

# Staff Report



Development Services Department

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**REPORT TO:** Heritage Kitchener

**DATE OF MEETING:** August 5, 2025

**SUBMITTED BY:** Garrett Stevenson, Director of Development and Housing Approvals,  
519-783-8922

**PREPARED BY:** Jessica Vieira, Heritage Planner, 519-783-8924

**WARD(S) INVOLVED:** Ward 9

**DATE OF REPORT:** June 16, 2025

**REPORT NO.:** DSD-2025-305

**SUBJECT:** Heritage Permit Application HPA-2025-V-014  
59 Park Street  
Garage Demolition

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## RECOMMENDATION:

THAT pursuant to Section 42 of the *Ontario Heritage Act*, Heritage Permit Application HPA-2025-V-014 to permit the demolition of an attached garage and detached shed at the property municipally addressed as 59 Park Street be approved, in accordance with the supplementary information submitted with this application and subject to the following conditions:

1. That final demolition permit drawings be reviewed, and heritage clearance provided by Heritage Planning staff prior to the issuance of a demolition permit.

## REPORT HIGHLIGHTS:

- The purpose of this report is to present the proposed demolition of a non-original attached garage and the removal of a non-original shed at the property municipally addressed as 59 Park Street.
- The key finding of this report is that the demolition is not anticipated to negatively impact the cultural heritage value of the subject property, the Park Street streetscape, or the Victoria Park Area Heritage Conservation District overall.
- There are no financial implications associated with this report.
- Community engagement included consultation with the Heritage Kitchener Committee.
- This report supports the delivery of core services.

## EXECUTIVE SUMMARY:

Heritage Permit Application HPA-2025-V-014 proposes the demolition of a non-original attached garage and non-original detached shed on the subject property municipally addressed as 59 Park Street. The subject property is designated under Part V of the *Ontario Heritage Act*, being located within the Victoria Park Area Heritage Conservation District (VPAHCD). This HPA has been submitted in accordance with Section 42.1.4 of the *Ontario Heritage Act*, which requires that property owners obtain approval from the municipality prior to the demolition or removal of any structure on a designated property. The structures proposed to be removed would not be classified as heritage attributes, and Heritage Planning staff are of the opinion that the proposed work will not negative impact the cultural heritage value or significance of either the property itself, the Park Street streetscape, or the surrounding VPAHCD.

## BACKGROUND:

The Development Services Department is in receipt of Heritage Permit Application HPA-2025-V-014 for the property municipally addressed as 59 Park Street. The application is seeking permission to demolish a non-original attached garage and detached rear-yard shed.

The subject property is located on the south side of Park Street, between Victoria Street South to the northeast and Jubilee Drive to the southwest. It is designated under Part V of the Ontario Heritage Act, being located within the Victoria Park Area Heritage Conservation District (VPAHCD). It is not identified as a District Significant A building. Due to its heritage status this permit is being brought before Heritage Kitchener Committee, and in accordance with Section 42.1.4 of the *Ontario Heritage Act* which requires consent of the municipality to demolish or remove a building or structure on the property.



**Figure 1: Location of Subject Property Identified by Solid Red Line. Adjacent Properties Part of Associated Planning Application but not Heritage Permit Identified By Red Dashed Line.**

## REPORT:

The subject property currently contains a single-detached one-and-a-half-storey residential dwelling, with attached garage. The VPAHCD Study provides the following description:

*“A 1&1/2 storey buff brick front-gabled Berlin Vernacular style residence with a closed-in front porch. It is a well-maintained and landscaped property.”*

Regarding Park Street itself, the VPAHCD Study characterizes it as follows:

*“Park Street is a heavily trafficked primary arterial road extending from Victoria Street in the west, through Victoria Park, to David Street in the east. The street width is comparatively narrow for its traffic classification at 50 feet. The land use comprises 25 residential lots with an average frontage of 50 feet and a depth of 110 feet. The setbacks, as with the street width, are comparatively narrow at 18 feet. The residences are predominately circa 1920, 1&1/2 storey brick of solid character, with front verandahs, roof gables, and modest embellishment. All are in sound condition and well maintained and near original in appearance except for new metal trim cladding. Boulevard trees are full and plentiful at the east end, but sparse in the centre of the block and to the west. Front gardens are modest, with the occasional profusely flowered plot. Overall, the streetscape has architectural unity but landscape disunity, changing from shady and enclosed by tree canopy to open and exposed.”*

59 Park Street was constructed in the early 20<sup>th</sup> century, sometime between 1909-1916. It is identified on the 1917 Fire Insurance Plan, though it is municipally addressed at this time as 45 Tuerk Street. The architectural value of the property does not lie in its craftsmanship or architectural uniqueness, but rather the contribution it makes to the unity and character of Park Street and the VPAHCD overall. It has maintained a high degree of integrity, being largely unaltered or altered in a manner which is unobtrusive or suits the style of the building.

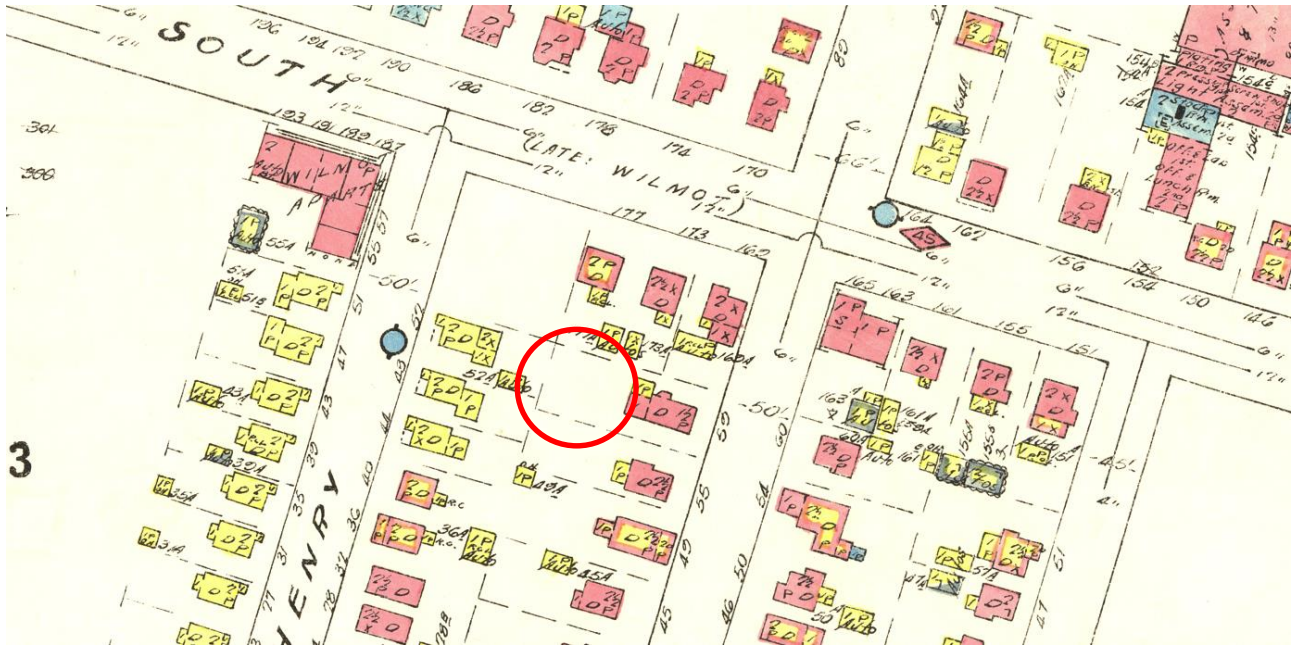


**Figure 2: 1917 Fire Insurance Map with Subject Property Circled in Red**

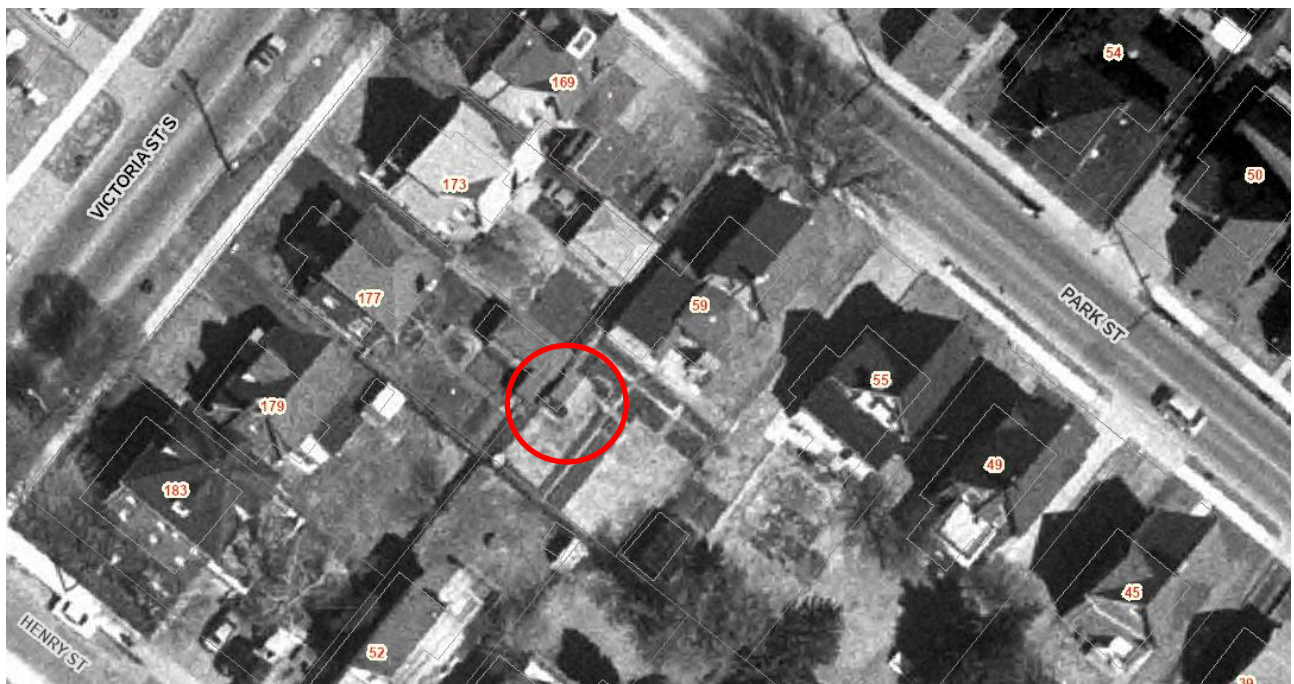


The attached garage is not original to the house and was constructed in 1965. It is concrete block and frame construction, recessed to the rear so it is not prominently in view, and clad in buff bricks that are a similar but deeper shade to the original buff bricks of the dwelling. There is no cultural heritage value to the attached garage.

The exact construction date of the read detached shed is not known, but it is not original to the property. There is no outbuilding identified on the latest Fire Insurance Map, dated 1947. An outbuilding is however visible in aerial imagery from 1997. The shed is located behind the attached garage, and due to its smaller scale and location is not visible from the street. It is rectangular in shape, clad in grey-brown aluminum siding, and possesses a roof with a small overhang over the front.



**Figure 3: 1947 Fire Insurance Map with no Outbuilding Identified on the Subject Property**



**Figure 4: 1997 Aerial Photograph with Shed Visible on Subject Property**





**Figure 5: Rear Shed Proposed for Demolition.**

### **Associated Planning Application**

Zoning By-law Amendment (ZBA) Application (ZBA24/021/V/AP) was submitted in 2024 for the properties municipally addressed as 169-183 Victoria Street South, located adjacent to the subject property 59 Park Street. 59 Park Street was included in the application as well. The ZBA proposed a zone change from MU-1 to MU-2 as well as the addition of site-specific provisions which would allow for changes to required setbacks, building heights, floor space ratio, and parking ratio. The intent of these amendments was to facilitate the construction of an 8-storey multiple residential building with 120 dwelling units, 24 of which would be affordable housing. Further, it was identified that an access easement would be required for the development to 59 Park Street, as the hydro transformer and associated duct banks are proposed to be housed on the property.

Though the bulk of the properties subject to the ZBA are not within the boundaries of the VPAHCD and have no status under the *Ontario Heritage Act*, due to their adjacency to cultural heritage resources and the minor inclusion of the designated 59 Park Street, heritage conditions were identified as being required. This included the submission of a Heritage Impact Assessment (HIA).

A draft HIA, dated June 2024 and prepared by McCallum Sather, was presented to the Heritage Kitchener Committee on October 1<sup>st</sup>, 2024. Responses from HK relating to the HIA and proposed development included commentary around:

- Lighting considerations, ensuring that the tone and brightness of outdoor lighting for the new development was in keeping with the character of the surrounding HCD.
- Any fencing being of an appropriate design to the context of the area and not blocking views.
- Incorporation of more design elements which reflect the rest of the Heritage Conservation District to incorporate the new build better into the surrounding context.
- Incorporation of greater setbacks if feasible at the rear to create a better transition from eight storeys to the adjacent one-and-a-half-storeys.
- Salvage and reuse of material from the proposed building to be demolished, to keep material out of landfills.

The comments of Heritage Kitchener have been provided to the applicant in addition to Heritage Planning staff comments. Site Plan Application SPF25/027/V has now been received by the City for the proposed development on the adjacent properties. The new submission included an updated HIA and revised rendering of the proposed development. Some commentary has already been addressed through the revisions that occurred between the Zoning By-law Amendment processes and the submission of the Site Plan Application. It is anticipated that outstanding items will be addressed as the Site Plan process progresses. Additional heritage or heritage-related studies have been requested to be submitted prior to full site plan approval. These additional studies include a:

- Cultural Heritage Protection Plan
- Documentation, Salvage and Reuse Plan
- Risk Management Plan, Temporary Protection Plan
- Hoarding and Construction Plan
- Pre-construction Assessment Report of adjacent heritage properties
- Vibration Monitoring Report
- Site Lighting Plan.
- Landscape Plan

### **Proposed Demolition of Garage**

Heritage Permit Application HPA-2025-V-014 is proposed to demolish the attached non-original garage and the detached non-original shed. The intent of this proposal is to provide greater setbacks between 59 Park Street and the proposed adjacent development, as well

as to create space for a hydro transformer and an access easement to a hydro transformer, to be located in the rear yard of 59 Park Street. The proposed demolition of these structures is not anticipated to affect the heritage value of the subject property or surrounding area.

### **Heritage Planning Comments**

In reviewing the merits of this application, Heritage Planning staff would note the following:

- The attached garage is not original to the subject property, being constructed in 1965. While it is recessed back from the front façade and is of an appropriate size, scale, and design so as to not impact the heritage integrity of 59 Park Street, neither does it contribute to the subject properties heritage value or significance. The removal of the garage will restore the building back to its original footprint.
- The detached rear yard shed is not original to the subject property. It's exact year of construction is unknown, but it is not identified on the 1947 Fire Insurance Map (which identified all outbuildings on properties) and is visible in a 1997 aerial photograph. The rear yard shed is not visible from the streetscape, being located behind the attached garage and of a smaller scale. It does not contribute to the heritage value or significance of the subject property or surrounding Victoria Park Area Heritage Conservation District.
- A heritage permit application has been required for the proposed work not because it is anticipated to have any negative impact on heritage attributes, but because the demolition or removal of any building or structure on a designated property requires Council approval.
- The VPAHCD Plan contains policies and guidelines pertaining to demolition within the HCD. While the policies do outline a presumption against demolition, they refer specifically to the demolition of historic buildings and their associated heritage attributes. The attached garage is not an identified heritage attribute of 59 Park Street, nor is the detached shed. The removal of original heritage fabric is not contemplated with this proposal.
- The removal of the garage and shed will create greater separation between 59 Park Street and the proposed adjacent 8-storey multiple-dwelling. In addition, its removal is necessary to establish a hydro transformer and an access easement.
- The hydro transformer will be screened from view from the public realm. Screening options currently being contemplated in the site plan process include hedges as a vegetative barrier.
- The proposed work in this heritage permit application is not anticipated to negatively impact the cultural heritage value or significance of the subject property, Park Street streetscape, or the overall Victoria Park Area Heritage Conservation District.

In accordance with the Heritage Permit Application form, the approval of any application under the *Ontario Heritage Act* shall not be a waiver of any of the provisions of any by-law of the City of Kitchener or legislation, including but not limited to, the requirements of the Ontario Building Code and City of Kitchener Zoning By-law. A building permit may be required to demolish the attached garage and detached rear shed.

**STRATEGIC PLAN ALIGNMENT:**

This report supports the delivery of core services.

**FINANCIAL IMPLICATIONS:**

Capital Budget – The recommendation has no impact on the Capital Budget.

Operating Budget – The recommendation has no impact on the Operating Budget.

**COMMUNITY ENGAGEMENT:**

INFORM – This report has been posted to the City's website with the agenda in advance of the Heritage Kitchener committee meeting.

CONSULT – Heritage Kitchener has been consulted regarding the subject Heritage Permit Application.

**PREVIOUS REPORTS/AUTHORITIES:**

- Draft Heritage Impact Assessment – 169-183 Victoria Street South and 59 Park Street – DSD-2024-407
- Ontario Heritage Act, R.S.O 1990

**REVIEWED BY:** Sandro Bassanese, Manager of Site Plan

**APPROVED BY:** Justin Readman, General Manager, Development Services

**ATTACHMENTS:**

Attachment A – Heritage Permit Application Form HPA-2025-V-014

Attachment B – Heritage Permit Application Supporting Documentation