

STATEMENT OF SIGNIFICANCE

99 Strange Street



Summary of Significance

- ☒ Design/Physical Value
- ☒ Historical Value
- ☒ Contextual Value

- ☐ Social Value
- ☐ Economic Value
- ☐ Environmental Value

Municipal Address: 99 Strange Street

Legal Description: Plan 375 Part Lot 493 & 494

Year Built: 1929

Architectural Styles: Collegiate Tudor

Original Owner: St. John's Catholic School

Original Use: Institutional

Condition: Good

Description of Cultural Heritage Resource

99 Strange Street is a 20th century building built in the Collegiate Tudor architectural style. The building is situated on a 3.07 acre parcel of land located on the west side of Strange Street between Dominion Street and Waverly Road in the Cherry Hill Planning Community of the City of Kitchener within the Region of Waterloo. The principal resource that contributes to the heritage value is the institutional building.

Heritage Value

99 Strange Street is recognized for its design/physical, historic/associative, and contextual values.

Design/Physical Value

The design and physical values relate to the Collegiate Tudor architectural style that is in good condition with many intact original elements. The building features: red brick construction; flat roof, cast concrete decorative details such as school sign, banding, floral motifs and cross; window openings with concrete sills; and, front entrance door opening with multi light transom and decorative door surround. There have been many additions to the original building since its construction in 1929. All of these additions are located towards the rear of the original building.

Front Façade (East Elevation)

The original portion of the school was constructed in a 'H' shaped plan, and is two-storeys in height. Each end of this façade includes brick cast concrete detailing, including square motifs and concrete banding on the upper and lower level. The central portion of this façade has a symmetrical design and fenestration pattern, including fenestration pattern of multi-pane windows arranged grouping pattern of one-three-one pattern on each storey with concrete sills. The central door includes a projecting decorative brick detailing with concrete door surround, and concrete floral motifs. Above the concrete banding on the upper storey level is a parapet with the school's sign and other concrete detailing. The building has a concrete foundation with windows on the basement levels.

Side Façade (South Elevation)

The façade continues the fenestration pattern of the front façade with two multi-pane window groupings of one-three-one on each storey. The concrete banding extends onto this façade on the upper and lower levels, with the concrete foundation and basement level windows.

Rear Façade (North Elevation)

The original portion of the school is not visible on this façade. This façade includes one of the modern additions that was added on to the school. This façade mostly includes blank brick walls, with one portion of the addition with windows and a rear doorway.

Side Façade (West Elevation)

The façade continues the fenestration pattern of the front façade with two multi-pane window groupings of one-three-one on each storey. The concrete banding extends onto this façade on the upper and lower levels, with the concrete foundation and basement level windows.

Historical Value

The historic and associative values relate to the original and continued use of the building as a separate school. St. John's Catholic School was built in 1929 as a response to the influx of new families and

increased birth rates following World War I. The original building was an eight-room school that was constructed at a cost of \$60,000. The building was the fourth catholic school in the area.

The school also has associative value to the St. John's church, which is located adjacent to the property. The St. John's church was the fourth church to be constructed in the City, necessitated by the growth of the City in 1937. The parish of approximately 220 families living within the boundaries of Highland Road, Victoria park, and Waterloo, and King Street was formed in May 1937, by the late Most Rev. J. T. McNally. Magistrate W. F. Gleason (who was Father Gleason at the time) was the first pastor of this church, and he held that position until he died in 1965.

The church used the school's basement for Sunday mass until February 1938, while the new church was being constructed. Even though the superstructure of the church was unfinished, it was dedicated by Reverend Joseph Ryan on February 20, 1938, with the cornerstone was laid on August 15, 1937.

The school has associative value due to its direct associations with the theme of educational development in Kitchener. The school was established in response to the growing population of Kitchener in the 1920s, and it was the fourth school to be established in the City. The school has continued to operate as such since its establishment.

Contextual Value

99 Strange Street has contextual value because it is physically, functionally, visually and historically linked to its surroundings. The building is in its original location, and has continued to serve as a school since it was built. In particular, part of its contextual value is tied to the adjacent St. John's church. These buildings were built around the same time, and have served the same communities since their construction. Due to this, the buildings maintain a relationship to each other.

Heritage Attributes

The heritage value of 99 Strange Street resides in the following heritage attributes:

- All elements related to the construction and Collegiate Tudor architectural style of the original building, including:
 - Its location, massing, and orientation;
 - red brick construction;
 - roof and roofline;
 - cast concrete decorative details such as school sign, banding, floral motifs and cross;
 - window openings with concrete sills; and,
 - front entrance door opening with multi light transom and decorative door surround.
- All elements related to the contextual value of the building, including:
 - Its location on the Strange Street streetscape, and
 - Its relationship to the adjacent St. John's Church.

Photos



99 Strange Street



99 Strange Street



99 Strange Street



99 Strange Street

CULTURAL HERITAGE EVALUATION FORM

Address: 99 Strange Street Recorder: Deeksha Choudhry

Description: Institutional Date: July 1, 2025

Photographs Attached:

☒ Front Façade ☐ Left Façade ☒ Right Façade ☒ Rear Façade ☒ Details ☐ Setting

Designation Criteria	Recorder – Heritage Kitchener Committee	Heritage Planning Staff
1. This property has design value or physical value because it is a rare, unique, representative or early example of a style, type, expression, material or construction method.	N/A <input checked="" type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/>
2. The property has design value or physical value because it displays a high degree of craftsmanship or artistic merit.	N/A <input checked="" type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes <input type="checkbox"/>
3. The property has design value or physical value because it demonstrates a high degree of technical or scientific achievement. <i>* E.g. - constructed with a unique material combination or use,</i>	N/A <input checked="" type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes <input type="checkbox"/>

<i>incorporates challenging geometric designs etc.</i>		
<p>4. The property has historical value or associative value because it has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community.</p> <p><i>* Additional archival work may be required.</i></p>	<p>N/A <input checked="" type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/></p>
<p>5. The property has historical or associative value because it yields, or has the potential to yield, information that contributes to an understanding of a community or culture.</p> <p><i>* E.g - A commercial building may provide an understanding of how the economic development of the City occurred. Additional archival work may be required.</i></p>	<p>N/A <input checked="" type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes <input type="checkbox"/></p>
<p>6. The property has historical value or associative value because it demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.</p> <p><i>* Additional archival work may be required.</i></p>	<p>N/A <input checked="" type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes <input type="checkbox"/></p>
<p>7. The property has contextual value because it is</p>	<p>N/A <input checked="" type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/></p>

<p>important in defining, maintaining or supporting the character of an area.</p> <p><i>* E.g. - It helps to define an entrance point to a neighbourhood or helps establish the (historic) rural character of an area.</i></p>		
<p>8. The property has contextual value because it is physically, functionally, visually or historically linked to its surroundings.</p> <p><i>* Additional archival work may be required.</i></p>	<p>N/A <input checked="" type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/></p> <p>Yes <input type="checkbox"/></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/></p> <p>Yes <input checked="" type="checkbox"/></p>
<p>9. The property has contextual value because it is a landmark.</p> <p><i>*within the region, city or neighborhood.</i></p>	<p>N/A <input checked="" type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/></p> <p>Yes <input type="checkbox"/></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input checked="" type="checkbox"/></p> <p>Yes <input type="checkbox"/></p>

Notes

Additional Criteria	Recorder	Heritage Kitchener Committee
<p>Interior: Is the interior arrangement, finish, craftsmanship and/or detail noteworthy?</p>	<p>N/A <input checked="" type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/></p> <p>Yes <input type="checkbox"/></p>	<p>N/A <input type="checkbox"/> Unknown <input checked="" type="checkbox"/> No <input type="checkbox"/></p> <p>Yes <input type="checkbox"/></p>
<p>Completeness: Does this structure have other original outbuildings, notable landscaping or external features that complete the site?</p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input checked="" type="checkbox"/></p> <p>Yes <input type="checkbox"/></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/></p> <p>Yes <input checked="" type="checkbox"/></p>

<p>Site Integrity: Does the structure occupy its original site?</p> <p><i>* If relocated, is it relocated on its original site, moved from another site, etc.</i></p>	<p>N/A <input checked="" type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/></p>
<p>Alterations: Does this building retain most of its original materials and design features? Please refer to the list of heritage attributes within the Statement of Significance and indicate which elements are still existing and which ones have been removed.</p>	<p>N/A <input checked="" type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/></p>
<p>Alterations: Are there additional elements or features that should be added to the heritage attribute list?</p>	<p>N/A <input checked="" type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes <input type="checkbox"/></p>
<p>Condition: Is the building in good condition?</p> <p><i>*E.g. - Could be a good candidate for adaptive re-use if possible and contribute towards equity-building and climate change action.</i></p>	<p>N/A <input checked="" type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/></p>
<p>Indigenous History: Could this site be of importance to Indigenous heritage and history?</p> <p><i>*E.g. - Site within 300m of water sources, near distinct topographical land, or near cemeteries might have archaeological potential and indigenous heritage potential.</i></p> <p>Could there be any urban Indigenous history associated with the property?</p> <p><i>* Additional archival work may be required.</i></p>	<p>N/A <input checked="" type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> <input type="checkbox"/> Additional Research Required</p> <p>N/A <input checked="" type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> <input type="checkbox"/> Additional Research Required</p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> <input checked="" type="checkbox"/> Additional Research Required</p> <p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> <input checked="" type="checkbox"/> Additional Research Required</p>
<p>Function: What is the present function of the subject property?</p>	<p>Unknown <input type="checkbox"/> Residential <input type="checkbox"/> Commercial <input type="checkbox"/> Office <input type="checkbox"/> Other <input type="checkbox"/> Church</p>	<p>Unknown <input type="checkbox"/> Residential <input type="checkbox"/> Commercial <input type="checkbox"/> Office <input type="checkbox"/> Other <input checked="" type="checkbox"/> - Industrial</p>

<i>* Other may include vacant, social, institutional, etc. and important for the community from an equity building perspective.</i>		
Diversity and Inclusion: Does the subject property contribute to the cultural heritage of a community of people? Does the subject property have intangible value to a specific community of people? <i>* E.g.- Waterloo Masjid (Muslim Society of Waterloo & Wellington Counties) was the first established Islamic Center and Masjid in the Region and contributes to the history of the Muslim community in the area.</i>	N/A <input type="checkbox"/> Unknown <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> <input type="checkbox"/> Additional Research Required N/A <input type="checkbox"/> Unknown <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> <input type="checkbox"/> Additional Research Required	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes <input type="checkbox"/> <input type="checkbox"/> Additional Research Required N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes <input type="checkbox"/> <input type="checkbox"/> Additional Research Required

Notes about Additional Criteria Examined

Recommendation

Does this property meet the definition of a significant built heritage resource, and should it be designated under Part IV of the Ontario Heritage Act? (Does it meet two or more of the designation criteria?)

N/A ☐ Unknown ☐ No ☐ Yes ☒

If not, please select the appropriate action for follow-up

- ☐ Keep on the Municipal Heritage Register
- ☐ Remove from the Municipal Heritage Register
- ☐ Additional Research Required

Other: _____

General / Additional Notes

TO BE FILLED BY HERITAGE PLANNING STAFF:

Date of Property Owner Notification: _____

