH)	CORE NOMINAL THICKNESS (INCH)	MOMENT OF INERTIA (IN-4)	MOMENT RESISTANCE*		SUPPORT REACTION RESISTANCE*	
			MID-SPAN (IN-LB)	SUPPORT (IN-LB)	END (LB)	INTERIOR (LB)
.018	.016	.0362	656	553	137	242
.021	.018	.0447	699	816	174	306
.026	.024	.0472	838	720	209	411

*INCLUDES AN IMPORTANCE FACTOR OF 1.0, LIVE LOAD FACTOR OF 1.5, AND BASED ON A BEARING LENGTH OF 1.5"

MAXIMUM UNIFORMLY DISTRIBUTED LOADS (POUNDS/SQUARE FOOT)

SPAN CONDITION	SPAN (INCHES)	28 GAUGE (.018")		26 GAUGE (.021")		24 GAUGE (.026")	
		B	D	B	D	B	D
SINGLE	18	150	625	232	869	248	916
	24	98	264	136	366	140	386
	30	63	135	87	188	89	198
DOUBLE	18	101	1500	163	2085	213	2198
	24	76	633	117	879	120	927
	30	52	324	75	450	77	475
TRIPLE	18	114	1181	184	1642	247	1731
	24	85	498	138	693	150	730
	30	65	255	93	355	96	374

B = LOAD CAPACITY BASED ON STRENGTH MINIMUM YIELD STRESS $F_y = 33,000$ P.S.I.
D = DEFLECTION BASED ON $L/240$ MAXIMUM WORKING STRESS $F_b = 20,625$ P.S.I.
YOUNG'S MODULUS (E) = 29,500,000 P.S.I.

AVAILABLE MATERIALS / 10,000 SERIES, KYNAR 500®

THICKNESS & GAUGE	MIDNIGHT BLACK ID 193	BRONZE ID 8981	CHOCOLATE BROWN ID 196	MARITIME GREY ID 690	GREY BERRY ID 3659	NAVY BLUE ID 198	TWILIGHT BLUE ID 3644	HARTFORD GREEN ID 8980	WINTER GREEN ID 3651	PATINA GREEN ID 201	CORDOVAN ID 3643	CRANBERRY RED ID 7437	CLASSIC COPPER ID 9919	BRIGHT SILVER ID 10637	GALVALUME PLUS
(.018")** 28 GA.	●	●	●	●	●	●	●	●	●	●	●	●			
(.021")* 26 GA.	●	●	●	●	●	●	●	●	●	●			●	●	●
(.026")** 24 GA.	●	●	●	●		●			●	●			●	●	●

*16" WIDE ONLY

**20 3/4" WIDE ONLY

PRE-PAINTED GALVALUME AZ150 STEEL ASTM A792 SS,
GRADE 33, 10,000 SERIES, KYNAR 500®.
GAUGES: 28 (.018" THICK), 26 (.021" THICK)
AND 24 (.026" THICK).

MILL FINISH GALVALUME PLUS
ASTM-A792 SS, GRADE 33, AZ180
GAUGES: 26 (.021" THICK)
AND 24 (.026" THICK).

HERITAGETM S E R I E S

AVAILABLE COLOURS

10,000 Series, Kynar 500®



Midnight Black

ID 193



Bronze

ID 8981



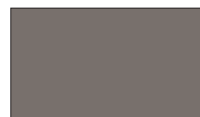
Chocolate Brown

ID 196



Maritime Grey

ID 690



Grey Berry

ID 3659



Navy Blue

ID 198



Twilight Blue

ID 3644



Hartford Green

ID 8980



Winter Green

ID 3651



Patina Green

ID 201



Cordovan

ID 3643



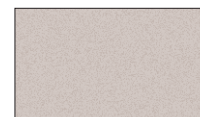
Cranberry Red

ID 7437



Classic Copper

ID 9919



Bright Silver

ID 10637



HERITAGE SERIES

HIDDEN FASTENER STEEL ROOF PANEL



ENVIRONMENT-FRIENDLY.
THIS PRODUCT IS
ENTIRELY RECYCLABLE.



MIAMI-DADE COUNTY
APPROVED
NOA No.: 21-0128.01



Head Office

1418 Michael Street
Ottawa, ON K1B 3R2
Tel.: 613-746-3206
Toll Free: 1-800-267-0860
Fax: 613-746-0445
info@idealroofing.ca

Toronto Manufacturing Facility

223 Corporation Drive
Brampton, ON L6S 6G5
Tel.: 905-792-4354
Toll Free: 1-877-792-4354
Fax: 905-792-7740

Moncton Manufacturing Facility

650 Frenette Avenue
Moncton, NB E1H 2S7
Tel.: 506-857-3888
Toll Free: 1-833-753-0051
Fax: 506-857-8823

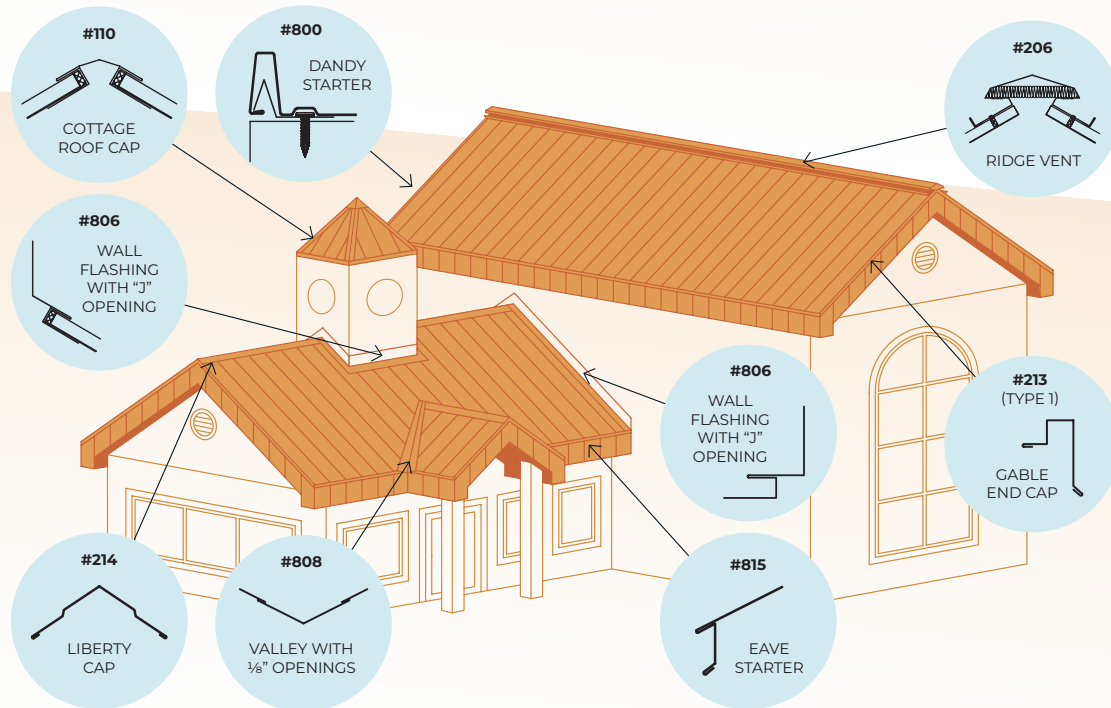
Quebec Regional Office

5240 Wilfrid-Hamel Boulevard
Québec, QC G2E 2G9
Tel.: 418-874-0010
Toll Free: 1-888-313-0010
Fax: 418-874-0011

www.idealroofing.com

FLASHINGS AND TRIMS

Optional flashings and details are available in the Installation Guide.



#110	COTTAGE ROOF CAP (24" GIRTH)	#206	RIDGE VENT	#213 TYPE 1	GABLE END CAP (A + B + 5 3/4" = GIRTH)
#214	LIBERTY CAP (15" GIRTH)	#806	WALL FLASHING WITH "J" OPENING (18" GIRTH)	#808	VALLEY WITH 1/8" OPENINGS
#815	EAVE STARTER (9" GIRTH)	FOAM AND METAL CLOSURES FOR RIDGE		END PLUG	