



PLANNING, DEVELOPMENT AND
LEGISLATIVE SERVICES

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May 1, 2025

Brian Batemen
Senior Planner
City of Kitchener
200 King Street West, 6th Floor
P.O. Box 1118, Kitchener, ON
N2G 4G7

Dear Mr. Bateman,

**Re: Official Plan Amendment OPA25/004/L/BB
Zoning By-law Amendment ZBA25/009/L/BB
Lackner Boulevard & Keewatin Avenue (Block 1 & 2,
Registered Plan 58M-710 and Block 1, Registered Plan
58M-711)
WM. J. Gies Construction Ltd. c/o GSP Group
City of Kitchener**

Regional staff have received Official Plan amendment (OPA) and zoning by-law amendment (ZBA) applications pertaining to lands located within a registered plan of subdivision. The original approvals on these lands through plan of subdivision 30T-91005 (most recently in 2016) contemplated residential uses, which were subsequently revised to mixed uses through City-initiated Official Plan and zoning by-law reviews. The amendments sought at this point are technical and seek to permit low-rise multiple dwellings rather than mixed commercial/residential uses. No other changes are proposed. Regional staff understand that the subject lands are further regulated by Subdivision Agreement WR1091435.

The subject lands are located in the Urban Area and Delineated Built Up Area in the Regional Official Plan (now an Official Plan of the City of Kitchener); designated Mixed Use on Map 3 of the City's Official Plan; and zoned Mixed Use (MIX-1). The OPA seeks to change the designation to Low Rise Residential (as applied to the property until 2016), while the ZBA seeks to change the zone category to Residential (RES-5), which would permit multiunit residential development.

The Region has had the opportunity to review the proposal and offers the following comments:

Environmental Noise

At this location, the proposed development may encounter environmental noise sources from Regional Road #54 (Lackner Boulevard). It is the responsibility of the applicant to ensure the proposed noise sensitive development is not adversely affected by anticipated noise impacts.

Regional staff have reviewed the application in conjunction with a previous noise study completed in support of the subdivision within which these lands are located – specifically, the report entitled “Sandra Springs Subdivision Final Environmental Noise Assessment, City of Kitchener” prepared by MTE Consultants Inc. and dated March 9, 2018, as well as addendum material from MTE dated July 27, 2018. As this study is more than five years old, and the study assesses commercial uses on the subject lands, an update to the noise study will be required to reflect current traffic volume information and the proposed addition of sensitive uses.

Regional staff will accept the implementation of a holding provision to assess the impacts of transportation noise on the proposed sensitive land uses, to be prepared and accepted by the Region. Required wording for the holding provision is as follows:

That a holding provision shall apply to the entirety of the subject lands until satisfactory preliminary and detailed noise studies have been completed and implementation measures addressed to the satisfaction of the Regional Municipality of Waterloo. The noise studies shall review the potential impacts of transportation noise from Lackner Boulevard (Regional Road No. 54) on the sensitive points of reception.

The noise level criteria and guidelines for the preparation of the updated noise study should follow the Ministry of the Environment, Conservation and Parks NPC-300 requirements and the Region’s Noise Policy Implementation Guideline, and the consultant must be listed on the Region’s Approved List of Noise Consultants. The noise consultant is responsible for obtaining current information, applying professional expertise in performing calculations, making detailed and justified recommendations, submitting the Consultant Noise Declaration and Owner/Authorized Agent Statement. The consultant preparing the Environmental Noise Study must contact Regional staff for transportation data, including traffic forecasts and truck percentages, who will provide this data within three weeks of receiving the request from the noise consultant.

Please note that there is a \$500 fee for the preparation of the traffic forecasts and review of the updated Environmental Noise Study. The noise consultant preparing the Environmental Noise Study must submit the transportation data request online via (<https://rmow.permitcentral.ca/Permit/GroupApply?groupid=3>). Resubmission may be subject to a \$250 resubmission fee.

Grand River Transit (GRT) – Advisory

GRT provides two-way service adjacent to the subject property on Lackner Blvd via express Route 204. The nearest stops are approximately 390 metres to the north of the subject property on Lackner Boulevard south of Victoria Street North (stops #1678 and #2339). GRT currently has no plans to provide service on Otterbein Road or construct a stop closer to the proposed development, as Route 204 iXpress is a limited-stop express route and existing stop spacing is appropriate for this level of service along Lackner Boulevard. Should a future service review indicate that transit stops at Otterbein Road are warranted, there is sufficient boulevard space within the right-of-way on Lackner Boulevard to implement these stops without requiring an easement. As such, GRT has no requirements in association with the OPA/ZBA or future site plan application.

Region of Waterloo International Airport

The property is located within the Airport Zoning Regulations with an allowable height of 356.5 metres above sea level (ASL). The ground elevation varies across the property, though elevations appear to be as high as 330 metres ASL, resulting in only 26.5 metres in height available in certain locations. While Regional staff generally have no concerns with future low-rise development and compatibility with airport operations on these lands, please note that all development, including any permanent or temporary structures, must comply with the Airport Zoning Regulations. If cranes are to be used for construction, the developer must submit a Land Use application to Nav Canada and obtain a letter of no objections to the satisfaction of the Region.

Housing Services

The Region of Waterloo is the Service System Manager for housing locally and is therefore required by legislation to create a plan to address affordable housing and homelessness every 10 years for the geography it covers. The plan must outline current housing needs, develop objectives and targets related to meeting housing needs, and commit to actions to meet these targets. To fulfill this role, the Region establishes, administers, and funds housing and homelessness programs and services, and operates housing directly. Specifically:

- The 10-Year Housing and Homelessness Plan for Waterloo Region contains an affordable housing target which is that 30 percent of all new residential development between 2019 and 2041 in Waterloo Region be affordable to low- and moderate-income households.
- The Building Better Futures Framework shows how the Region plans to create 2,500 units of housing affordable to people with low to moderate incomes by 2025.

The Region supports the provision of affordable housing. Should this development application move forward and all necessary applications be approved, staff recommend that the applicant consider providing additional affordable housing units on the site, as defined in the Provincial Planning Statement 2024 (PPS 2024). Rent levels and house prices that are considered affordable according to the PPS 2024 are provided below in the section on affordability. These are the levels and prices for which developments will be eligible for Regional Development Charge exemptions.

For affordable housing to fulfill its purpose of being affordable to those who require rents or purchase prices lower than the regular market provides, a mechanism should be in place to ensure the units remain affordable and establish income levels of the households who can rent or own the homes. Staff further recommend meeting with Housing Services to discuss the proposal in more detail and to explore opportunities for partnerships or programs and mechanisms to support a defined level of affordability.

According to the PPS 2024, an affordable housing price is the lesser of the following values:

- A price 10 percent below the average purchase price of a resale market unit; or
- A price for which payments would not exceed 30 percent of gross annual household income at the 60th percentile.

For an ownership unit of any dwelling type (i.e. single, semi, towns, apartment) to be deemed affordable, the proposed house price in the City of Kitchener must be at or below is \$370,100 (Provincial Bulletin, June 2024).

According to the PPS 2024, affordable rent is the lesser of the following values:

- Average market rent provided annually by the Canada Mortgage and Housing Corporation; or
- Rent which would not exceed 30% of gross annual renter household income at the 60th percentile.

For a rental unit to be deemed affordable, the rent for the proposed units in the City of Kitchener must be at or below Source: Provincial Bulletin, June 2024):

- Studio \$1,117
- One Bedroom: \$1,322
- Two Bedroom: \$1,594
- Three+ Bedroom: \$1,779

Please do not hesitate to contact Housing Services staff directly at JMaanMiedema@regionofwaterloo.ca or 226-753-9593 should you have any questions or wish to discuss in more detail.

Environmental Threats & Site Contamination (Advisory)

Note that the Region's Threat Inventory Database identifies no environmental threats on or adjacent to the subject lands.

Fees

The Region acknowledges receipt of fees in accordance with the requirements of Regional Fees and Charges By-law 24-052. Regional staff have been in contact with the applicant about the amount and the correct amount (\$3,000) is to be coordinated and provided to the Region. Once received, no additional fees are required beyond the noise study review fee of \$500 as described above).

Conclusions & Next Steps

The Region has no objection to the City of Kitchener's approval of this OPA/ZBA application, provided a holding provision is applied to the subject lands requiring an update to the environmental noise study for these lands to account for updated traffic volumes and the proposed sensitive uses.

Please be advised that any future development on the lands subject to the above-noted application will be subject to the provisions of Regional Development Charge By-law 19-037 or any successor thereof.

Please accept this letter as our request for a copy of the decision pertaining to this application. Should you have any questions, do not hesitate to contact the undersigned.

Yours truly,

A handwritten signature in black ink, appearing to read "Will Towns". The signature is fluid and cursive, with a long horizontal stroke at the end.

Will Towns, MCIP, RPP
Senior Planner

cc. Brandon Flewwelling, GSP Group (Agent)

From: Katie Wood
Sent: Friday, April 25, 2025 9:49 AM
To: Brian Bateman
Subject: Fw: Circulation for Comment - Lackner Boulevard & Keewatin Avenue (OPA/ZBA)
Attachments: [department agency letter-Sandra Springs.pdf](#)

Hello Brian,

I have looked at the zone change application, and Engineering does not have any concerns. With the changes from Mixed Use to Res-5, it is recommended that the applicant confirm the services that are provided are sufficient based on their new plans.

Sincerely,

Katie Wood, C.E.T.

Project Manager | Development Engineering | Engineering Division | City of Kitchener
519-783-8902 | TTY 1-866-969-9994 | katie.wood@kitchener.ca



From: Subdivisions (SM) <Subdivisions@kitchener.ca>
Sent: Friday, April 11, 2025 2:32 PM
To: Katie Wood <Katie.Wood@kitchener.ca>
Subject: FW: Circulation for Comment - Lackner Boulevard & Keewatin Avenue (OPA/ZBA)

Hello Katie,

Looks like you are next as per the circulation list. Will you be able to take this?

Thanks,

Nadiya Mahida

Program Assistant, Development Engineering | Engineering Division | City of Kitchener
519-707-0774 | TTY 1-866-969-9994 | nadiya.mahida@kitchener.ca



From: Christine Kompter <Christine.Kompter@kitchener.ca>
Sent: Friday, April 11, 2025 2:04 PM
To: _DL_Team_DSD-Planning <TeamDSD-Planning@kitchener.ca>; Bell <circulations@bell.ca>; Darren Kropf <Darren.Kropf@kitchener.ca>; Dave Seller <Dave.Seller@kitchener.ca>; David Paetz <David.Paetz@kitchener.ca>; Enbridge - Lewis Oatway <lewis.oatway@enbridge.com>; Subdivisions (SM) <Subdivisions@kitchener.ca>; Enova Power Corp. - Greig Cameron <greig.cameron@enovapower.com>; Enova Power Corp. - Shaun Wang <shaun.wang@enovapower.com>; Fire Prevention (SM) <FirePrevention@kitchener.ca>; French

Catholic School Board <planification@cscmonavenir.ca>; Grand River Hospital - Sylvia Rodas <Sylvia.Rodas@grhosp.on.ca>; GRCA - Planning (planning@grandriver.ca) <planning@grandriver.ca>; Landuse Planning <landuseplanning@hydroone.com>; Justin Readman <Justin.Readman@kitchener.ca>; Katherine Hughes <Katherine.Hughes@kitchener.ca>; Mike Seiling <Mike.Seiling@kitchener.ca>; NavCAN <commercialrelations@navcanada.ca>; Ontario Power Generation <Executivevp.lawanddevelopment@opg.com>; Park Planning (SM) <Park.Planning@kitchener.ca>; Planning Applications <planningapplications@regionofwaterloo.ca>; Region of Waterloo International Airport <pdairportconstruction@regionofwaterloo.ca>; Property Data Administrator (SM) <PropDataAdmin@kitchener.ca>; Rogers <swogr-permits@rci.rogers.com>; Stefan Hajgato <Stefan.Hajgato@kitchener.ca>; Sylvie Eastman <Sylvie.Eastman@kitchener.ca>; UW-WUSA (Feds) (pres@wusa.ca) <pres@wusa.ca>; Viamonde School Board - Daniel Stojc <stojcd@csvgiamonde.ca>; WCDSB - Planning <planning@wcdsb.ca>; WRDSB - Planning <planning@wrdsb.ca>
Cc: Brian Bateman <Brian.Bateman@kitchener.ca>
Subject: Circulation for Comment - Lackner Boulevard & Keewatin Avenue (OPA/ZBA)

Please see attached. Additional documentation can be found in AMANDA folders 25 108887 & 25 108889 (City staff) and [ShareFile](#) (external agencies). Comments or questions should be directed to **Brian Bateman**, Senior Planner (brian@kitchener.ca; 519-783-8905).

Christine Kompter

Administrative Assistant | Development Services Department - Planning | City of Kitchener
200 King Street West, 6th Floor | P.O. Box 1118 | Kitchener ON N2G 4G7
519-783-8147 | TTY 1-866-969-9994 | christine.kompter@kitchener.ca



City of Kitchener OPA/ZBA comments

Application type: Official Plan Amendment OPA25/004/L/BB
Zoning By-law Amendment ZBA25/009/L/BB

Comments of: Transportation

Commenter's name: Dave Seller

Email: Dave.Seller@kitchener.ca

Phone: (519) 783-8152

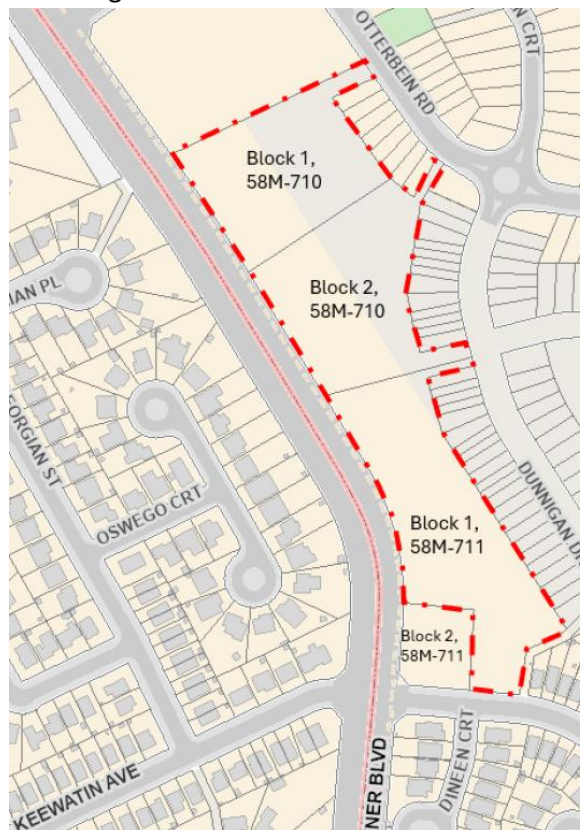
Date of comments: April 16, 2025

Comments due: April 30, 2025

Project address: Lackner Boulevard & Keewatin Avenue

Development proposal

A technical amendment has been requested to change the 'Mixed Use' land use designation affecting Block 1, 58M711 to 'Low Rise Residential' (shown below) and to rezone it from 'MIX-1' to 'RES-5' in Zoning By-law 2019-051. The purpose of the technical change is to return the low rise residential permissions for Block 1 received through Zoning By-law Amendment application ZBA07/23/L/BB under Zoning By-law 85-1 that were approved by Council in 2017. No other changes are proposed. The subject lands are regulated by Subdivision Agreement WR1091435.



Conclusion

Transportation Services have no concerns with the proposed amendment to return Block 1, 58M711 to low rise residential that was received through Zoning By-law Amendment application ZBA07/23/L/BB under Zoning By-law 85-1 that were approved by Council in 2017.

From: Angela Wang <awang@grandriver.ca>
Sent: Monday, April 14, 2025 9:03 AM
To: Brian Bateman
Subject: RE: Circulation for Comment - Lackner Boulevard & Keewatin Avenue (OPA/ZBA)

Hi Brian,

Please be advised that the subject property is not regulated by the GRCA under Ontario Regulation 41/24. As such, we will not be providing comments on these applications.

Kind regards,

Angela Wang
Resource Planner
Grand River Conservation Authority

400 Clyde Rd
Cambridge, ON N1R 5W6
Office: 519-621-2763 ext. 2270
Email: awang@grandriver.ca
www.grandriver.ca | [Connect with us on social media](#)

From: Christine Kompter <Christine.Kompter@kitchener.ca>
Sent: Friday, April 11, 2025 2:04 PM
To: _DL_Team_DSD-Planning <TeamDSD-Planning@kitchener.ca>; Bell <circulations@bell.ca>; Darren Kropf <Darren.Kropf@kitchener.ca>; Dave Seller <Dave.Seller@kitchener.ca>; David Paetz <David.Paetz@kitchener.ca>; Enbridge - Lewis Oatway <lewis.oatway@enbridge.com>; Subdivisions (SM) <Subdivisions@kitchener.ca>; Enova Power Corp. - Greig Cameron <greig.cameron@enovapower.com>; Enova Power Corp. - Shaun Wang <shaun.wang@enovapower.com>; Fire Prevention (SM) <FirePrevention@kitchener.ca>; French Catholic School Board <planification@cscmonavenir.ca>; Grand River Hospital - Sylvia Rodas <Sylvia.Rodas@grhosp.on.ca>; Planning <planning@grandriver.ca>; Landuse Planning <landuseplanning@hydroone.com>; Justin Readman <Justin.Readman@kitchener.ca>; Katherine Hughes <Katherine.Hughes@kitchener.ca>; Mike Seiling <Mike.Seiling@kitchener.ca>; NavCAN <commercialrelations@navcanada.ca>; Ontario Power Generation <Executivevp.lawanddevelopment@opg.com>; Park Planning (SM) <Park.Planning@kitchener.ca>; Planning Applications <planningapplications@regionofwaterloo.ca>; Region of Waterloo International Airport <pdairportconstruction@regionofwaterloo.ca>; Property Data Administrator (SM) <PropDataAdmin@kitchener.ca>; Rogers <swogr-permits@rci.rogers.com>; Stefan Hajgato <Stefan.Hajgato@kitchener.ca>; Sylvie Eastman <Sylvie.Eastman@kitchener.ca>; UW-WUSA (Feds) <pres@wusa.ca> <pres@wusa.ca>; Viamonde School Board - Daniel Stojc <stojcd@csviamonde.ca>; WCDSB - Planning <planning@wcdsb.ca>; WRDSB - Planning <planning@wrdsb.ca>
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Christine Kompter

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519-783-8147 | TTY 1-866-969-9994 | christine.kompter@kitchener.ca



From: Carrie Musselman
Sent: Friday, April 11, 2025 4:03 PM
To: Brian Bateman
Subject: Re: Circulation for Comment - Lackner Boulevard & Keewatin Avenue (OPA/ZBA)

Hello Brian,

Environmental planning has no comments and/or concerns with the proposed OPA/ZBA.

Warmest regards,
Carrie Musselman, BSc., Dip., MCIP, RPP

From: Christine Kompter <Christine.Kompter@kitchener.ca>
Sent: Friday, April 11, 2025 2:04 PM
To: _DL_Team_DSD-Planning <TeamDSD-Planning@kitchener.ca>; Bell <circulations@bell.ca>; Darren Kropf <Darren.Kropf@kitchener.ca>; Dave Seller <Dave.Seller@kitchener.ca>; David Paetz <David.Paetz@kitchener.ca>; Enbridge - Lewis Oatway <lewis.oatway@enbridge.com>; Subdivisions (SM) <Subdivisions@kitchener.ca>; Enova Power Corp. - Greig Cameron <greig.cameron@enovapower.com>; Enova Power Corp. - Shaun Wang <shaun.wang@enovapower.com>; Fire Prevention (SM) <FirePrevention@kitchener.ca>; French Catholic School Board <planification@cscmonavenir.ca>; Grand River Hospital - Sylvia Rodas <Sylvia.Rodas@grhosp.on.ca>; GRCA - Planning (<planning@grandriver.ca> <planning@grandriver.ca>; Landuse Planning <landuseplanning@hydroone.com>; Justin Readman <Justin.Readman@kitchener.ca>; Katherine Hughes <Katherine.Hughes@kitchener.ca>; Mike Seiling <Mike.Seiling@kitchener.ca>; NavCAN <commercialrelations@navcanada.ca>; Ontario Power Generation <Executivevp.lawanddevelopment@opg.com>; Park Planning (SM) <Park.Planning@kitchener.ca>; Planning Applications <planningapplications@regionofwaterloo.ca>; Region of Waterloo International Airport <pdairportconstruction@regionofwaterloo.ca>; Property Data Administrator (SM) <PropDataAdmin@kitchener.ca>; Rogers <swogr-permits@rci.rogers.com>; Stefan Hajgato <Stefan.Hajgato@kitchener.ca>; Sylvie Eastman <Sylvie.Eastman@kitchener.ca>; UW-WUSA (Feds) (<pres@wusa.ca> <pres@wusa.ca>; Viamonde School Board - Daniel Stojc <stojcd@csviamonde.ca>; WCDSB - Planning <planning@wcdsb.ca>; WRDSB - Planning <planning@wrdsb.ca>
Cc: Brian Bateman <Brian.Bateman@kitchener.ca>
Subject: Circulation for Comment - Lackner Boulevard & Keewatin Avenue (OPA/ZBA)

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