



PLANNING  
URBAN DESIGN  
& LANDSCAPE  
ARCHITECTURE

October 21 2025

Deeksha Choudhry  
City of Kitchener  
200 King Street West, 6<sup>th</sup> Floor  
P.O. Box 1118  
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Dear Ms. Choudhry:

RE: Updated Heritage Impact Assessment (HIA) and Notice of Intention to Demolish under Part IV Section 27 (9) of the *Ontario Heritage Act*, 63 Courtland Avenue East, Kitchener  
OUR FILE: 2144D

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Please see attached a copy of our updated Heritage Impact Assessment for the subject property at 63 Courtland Avenue East. The report includes the required components as per the Terms of Reference. Please also see attached a copy of our response matrix which addresses comments received on the previous report from both City staff as well as members of the Kitchener Heritage Advisory Committee.

Please consider this letter notice in writing of the property owner's Notice under Part IV, Section 27 (9) of the *Ontario Heritage Act* of their intent to demolish a building or structure on a listed property at 63 Courtland Avenue East.

*Restriction on demolition, etc.*

*(9) If a property that has not been designated under this Part has been included in the register under subsection (3), the owner of the property shall not demolish or remove a building or structure on the property or permit the demolition or removal of the building or structure unless the owner gives the **council of the municipality at least 60 days notice in writing of the owner's intention to demolish or remove the building or structure or to permit the demolition or removal of the building or structure.** 2019, c. 9, Sched. 11, s. 6.*

Our intent is to bring the report forward to the next available Heritage Advisory Committee meeting to make recommendation to Council on the proposed demolition of buildings located on the subject property. We would like the opportunity to speak to you prior to this meeting to obtain your feedback and determine next steps.

Thank you for continuing to work with us on this project.

Yours truly,

A handwritten signature in cursive script, appearing to read "Vanessa Hicks".

MHBC

Vanessa Hicks, MA, CAHP  
Associate

*cc. Dan Currie, MHBC*  
*cc. Andrea Sinclair, MHBC*  
*cc. Stewart Fraser, Cantiro*  
*cc. Cecilia Silva, Cantiro*

**63 Courtland Avenue East**

City of Kitchener Staff Comment Response Matrix

Received via email April 15 2025

<b>No.</b>	<b>Page/Section</b>	<b>Comment</b>	<b>Response</b>
1	28/3.3	The 1925 Fire Insurance Plans shows Building 1 and Building 2, and mentions that it was during this approximate time that the Schneider factory was being re-located and Silverwood Dairy was moving in. Is there a date of construction for Building 2? Staff are trying to get clarity in the HIA around whether that building would have been built by Schneider, or was it built by Silverwood Dairy.	The HIA specifies that the main portion of Building 2 fronting Courtland Avenue East was constructed at some point between 1917 and 1925. Schneider had constructed a new plant by 1924, and had re-located between 1924 and 1925. Building 2 was likely constructed under the ownership of Schneiders, and was used as an accessory building, mainly for storage of coal, transportation equipment, and other accessory related purposes. The building was therefore used for a short period of time by Schneiders for accessory uses.
2	32/3.3	Similarly, is there a date of construction for Building 3?	The report specifies that Building 3 is a single storey concrete block garage/accessory building constructed between 1930 and 1947.
3	46/5.2.1	Even though Building 2 has no distinct architectural style, because of its function and utilitarian design, I think it would fair to assume it was built in the vernacular Industrial architectural style.	We agree that building 2 was used as an accessory structure for industrial purposes. Building 2 was constructed with local materials and construction methods (i.e. vernacular) and is not representative of any recognized architectural style. The building has a utilitarian design and function, and is by default, vernacular given that it has no recognizable or identifiable design features. The HIA provides further information which demonstrates why this building does not meet criteria related to design/physical value.
4	47/5.2.1	The HIA does not assess Building 3. Please include some commentary confirming whether Building 3 has cultural heritage value or not.	Building 3 was constructed as a utilitarian single storey garage with cinderblocks and has no design/physical value, historical/associative value or

			contextual value. The report has been updated to specify that this building is not of Cultural Heritage Value or Interest.
5	47/5.2.2	With the additional information that has been provided regarding Silverwood Dairy factory that operated on the subject property, does that change the assessment for historical value? Also, does it change the conclusions for cultural heritage value specifically for Building 2?	<p>We have reviewed all information available regarding the Silverwood Dairy, including information provided by members of the Heritage Advisory Committee. The site is not <i>significant</i> for any other uses of the property aside from those related to former Schneider operations. The subject property was utilized for several other businesses between approximately 1925 and present. Including, but not limited to, the Canadian Amplifiers Limited Company and the Schipling Case &amp; Bag Co. Following the use of the site by Silverwoods, the site was utilized for various small businesses including (but not limited to) garages and repair businesses, as noted in the updated HIA. No evidence has been brought forward which would confirm that the use of the property as a Dairy is considered important to the community. Instead, it is considered another commercial/retail use similar to the others which have operated on-site since 1925. The subject property was one of several other locations for the Silverwood Dairy (i.e. Hamilton, Chatham, Woodstock, etc.). According to information available on the Waterloo Region Museum website, the business had approximately 30 locations in Southwestern Ontario.</p> <p>The location at 63 Courtland Avenue was not the headquarters of the operation and was not considered significant in comparison of any of the other locations.</p>

			<p>It is important to note that the company also had a location at 1194 Victoria Street North.</p> <p>The Silverwood Dairy business did not have a lasting or important impact on the City. However, the Schneider company became a well-known brand and continues to be in operation, the Silverwood Dairy brand was discontinued. The use of the property by the Silverwood Dairy is a part of its story, but the site has cultural heritage value for its associations with the operations of J. M. Schneider. Therefore, the use of the property as a dairy does not demonstrate significant heritage value. The conclusions of the building related to design/physical value do not change.</p>
6	47/5.2.2	Staff are of the opinion that in addition to this property being associated with John M. Schneider, that the subject property also has direct associations with the theme of economic development in Kitchener in the early 20th century. The commercial and industrial history of this site definitely contributes to it's historical/associative value.	We agree that the property is associated with economic development and specifically the commercial/industrial history of the J.M. Schneider operation and meets criterion 4 of <i>Ontario Regulation 9/06</i> . We believe this is captured through identifying the direct association with the site with J.M. Schneider in terms of a "person" as well as an "organization". Should the City determine that the property is directly associated with the theme of economic development in Kitchener, no additional criteria under <i>Ontario Regulation 9/06</i> would be met.
7	47/5.2.2	Staff are still trying to verify whether Jacob Baetz and Casper Braun were involved in the construction of the original 1909 building, but this property could potentially meet criteria 6 as well.	We have reviewed all available information related to Jacob Baetz and Casper Braun which provides information regarding buildings they constructed. To date, we have not been able to find any primary or secondary source which identifies that either Baetz or

			Braun constructed any buildings located on the subject property.
7	47/5.2.2	Staff are also trying to verify the information that was received with respect to the Silverwood Dairies, and that might also change the assessment of cultural heritage value.	MHBC has conducted further research and reviewed information forwarded from the Heritage Advisory Committee. We are of the opinion that the use of the site by the Silverwood Dairy does not add any additional cultural heritage value or criteria under <i>Ontario Regulation 9/06</i> . We are also of the opinion that regardless of the use of the site by the Silverwood Dairy, Building 2 is not of design/physical value and does not warrant long-term conservation.
8	49/5.3	Staff would also be interested in some commentary as to whether the property as a whole– with the 3 buildings and their relationship to one another – would have any physical value, or cultural heritage value. And if they do, would that impact the assessment? Does building 3 have a relationship with other 2 buildings?	The Heritage Impact Assessment has been updated and includes a detailed assessment of whether or not the property is considered a Cultural Heritage Landscape for any interrelationship between the existing buildings and the history of Schneider’s. The report concludes that the site is not considered a significant Cultural Heritage Landscape.
9	49/5.3	Staff are of the opinion that this property would meet criteria 7 and 8, and has contextual value. The property is located in a residential neighborhood that has majorly remained unchanged since it was developed. Fire insurance plans show a predominantly residential neighborhood as it was being developed.	We have considered additional information and maintain that the subject property does not meet criterion 7 or criterion 8. The use of the neighbourhood includes (but is not limited to) commercial, residential as well as institutional uses. We agree that the built form of the neighbourhood includes single detached residential buildings of the 19 <sup>th</sup> century. However, the neighbourhood has <b>changed over time. This is acknowledged in the City’s Cultural Heritage Landscapes Study (2014) which acknowledges the following for the Cedar Hill area, “The area is one of continual change since the earliest period of Kitchener’s development and contains a continuum of buildings of various sizes and use from</b>

			residential to institutional from the 1850s to the late 20 <sup>th</sup> century.” The updated HIA provides further analysis related to its context, including the information provided by the City as it relates to the Cedar Hill neighbourhood and has determined that the property does not meet criterion 7 or 8.
9	49/5.3	Furthermore, John Schneider started his factory from his home, and this building was a representation of the organic evolution of his business. The property remains historically linked as a former residence of John Schneider.	Criteria for contextual value under <i>Ontario Regulation 9/06</i> are related to the context <i>surrounding</i> the property, rather than with features within the property itself. We agree that the subject property meets criteria 4 given its associations with John Schneider. Our report confirms that the subject property formerly included the original Schneider house and accessory structures which were removed in the early 20 <sup>th</sup> century. Therefore, the site has historical/associative value as for former Schneider operations. The property does not demonstrate contextual value given that a) the former Schneider house since it no longer exists, and b) this criterion relates to the surrounding context and not aspects of the property itself.
10	49/5.3	This property remains unique in terms of it’s design as well. Unlike other industrial factories which were much bigger in size and in height, this building remains consistent in height to surrounding properties. Even after John Schneider moved out and other companies moved in, a change in height and size was never contemplated. In that regard, it definitely contributes and is linked to its surroundings.	We have conducted additional research and have determined that the City of Kitchener includes other industrial/commercial buildings of a similar scale (being less than 3 storeys) which were constructed by the mid. 20 <sup>th</sup> century. This includes (but is not limited to) the following which vary in terms of their condition and integrity: <ul style="list-style-type: none"> <li>• 100 Ahrens Street;</li> <li>• 235 Madison Avenue South;</li> <li>• 189 Joseph Street;</li> <li>• 121-135 Whitney Place;</li> </ul>

			<ul style="list-style-type: none"> <li>• 125 Whitney Place;</li> <li>• 26 Elm Street;</li> <li>• 97 Victoria Street North;</li> <li>• 307 Queen Street South.</li> </ul> <p>We are of the opinion that the property changed over time to include additional floor space for various businesses over time. Given the size and depth of the lot, the expansions took place in the form of new buildings, or additions at grade, being one to two storeys, rather than new buildings in excess of 2 storeys. Some businesses, including Schneider, moved to alternative locations in order to obtain additional space needed to expand their businesses. Therefore, we have considered this information and disagree that the existing building is unique in terms of its scale and massing.</p>
11	59/8.2	As staff have mentioned, staff would like to see more than just the façade retention of the building. In case of development delays or other circumstances, staff would like to see a functional building on site. Has the applicant considered integration of these buildings in full into a development concept? Or perhaps parts of Buildings 1 and 2	The updated proposal retains a viable and functional building which is proposed to be adaptively re-used, repaired, and conserved. Retaining portions of building 2 was contemplated but is not proposed given that it does not demonstrate significant heritage value and long-term conservation is not warranted.
12	59/8.2	The HIA should mention development scenarios for full integration of the building. However, if only a portion of the building will be retained, then the impact analysis will have to be revised to reflect those changes and comment on what the impacts are going to be.	We have updated the alternative development options section of the report. Should additional portions of Building 1 be retained, there would be no substantial benefit to cultural heritage resources given that the current proposal includes retaining and conserving all identified heritage attributes. However, the HIA acknowledges that the proposal includes the removal of 19 <sup>th</sup> century built fabric and mitigation

			recommendations are provided related to documentation to supplement the historic record.
13	66/9.2	Staff will potentially be requiring a Demolition Plan, Temporary Protection Plan.	Noted. We will continue to work with staff and submit these reports at the appropriate time in the future, prior to demolition.
14	66/9.2	Would the applicant be willing to consider submitting a Salvage and Re-use Plan prior to demolition? This is mostly to salvage the brick and other elements from Buildings 1 and 2, and determine whether they could be used in the new development, or donated, etc.	Given that the approach to the proposed development has changed since the Heritage Impact Assessment was initially submitted, the proposal no longer requires a Salvage and Re-use Plan related to a phased approach. MHBC will work with staff to submit the required supplementary information prior to demolition.
<b>Forwarded comments from Heritage Advisory Committee</b>			
1	n/a	"Comments Received from Heritage Kitchener – April 1 2025 Meeting"	<p>We are in receipt of the notes of comments prepared by City staff from the April 1 Heritage Kitchener Meeting. We have addressed these comments and provided additional information in the updated Heritage Impact Assessment which includes (but is not limited to) the following:</p> <ul style="list-style-type: none"> <li>• Options related to salvage will be addressed in a future salvage plan;</li> <li>• Additional information related to the City's Cultural Heritage landscape (i.e. Cedar Hill);</li> <li>• Information and analysis regarding architectural style (i.e. Romanesque vs. Rundbogenstil);</li> <li>• Information regarding potential connections to Baetz and Braun;</li> </ul>

			<ul style="list-style-type: none"> <li>• Evaluation of the property holistically, as a potential Cultural Heritage Landscape;</li> <li>• Further evaluation of uses by the Silverwood Dairy.</li> </ul>
2	n/a	Notes forwarded by Magdalena Milosz	<ul style="list-style-type: none"> <li>• We have reviewed the notes forwarded by City staff from Ms. Milosz and the HIA has been updated with further information related to the Cedar Hill CHL, <i>Ontario Regulation 9/06</i>, architectural style (Romanesque vs. Rundbogenstil), potential builders Baetz and Braun, and a holistic review of the site as a potential CHL.</li> </ul>

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## Project Personnel

Dan Currie, MA, MCIP,  
RPP, CAHP

*Managing Director of  
Cultural Heritage*

Senior Review

Vanessa Hicks, MA, CAHP

*Senior Heritage Planner*

Research, Author

## Property Owner

Cantiro Homes  
c/o Stewart Fraser  
17511 108 Avenue NW  
Edmonton AB T5S 1G2

## Acknowledgement of First Nations Territory, Traditions, and Cultural Heritage

This Heritage Impact Assessment acknowledges that the subject property located at 63 Courtland Avenue East, Kitchener is situated on land which is associated with the Haudenosaunee and Mississaugas of the Credit First Nation. These lands are acknowledged as part of the following treaty:

- The Simcoe Patent (Treaty 4) 1793; and
- Haldimand Treaty.

## Executive Summary

MHBC was retained to undertake a Heritage Impact Assessment (HIA) for the property located **at 63 Courtland Avenue East, Kitchener hereinafter noted as the “subject property”**. This HIA is required given that the subject property is listed (non-designated) on the City of Kitchener’s *Municipal Heritage Register* under Section 27 of the *Ontario Heritage Act*. The purpose of this Heritage Impact Assessment is to determine whether or not the proposed development will result in adverse impacts to cultural heritage resources located on-site and adjacent. The subject property currently includes three buildings (identified in this report as Buildings 1, 2, and 3) as well as surface parking. While some building fabric located on-site demonstrates Cultural Heritage Value or Interest (CHVI), others do not. This Heritage Impact Assessment concludes that the subject property meets 2 criteria under *Ontario Regulation 9/06*. A Statement of Significance and list of heritage attributes is provided in Section 5.4 of this report.

The proposed development will retain and conserve all identified heritage attributes. The portion of Building 1 fronting Courtland Avenue East which has design/physical value and is directly associated with the former J.M. Schneider factory will be conserved. The remaining buildings which do not have cultural heritage value are proposed for removal. The proposal includes the construction of 6 townhouse blocks, having a combined total of 67 units. A further 14 units are proposed to be provided within the adaptively re-used heritage building.

### Summary of Impact Analysis:

The proposal includes retaining portions of Building 1 as a stand-alone building which will be sympathetically altered and appropriately conserved for multi-residential use. Structural reports have confirmed that portions of Building 1 can be retained while the remaining portions of the building are safely removed. The removal of Building 2 and Building 3 will include the removal of 19<sup>th</sup> century built fabric. However, these buildings do not demonstrate heritage value and are not worthy of long-term conservation. The proposed development concept to include low density residential units in the form of 3 storey townhouses will not result in adverse impacts to cultural heritage resources located on-site or adjacent, including the identified character and features of the Cedar Hill neighbourhood. The proposed alterations to the heritage building as well as townhouses are sensitive to and differentiated from the heritage building being conserved. No adverse impacts have been identified with the exception of the potential for vibrations as a result of construction activities which can be avoided.

### Summary of Mitigation Recommendations:

- Submission of a Conservation Plan which details how the building will be appropriately conserved over the short, medium, and long-term. The Conservation Plan will include information related to any structural systems needed to ensure the building is stabilized during construction activities;
- Submission of a Documentation and Salvage report which documents the existing buildings with photographs and identifies any materials which could be salvaged for a range of uses;
- Submission of a Commemoration and Interpretation strategy which outlines the strategy for the interpretation of the history of the site.

# 1.0 Description of Subject Property

## 1.1 Location

The subject property can be described as a 1.57 acre irregular-shaped lot located at the south side of Courtland Avenue East between Peter Street and Benton Street. The property includes three buildings as well as surface parking. These buildings are described in this report as Building 1, Building 2, and Building 3 (see Figure 1). Access to the site is provided at Courtland Avenue East as well as Martin Street.



Figure 1: Aerial photo noting the location of the subject property at 63 Courtland Avenue East, outlined in red. (Source: Kitchener Interactive Map, accessed 2024)

## 1.2 Heritage Status

The property located at 63 Courtland Avenue East is currently listed (non-designated) on the City of Kitchener’s *Municipal Heritage Register* (see Figure 2). The subject property is not located adjacent, or within the context of, any other listed or designated properties included on the Register.

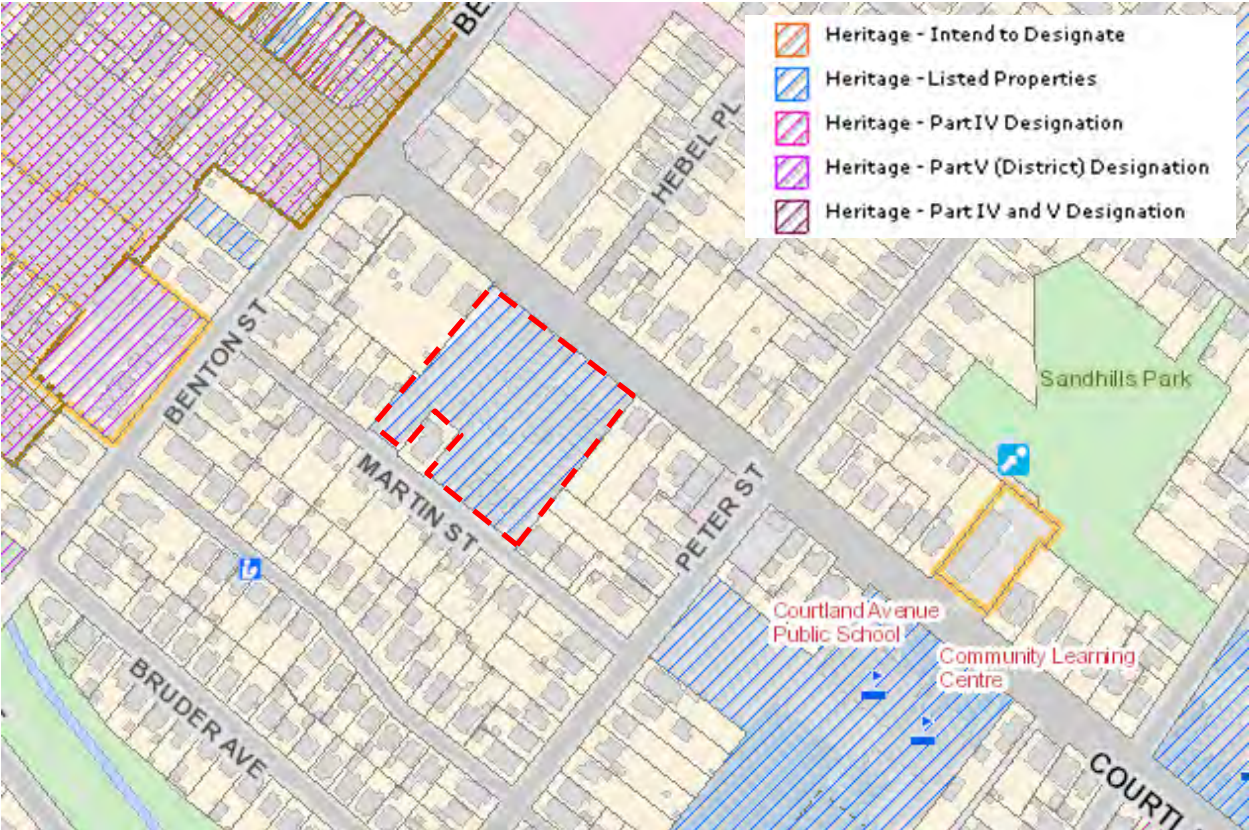


Figure 2: Excerpt of the City of Kitchener Interactive Map (Heritage Layer) noting the property at 63 Courtland Avenue East as “listed”. Approximate boundary of the subject property outlined in red. (Source: City of Kitchener Interactive Map, accessed 2024).

This HIA acknowledges that the **subject property is located within the “Cedar Hill Neighbourhood” which was identified as a Cultural Heritage Landscape in the City of Kitchener Cultural Heritage Landscape Study (2014)**. A copy of the study data sheet is provided in Appendix E. Cedar Hill has not been formally protected under the *Ontario Heritage Act* and is not considered protected heritage property under the definition of *PPS 2024*. However, the City of Kitchener Official Plan includes policies related to change management for this area, which are provided in Section 2.4 of this report.



Figure 3: Map of the Cedar Hill CHL noting the approximate location of the subject property (Source: City of Kitchener, 2014).

The CHL study acknowledges that this neighbourhood has changed over time. The data sheet states that, “The area is one of continual change since the earliest period of Kitchener’s development and contains a continuum of buildings of various sizes and use from residential to institutional constructed from the 1850s to the late 20<sup>th</sup> Century.”

The CHL study document provides a description of the area, which includes the following:

- Variety of dwellings constructed in styles including Italianate, Georgian, and Queen Anne;
- Setbacks close to the street edge;
- Larger lots with larger homes severed, resulting in infill with later housing types;
- Institutional uses (churches and schools);
- Wide visual variety, which is strong enough to permit the presence of massive mid-century apartment blocks without undue visual deterioration;
- Topography and steep slopes;

- Terraced buildings as a result of topography and retaining walls and stairs;
- Narrow streets with small or no boulevards, with trees located in yards;
- Dramatic, long views along streets;
- Renovation of earlier buildings in a manner which is not the same as the more visually cohesive subdivisions of the earlier 20<sup>th</sup> century; and
- Range of structures which co-exist with reasonable compatibility.

**The CHL study identifies the area's** character defining features as follows:

- Elevation of the land;
- Variety of street widths and housing types;
- Range of dates of construction;
- Mingling of early and late housing;
- High-rise structures; and
- Institutional buildings which create a varied yet integrated community unique to the City.

It is important to note that the CHL study does not identify any industrial or commercial **uses as part of the area's identified character or heritage attributes. Further, no** features of the subject property are identified as character defining features.

# 2.0 Policy Context

## 2.1 The Planning Act and PPS 2024

The *Planning Act* makes a number of provisions regarding cultural heritage, either directly in Section 2 of the Act or Section 3 respecting policy statements and provincial plans. In Section 2, the *Planning Act* outlines 18 spheres of provincial interest that must be considered by appropriate authorities in the planning process. One of the intentions of *The Planning Act* is to “encourage the co-operation and co-ordination among the various interests”. Regarding cultural heritage, Subsection 2(d) of the Act provides that:

*The Minister, the council of a municipality, a local board, a planning board and the Municipal Board, in carrying out their responsibilities under this Act, shall have regard to, among other matters, matters of provincial interest such as...*

*(d) the conservation of features of significant architectural, cultural, historical, archaeological or scientific interest;*

The *Planning Act* therefore provides for the overall broad consideration of cultural heritage resources through the land use planning process.

In support of the provincial interest identified in Subsection 2 (d) of the *Planning Act*, and as provided for in Section 3, the Province has refined policy guidance for land use planning and development matters in the *Provincial Planning Statement, 2024* (PPS). The PPS “provides policy direction on matters of provincial interest related to land use planning and development.” When addressing cultural heritage planning, the PPS provides for the following:

*4.6.1 Protected heritage property, which may contain built heritage resources or cultural heritage landscapes, shall be conserved.*

*4.6.3. Planning authorities shall not permit development and site alteration on adjacent lands to protected heritage property unless the heritage attributes of the protected heritage property will be conserved.*

The PPS defines the following terms:

*Protected Heritage Property: means property designated under Part IV or VI of the Ontario Heritage Act; property included in an area designated as a heritage conservation district under Part V of the Ontario Heritage Act; property subject to a heritage conservation easement or covenant under Part II or IV of the Ontario Heritage Act; property identified by a provincial ministry or a prescribed public body as a property having cultural heritage value or interest under the Standards and Guidelines for the Conservation of Provincial Heritage Properties; property protected under federal heritage legislation; and UNESCO World Heritage Sites.*

## 2.2 The Ontario Heritage Act

The *Ontario Heritage Act*, R.S.O., 1990, c.O.18 remains the guiding legislation for the conservation of cultural heritage resources in Ontario. This Heritage Impact Assessment has been guided by the criteria provided with *Regulation 9/06* of the *Ontario Heritage Act*, as Amended in 2022 as per Bill 23 (Schedule 6). *Ontario Regulation 9/06* outlines the mechanism for determining cultural heritage value or interest. Here, a property must meet at least 2 of 9 criteria to be considered for designation under Part IV of the *Ontario Heritage Act*.

## 2.3 Region of Waterloo Official Plan

Chapter 3, Section 3.G of the Regional Official Plan provides policies regarding the conservation of cultural heritage resources which are related to the scope of this Heritage Impact Assessment. This includes the acknowledgement of cultural heritage resources as contributing to a unique sense of place, providing a means of defining and confirming a regional identity. The Regional Official Plan includes policies regarding the requirement of Heritage Impact Assessments and outlines their general requirements.

## 2.4 City of Kitchener Official Plan

Section 12 of the Kitchener Official Plan (2014) provides the following policies regarding the conservation of cultural heritage resources as it relates to the scope of this Heritage Impact Assessment as follows:

### *Objectives*

**12.1.1. To conserve the city's cultural heritage resources through their identification, protection, use and/or management in such a way that their heritage values, attributes and integrity are retained.** 12.1.2. To ensure that all development or redevelopment and site alteration is sensitive to and respects cultural heritage resources and that cultural heritage resources are conserved. 12.1.3. To increase public awareness and appreciation for cultural heritage resources through educational, promotional and incentive programs. 12.1.4. To lead the community by example with the identification, protection, use and/or management of cultural heritage resources owned and/or leased by the City.

### *Policies*

**12.C.1.4. The City acknowledges that not all of the city's cultural heritage resources have been identified as a cultural heritage resource as in Policy 12.C.1.3. Accordingly, a property does not have to be listed or designated to be considered as having cultural heritage value or interest.** 12.C.1.5. Through the processing of applications submitted under the Planning Act, resources of potential cultural heritage value or interest will be identified, evaluated and considered for listing as a non-designated property of cultural heritage value or interest on the Municipal Heritage Register and/or designation under the Ontario Heritage Act.

12.C.1.21. All development, redevelopment and site alteration permitted by the land use designations and other policies of this Plan will conserve **Kitchener's significant cultural heritage resources. The conservation of significant cultural heritage resources will be a requirement and/or condition in the processing and approval of applications submitted under the Planning Act.**

*Heritage Impact Assessments and Heritage Conservation Plans*

*12.C.1.23. The City will require the submission of a Heritage Impact Assessment and/or a Heritage Conservation Plan for development, redevelopment and site alteration that has the potential to impact a cultural heritage resource and is proposed:*

- a) on or adjacent to a protected heritage property;*
- b) on or adjacent to a heritage corridor in accordance with Policies 13.C.4.6 through 13.C.4.18 inclusive;*
- c) on properties listed as non-designated properties of cultural heritage value or interest on the Municipal Heritage Register;*
- d) on properties listed on the Heritage Kitchener Inventory of Historic Buildings; and/or,*
- e) on or adjacent to an identified cultural heritage landscape.*

*12.C.1.25. A Heritage Impact Assessment and Heritage Conservation Plan required by the City must be prepared by a qualified person in accordance **with the minimum requirements as outlined in the City of Kitchener's Terms of Reference for Heritage Impact Assessments and Heritage Conservation Plans.***

*12.C.1.26. The contents of a Heritage Impact Assessment will be outlined in a Terms of Reference. In general, the contents of a Heritage Impact Assessment will include, but not be limited to, the following:*

- a) historical research, site analysis and evaluation;*
- b) identification of the significance and heritage attributes of the cultural heritage resource;*
- c) description of the proposed development or site alteration;*
- d) assessment of development or site alteration impact or potential adverse impacts;*
- e) consideration of alternatives, mitigation and conservation methods;*
- f) implementation and monitoring; and,*

*g) summary statement and conservation recommendations.*

### *Demolition/Damage of Cultural Heritage Resources*

*12.C.1.32. Where a cultural heritage resource is proposed to be demolished, the City may require all or any part of the demolished cultural heritage resource to be given to the City for re-use, archival, display or commemorative purposes, at no cost to the City.*

*12.C.1.33. In the event that demolition, salvage, dismantling, relocation or irrevocable damage to a significant cultural heritage resource is proposed and permitted, the owner/applicant will be required to prepare and submit a thorough archival documentation, to the satisfaction of the City, prior to the issuance of an approval and/or permit.*

*12.C.1.34. Where archival documentation is required to support the demolition, salvage, dismantling, relocation or irrevocable damage to a significant cultural heritage resource, such documentation must be prepared by a qualified person and must include the following:*

- a) architectural measured drawings;*
- b) a land use history; and,*
- c) photographs, maps and other available material about the cultural heritage resource in its surrounding context. Archival documentation may be scoped or waived by the City, as deemed appropriate.*

### *Cedar Hill and Schneider Creek Neighbourhood Cultural Heritage Landscape*

*12.C.1.50 Policies 12.C.1.51 through 12.C.1.53 apply to lands identified as Cedar Hill and Schneider Creek Neighbourhood Cultural Heritage Landscape on Map 9 – Cultural Heritage Resources.*

*12.C.1.51. The Cedar Hill and Schneider Creek Neighbourhood contains several Priority Locations at gateway locations which facilitate views into and out of the neighbourhoods, accentuating the unique topography of Cedar Hill interfacing with existing low density residential uses on local streets. They include:*

- a) The intersection of Charles Street East and Cedar Street looking to the southwest;*
- b) The intersection of Courtland Avenue East and Cedar Street looking to the northeast;*
- c) The intersection of Courtland Avenue East and Madison Avenue North looking to the northeast;*
- d) The intersection of Courtland Avenue East and Peter Street looking to the northeast;*
- e) The intersection of Charles Street East and Eby Street looking to the southwest;*
- f) The intersection of Benton Street at St. George Street looking to the southeast; and,*
- g) The intersection of Benton Street at Church Street looking to the southeast.*

*Corner properties framing the above referenced intersections are identified as being Property of Specific Cultural Heritage Landscape Interest. In these locations, consideration will be giving to transition of built form to protect and enhance views of the hill and the local streetscape features characteristic of this neighbourhood. New development and/or redevelopment should appropriately frame the intersection, especially where a building of cultural heritage interest is located at the corner.*

*12.C.1.52. The view atop Cedar Hill from Cedar Street looking to the southwest is a unique view from the Cedar Hill Schneider Creek Neighbourhood of the City and of the countryside beyond. Properties contained within Cedar Hill viewshed are identified as being Property of Specific Cultural Heritage Landscape Interest. The City will regulate building height, setbacks and built form along Cedar Street and along Courtland Avenue East to protect and enhance this view. The City will also encourage and support enhancements to the public realm in the location atop of Cedar Hill to contribute and enhance the pedestrian experience and enjoyment of the view.*

*12.C.1.53. The principal facades of buildings and park frontages will be encouraged to locate and orient themselves at the termination of a street or view corridor or at a street intersection, in order to support and enhance the significance of the Priority Location or the view or vista.*

# 3.0 Historical Overview

## 3.1 Indigenous Communities History

First Nations history in Southwestern Ontario can be described as having three distinct periods. These being the Paleo-Indian, Archaic, and Woodland periods. The Paleo-Indian period in Waterloo Region was marked by big game hunters following glacial spill-ways as early as 13,000 B.C. By 8,600 B.P., glacial ice had receded to the extent that access to all of Southwestern Ontario was possible. Paleo-Indian groups were scattered at this time, as was their nomadic nature. The Archaic Period saw an increase in the number and variety of settlements which were located near waterways and hunting land. The Woodland Period saw the introduction of horticulture and an increasingly sedentary way of life (Region of Waterloo, 1989).

## 3.2 County of Waterloo, Waterloo Township

The subject lands are located in the former Waterloo Township where Euro-Canadian settlement commenced in the late eighteenth century. In 1784, General Haldimand, then Governor of Quebec, acquired six miles of land on each side of the Grand River from the Six Nations (Bloomfield; 19: 2006). This tract of land was granted to the Six Nations by the British in recognition of their support during the American Revolution. The land was later divided into four blocks; Block 2 later became Waterloo Township.

Brant and the Six Nations drew up a deed for sale of Block 2 in November 1796. The deed was recorded at Newark (Niagara on the Lake) and in February 1798 the title was registered and a Crown Grant was drawn for this block (McLaughlin, 21: 2007). The buyer was Colonel Richard Beasley, a Loyalist from New York, who had arrived in Canada in 1777. Beasley bought the 93,160 acres of land along with his business partners, James Wilson and Jean-Baptiste Rousseaux (Bloomfield, 20: 2006). The land was then surveyed by Richard Cockrell who divided the township into upper and lower blocks (Hayes 3, 1997). At this time, German Mennonite farmers from Pennsylvania were scouting out farmland in the area. Several of them went back to Pennsylvania and returned with their families the following year to buy and settle the land (Hayes, 5: 1997).

In order to raise the £10,000 needed to purchase their prospective land holdings, the Pennsylvanian farmers, led by Sam Bricker and Daniel Erb, established an association to acquire the approximately 60,000 acres, later known as the German Company Tract (GCT). The deed for the land was finally granted to the German Company and its shareholders on 24 July 1805 (Eby, N-3: 1978).

After the arrival of the GCT shareholders, settlement in the GCT slowed. Many immigrants were unable to leave Europe during the Napoleonic War, and the War of 1812 in North America also prevented many settlers from relocating to join their relatives. By 1815 both conflicts had ended, and settlement to the GCT began to increase, with additional Pennsylvania Mennonite settlers, German-based settlers, and later English, Irish and Scottish settlers (Bloomfield, 55: 2006). In 1816 the GCT lands **and Beasley's low**er block were incorporated into Waterloo Township, and in 1853 became part of Waterloo County.

### 3.3 63 Courtland Avenue East

The property at 63 Courtland Avenue East is located on part of Lot 17 of the German Company Tract. The property is legally described as Part of Lot 218 and 324, Part Lot 6-10 Plan 280, Lot 17, German Company Tract.

According to land title abstracts, the property was patented by the Crown to Richard Beasley, James Wilson and St. John B. Rousseau in 1798. The property remained under the ownership of Richard Beasley and until 1805. In 1805, 60,000 acres of Block 2 was sold to Daniel and Jacob Erb. Also in 1805, 448 acres of Part of Lot 17 of Block 2 was sold to Benjamin Hershy.

In 1811, 448 acres were sold to Joseph Schneider. As shown on the 1861 Tremaine map of Waterloo Township, the subject property is included on land owned by Joseph Schneider (1810 – 1880). The only buildings noted on these lands are the house and sawmill of Joseph Schneider. Joseph Schneider was one of the first settlers in the region and developed a sawmill and farm on Schneider Creek, now the location of the Schneider Haus Museum at 466 Queen Street South.

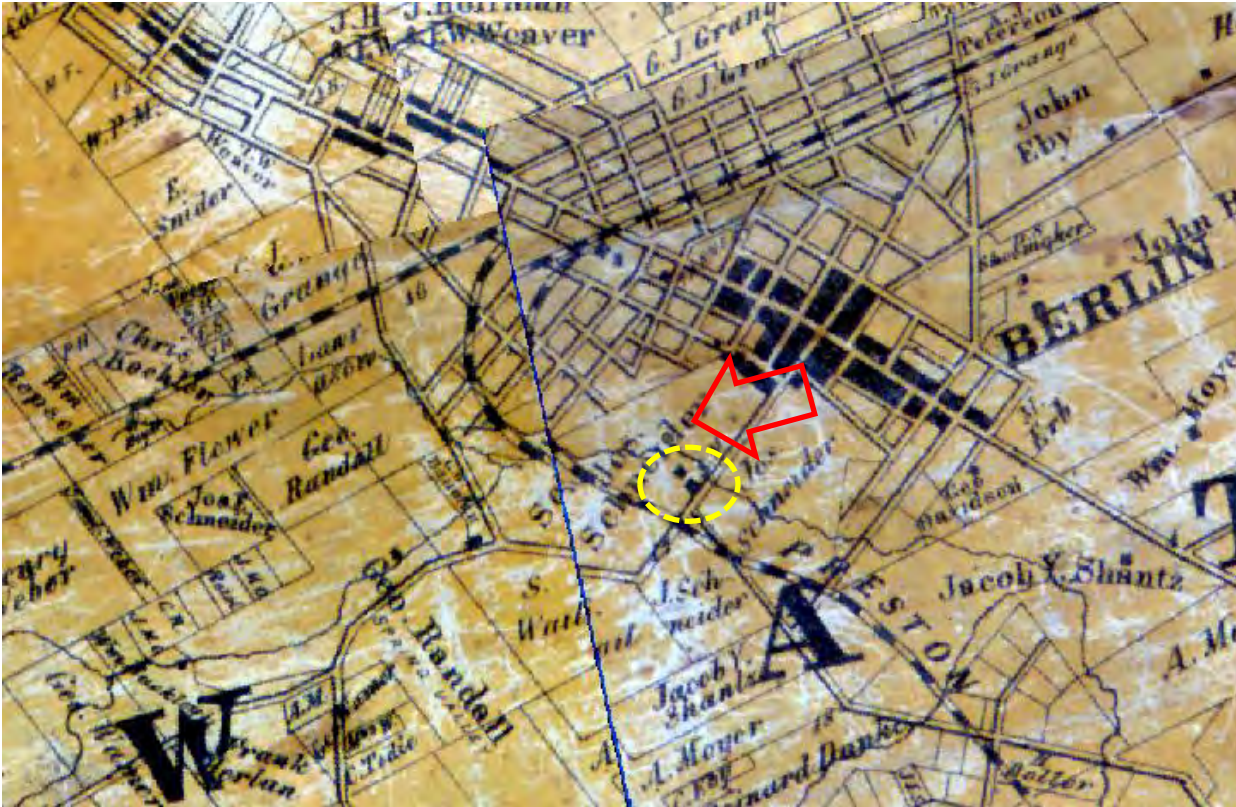


Figure 4: Excerpt of the 1861 Tremaine Map of Waterloo Township noting the approximate location of the subject lands with red arrow. Location of Schneider sawmill outlined in yellow, near Schneider Creek. (Source: Ontario Council of University Libraries, 2024)

According to the 1879 Map of Berlin (Kitchener), Courtland Street, Peter Street, and Martin Street had not yet been constructed and the subject property had not yet been developed.

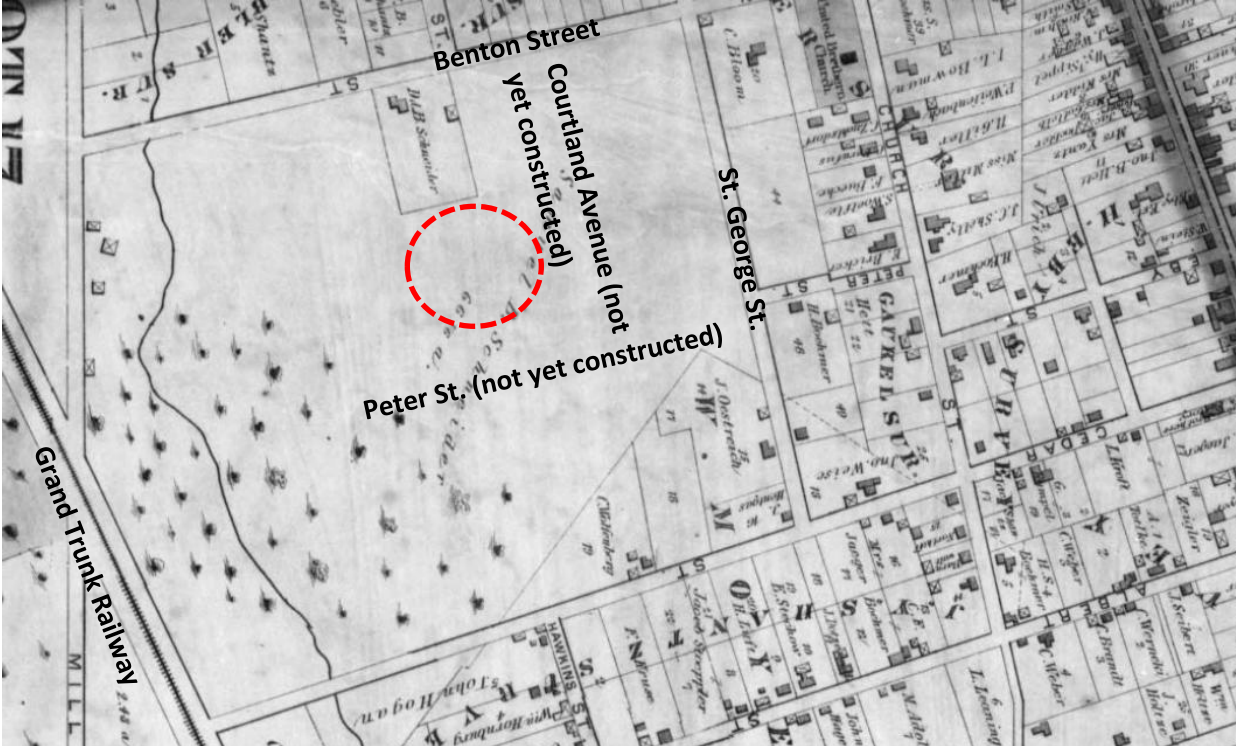


Figure 5: Excerpt of the 1879 Map of Berlin (Kitchener) noting the approximate location of the subject lands in red (note that Courtland Avenue and Peter Street had not yet been constructed). (Source: Kitchener Public Library)

Between 1883 and 1897, the lands that included the subject property changed hands several times. Lot 218 was purchased by John M. Schneider (1859 - 1942) in 1897. At this time, the property included 0.9 acres of land. In 1905, John M. Schneider purchased an additional 0.32 acres from Jacob Wilms.

John Metz Schneider was born in Kitchener in 1859, son of Christopher Schneider and Anna Elizabeth Schneider (nee Metz). He opened a retail meat market in 1888 after learning butchering and meat curing on the Schneider family farm. J. M. Schneider was also involved with local politics and became a member of Council in 1906 (J.M. Schneider Inc., 1990).



Figures 6 & 7: (left) Portrait of J. M. Schneider (no date), (right) Photograph of J.M. and Helena Schneider (no date) (Source: University of Waterloo Archives)

As shown on the 1892 map of Berlin (Kitchener), Courtland Avenue and Peter Street were constructed by this time. A portion of what is now Martin Street is also indicated. The map shows that the house was already constructed when J.M. Schneider bought the property in 1897. The lands directly to the east were vacant (see Figure 8).

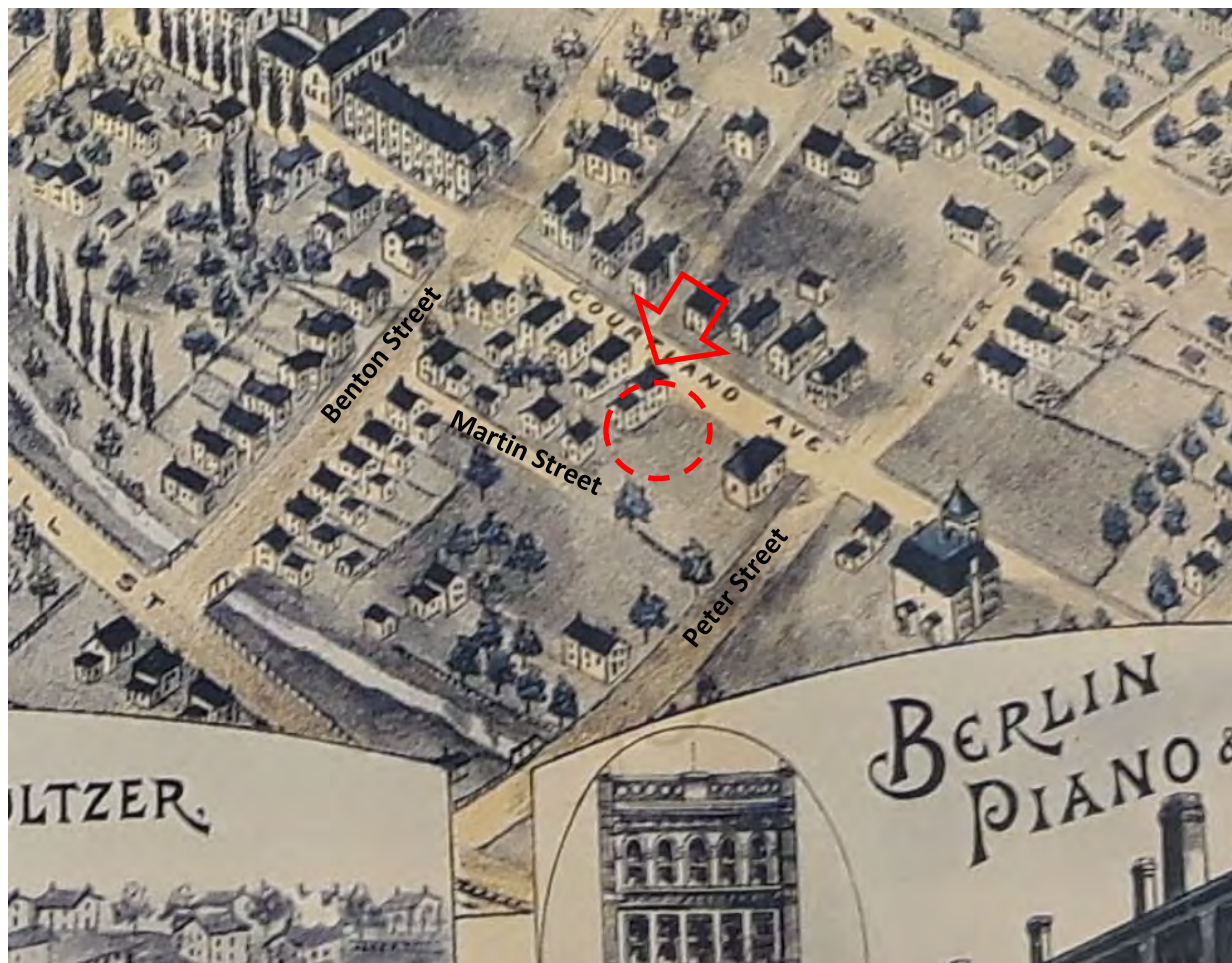


Figure 8: Excerpt of the 1892 Map of Berlin (Kitchener) noting the approximate location of the subject lands outlined in red. Likely location of the original J.M. Schneider home/factory noted with red arrow. (Source: Kitchener Public Library)

According to the 1897 Directory of Berlin (Kitchener), J.M. Schneider is described as a butcher and was located at 23 Courtland Avenue (now 63 Courtland Avenue East) (see Figure 9).

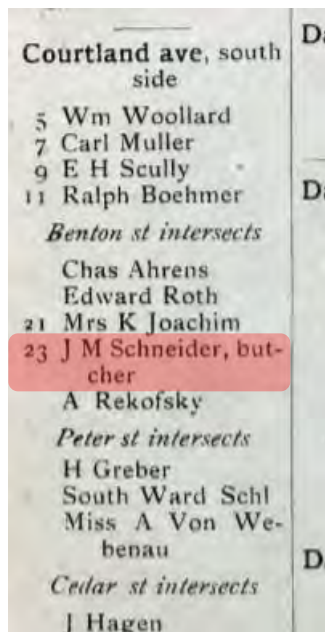


Figure 9: Excerpt of the 1897 Directory of Berlin (Kitchener) noting the location of the J.M. Schneider butcher at 23 Courtland Avenue (now 63 Courtland Avenue East), (Source: Kitchener Public Library)

According to available historic records, the first J.M. Schneider meat processing building was a wood frame addition behind the J.M. Schneider house (see Figure 10).



Figure 10: Photograph of the J.M. Schneider house & addition used for butchering and processing (date unknown) (Source: University of Waterloo Archives)

The earliest available photograph of the J. M. Schneider butcher/meat market is provided below. At this time, the building was a 1 ½ storey vernacular building with an L-shaped plan. The front elevation of the building included a front-end gable with two rectangular chimneys. The front entrance was located adjacent to two window openings with an awning and included a front porch. Two windows are located within the front gable. The building included what is likely an addition at the east side, also fronting the street. This portion of the building did not include any window or door openings and included two additional chimneys above the roofline. This is a-typical for buildings at the time and was likely due to the fact that the building was functional and required additional room for the operations of the business.



Figure 11: **Photograph of the J.M. Schneider house & factory ("Meat Market")** formerly located on the subject property, c. 1900 (Source: Kitchener Public Library)

According to the c. 1909 photograph, the building continued to be expanded and altered. The original J.M. Schneider house/factory remains but was altered to include a gable and window located between two chimneys at the front façade. A single storey brick addition to the house/factory was constructed on the east side of the building (see Figure 12).



Figure 12: **Photograph of the J.M. Schneider house & factory ("Meat Market")** formerly located on the subject property, c. 1909 (Source: J.M. Schneider Inc., 1990)

At this time (c.1909), the single storey brick addition included an arched front entrance with transom window and two large square-shaped windows with awnings at either side. Concrete steps provide access to the elevated front entrance. The building includes decorative brickwork and pilasters. A decorative brick parapet is provided at the front elevation and a portion of the north and south elevation. A person door with stairs is located at the east elevation. Four rectangular-shaped windows are located along the east elevation between brick pilasters. A total of 8 basement windows are located along the east elevation. A brick chimney stack is located behind the building.



Figure 13: **Photograph of the J.M. Schneider factory addition (“Meat Market”) formerly located on the subject property, c. 1909. This portion of the building is identified in this report as Section “A”** (Source: Kitchener Public Library)

In 1912, J. M. Schneider sold lot 218 to J.M. Schneider & Sons Ltd. In 1920, a Plan of Subdivision 218 was registered. In 1921, John M. Schneider sold Lots 6, 7, 8, 9, and 10 (Plan 218) to J. M. Schneider & Sons Ltd.

Between 1909 and 1914, the original J.M. Schneider house/factory building was demolished and a two-storey brick building was constructed. The photograph appears to indicate that this portion of the building may have been constructed in two sections, as shown on the photo below. A second storey to the J.M. Schneider factory at the east side was also constructed (outlined in orange on Figure 14).

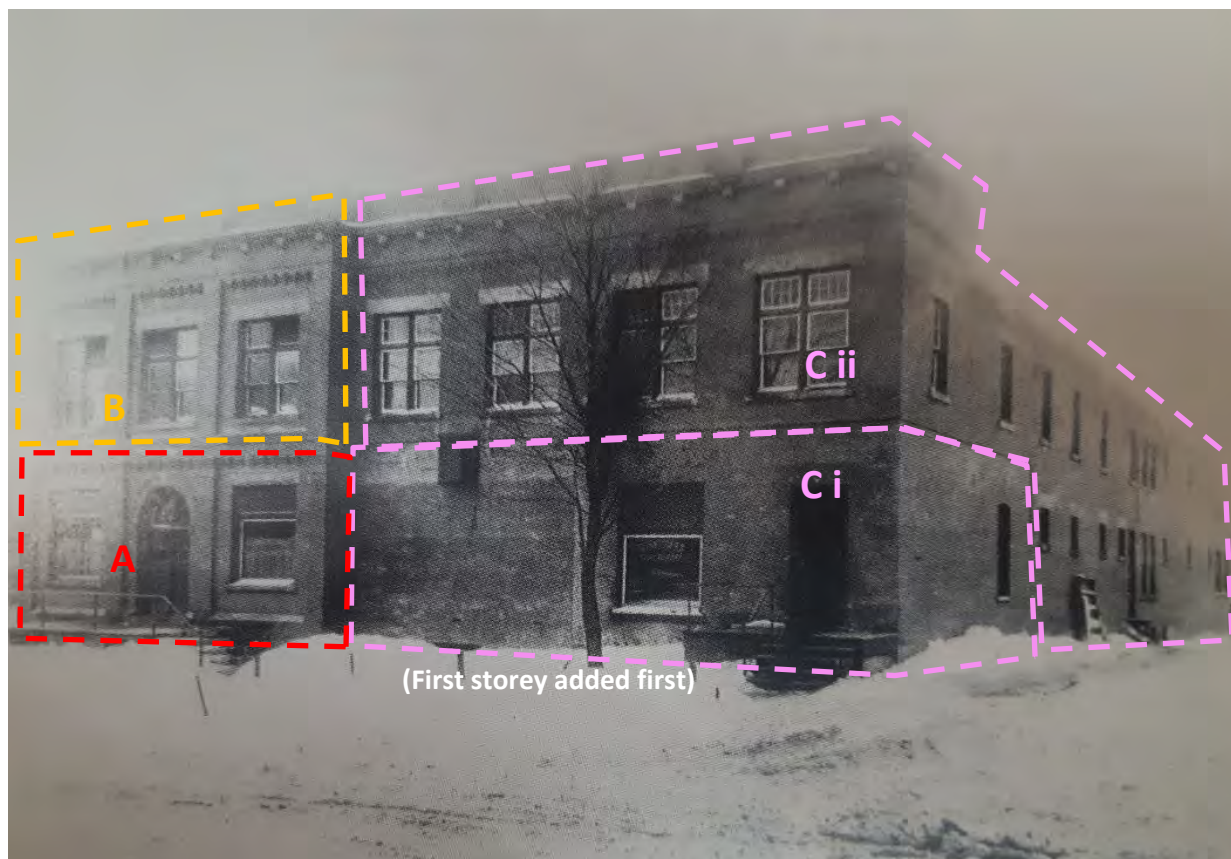


Figure 14: Photograph of the J.M. Schneider factory additions constructed following the removal of the original J.M. Schneider dwelling/factory, n.d. This photograph notes the location of Sections "A", "B", and "C i" and "Cii" (Source: J.M. Schneider Inc., 1990)

A secondary view of the east elevation of the factory is available, taken c. 1914. According to this image, additions were added to the rear of the building. Building 2 had not yet been constructed and smaller accessory buildings located on the property are visible. These have since been removed.

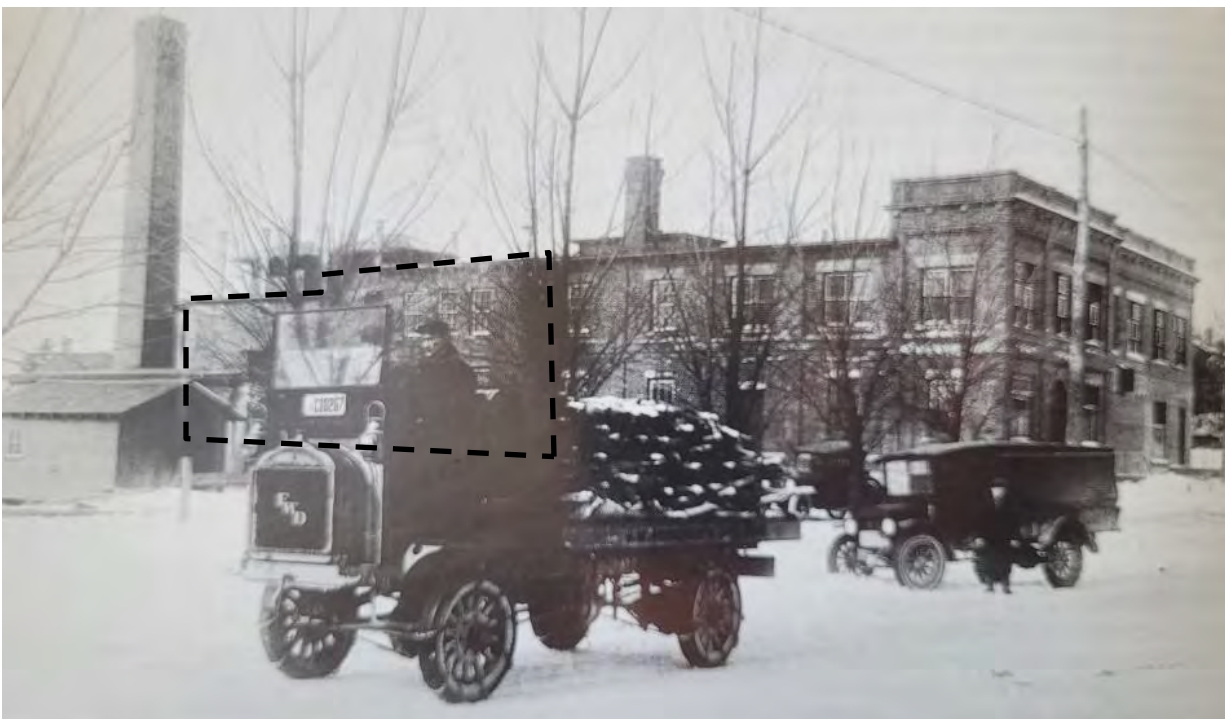


Figure 15: Photograph of the J.M. Schneider factory located on the subject property, c. 1914. Approximate location of additions to the rear of the structure outlined in black. (Source: J.M. Schneider Inc., 1990)

The first available Fire Insurance Plan (1908 rev. 1917) indicates the buildings located on-site at this time. Here, Building 1 includes the original factory addition (described in this report as Section A, as well as the second storey addition, Section B). A rear addition (Section D) was added by this time. Section C is located at the west side of the building and was likely constructed in two parts (Section C i and Section C ii).

At this time, the property included a cluster of rear additions to Building 1, which have since been removed. A stand-alone garage and coal building are also indicated on the site (both of which have since been removed).

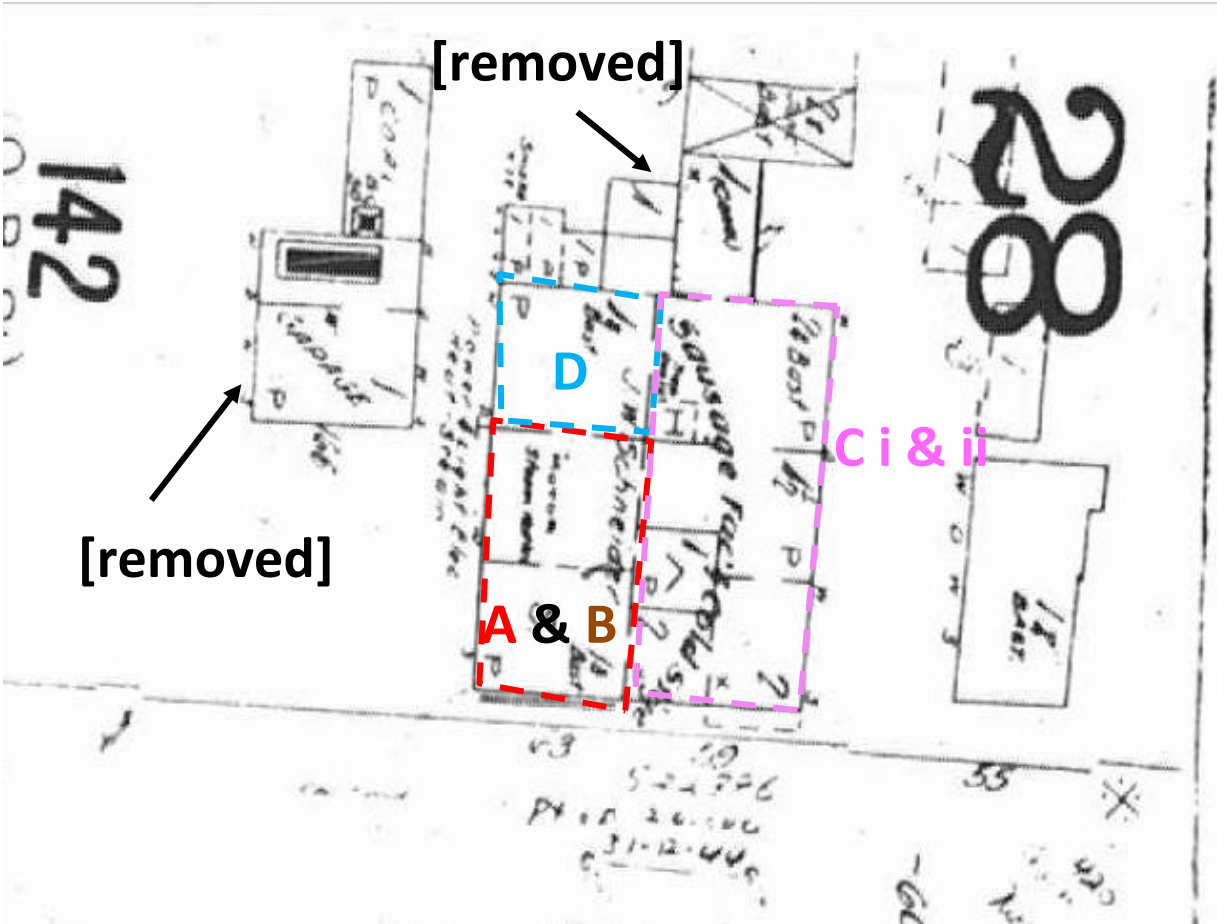


Figure 16: Excerpt of the 1908 rev. 1917 Fire Insurance Plan of Berlin (Kitchener) noting the approximate location of the subject lands. (Source: University of Waterloo Archives)

By 1924, a new J.M. Schneider plant was constructed several blocks south of the subject property at 321 Courtland Avenue East (Norman C. Schneider, no date).

Between approximately 1924 and 1925, the J. M. Schneider plant had been relocated from the subject property to the new site at 321 Courtland Avenue East and the subject property was sold to Albert E. Silverwood of the Silverwood Dairy company.



Figure 17: Photograph of the former J.M. Schneider plant/abattoir at 321 Courtland Avenue East (no date). (Source: University of Waterloo Archives)

The 1925 Fire Insurance Plan shows buildings on the subject property at the time when the J.M. Schneider factory was being re-located and the property was sold to the Silverwood Dairy. The Silverwood Dairy did not begin operations on the site until approximately 1928.

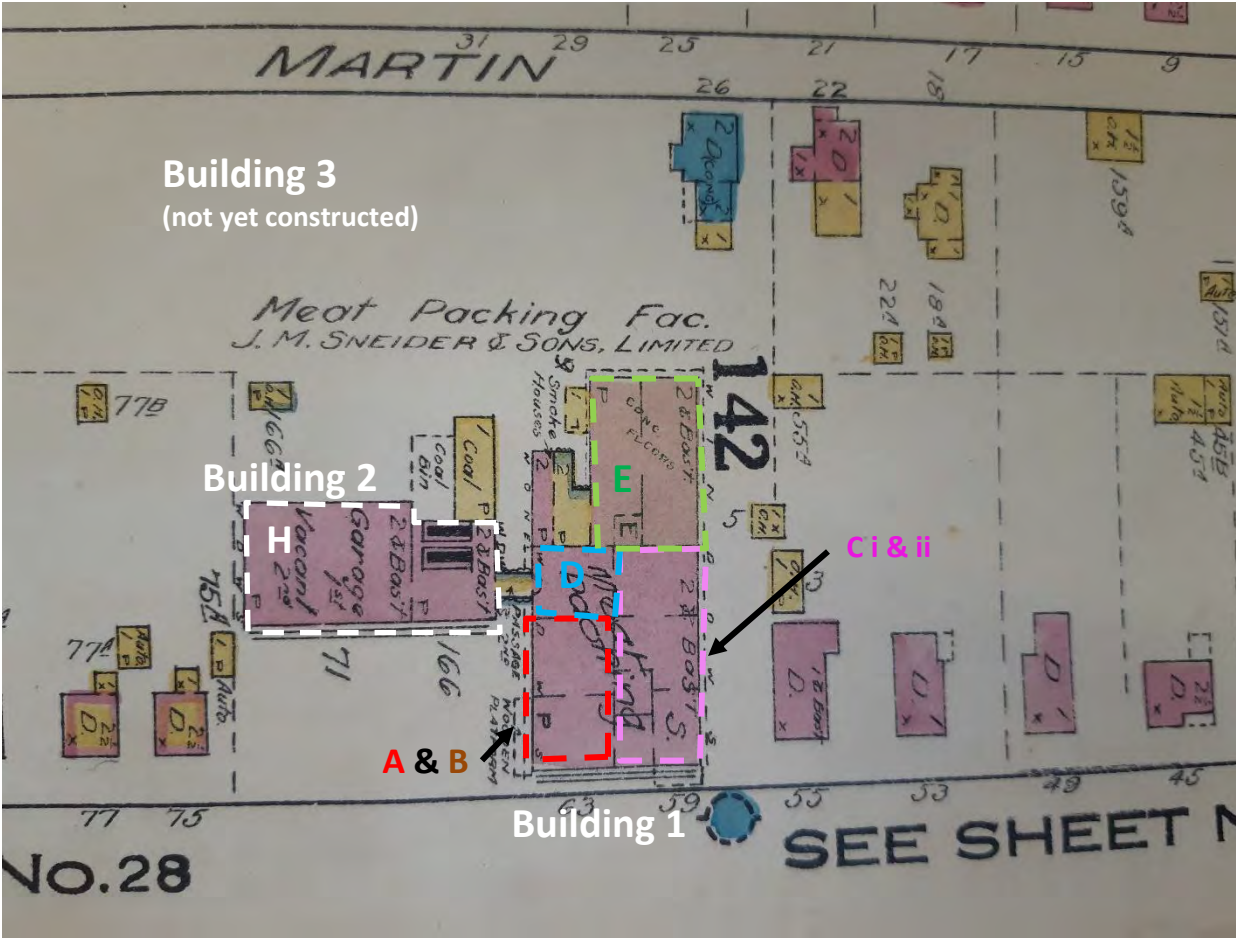


Figure 18: Excerpt of the 1925 Fire Insurance Plan of Berlin (Kitchener) noting the approximate location of the subject lands. (Source: Kitchener Public Library)

The 1925 Fire Insurance Plan indicates a second storey passage between buildings. The photograph below indicates the location of the passage between the two buildings. Both entrances have since been bricked-over and enclosed.



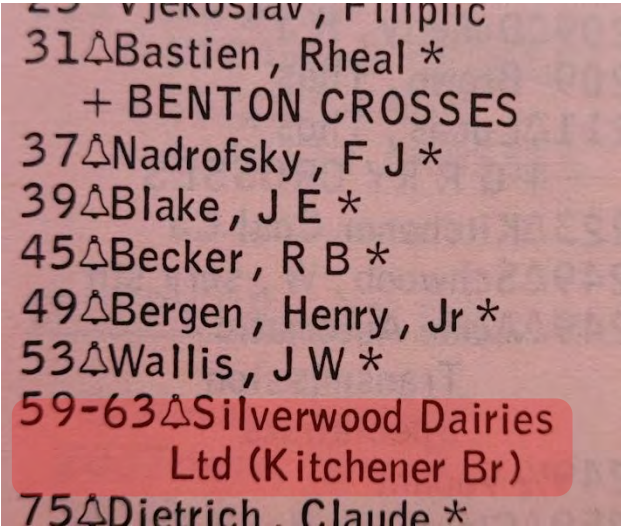
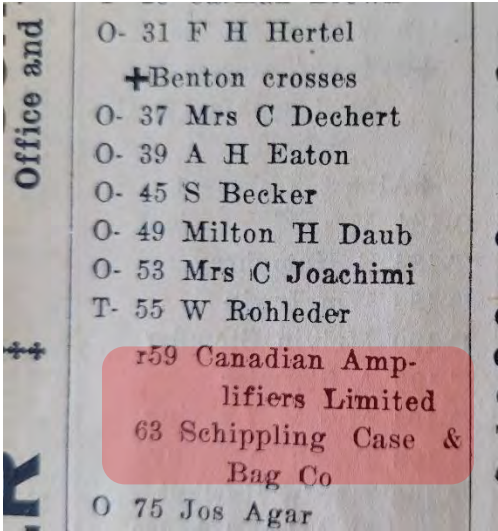
Figure 19: View of former passage, as noted in the 1925 Fire Insurance Plan (Source: MHBC, 2024)

According to the 1930 aerial photograph, two of the existing buildings located on the subject property are visible (see Figure 20). Building 3 had not yet been constructed.



Figure 20: Detail of the 1930 Aerial Photograph noting the location of buildings located on the subject property (outlined in red). (Source: University of Waterloo)

According to available directories for Berlin (Kitchener) the property was the former location of businesses including Canadian Amplifiers Ltd. and the Schipling Case & Bag Co. in 1927 (see Figure 21). By 1928, the property included the Silverwood Dairy, which operated on the site until approximately 1965.



Figures 21 & 22: (left) Excerpt of the 1927-1928 Directory of the City of Kitchener, (right) Excerpt of the 1965 Directory of the City of Kitchener. (Source: Kitchener Public Library)

The Silverwood Dairy company had several locations across Canada. This includes two locations in the City of Kitchener at 63 Courtland Avenue east as well as 1194 Victoria Street North (Region of Waterloo Museums, n.d.). The founder (A. E. Silverwood) was born in Ontario in 1876. He opened his own poultry company in London, Ontario in 1903. By the 1920s, the company expanded to include dairy and milk products (CME Group, 2024). The Silverwood Dairies Limited company was founded in 1928 (**Remembering Silverwood’s dairy, 2022**). By this time Silverwood had businesses in Hamilton, Caledonia, Chatham, Woodstock, Edmonton, Winnipeg, Peterborough, and Regina (CME Group, 2024). The Kitchener location was not the branch headquarters. The Silverwood Dairies was based in London, ON and included a head office at that location (Region of Waterloo Museums, n.d.).

According to the 1947 Fire Insurance Plan, Section F was added to the main factory (Building 1) and Section I was added to the rear of Building 2. A concrete block garage was added to the rear yard, described below as Building 3. Therefore, Building 3 was constructed between approximately 1930 and 1947 and was never utilized by Schneiders.

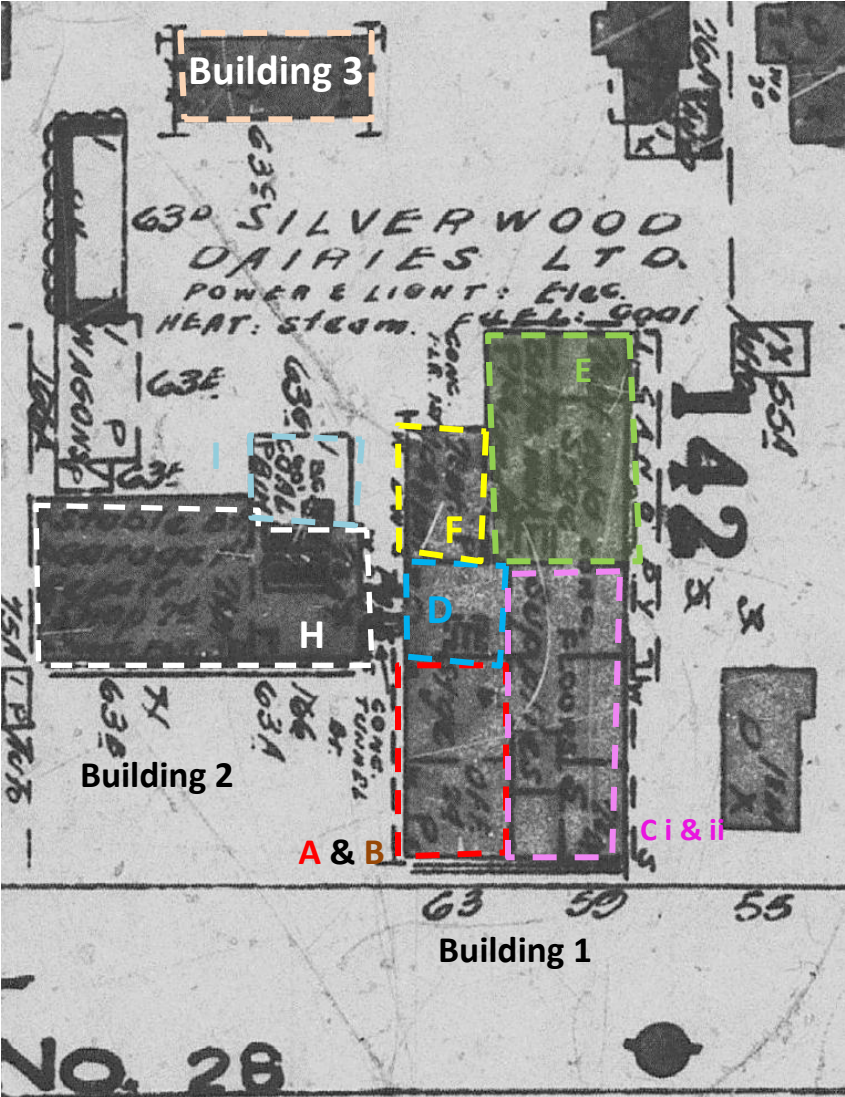


Figure 23: Excerpt of the 1947 Fire Insurance Plan of Berlin (Kitchener) noting the approximate location of the subject lands. (Source: Kitchener Public Library)

According to local directories, the property was used by the Silverwood Dairy company until approximately 1965. After which, the site was vacant. The property was subsequently used for various small businesses. This includes (but is not limited to), auto repair shops.

A Reference Plan for the subject property dated 1977 is available. The Reference Plan indicates the location of Buildings 1, 2, and 3.

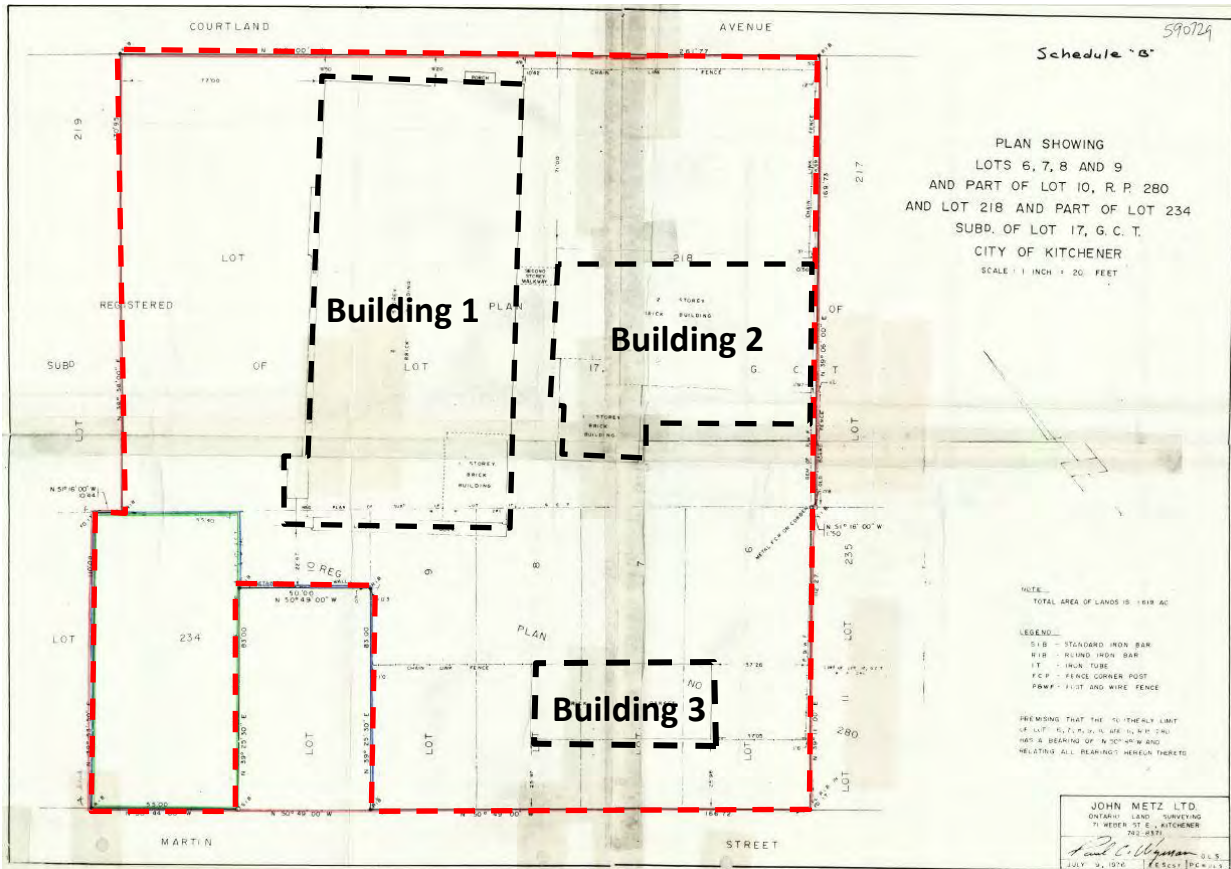


Figure 24: Reference Plan "Schedule B" to Instrument 590729, dated 1977 noting the approximate location of the subject property outlined in red. This plan indicates Buildings 1, 2, and 3. (Source: Instrument No. 590729, Waterloo Land Registry)

According to available aerial photographs, the property has remained substantially unchanged since the 1990s.



Figure 25: Detail of the 1997 Aerial Photograph noting the location of buildings located on the subject property (outlined in red). (Source: University of Waterloo)

# 4.0 Existing Conditions

## 4.1 Description of Surrounding Area

The context of the area includes a mix of uses, including residential (and high density multi-residential), commercial, and former industrial. The immediate context includes primarily low-rise residential uses with some commercial and institutional uses. Single detached dwellings are located along the north and south side of Courtland Avenue East as well as along Martin Street.



Figures 26 & 27: (left) View of Courtland Avenue East looking west towards Benton Street, (right) View of Courtland Avenue East looking east towards Peter Street. (MHBC, 2024)



Figures 28 & 29: (left) View of 19<sup>th</sup> century dwellings located on the north side of Courtland Avenue East, (right) View of paved parking area located on the subject property, looking south towards access to Martin Street. (MHBC, 2024)

## 4.2 Description of 63 Courtland Avenue East



The subject property currently includes 3 buildings (Building 1, Building 2, and Building 3 as shown below, Figure 30) as well as surface parking. The following provides a detailed description of the existing buildings. This includes a description of their component parts, described in this report as “sections”.






Figure 30: Aerial photo of the subject property identifying the location of sections of Buildings 1, 2, and 3. (Source: Google Earth Pro, accessed 2024)




#### 4.2.1 Description of Building 1

Building 1 can be described as a 2-storey brick structure comprised of 8 sections constructed between the early 20<sup>th</sup> century and the late 20<sup>th</sup> century. Building 1 includes sections A, B, C i & C ii, D, E, F, and G as per the chart below. The entire building footprint is approximately 24 metres x 73 metres. The building is constructed of red brick which has been painted.

<i>Legend: Building 1: Sections A - G</i>			
Identifier	Description	Construction Date	Photo
A	Original single storey brick addition to former J.M. Schneider home/factory. All original windows and doors have been replaced. Some window and door openings have been enclosed.	c. 1909	
B	Second storey addition above Section "A". All original windows and doors have been replaced.	Bet. 1909 and 1914	




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<p>C i</p>	<p>First storey of a 2-storey addition fronting Courtland Avenue East. The entire portion of this building has been clad with contemporary materials.</p>	<p>Bet. 1909 and 1914</p>	
<p>C ii</p>	<p>Second portion of brick addition at west elevation. All original windows and doors have been replaced.</p>	<p>Bet. 1909 and 1914</p>	
<p>D</p>	<p>Rear brick addition. All original windows and doors have been replaced. Some window and door openings have been enclosed.</p>	<p>Bet. 1909 and 1914</p>	

E	Rear brick addition. All original windows and doors have been replaced. Some window and door openings have been enclosed.	Bet. 1917 and 1925	
F	Rear brick addition. All original windows and doors have been replaced. Some window and door openings have been enclosed.	Bet. 1917 and 1925	
G	Rear brick addition. All existing windows and doors are contemporary.	Bet. 1955 and 1997	

#### 4.2.2 Description of Building 2

Building 2 can be described as a 2-storey brick structure constructed between approximately 1917 and 1925. The building includes two additions to the rear. The entire building footprint is approximately 30 metres x 23 metres. Section H of the building is constructed of brown brick which has been painted.

Legend: Building 2: Sections H - J			
Identifier	Description	Construction Date	Photo
H	2 storey brick building fronting Courtland Ave. East. Includes brick chimney stack. Original windows and doors have either been replaced or are in a deteriorated condition. Some window and door openings have been enclosed.	Bet. 1917 & 1925	
I	Rear brick addition with garage doors. One 20 <sup>th</sup> century metal frame window is located at the east elevation (noted with red arrow).	Bet. 1925 and 1947	
J	Small rear brick addition/vestibule with person door	Post 1947	

### 4.2.3 Description of Building 3

Building 3 can be described as a single storey concrete block structure constructed between 1930 and 1947. The entire building footprint is approximately 20 metres x 10 metres. Portions of the building have been clad in contemporary siding. Building 3 is not of Cultural Heritage Value or Interest.

<i>Legend: Building 3</i>			
<i>Identifier</i>	<i>Description</i>	<i>Construction Date</i>	<i>Photo</i>
<b>"Building 3"</b>	Single storey concrete block building. All original windows and doors have been replaced.	Bet. 1930 and 1947	

# 5.0 Evaluation of Cultural Heritage

## Resources

The following sub-sections of this report provide an evaluation of the subject property as per *Ontario Regulation 9/06* of the *Ontario Heritage Act*. These criteria have been adopted as standard practice in determining Cultural Heritage Value or Interest.

### 5.1 Evaluation Criteria

Ontario Regulation 9/06 prescribes that that:

*A property may be designated under section 29 of the Act if it meets two or more or the following criteria for determining whether it is of cultural heritage value or interest:*

- 1. is a rare, unique, representative or early example of a style, type, expression, material or construction method,*
- 2. displays a high degree of craftsmanship or artistic merit, or*
- 3. demonstrates a high degree of technical or scientific achievement.*
- 4. has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community,*
- 5. yields, or has the potential to yield, information that contributes to an understanding of a community or culture, or*
- 6. demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.*
- 7. is important in defining, maintaining or supporting the character of an area,*
- 8. is physically, functionally, visually or historically linked to its surroundings, or*
- 9. is a landmark.*

### 5.2 Evaluation of Cultural Heritage Resources

The following provides an evaluation of the property as per *Ontario Regulation 9/06*.

### 5.2.1 Design/Physical Value

The property at 63 Courtland Avenue East includes Buildings 1, 2, and 3. Some features of the property demonstrate heritage value, and others do not. The following analysis of design/physical value addresses each of these buildings and their components.

#### Building 1: Sections A & B

Some sections of Building 1 meet criteria under *Ontario Regulation 9/06* for design/physical value and others do not. Here, Sections A, B, and C ii demonstrate design/physical values. The remaining sections of Building 1 (Sections C i, D, E, F, and G do not demonstrate design/physical value.

Sections A and B demonstrate design/physical value and are considered representative of the Romanesque Revival architectural style. This architectural style typically includes the following:

- Round arches combined with rectangular window openings;
- Recessed entrance, typically within an arched entrance;
- Weight and mass in building appearance; and
- Combination of stone and brick (Heritage Resources Centre, 2009).

Section A was constructed with features which are typical of the Romanesque Architectural Style includes the following features:

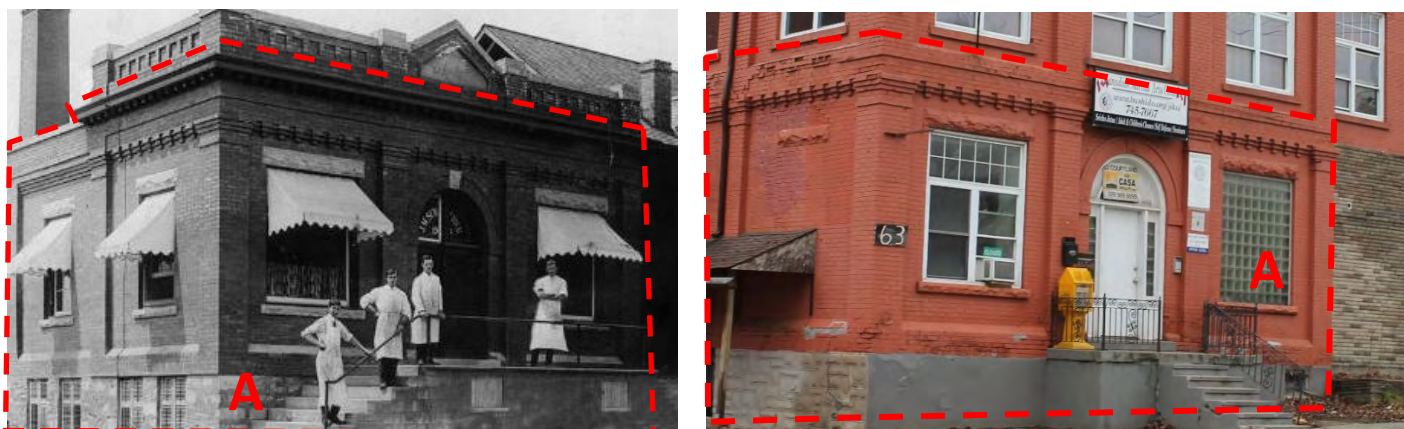
- Heavy visual weight and mass utilizing a combination of brick and rusticated stone<sup>1</sup>;
- Use of heavy stone or concrete lintels and sills;
- Brick pilasters at the north and east elevations;
- Central front entrance with arched entrance and keystone with sidelights and transom;
- Decorative stepped brick dentils/banding above windows; and
- Two large square-shaped window openings on either side of the entrance at the north elevation.

Some original features of the building were removed when the second storey was added. This includes the removal of the original parapet wall.

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<sup>1</sup> It should be noted that the stone sills and lintels may be moulded concrete. This could not be conclusively determined given that the material has been painted.

Section B was designed to complement the original Romanesque Revival design. While this portion of the building does not include key features of the design, the combination of Sections A and B complement each other and were made with design intent. Section B includes large square-shaped window openings set between brick pilasters and includes heavy concrete sills. The building includes stepped brick dentils/banding above window openings. A parapet wall with brick pilasters and a concrete string band with dentils is provided at the roofline. Section B is considered an addition to the building which does not necessarily detract from the original portion of the building. While it resulted in the removal of some original heritage attributes, it also facilitated the growth of the J.M. Schneider company and includes features which are complementary to the building and products of their own time of construction.



Figures 31 & 32: Photograph of the north and east elevations of Section "A" c. 1909, (right) Photograph of the north and east elevations of Section "A" (Source: University of Waterloo Archives; MHBC, 2024)

Sections A and B are not considered early for the context of the City of Kitchener or the Province of Ontario given that they were constructed in the early 20<sup>th</sup> century. The building is not considered rare or unique but is considered representative. There are other commercial/industrial buildings located in Kitchener which are similar in terms of scale (being under 3 storeys) and were constructed between the 19<sup>th</sup> century and early to mid. 20<sup>th</sup> century . This includes (but is not limited to) the following, which vary in terms of their condition and heritage integrity:

- 100 Ahrens Street;
- 235 Madison Avenue South;
- 189 Joseph Street;
- 121-135 Whitney Place;
- 125 Whitney Place;
- 26 Elm Street;

- 97 Victoria Street North; and
- 307 Queen Street South.

It should be noted that this report has considered whether or not portions of Building 1 **were constructed in the “rundbogenstil” architectural style, rather than the Romanesque revival architectural style.** According to Curran (2003), the rundbogenstil architectural style refers to the German architectural response to architecture of the late 18<sup>th</sup> century and early 19<sup>th</sup> century as well as movements including (but not limited to) those of the Byzantine period and later, Protestant ideals. According to Curran, (2003; 21), the term rundbogenstil was relinquished in favour of “Romanesque” by the early 19<sup>th</sup> century. According to available information, the use of the term Romanesque Revival as the architectural style for the building located on the subject property is appropriate given that a) it is a term which describes the existing features within the context of Ontario, and b) the term rundbogenstil was only utilized for architecture in Germany in the early 19<sup>th</sup> century and, c) was later discontinued in favor of the term Romanesque Revival in the early 19<sup>th</sup> century prior to its appearance in North America.

#### Building 1: Sections Ci and C ii

Section C ii of the building demonstrates design/physical value.

Section C of the building was constructed in two parts, described in this report as C i and C ii. The first storey of the building is visible in historic photographs. The photograph suggests that this portion of the building was not constructed in the Romanesque Revival architectural style and included few, if any, ornamental features. Section Ci has since been covered in 20<sup>th</sup> century brick cladding material which is not of heritage value. Section C i does not demonstrate design/physical value.

Section C ii (second storey) includes features at the front elevation which are similar to those of Section B such that the building reads as if it was constructed at the same time. This includes large square-shaped window openings, stepped brick stringcourse, concrete stringcourse with dentils, and a brick parapet wall. This portion of the building contributes to the overall front elevation of the building given that it includes a continuation of the architectural design. The west elevation of the building includes rectangular-shaped window openings which are different than that of the north and east elevations. Therefore, the design of Section C ii was to provide a continuation of the design across the front elevation only.

Sections C i and C ii are not considered early, rare, or unique. These sections of the building were constructed in the early 20<sup>th</sup> century and are not considered early for the context. Section C ii is not considered rare or unique.



Figures 33 & 34: Photograph of the north and east elevations of Section A c. 1909, (right) Photograph of the north and east elevations of Section A (Source: University of Waterloo Archives; MHBC, 2024)

The remaining sections of Building 1, namely sections D, E, F, and G do not demonstrate design/physical value. They were constructed as functional additions with little regard for architectural style, design or ornamentation at the various points in time which they were constructed. These sections of the building are not considered early, rare, unique, or representative.

Building 1 does not include any features which demonstrates a high degree of craftsmanship, artistic merit, or scientific achievement. The building includes materials and construction techniques which were commonplace for its period of construction.

## Building 2

Building 2 does not demonstrate design/physical value. The building does not include ornamental detailing or attributes which are representative of any specific or recognized architectural style. Instead, the building was constructed as a vernacular building. The **term "vernacular" means a building constructed with local materials or construction techniques** which often serve a more functional purpose, rather than the intent to provide a comprehensive or intentional design. These vernacular buildings, in some cases, are studied and described in order to recognize and classify particular features. For example, the City of Kitchener has studied and produced a body of work which describes **the "Berlin Vernacular" style and demonstrated that** a) it is important to the City, b) is common throughout the City and c) is easily identifiable through specific features. Berlin Vernacular **buildings are therefore "representative" of a particular style** that has been identified and described. Given that there is no evidence to support that Building 2 is either important within its context, or readily identifiable with particular

features or attributes, it is not considered representative of a particular architectural style.

This report has also considered whether or not Building 2 demonstrates a high level of craftsmanship, artistic merit, or scientific achievement. According to information provided by members of the Kitchener Heritage Advisory Committee, Building 2 was noted in a local newspaper for including refrigeration systems associated with its former use as a dairy. This report acknowledges that even if these refrigeration systems were present and considered above any industry standard, it does not meet criterion 3 regarding technical or scientific achievement. This report has confirmed that a) all interior features related to any former refrigeration system have been removed, b) any former refrigeration system features were moveable items and not part of the building or its architectural features and therefore is not applicable to the criteria under *Ontario Regulation 9/06*.



Figure 35: View of north (front) elevation of Building 2 fronting Courtland Street East (MHBC, 2024)

Sections I and J of the Building 2 do not meet the legislated criteria for design/physical value.

### Building 3

Building 3 does not demonstrate design/physical value. Building 3 was constructed between 1930 and 1947 as a single storey cinder block garage and was not constructed in architectural style which would be considered representative, early, rare, or unique.

#### 5.2.2 Historical/Associative Value

The subject property demonstrates historical/associative value. The subject property is associated J. M. Schneider and the J.M. Schneider & Sons business from approximately 1897 to 1924/1925 over a period of approximately 28 years. The J. M. Schneider business is widely recognized in the City of Kitchener as well as within the Province of Ontario and has grown from a family-run business in the late 19<sup>th</sup> century to a corporation which continues to manufacture widely distributed and readily available food products. J. M. Schneider was also involved with local politics and is noted in historical sources as a member of Council of Berlin (Kitchener) in 1906.

This Heritage Impact Assessment has considered available information as it relates to other uses of the site over time, including businesses following the discontinuation of the site by J.M. Schneider in 1924/1925. This includes (but is not limited to), the Silverwood Dairy, and other commercial/retail businesses including the Canadian Amplifiers Ltd. Co., the Schippling Case & Bag Co., and auto repair uses.

When evaluating whether or not a property is important for any association with organizations, activities, or institutions (such as a business), guidance from the Ministry **states that the association must be direct, and "...is significant to the community – because a theme, event, belief, person, activity, organization or institution has made a strong, noticeable or influential contribution to the evolution or pattern of settlement and development in the community."**

The use of the site by J.M. Schneider has had a demonstratable influence on the community given its continued branding and presence in within the City as part of its German-**born culture and identity. This includes the City's association with recognizable** landmarks, including the Schneider Haus Museum, for example. The Schneider brand continues to be widely recognized within Kitchener, Ontario and across Canada.

While the site was utilized as one of several locations of the former Silverwood Dairy company. There were many locations in Ontario, and the primary location/head office

was in London, Ontario. The Silverwood Dairy brand was discontinued in Kitchener by approximately the 1970s. There is no information available which would suggest that the Silverwood Dairy has had a strong, noticeable, or influential contribution to the community. The Silverwood Dairy, unlike Schneider, did not become a brand or organization which influenced the evolution or pattern and development in the community. Since the former dairy company has been discontinued, the specific **“Silverwood” use of the site** in terms of its branding is no longer common knowledge or widely recognized within the community or a larger context. Instead, the former uses of the site are part of its evolution and history which can be acknowledged and interpreted.

The property is not likely to yield further information which contributes to the understanding of the community beyond what is already known. It should be noted that the City has identified the possibility that portions of Building 1 may have been constructed or designed by Jacob Baetz and/or Casper Braun. Currently, no information is available which confirms that the building was designed or constructed by either of these architects. Therefore, the builder/architects of the buildings are unknown but should be added to the historic record should this information become available in the future.

### 5.2.3 Contextual Value

The subject property does not demonstrate contextual value. The subject property is not important in defining, maintaining, or supporting the existing character of the area. The existing character of the immediate area includes a range of land uses., including (but not limited to), commercial, institutional, and residential with a range of built forms. The predominant built form in the immediate context is low density single detached residential. Some of the existing 19<sup>th</sup> century residential buildings have been adaptively re-used. The area includes contemporary medium as well as high density developments which have been successfully incorporated into the area. A description of **the area’s character has been provided in the City’s Cultural Heritage Landscapes** document which is summarized in Section 1.2 of this report.

This HIA acknowledges that the subject property is located within the Cedar Hill as a potential Cultural Heritage Landscape and its character has been described. **The City’s Cultural Heritage Landscapes study identifies that the Cedar Hill neighbourhood primarily includes residential and institutional uses. The CHL document also identifies that the area has changed over time, and states that , “The area is one of continual change since the earliest period of Kitchener’s development and contains a continuum of buildings of various sizes and use from residential to institutional from the 1850s to**

the late 20<sup>th</sup> century.” A review of available maps and Fire Insurance Plans provide visual evidence of this change over time. These images demonstrate that since the area was first developed for residential purposes in the mid. to late 19<sup>th</sup> century, additional streets have been constructed, lots have been subdivided, infill has been constructed, and some of the early 19<sup>th</sup> century building fabric has been removed (see Figures 36 & 37). Further, higher density contemporary buildings have been incorporated into the neighbourhood.



Figures 36 & 37: Excerpt of the 1879 Map of Berlin (Kitchener) noting the approximate location of the subject property in red (note that Courtland Avenue and Peter Street had not yet been constructed) (right) Aerial photograph noting the approximate location of the subject property in red (Source: Kitchener Public Library; Google Satellite Images, accessed 2025)

The **description of area’s character defining features** in the CHL study document does not identify that the subject property or any industrial buildings or features as important **to the area’s character**. Given the information provided in the **City’s Cultural Heritage Landscape** document, the subject property does not make an important contribution to the character of the area and therefore, criterion 7 is not met.

The property is not functionally, visually, or historically linked to its surroundings in a **way which substantially adds to the property’s CHVI**. There is no physical/material connection between the property and its surroundings (such as a bridge or path, for example). The property does not have a functional relationship to its surroundings which are related to a specific purpose. Portions of the building are visible from the

street along either Courtland Avenue East or Martin Street. However, these available views are circumstantial and do not add to the CHVI of the property. The property is not historically related **to its surrounding context in a way which adds to the property's** heritage value. Instead, a portion of Lot 17 of the German Company Tract was purchased by members of the Schneider family in the early 19th century and by 1897, John M. Schneider was granted land through members of the Schneider/Ahrens family.

This report acknowledges that the subject property was formerly located approximately 800 metres from the Joseph Schneider Factory at 321-325 Courtland Avenue East which was constructed in the early 20th century (c.1924/1925) and has since been removed. This is not considered a significant contextual relationship given that a) the factory at 321-325 Courtland Avenue East has been removed, and b) there was no functional relationship between these factories given that the use of the property at 63 Courtland Avenue East was discontinued by Schneiders by 1924/1925 when they re-located to 321-325 Courtland Avenue East.

The subject property is not considered a local landmark in terms of either its physical prominence or physical location within its context. According to available guidance from the Ministry of Citizenship & Multiculturalism (2014) physical landmarks are considered memorable and easily discernible, and often serve as orientation guides and local/regional tourist attractions. Given the small-scale nature of the existing buildings, these are not considered easily discernible and do not serve as orientation guides or tourist attractions.

#### 5.2.4 Cultural Heritage Landscape Evaluation

The subject property at 63 Courtland Avenue East is not considered a Cultural Heritage Landscape. Cultural Heritage Landscape is defined in PPS 2024 as follows:

*Cultural heritage landscape: means a defined geographical area that may have been modified by human activity and is identified as having cultural heritage value or interest by a community, including an Indigenous community. The area may include features such as buildings, structures, spaces, views, archaeological sites or natural elements that are valued together for their interrelationship, meaning or association.*

The general definition of cultural heritage landscape is broad. However, the definition specifies that the area includes features which are valued together for their interrelationship. The site is of Cultural Heritage Value or Interest primarily for its associations with the former operations of J.M. Schneider. The subject property currently includes Building 1, Building 2, and Building 3. The primary feature of the site

is Building 1, which includes a portion of the original J. M. Schneider factory (Section "A").

The subject property has changed over time since the property was originally utilized by Schneider. The property was discontinued by J.M. Schneider and modified by subsequent businesses. The features which would have contributed to the site being identified as a potential Cultural Heritage Landscape for its association with the early operations of **Schneider's have been removed. This includes** features such as the original J.M. Schneider home, barn and wood frame factory building. During the early 20<sup>th</sup> century, the site would have included other accessory structures, circulation routes/paths associated with deliveries and other functions of the site. Some of these features are visible in the historic photographs provided in this report. The existing features are not important in communicating or interpreting the early history of **Schneider's, with the exception of Section "A" of Building 1.**

Building 2 was an accessory structure (i.e. for storage, coal, etc.) and utilized by J.M. Schneider operations for less than a period of 4 to 5 years and does not demonstrate design/physical value. Building 3 is a single storey cinder block garage and is not of cultural heritage value or interest. The interrelationship between these buildings is not considered important. While Buildings 1 and 2 were utilized as part of the Schneider factory for a short period of time, the use of Building 2 was accessory to Building 1. The relationship between the main portion of a factory building and any accessory structures is considered commonplace and can be demonstrated with many other remaining 19<sup>th</sup> or early 20<sup>th</sup> century industrial buildings in Kitchener. As previously noted in this report, Building 3 was constructed after the Schneider operations moved off-site and was never associated with operations by Schneider.

In conclusion, the subject property has changed over time, and the existing features and their spatial relationships to each other do not warrant long-term conservation **given that they are not important in communicating the early history of Schneider's.** The important features of the site **associated with Schneider's** is limited primarily to **Section "A" (Building 1)** and additions fronting Courtland Avenue.

## 5.3 Summary of Evaluation

The following chart provides a summary in chart format of the evaluation of the subject property as per *Ontario Regulation 9/06*:

Ontario Regulation 9/06	63 Courtland Ave. E.
1. Rare, unique, representative or early example of a style, type, expression, material or construction method	Yes. Portions of Building 1 are considered representative of the Romanesque Architectural style. Building 2 and 3 do not demonstrate design/physical value.
2. Displays high degree of craftsmanship or artistic merit	No. The buildings were constructed at different periods of time using materials and construction methods which are considered commonplace and do not demonstrate a high degree of craftsmanship or artistic merit.
3. Demonstrates high degree of technical or scientific achievement	No. The buildings do not include architectural features which demonstrate a high degree of technical or scientific achievement.
4. Direct associations with a theme, event, belief, person, activity, organization, institution that is significant	Yes. The property is associated with John M. Schneider and the J.M. Schneider & Sons business from 1897 to 1924/1925 for a period of approximately 28 years.
5. Yields, or has potential to yield information that contributes to an understanding of a community or culture	No. The property is not likely to yield further information beyond what is already known which would contribute to the understanding of the community.
6. Demonstrates or reflects the work or ideas of an architect, artist, builder, designer, or theorist who is significant to the community.	No. The architects/builders are unknown.
7. Important in defining, maintaining or supporting the character of an area	No. The property does not define, maintain, or support the character of the area. <b>The City's CHL</b> document does not identify that the subject property, any of its features, or any industrial uses are character defining elements of the Cedar Hill neighbourhood.
8. Physically, functionally, visually, or historically linked to its surroundings	No. The property is not physically, functionally, visually, or historically linked to its surroundings.
9. Is a landmark	No. The property and the existing physical features are not considered local landmarks and regional/local tourist attractions. The existing built features of the property are not memorable and easily discernible within its context.

## 5.4 Statement of Cultural Heritage Value or Interest

The subject property meets two criteria under *Ontario Regulation 9/06* and is eligible for designation under the *Ontario Heritage Act*. The property demonstrates design/physical and historical/associative values. A portion of Building 1 includes features which are indicative of the Romanesque Architectural style and is considered representative. The property demonstrates historical/associative value for its association with John M. Schneider and the J.M. Schneider & Sons business from 1897 to 1924/1925 for a period of approximately 28 years. John Metz Schneider was born in Kitchener in 1859, son of Christopher Schneider and Anna Elizabeth Schneider (nee Metz). He opened a retail meat market in 1888 after learning butchering and meat curing on the Schneider family farm. J. M. Schneider was also involved with local politics and became a member of Council in 1906. The butchering company (now known as Schneiders) has grown and evolved since its beginnings in the late 19<sup>th</sup> century and continues to expand their operations. The company is still in operation and produces readily available food products. The company is widely recognized and well known locally for its roots in Kitchener.

### 5.4.1 List of Heritage Attributes

The following provides a list of heritage attributes for the portion of Building 1:

#### Building 1: Section A

- Heavy visual weight and mass utilizing a combination of brick and rusticated stone or concrete;
- Use of heavy stone or concrete lintels and sills;
- Brick pilasters at the north and east elevations;
- Central front entrance with arched entrance and keystone with sidelights and transom;
- Decorative stepped brick dentils/banding above windows; and
- Two large square-shaped window openings on either side of the entrance at the north elevation.

#### Building 1: Section B

- Three rectangular-shaped window openings with lintels and sills;

- Brick Pilasters;
- Decorative stepped brick dentils/banding above windows; and
- Parapet wall with brick pilasters, stone or concrete banding and dentils;
- Original window openings at the second storey with lintels and sills; and
- Brick pilasters and decorative stepped brick details below roofline.

#### Building 1: Section C ii

Building 1 (Section C, first storey) includes features which are a continuation of Section B, and are as follows:

- Two storey scale and massing;
- Series of four rectangular-shaped window openings at the second storey (north elevation), including lintels and sills;
- Parapet wall with brick pilasters, stone or concrete banding and dentils; and
- Decorative stepped brick dentils/banding above windows; and
- Original rectangular-shaped windows at the second storey (west elevation).

## 6.0 Condition Assessment

A condition assessment has been completed by Tacoma Engineers in May 2024 in order to determine the structural stability of Building 1. The report confirmed that the building has some issues but is generally in fair condition and the building is currently structurally stable. The report concludes that it is feasible to remove portions of Building 1 while avoiding any adverse impacts to portions which are of heritage value and are proposed to be retained.

A supplementary structural condition report was undertaken in December 2024. The supplementary report confirms the following:

- The building was constructed with a combination of wood and steel framing supported on exterior masonry walls;
- Foundation walls are a combination of rubblestone mass masonry (earlier portions of the building) as well as later concrete (later additions);
- No original building fabric remains at the interior of the building, which has been extensively modified over time;
- **The building is in “fair condition”, with “...no observed damages that would cause concern for structural stability.”;**
- Exterior masonry shows signs of distress from lack of or improper maintenance;
- Damages may be accelerated with lack of water management (i.e. damaged downspouts, roof flashings);
- Any redevelopment proposal will need to restore exterior masonry to ensure that existing historic fabric is not compromised; and
- The rear portions of the building can be removed without affecting the structural stability of the portion that would remain.

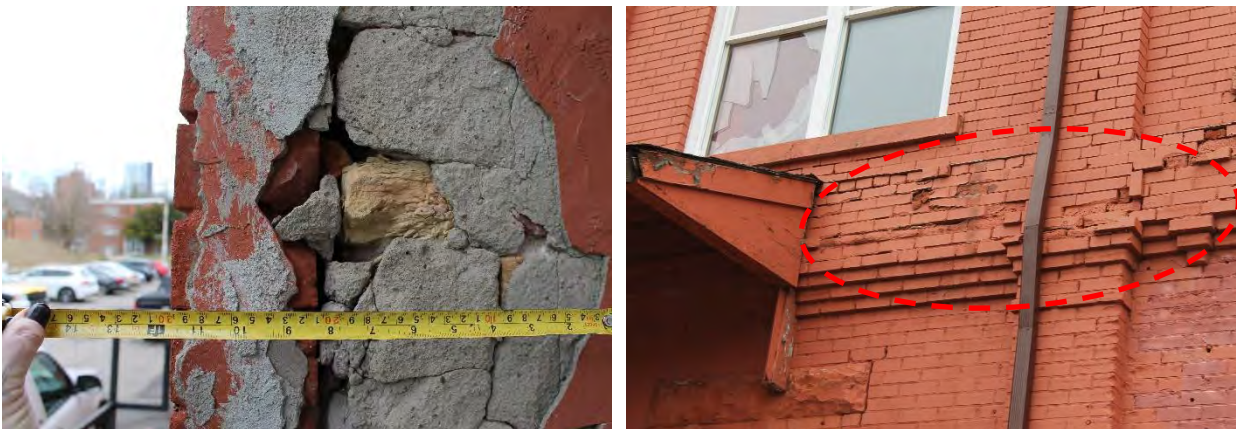
A copy of the structural reports are provided in Appendix C.



Figures 38 & 39: Photos of settlement cracks at the exterior of Building 1, (MHBC, 2024)



Figures 40 & 41: (left) View of spalling bricks at exterior of Building 1, (right) View of deteriorated masonry at exterior of Building 1 (MHBC, 2024)



Figures 42 & 43: (left) View of poor masonry repairs at exterior of building 1, (right) View of deteriorated/spalled masonry at exterior of Building 1 (MHBC, 2024)



Figures 44 & 45: (left) Secondary view of broken and deteriorated masonry at exterior of Building 1, (right) View of broken masonry in arch above front elevation door opening, (MHBC, 2024)

## 7.0 Description of Proposed Development

The property owners are proposing to redevelop the lands for residential use. The redevelopment includes retaining the portion of the building fronting Courtland Avenue which has cultural heritage value (see Figure 46, outlined in red). This portion of the building will be retained as a functional stand-alone building and conserved over the long-term. The remaining portions of Building 1, as well as Buildings 2, and 3 which are not of cultural heritage value are proposed for removal.

The proposal includes the construction of five stacked townhouse blocks, described on the site plan as buildings A through F, as well as one cluster townhouse noted on the site plan as building G. These six townhouse blocks include a total of 67 units, with an additional 14 units provided within the adaptively re-used heritage building (total 81 units). All proposed townhouse buildings are 3 storeys and include entrances at the front and rear elevations. Surface parking area with access to Courtland Avenue is provided at the interior of the site. Hard and soft landscaping is proposed, including interlocking pavers.

The two stacked townhouse buildings on either side of the retained heritage building include 8 and 10 units, respectively. The easterly building proposes 10 units and the westerly building includes 8 units. Both of these new buildings are setback 1.58 metres from the street to accommodate for the road widening. These two buildings are therefore slightly setback from the front façade of the heritage building.

The townhouse located along the east property line includes 24 units and fronts onto the central parking area. The townhouse buildings located along Martin Street include 10, 12, and 3 units, respectively, with front yard setbacks ranging from 1.58 to 2.21 metres.

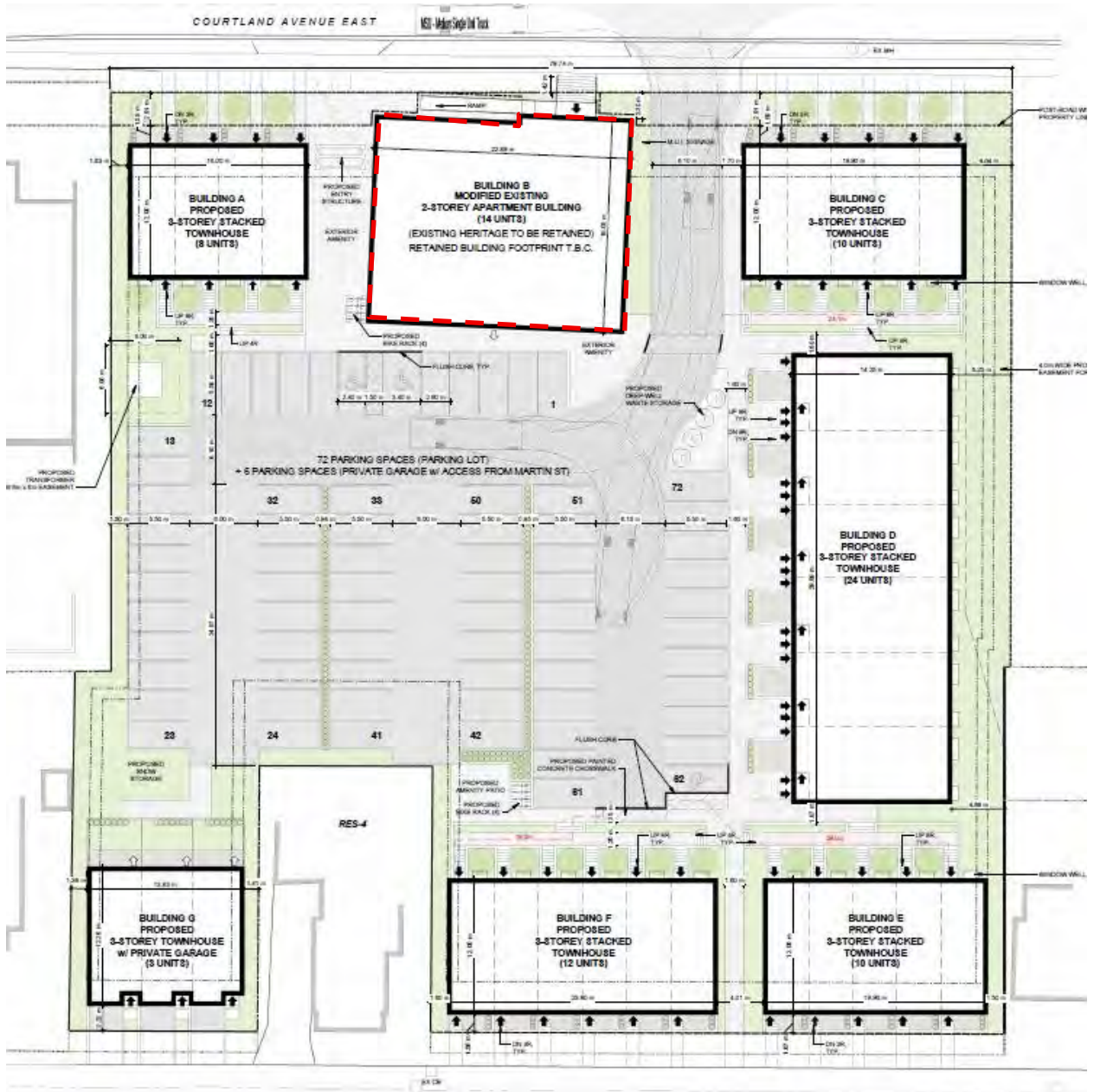


Figure 46: Site Plan noting the retained portion of Building 1 (outlined in red) (McCallum Sather, 2025)



Figure 47: Aerial photo noting the location of the subject property at 63 Courtland Avenue East, outlined in white. Location of building fabric proposed for demolition noted in red (demolish) and retention noted in green. (Source Kitchener Interactive map, accessed 2024)



Figure 48: View of Building 1 (east and north elevations) noting portion proposed for retention and conservation (Source: MHBC, 2024)



Figure 49: View of Building 1 (west elevation) noting portions proposed for retention (Source: MHBC, 2024)

The proposal includes some alterations to the existing building to facilitate adaptive re-use. All existing windows are not original and are contemporary replacements. All existing windows are proposed to be replaced, respecting original window openings, where present.

The proposal includes retaining all heritage attributes at the north elevation. Given that the front façade has been altered (i.e. Section Ci), the proposal includes the installation of a dark gray fibre cement panel at the first storey and includes four window openings similar to that of original window openings at the front façade. A new stairway to the front entrance is proposed, with an accessible ramp.



Figure 50: View of proposed front (north) elevation (Source: McCallum Sather, 2025)

The proposed east elevation includes retaining original window openings. The middle door opening at the first storey is proposed to be altered to a window opening which matches other existing window openings at the front elevation.



Figure 51: View of proposed side (east) elevation (Source: McCallum Sather, 2025)

As with the north elevation, portions of the west elevation have been altered and covered with brick cladding **that is not original detracts from the building’s heritage value**. The first storey of the west elevation is proposed to include the same a dark gray fibre cement panel as the front elevation. The window openings at the first storey are proposed to be altered from existing window and door openings, which are either not original or have been altered. The second storey window openings will remain as existing.



Figure 52: View of proposed side (east) elevation (Source: McCallum Sather, 2025)

The rear (south) elevation is proposed to be rehabilitated since the building is being separated from existing rear additions. Therefore, the design of the proposed rear (south) elevation includes new materials and window openings. The rear elevation proposes the same dark gray fibre cement panel as the north and west elevations. The proposed window openings are similar to that of the original window openings located on the front elevation. One person door is provided at grade. The existing gabled roof structure of this portion of the building will be retained and remain visible at the south elevation.



Figure 53: View of proposed rear (south) elevation (Source: McCallum Sather, 2025)

The proposed design of the new townhouses includes geometric shapes combined with positive and negative space that culminates in a designs which are sensitive to built forms of the 19<sup>th</sup> and early 20<sup>th</sup> centuries. This includes the use of gables and regularly spaced rectangular-shaped window openings. The proposed new townhouses include the use of the same fibre cement panels which are proposed on the first storey (north and west, and south elevations) of the heritage building. Some of the proposed new townhouse buildings include other materials, such as brick masonry at the first storey. The use of the fibre cement panels on the heritage building will provide a visual link between the proposed new materials of townhouses and the original materials of the heritage building. The proposed colour palette is neutral, with a range of grays.

The scale and massing of the proposed new buildings along Courtland Avenue East are similar to that of the heritage building (See Figure 52).



Figure 54: View of proposed north elevations along Courtland Avenue East (noted on site plan as buildings “A”, “B”, and “C” (heritage building and new stacked townhouses) (Source: McCallum Sather, 2025)

The proposed front (south) elevations of townhouses along Martin Street repeat the same built forms, patterns, positive and negative space, and rhythmic placement of window openings as those along Courtland Avenue.



Figure 55: View of proposed south elevations along Martin Street (new stacked townhouses “E” and “F”, and cluster townhouse “G”) (Source: McCallum Sather, 2025)

The proposed design of the building fronting onto the interior of the lot at the east property line (Building “D”) is similar to that of proposed new buildings fronting onto Courtland Avenue East and Martin Street. This building is slightly different in that the individual bays separating the stacked townhouses are wider and accommodate balconies.



Figure 56: View of proposed west elevation at the interior of the lot (along the east property line) (new stacked townhouse, noted on site plan as Building “D”) (Source: McCallum Sather, 2025)

# 8.0 Impact Analysis

## 8.1 Introduction

This section of the report will review impacts which may occur as a result of the proposed development on the identified cultural heritage resources located at 63 Courtland Avenue East and adjacent as it relates to the Cedar Hill neighbourhood.

The following analysis of impacts is based on the following which is recognized as the potential sources of adverse impacts on cultural heritage resources, as follows:

- Destruction: of any, or part of any *significant heritage attributes* or features;
- Alteration: that is not sympathetic, or is incompatible, with the historic fabric and appearance;
- Shadows: created that alter the appearance of a *heritage attribute* or change the viability of a natural feature or plantings, such as a garden;
- Isolation: of a *heritage attribute* from its surrounding environment, context or a significant relationship;
- Direct or Indirect Obstruction: of significant views or vistas within, from, or of built and natural features;
- A change in land use: such as rezoning a battlefield from open space to residential use, allowing new development or site alteration to fill in the formerly open spaces;
- Land disturbances: such as a change in grade that alters soils, and drainage patterns that adversely affect an archaeological resource.

The impacts of a proposed development or change to a cultural heritage resource may be direct or indirect. Impacts may occur over a short term or long-term duration, and may occur during a pre-construction phase, construction phase or post-construction phase. Impacts to a cultural heritage resource may also be site-specific or widespread, and may have low, moderate or high levels of physical impact. Severity of impacts used in this report derives from *International Council on Monuments and Sites (ICOMOS) Guidance on Heritage Impact Assessments for Cultural World Heritage Properties (2011)*.

Grading of Impact for Built Heritage and Historic Landscapes (ICOMOS)	
Impact Grading	Description
<b>Major</b>	Change to key historic building elements that contribute to the cultural heritage value or interest (CHVI) such that the resource is totally altered. Comprehensive changes to the setting.
<b>Moderate</b>	Change to many key historic building elements, such that the resource is significantly modified. Changes to the setting of an historic building, such that it is significantly modified.
<b>Minor</b>	Change to key historic building elements, such that the asset is slightly different. Change to setting of an historic building, such that it is noticeably changed.
<b>Negligible/Potential</b>	Slight changes to historic building elements or setting that hardly affect it.
<b>No change</b>	No change to fabric or setting.

## 8.2 Impact Analysis

The following provides an analysis of impacts to identified cultural heritage resources as a result of the proposed development.

### 8.2.1 Impact Analysis: Proposed Development: 63 Courtland Avenue East

The following provides an assessment of the proposed development on the identified heritage attributes located on the subject property.

Impact Analysis: Proposed Development (63 Courtland Ave.)	
Impact	Level of Impact/Analysis
Demolition of any, or part of any, heritage attributes or features;	None. No adverse impacts are anticipated as it relates to demolition given that all identified heritage attributes are proposed to be retained and conserved over the long-term. The chart provided by ICOMOS is related to <b>“key historic building elements”</b> (i.e. heritage attributes). Given that the proposal does not include the removal of any key historic building elements or heritage attributes located on the subject property, no adverse impacts are anticipated. The scale and massing of Building 1, as well as the architectural attributes which contribute to the architectural style of the building will be retained. The building

	<p>will be adaptively re-used as a standalone multi-residential building.</p> <p>The remaining portions of Building 1, as well as the entirety of Building 2 and Building 3 are not worthy of long-term conservation and are proposed for removal. However, this report acknowledges that the subject property includes early 20<sup>th</sup> century built fabric which is proposed to be removed. Their removal is not considered an adverse impact. Further, the reasons for which the property is identified as being of cultural heritage value or interest will be retained, conserved, enhanced, and interpreted.</p>
<p>Alteration that is not sympathetic, or is incompatible, with the historic fabric and appearance of a building;</p>	<p>The portions of Building 1 which are proposed to be retained will be altered in a way which retains authentic heritage fabric and the identified heritage attributes. Some minor alterations are anticipated, including the replacement of contemporary windows and altering a door opening at the first storey of the east elevation. The front elevation concrete steps are not original and are proposed to be replaced with a suitable new staircase and accessible ramp. The addition of the gray fibre cement panels at the north, west, and south elevations is proposed in order to provide a cladding material which is clearly differentiated from authentic heritage materials. The use of this new material will provide a visual link between the heritage building and the proposed townhouses. The design and materials of the south elevation of the heritage building is intended to respect the existing heritage features of the building and provide a new elevation without an attempt to mimic features which previously did not exist. Therefore, the proposed alterations to the building are appropriate, sympathetic, and clearly differentiate old from new.</p> <p>All identified heritage attributes are proposed to be retained and repaired, where feasible given localised condition issues which were identified in the structural report. A Conservation Plan will be provided at the appropriate time in the future to provide specific recommendations related to proposed alterations and repairs that are necessary for conservation. This includes direction on the repair and/or replacement of masonry which has deteriorated, for example.</p> <p>The addition of the proposed new townhouses is considered an alteration to the site. The addition of townhouses is not anticipated to result in any adverse impacts. Their scale/massing,</p>

	<p>placement, setbacks, designs and materials are appropriate. Section 8.4 of this report demonstrates how the proposed townhouses are consistent with <b>the City’s</b> guidelines related to new development and cultural heritage resources.</p>
<p>Shadows created that obscure heritage attributes or change the viability of the associated cultural heritage landscape;</p>	<p>None. The Ministry of Citizenship and Multiculturalism provides direction that the presence of shadows does not constitute an adverse impact on heritage resources. Adverse impacts as a result of shadows must demonstrate that the viability of the resource would be impacted, such as a use or feature (such as garden) which would be impacted due to changes in available sunlight. Given that the nature of the proposed development concept includes low-rise townhouses, and no natural features on-site are of heritage value, no impacts as a result of shadows are anticipated.</p>
<p>Isolation of a heritage resource or part thereof from its surrounding environment, context or a significant relationship;</p>	<p>None. The proposal includes retaining viable portion of Building 1, which will function as a stand-alone building and be appropriately conserved for adaptive re-use. This report acknowledges that Building 2 was constructed for and utilized by J.M. Schneider for a short period of time (approximately less than 4/5 years). This report demonstrates that Building 2 was an accessory structure to the main factory building. The removal of Building 2 is not anticipated to result in adverse impacts related to isolation. The important built features are identified as heritage attribute and will be retained and conserved in such a way that maintains and interprets the reasons for which the property has been identified as being of cultural heritage value or interest.</p>
<p>Obstruction of significant identified views or vistas of, within, or from individual cultural heritage resources;</p>	<p>None. The building was designed with emphasis on architectural elements at the front façade and all identified heritage attributes which are visible along Courtland Avenue will be retained and conserved. These attributes continue to be visible along Courtland Avenue. The proposed development includes the construction of two new townhouses buildings at the east and west elevations along the street edge are situated away from the retained heritage building such that heritage attributes and features at the east and west elevations of the heritage building will continue to be visible from the public realm and within the interior of the site.</p>
<p>A change in land use where the change affects the <b>property’s cultural heritage</b> value; and</p>	<p>None. The proposed change in land use to residential will not result in adverse impacts given that all identified heritage attributes will be retained and conserved.</p>

Land disturbances such as a change in grade that alters soils, and drainage patterns that adversely affect a cultural heritage resource.	Potential. Given that the proposal includes removing the rear portion of Building 1, while retaining the portion fronting 63 Courtland, vibrations as a result of construction activities should be considered by professionals. Should a potential for vibration impacts be identified, mitigation recommendations (such as vibration monitoring) should be implemented.
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### 8.2.2 Impact Analysis: Adjacent Cultural Heritage Resources

The proposed development is not located adjacent to any listed or designated cultural **heritage resources which are included in the City’s Heritage Register**. This report acknowledges that the subject property is located within the Cedar Hill neighbourhood, which was identified in the City of Kitchener Cultural Heritage Landscapes document (2014) as a potential Cultural Heritage Landscape. The study identifies the character of the neighbourhood as well as key defining features (as noted in Section 1.2 of this report). The study identifies that the character of the neighbourhood “... includes a number of institutional uses such a churches and schools in a manner which is not done **in residential areas laid out after the 1920’s. The net impact of this is a wide visual variety in the setting, which in itself, creates the character of the community. Indeed, this visual variety is strong enough to permit the presence of massive mid-twentieth century apartment blocks without undue visual deterioration.”** The study identifies that a) the character of the area includes a range of uses, built forms, and densities, and b) that the introduction of higher densities has not resulted in the deterioration of its character. Therefore, the proposed development, which is low-scale in terms of its density, would complement the identified character of the area, which is varied. Further, the proposal does not result in the removal or alteration of any character defining features which were specifically identified for the Cedar Hill Neighbourhood.

## 8.3 Conformity with City of Kitchener Official Plan

The following provides a response to the applicable policies of the City of Kitchener Official Plan as it relates to the scope of this Heritage Impact Assessment.

Policy:

*Demolition/Damage of Cultural Heritage Resources*

*12.C.1.32. Where a cultural heritage resource is proposed to be demolished, the City may require all or any part of the demolished cultural heritage resource to be given to the City for re-use, archival, display or commemorative purposes, at no cost to the City.*

*12.C.1.33. In the event that demolition, salvage, dismantling, relocation or irrevocable damage to a significant cultural heritage resource is proposed and permitted, the owner/applicant will be required to prepare and submit a thorough archival documentation, to the satisfaction of the City, prior to the issuance of an approval and/or permit.*

*12.C.1.34. Where archival documentation is required to support the demolition, salvage, dismantling, relocation or irrevocable damage to a significant cultural heritage resource, such documentation must be prepared by a qualified person and must include the following:*

- a) architectural measured drawings;*
- b) a land use history; and,*
- c) photographs, maps and other available material about the cultural heritage resource in its surrounding context. Archival documentation may be scoped or waived by the City, as deemed appropriate.*

Response:

The above-noted policy identifies that in the event a heritage resource is demolished, mitigation recommendations may be warranted in the form of documentation and salvage. These are provided as mitigation recommendations provided in this report.

Policy:

*Cedar Hill and Schneider Creek Neighbourhood Cultural Heritage Landscape*

*12.C.1.50 Policies 12.C.1.51 through 12.C.1.53 apply to lands identified as Cedar Hill and Schneider Creek Neighbourhood Cultural Heritage Landscape on Map 9 – Cultural Heritage Resources.*

*12.C.1.51. The Cedar Hill and Schneider Creek Neighbourhood contains several Priority Locations at gateway locations which facilitate views into and out of the neighbourhoods, accentuating the unique topography of Cedar Hill interfacing with existing low density residential uses on local streets. They include:*

*a) The intersection of Charles Street East and Cedar Street looking to the southwest;*

*b) The intersection of Courtland Avenue East and Cedar Street looking to the northeast;*

*c) The intersection of Courtland Avenue East and Madison Avenue North looking to the northeast;*

*d) The intersection of Courtland Avenue East and Peter Street looking to the northeast;*

*e) The intersection of Charles Street East and Eby Street looking to the southwest;*

*f) The intersection of Benton Street at St. George Street looking to the southeast; and,*

*g) The intersection of Benton Street at Church Street looking to the southeast.*

*Corner properties framing the above referenced intersections are identified as being Property of Specific Cultural Heritage Landscape Interest. In these locations, consideration will be giving to transition of built form to protect and enhance views of the hill and the local streetscape features characteristic of this neighbourhood. New development and/or redevelopment should appropriately frame the intersection, especially where a building of cultural heritage interest is located at the corner.*

Response:

The identified views and gateways noted above do not include any views of the subject property. The subject property is not part of any vantage point, terminus/focal point, or periphery of any of these identified views. Instead, these views are identified in the OP as views related to the unique topography of Cedar Hill and low density residential uses. Therefore, this policy does not apply.

Policy:

*12.C.1.52. The view atop Cedar Hill from Cedar Street looking to the southwest is a unique view from the Cedar Hill Schneider Creek Neighbourhood of the City and of the countryside beyond. Properties contained within Cedar Hill viewshed are identified as being Property of Specific Cultural Heritage Landscape Interest. The City will regulate building height, setbacks and built form along Cedar Street and along Courtland Avenue East to protect and enhance this view. The City will also encourage and support enhancements to the public realm in the location atop of Cedar Hill to contribute and enhance the pedestrian experience and enjoyment of the view.*

Response:

This view is located near the intersection of Church Street and Cedar Street South. This view, including its vantage point, terminus/focal point, and periphery does not include the subject property. This policy does not apply.

Policy:

*12.C.1.53. The principal facades of buildings and park frontages will be encouraged to locate and orient themselves at the termination of a street or view corridor or at a street intersection, in order to support and enhance the significance of the Priority Location or the view or vista.*

Response:

This policy does not apply given that the subject property is not part of any identified view, street termination, or identified intersection.

## 8.4 Conformity with Kitchener Urban Design Manual

The following provides a response regarding whether or not the proposed development is consistent with the City of Kitchener Urban Design Manual as it relates to cultural heritage resources. This includes an analysis of whether or not the proposed new **buildings are consistent with the City's** urban design guidelines.

Guideline:

*City-Wide*

*01.2.8 Cultural & Natural Heritage*

*Cultural Heritage Resources*

*Conserve cultural heritage resources including buildings, views and vistas, structures, districts, streetscape and landscapes using the following strategies:*

*Preservation: protect, maintain and stabilize the heritage value of a cultural heritage resource including its context and setting.*

*Rehabilitation: repair or replace heritage attributes, construct compatible and reversible additions, integrate the cultural heritage resource or components of the cultural heritage resource into a new development, or adaptively reuse the cultural heritage resource.*

*Restoration: accurately reveal, recover or represent the state of a historic place or individual component as it appeared at a particular period in history, while protecting its heritage value.*

Response:

The proposed development conserves the heritage attributes of the site and the reasons for which the property was identified as being of cultural heritage value. The primary strategy for the proposal is rehabilitation, whereby the existing building will be altered for residential use while retaining all identified heritage attributes. These heritage attributes will be conserved and repaired where necessary.

Guideline:

*New development on a site with a cultural heritage resource and additions to cultural heritage resources should integrate new, contrasting building materials in ways which respect the integrity of the cultural heritage resource. Conserve heritage value by being physically and visually compatible with, subordinate to, and distinguishable from the cultural heritage resource.*

Response:

The proposal includes the sensitive integration of new low-rise multi-residential buildings with sympathetic new building materials. This includes the use of contemporary materials and designs which are distinguishable from, and physically and visually sensitive to the heritage resource. This includes the use of simple geometric features, including repetitive roof gables across the façade, and rhythmic and symmetrical window openings. Given the proposed low-density nature of the proposal as well as their design and placement within the site, the proposed new buildings are sensitively integrated.

Guideline:

*Sensitively rehabilitate cultural heritage resources to ensure equitable and inclusive usability for all while mitigating impacts on heritage attributes.*

Response:

The proposal includes the adaptive re-use of the portion of Building 1 fronting onto Courtland Avenue which has design/physical value and communicates the history of the site and its significance with the former operations of J.M. Schneider. The proposal includes the construction of an accessibility ramp at the front façade to support usability for all, which will not detract from the heritage building and will not result in the removal of any heritage attributes.

Guideline:

*New development near cultural heritage resources is to be compatible, with a high level of urban design, particularly as it relates to views, streetscape character, and material selection.*

Response:

The proposed development is not located adjacent to, or within the context of any listed or designated cultural heritage resources. The subject property is located within the Cedar Hill neighbourhood which has been a) identified as a Cultural Heritage Landscape, and b) included in the City of Kitchener Official Plan. This HIA has demonstrated that the proposed development will not result in adverse impacts to the neighbourhood and its identified character and the proposal is consistent with the policies of the Official Plan. The proposal demonstrates a high level of urban design and is sensitive to, and distinguishable from the heritage building proposed to be retained.

Guideline:

*Proposals contemplating development on a property containing a cultural heritage resource or adjacent to protected heritage property may be required to provide a Heritage Impact Assessment and/or Conservation Plan as part of the application review process.*

*Additional Information: A Heritage Impact Assessment evaluates the impacts the development or site alteration will have on cultural heritage resources, and recommends an overall approach to conserve these resources and mitigate negative impacts.*

Response:

This Heritage Impact Assessment is submitted in support of the proposed development. This report includes all required components, as per the Terms of Reference, such as impact analysis, alternative development options, and mitigation recommendations.

*Major Transit Station Areas  
02.2.7 Cultural & Natural Heritage*

*Heritage Resources*

***Conserving cultural and natural heritage resources within MTSA's is of critical importance, as doing so promotes diversity, gives variety to the urban fabric, reflects and enhances the cultural history of neighbourhoods and encourages urban exploration, sustainability, and the continuation of Kitchener's living history and natural systems.***

Response:

The proposed development includes retaining and conserving all the identified heritage attributes of the site and incorporating them into the proposal for adaptive re-use as a multi-residential building.

Guideline:

*02.4.2 PARTS CENTRAL*

***Conserve and celebrate the area's cultural heritage assets, including listed and designated properties, Cultural Heritage Landscapes and transportation corridors such as the Canadian National Railway Line, the Iron Horse Trail and Jubilee Drive, Victoria Park and others.***

Response:

The subject property does not include any features of the railway, Iron Horse Trail, Jubilee Drive, or Victoria Park. The proposed development is located within an identified Cultural Heritage Landscape and will not result in any adverse impacts to the identified character of the neighbourhood. The proposal includes retaining and conserving all heritage attributes of the site and incorporating them into the proposal. This Heritage Impact Assessment recommends that salvage and commemoration/interpretation of the site be submitted to the City at the appropriate time in the future in order to ensure that the story of J.M. Schneider is celebrated.

# 9.0 Consideration of Development

## Alternatives, Mitigation Measures and Conservation Recommendations

### 9.1 Alternative Development Approaches

The following have been identified as a range of development alternatives that may be considered as part of the planning process. They have been listed in order from least to greatest impact on cultural heritage resources.

#### 9.1.1 Retain all Buildings In-situ and Integrate Them into the Development Concept

This option would result in retaining all buildings (i.e. Buildings 1, 2, and 3) in their existing locations in-situ while developing the remainder of the site. This option will result in challenges developing the remainder of the lot given the location and footprint of these existing buildings. Should this option be selected going forward, it would result in limiting the potential for maximising the use of the site. Given that this report has demonstrated that all identified heritage attributes are proposed to be retained and conserved, this option does not result in substantial benefits related to cultural heritage resources. This option is not recommended.

#### 9.1.2 Retain Additional Portions Building 1 and Integrate with the Proposed Development

This option would result in retaining additional fabric of Building 1 over the long-term. This would include options related to retaining Sections D, E, F, and G, or a combination of these. The retention of these portions of the building does not result in any benefit to cultural heritage resources since they do not exhibit any design value.

### 9.1.3 Re-locate Buildings 2 and/or 3 to an Alternative Location Off-Site

This option would result in re-locating Buildings 2 and/or 3 to an alternative location off-site. Should this option be chosen, an appropriate receiving site would need to be secured. Additional structural analysis would be required to confirm whether or not the buildings are suitable for re-location. However, there would be no substantial benefit as it relates to the conservation of cultural heritage resources given that all identified heritage attributes are being retained and conserved with the development proposal.

### 9.1.4 Revise Development Proposal to Reduce Density

This option would result in retaining the identified heritage attributes of the property while providing an updated development concept which proposes less density in terms of the proposed 3 storey townhouses. The subject property currently allows for a higher density than is currently proposed. Therefore, the proposed density of the site is less than what is permitted as-of-right. The current development concept is in-keeping with the character of the area, which is predominantly low-density residential single-detached housing. Given that the proposal is already low-density and results in no adverse impacts to cultural heritage resources located on-site or adjacent, this alternative is not warranted and would not result in a benefit to cultural heritage resources.

## 9.2 Mitigation Recommendations

The following provides mitigation recommendations as it relates to the proposed development:

- Submission of a Conservation Plan which details how the building will be appropriately conserved over the short, medium, and long-term. The Conservation Plan will include information related to any structural systems needed to ensure the building is stabilized during construction activities;
- Submission of a Documentation and Salvage report which documents the existing buildings with photographs and identifies any materials which could be salvaged for a range of uses;
- Submission of a Commemoration and Interpretation strategy which outlines the strategy for the interpretation of the history of the site.

# 10.0 Recommendations and Conclusions

This report has determined that the subject property meets 2 criteria under *Ontario Regulation 9/06* for determining Cultural Heritage Value or Interest.

The proposed development results in minimal adverse impacts given that all identified heritage attributes are proposed to be retained and conserved. This HIA has demonstrated that the reason for which the subject property is of cultural heritage value or interest is related to its former use and original location of the J.M. Schneider operations. The original portion of the existing factory building which is of design/physical value is proposed to be retained and conserved. The proposal includes retaining portions of Building 1 as a stand-alone building which will be sympathetically altered and conserved for multi-residential use. Structural reports have confirmed that portions of Building 1 can be retained safely while the remaining portions of the building are removed. The removal of Building 2 and Building 3 will include the removal of 19<sup>th</sup> century built fabric. However, these buildings do not demonstrate design/physical value and are not worthy of long-term conservation. The proposed development concept to include low density residential units in the form of 3 storey townhouses is considered appropriate and will not result in adverse impacts to cultural heritage resources located on-site or adjacent, including the identified character and identified features of the Cedar Hill neighbourhood.

## Summary of Mitigation Recommendations:

- Submission of a Conservation Plan which details how the building will be appropriately conserved over the short, medium, and long-term. The Conservation Plan will include information related to any structural systems needed to ensure the building is stabilized during construction activities;
- Submission of a Documentation and Salvage report which documents the existing buildings with photographs and identifies any materials which could be salvaged for a range of uses;
- Submission of a Commemoration and Interpretation strategy which outlines the strategy for the interpretation of the history of the site.

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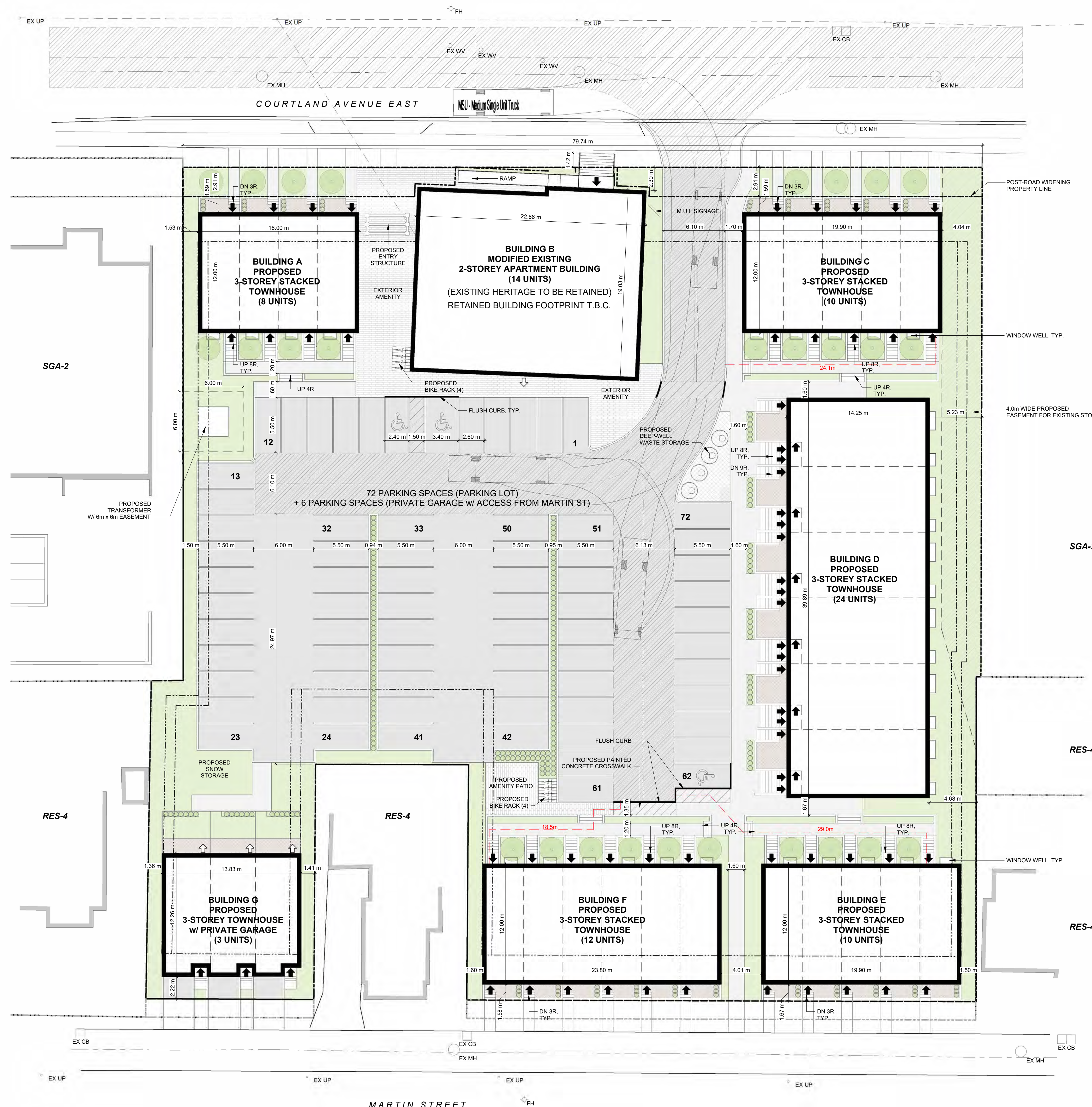
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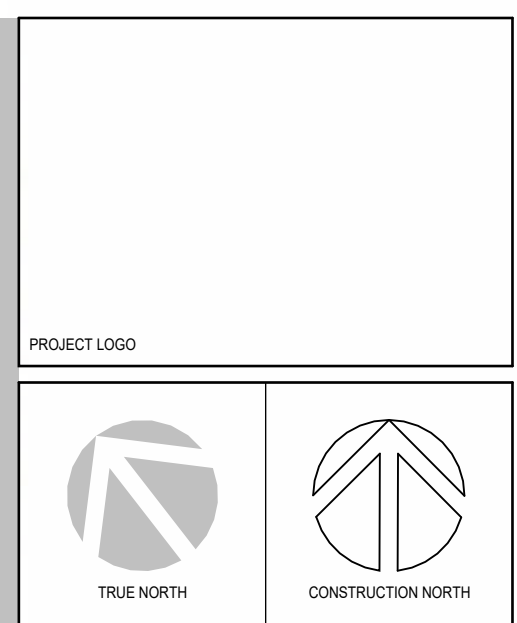
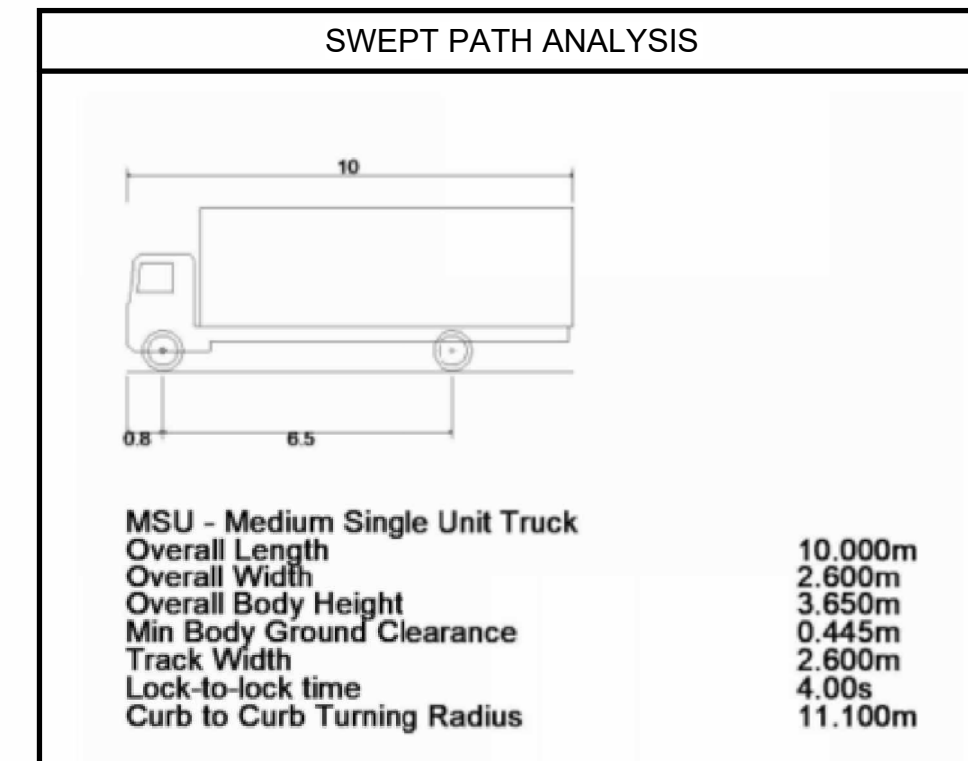
# Appendix A

## Site Plan and Elevations



### SITE PLAN LEGEND

	EXTENT OF UNDERGROUND PARKING GARAGE
	LINE OF SETBACK
	CENTERLINE OF ROAD
	PROPERTY LINE
	DRIP LINE
	4.5M OFFSET FROM BUILDING FOR AVERAGE GRADE CALCULATION
	MAIN BUILDING ENTRANCE
	SECONDARY BUILDING ENTRANCE
	FIRE EXIT
	PARKING ENTRANCE
	LOADING ENTRANCE
	FIRE DEPT CONNECTION
	BOLLARD
	LIGHT BOLLARD
	MANHOLE COVER
	CATCH BASIN
	EX. FIRE HYDRANT
	EX. WATER VALVE
	EX. SIGN
	EX. GUY WIRE
	EX. WOOD UTILITY POLE
	FINISHED FLOOR ELEVATION
	SITE ELEVATIONS (SHOWN TO ESTABLISH AVERAGE GRADE)
	FIRE ACCESS ROUTE - SIGNAGE PLACED ON WITHHER SIDE.
	FIRE ACCESS ROUTE
	WASTE COLLECTION POINT
	VISIBILITY TRIANGLE
	PATIO AREA
	LANDSCAPED AREA
	PAVED AREA
	PATHWAYS
	STAMPED CONCRETE AREA
	SNOW STORAGE AREA



PROJECT LOGO

TRUE NORTH

CONSTRUCTION NORTH

Issued for Schematic Design  
 Issued for Design Development  
 Issued for Site Plan Approval  
 Issued for Permit  
 Issued for Tender  
 Issued for Construction

No.	DESCRIPTION	DATE

DISCREPANCIES MUST BE REPORTED IMMEDIATELY TO THE ARCHITECT / ENGINEER BEFORE PROCEEDING. ONLY FIGURED DIMENSIONS MUST BE USED. THE CONTRACTOR MUST CHECK THE DIMENSIONS ON SITE.

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SEAL

CONSULTANTS

PROJECT:  
**63 COURTLAND AVE HOUSING DEVELOPMENT**

**63 COURTLAND AVE E KITCHENER ON**

DRAWING TITLE:  
**SITE PLAN**

SHEET SIZE: ARCH D (810x914) SCALE: As indicated

PROJECT NO.: **24113**

DRAWING NO.: **SP1.1**

PROJECT DATA: MULTIPLE DWELLING 5-10 ( BUILDING A,C,E) & 11+ UNITS (BUILDING D,F)				
ITEM		PROPOSED BY DESIGNER/ARCHITECT	REQUIRED PER ZONING BY-LAW 2019-051	REFERENCE FROM ZONING BY-LAW
J	SETBACKS			
	FRONT YARD SETBACK (COURTLAND)	4.5m MIN.	4.5m MIN.	TABLE 6-3 (ZBL 2019-051)
	EXTERIOR YARD SETBACK (MARTIN)	1.58m MIN.*	4.0m MIN.	TABLE 6-3 (ZBL 2019-051)
	REAR YARD SETBACK	N/A	7.5m MIN.	TABLE 6-3 (ZBL 2019-051)
	INTERIOR SIDE YARD - STRATEGIC GROWTH AREA A	5-10 UNITS BUILDING A - 1.53m BUILDING C - 4.04m BUILDING E - 1.50m 11+ UNITS BUILDING D - 4.68m BUILDING F - 1.6m*	1.5m MIN. (5-10 UNITS) 2.5m MIN. (11+ UNITS)	TABLE 6-3 (ZBL 2019-051)
K	MAXIMUM BUILDING HEIGHT (M)	9.5m (BUILDINGS A,C,E,F) 10.0m (BUILDING D)	11.0m MAX.	TABLE 6-3 (ZBL 2019-051)
	NUMBER OF STOREYS	3 STOREYS (BUILDING A,C,E,F) 3.5 STOREYS (BUILDING D)	N/A	N/A
L	MAXIMUM BUILDING LENGTH	5-10 UNITS BUILDING A - 16.0m BUILDING C - 19.9m BUILDING E - 19.9m 11+ UNITS BUILDING D - 39.9m* BUILDING F - 23.8m	24.0m MAX. (5-10 UNITS) 36.0m MAX. (11+ UNITS)	TABLE 6-3 (ZBL 2019-051)

PROJECT DATA: EXISTING HERITAGE MULTIPLE DWELLING APARTMENT (BUILDING B)				
ITEM		PROPOSED BY DESIGNER/ARCHITECT	REQUIRED PER ZONING BY-LAW 2019-051	REFERENCE FROM ZONING BY-LAW
J	SETBACKS			
	FRONT YARD SETBACK (COURTLAND)	2.3m EXISTING	EXISTING	
	EXTERIOR YARD SETBACK (MARTIN)	61.8m	4.0m MIN.	TABLE 6-3 (ZBL 2019-051)
	REAR YARD SETBACK	39.5m	7.5m MIN.	TABLE 6-3 (ZBL 2019-051)
	INTERIOR SIDE YARD - STRATEGIC GROWTH AREA A	22.6m MIN. EXISTING	2.5m MIN. (11+ UNITS)	TABLE 6-3 (ZBL 2019-051)
	ARCHITECTURAL PROJECTIONS	1.42m*	0.6m MAX.	4.14.1. (ZBL 2019-051)
K	MAXIMUM BUILDING HEIGHT (M)	10.6m EXISTING (GRADE TO T/O PARAPET)	11.0m MAX.	TABLE 6-3 (ZBL 2019-051)
	NUMBER OF STOREYS	2 STOREYS	N/A	TABLE 6-3 (ZBL 2019-051)
L	MAXIMUM BUILDING LENGTH	22.9m EXISTING	36.0m MAX.	TABLE 6-3 (ZBL 2019-051)

PROJECT DATA: STREET TOWNHOUSE (BUILDING G)				
ITEM		PROPOSED BY DESIGNER/ARCHITECT	REQUIRED PER ZONING BY-LAW 2019-051	REFERENCE FROM ZONING BY-LAW
J	SETBACKS			
	FRONT YARD SETBACK (COURTLAND)	66.4m	4.5m MIN.	TABLE 6-3 (ZBL 2019-051)
	EXTERIOR YARD SETBACK (MARTIN)	2.22m MIN.*	4.0m MIN.	TABLE 6-3 (ZBL 2019-051)
	REAR YARD SETBACK	N/A	7.5m MIN.	TABLE 6-3 (ZBL 2019-051)
	INTERIOR YARD SETBACK	1.36m MIN.*	1.5m MIN. (4 UNITS)	TABLE 6-3 (ZBL 2019-051)
K	MAXIMUM BUILDING HEIGHT (M)	10.0m	11.0m MAX.	TABLE 6-3 (ZBL 2019-051)
	NUMBER OF STOREYS	3 STOREYS	N/A	TABLE 6-3 (ZBL 2019-051)
L	MAXIMUM BUILDING LENGTH	13.8m (3 UNITS)	20.0m (4 UNITS)	TABLE 6-3 (ZBL 2019-051)

\* VARIANCE REQUIRED

PROJECT DATA				
ITEM		PROPOSED BY DESIGNER/ARCHITECT	REQUIRED PER ZONING BY-LAW 2019-051	REFERENCE FROM ZONING BY-LAW
A	ZONING CATEGORY	N/A	SGA-2 (STRATEGIC GROWTH AREA ZONES)	N/A
	PERMITTED USES	MULTIPLE DWELLING (INCLUDES STACKED TOWNHOUSE DWELLING) CLUSTER TOWNHOUSE DWELLING*	MULTIPLE DWELLING (INCLUDES STACKED TOWNHOUSE DWELLING) NOTE: MULTIPLE DWELLING DOES NOT INCLUDE CLUSTER TOWNHOUSE DWELLING	TABLE 6-1 (ZBL 2019-051) SECTION 3 DEFINITIONS (ZBL 2019-051)
B	TOTAL LOT AREA	6,350.21 m <sup>2</sup>	450 m <sup>2</sup>	TABLE 6-3 (ZBL 2019-051)
	LOT WIDTH	79.74 m (COURTLAND)	12.0m MIN.	TABLE 6-3 (ZBL 2019-051)
C	GROSS FLOOR AREA (GFA) m <sup>2</sup> SITE TOTAL	5,935.2 m <sup>2</sup>	N/A	N/A
	BUILDING A	576.0 m <sup>2</sup>	N/A	N/A
	BUILDING B	855.6 m <sup>2</sup>	N/A	N/A
	BUILDING C	716.4 m <sup>2</sup>	N/A	N/A
	BUILDING D	1,705.3 m <sup>2</sup>	N/A	N/A
	BUILDING E	716.4 m <sup>2</sup>	N/A	N/A
	BUILDING F	856.8 m <sup>2</sup>	N/A	N/A
	BUILDING G	508.7 m <sup>2</sup>	N/A	N/A
	FLOOR SPACE RATIO (TOTAL SITE)	0.92	N/A (MULTIPLE DWELLING 5-10) 0.6 MIN. (MULTIPLE DWELLING 11+)	TABLE 6-3 (ZBL 2019-051)
D	BUILDING FOOTPRINT (TOTAL SITE)	2,121.5 m <sup>2</sup>	N/A	N/A
	BUILDING A	192.0 m <sup>2</sup>	N/A	N/A
	BUILDING B	428.3 m <sup>2</sup>	N/A	N/A
	BUILDING C	238.8 m <sup>2</sup>	N/A	N/A
	BUILDING D	568.4 m <sup>2</sup>	N/A	N/A
	BUILDING E	238.8 m <sup>2</sup>	N/A	N/A
	BUILDING F	285.6 m <sup>2</sup>	N/A	N/A
	BUILDING G	169.6 m <sup>2</sup>	N/A	N/A
	BUILDING COVERAGE OF TOTAL LOT AREA (%)	33%	N/A	N/A
E	TOTAL PARKING STALLS (INCLUDES ACCESSIBLE & VISITOR SPACES)	SURFACE = 72 SPACES PRIVATE GARAGE = 6 SPACES TOTAL = 78 SPACES	NO MIN. MAX. 1.3 / DWELLING UNIT (INCLUDING VISITOR) *20% OF PROVIDED TO BE EV READY	TABLE 5-5 (ZBL 2019-051) 5.8.a) (ZBL 2019-051)
	VISITOR PARKING	8 SPACES (72'0.1 + 7.2)	MIN. 10% OF PROVIDED PARKING SPACES	TABLE 5-5 (ZBL 2019-051)
	ACCESSIBLE PARKING SPACES (PROVIDED, INCLUDED IN TOTAL ABOVE)	3 SPACES	FOR 13-100 PROVIDED. 4% OF TOTAL PROVIDED	TABLE 5-6 (ZBL 2019-051)
	BIKE SPACES	TYPE A: TBD TYPE B: 8 SPACES TOTAL: TBD	TYPE A: 1 PER DWELLING UNIT WITHOUT PRIVATE GARAGE (1*78 UNITS = 78) TYPE B: 6 PER LOT WITH MORE THAN 20 DWELLING UNITS	TABLE 5-5 (ZBL 2019-051)
F	STANDARD PARKING STALL DIMENSIONS	2.6m WIDTH x 5.5m LENGTH	2.6m WIDTH x 5.5m LENGTH	5.3.1. (ZBL 2019-051)
	ACCESSIBLE PARKING STALL DIMENSIONS	TYPE A: 3.4m WIDTH x 5.5m LENGTH TYPE B: 2.4m WIDTH x 5.5m LENGTH * 1.5m WIDE ACCESS AISLE	TYPE A: 3.4m WIDTH x 5.5m LENGTH TYPE B: 2.4m WIDTH x 5.5m LENGTH * 1.5m WIDE ACCESS AISLE	5.9. (ZBL 2019-051)
	BIKE SPACE DIMENSIONS	0.6m WIDTH x 1.8m LENGTH	0.6m WIDTH x 1.8m LENGTH	5.5.c) (ZBL 2019-051)
G	IMPERMEABLE COVERAGE CALCULATIONS (m <sup>2</sup> AND %)			
	PROPOSED BUILDING AREA	2,121.5 m <sup>2</sup>	N/A	N/A
	HARD LANDSCAPING AREA (SIDEWALK)	373.1 m <sup>2</sup>	N/A	N/A
	PAVED AREA (ASPHALT)	1,979.1 m <sup>2</sup>	N/A	N/A
	OTHER: STAIRS, RAMPS, CURBS, RETAINING WALLS, WINDOW WELLS, BIKE STORAGE, GARBAGE STORAGE	372.7 m <sup>2</sup>	N/A	N/A
TOTAL m <sup>2</sup> / %	4,846.4 m <sup>2</sup> (76% OF SITE)	N/A	N/A	N/A
H	PERMEABLE COVERAGE CALCULATIONS (m <sup>2</sup> AND %)			
	PATHWAYS + SURFACES (GRAVEL, PAVING STONES, ETC)	412.3 m <sup>2</sup>	N/A	N/A
	LANDSCAPED AREAS, SOD + PLANTED	1,091.5 m <sup>2</sup>	N/A	N/A
	TOTAL (m <sup>2</sup> / %)	1,503.8 m <sup>2</sup> (24% OF SITE)	N/A	N/A
	TOTAL LANDSCAPE AREA (HARD LANDSCAPE+ SECTION H)	1,876.9 m <sup>2</sup> (30% OF SITE)	30.0% MIN.	TABLE 6-3 (ZBL 2019-051)
	PRIVATE PATIO AREA (GROUND FLOOR)	164.4 m <sup>2</sup> (11% OF LANDSCAPE AREA)	N/A	N/A
I	AMENITY SPACE	PRIVATE EXTERIOR= 313.8 m <sup>2</sup> (FOR 29 UNITS) OTHER EXTERIOR = 247.9 m <sup>2</sup> * (FOR 52 UNITS) INTERIOR = TBD TOTAL = 561.7 m <sup>2</sup>	4 m <sup>2</sup> / DWELLING UNIT PRIVATE AMENITY OR 5 m <sup>2</sup> / DWELLING UNIT WHERE PRIVATE AMENITY IS LESS THAN 3 m <sup>2</sup> DWELLING UNIT  (4*29 UNITS = 116.0 m <sup>2</sup> ) (5*52 UNITS = 260.0 m <sup>2</sup> )	6.7. (ZBL 2019-051)

PROJECT LOGO

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PROJECT:  
**63 COURTLAND AVE HOUSING DEVELOPMENT**

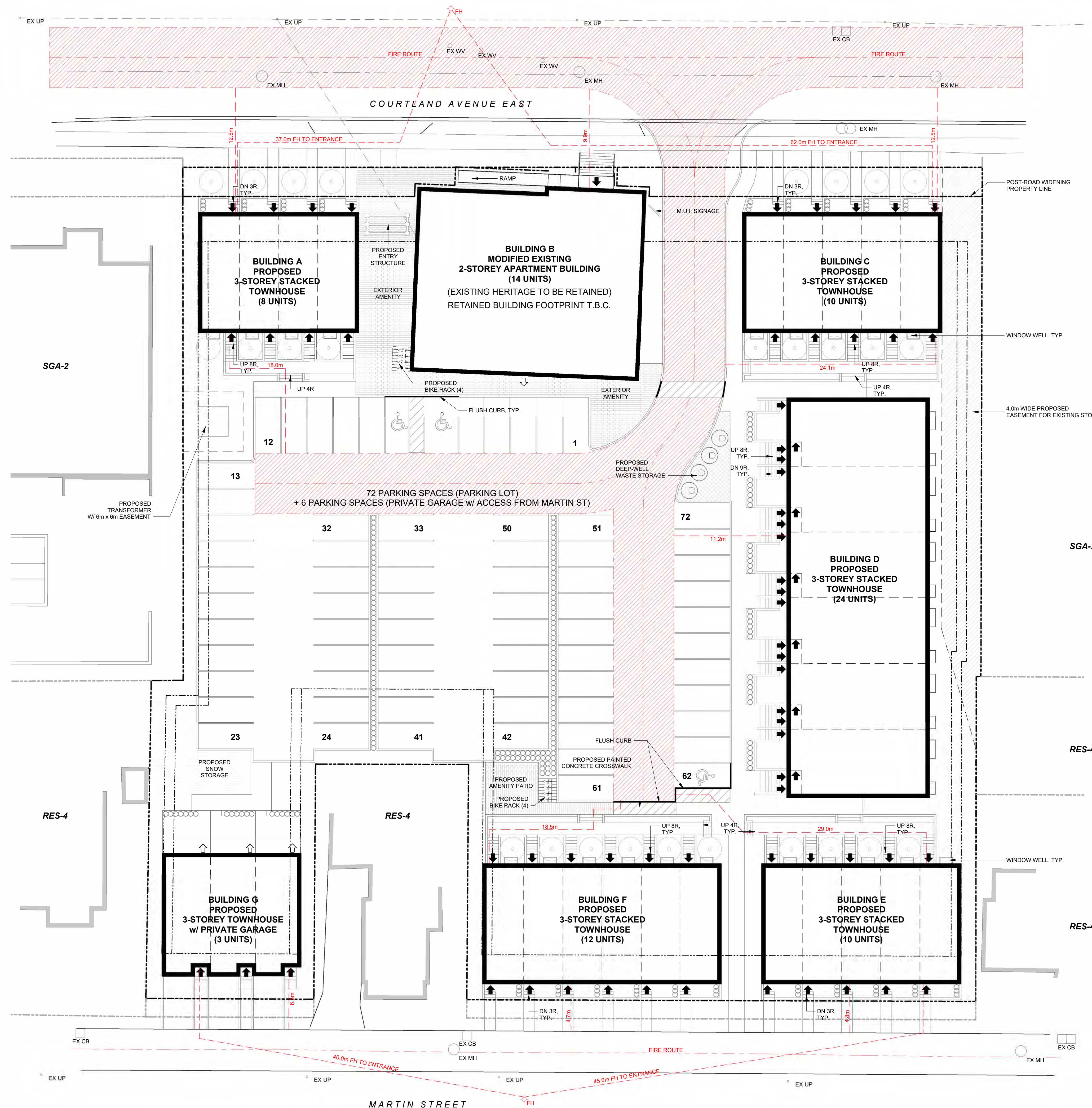
**63 COURTLAND AVE E  
KITCHENER ON**

DRAWING TITLE:  
**SITE ZONING CHART**

SHEET SIZE: ARCH D (810x914) SCALE: N/A

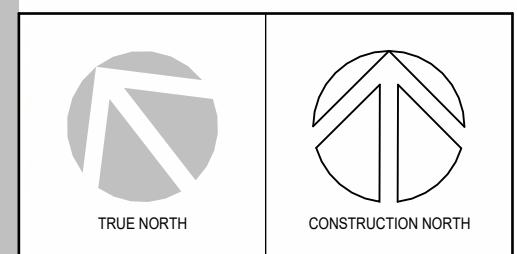
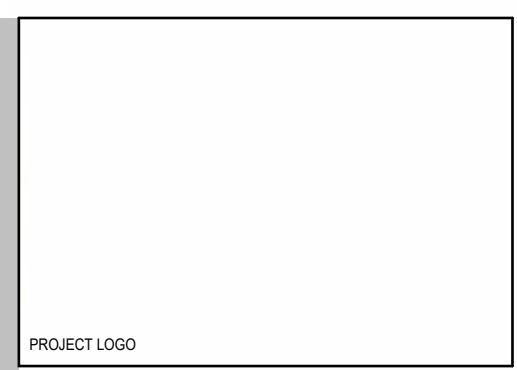
PROJECT NO: **24113**

DRAWING NO: **SP1.2**



**SITE PLAN LEGEND**

	EXTENT OF UNDERGROUND PARKING GARAGE
	LINE OF SETBACK
	CENTERLINE OF ROAD
	PROPERTY LINE
	DRIP LINE
	4.5M OFFSET FROM BUILDING FOR AVERAGE GRADE CALCULATION
	MAIN BUILDING ENTRANCE
	SECONDARY BUILDING ENTRANCE
	FIRE EXIT
	PARKING ENTRANCE
	LOADING ENTRANCE
	FIRE DEPT CONNECTION
	BOLLARD
	LIGHT BOLLARD
	MANHOLE COVER
	CATCH BASIN
	EX. FIRE HYDRANT
	EX. WATER VALVE
	EX. SIGN
	EX. GUY WIRE
	EX. WOOD UTILITY POLE
	FINISHED FLOOR ELEVATION
	SITE ELEVATIONS (SHOWN TO ESTABLISH AVERAGE GRADE)
	FIRE ACCESS ROUTE - SIGNAGE PLACED ON WITHR SIDE.
	FIRE ACCESS ROUTE



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PROJECT:  
**63 COURTLAND AVE HOUSING DEVELOPMENT**

**63 COURTLAND AVE KITCHENER ON**

DRAWING TITLE:  
**SITE PLAN - FIRE ROUTE**

SHEET SIZE: ARCH D (810x914) SCALE: As indicated

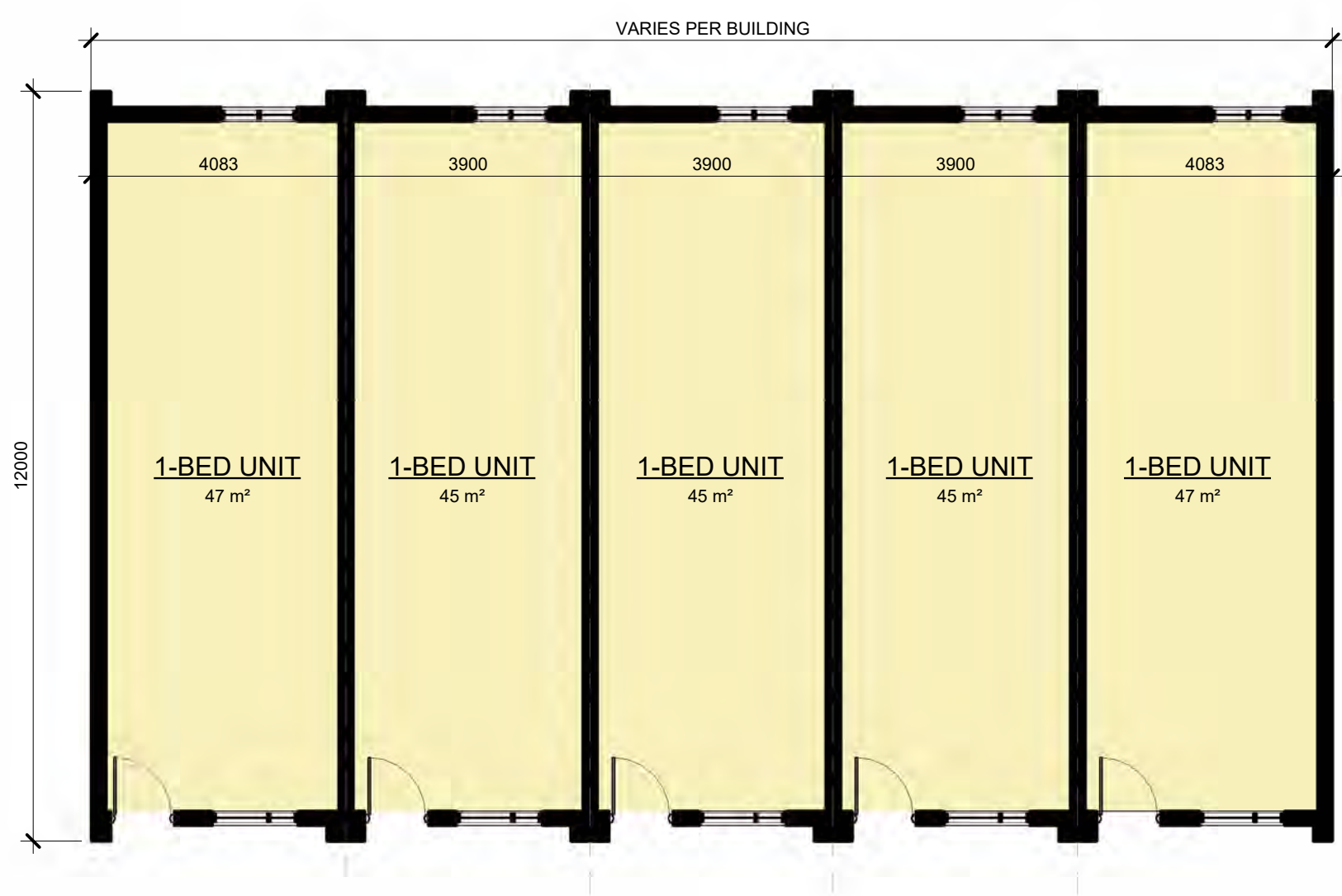
PROJECT NO.: **24113**

DRAWING NO.: **SP1.3**



5 FRONT ELEVATION  
SP2.1 1:100

7 EXTERIOR SIDE ELEVATION  
SP2.1 1:100

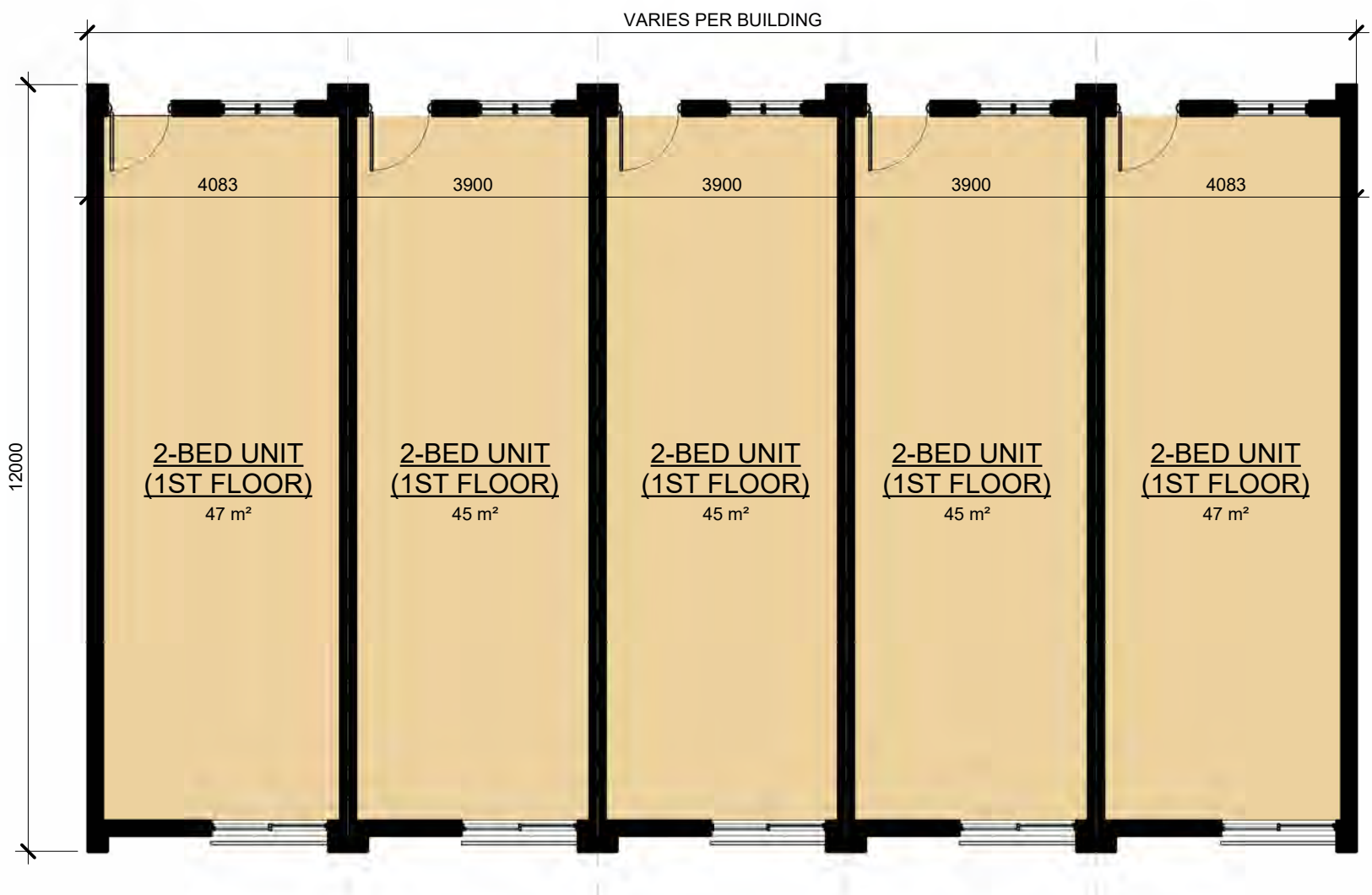


1 LEVEL 1 FLOOR PLAN  
SP2.1 1:100

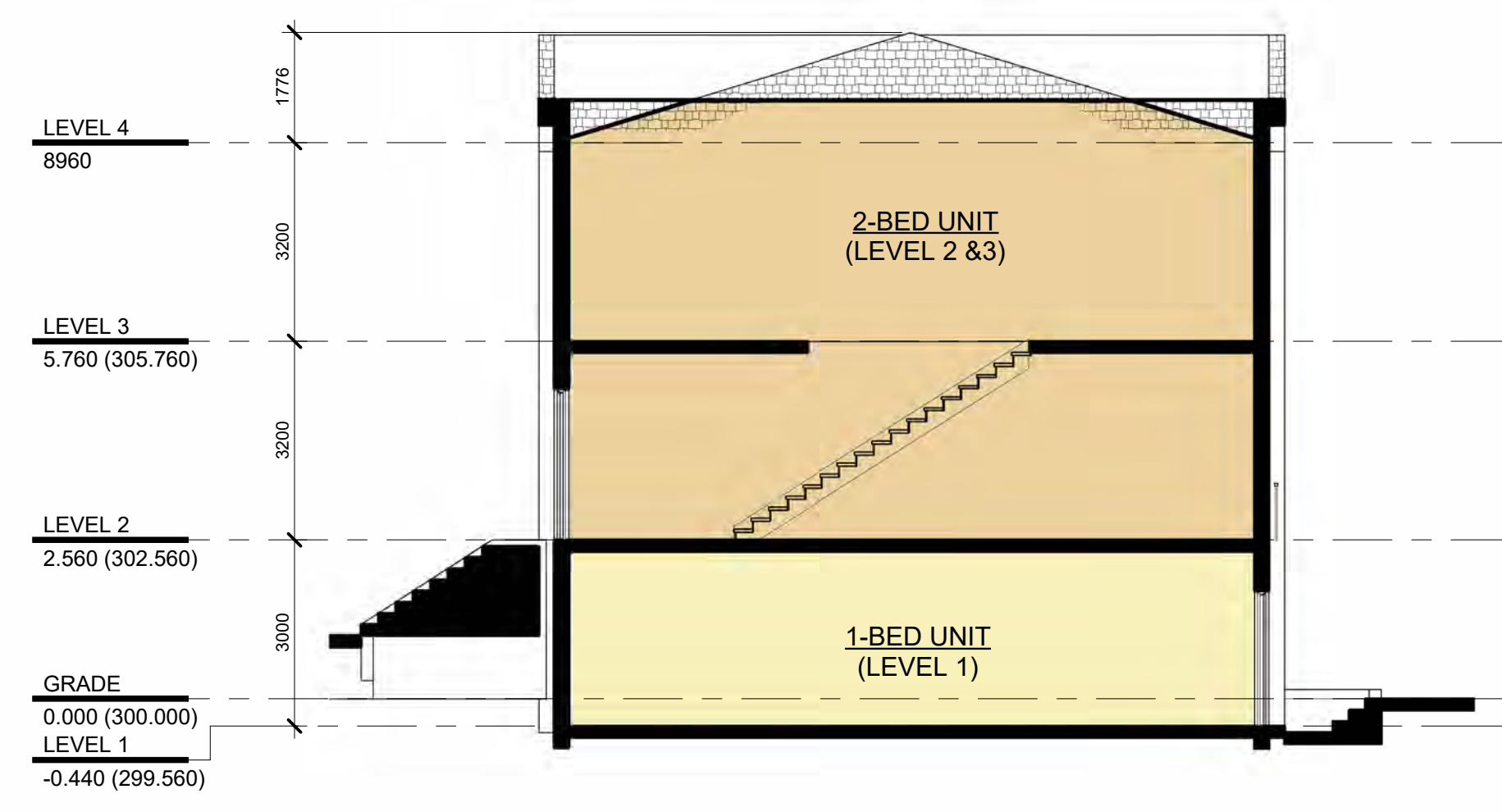


6 REAR ELEVATION  
SP2.1 1:100

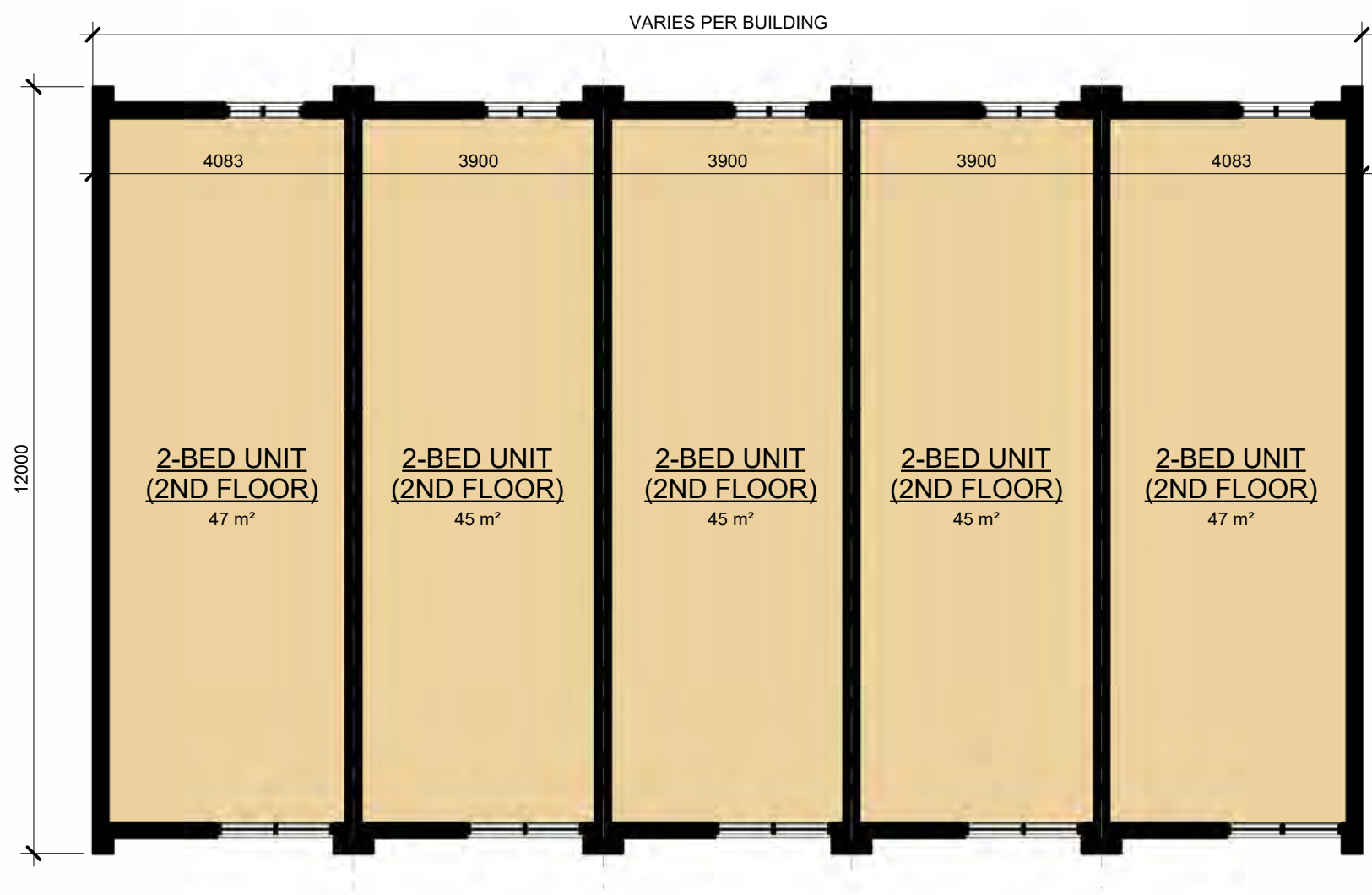
8 INTERIOR SIDE ELEVATION  
SP2.1 1:100



2 LEVEL 2 FLOOR PLAN  
SP2.1 1:100



9 BUILDING SECTION  
SP2.1 1:100

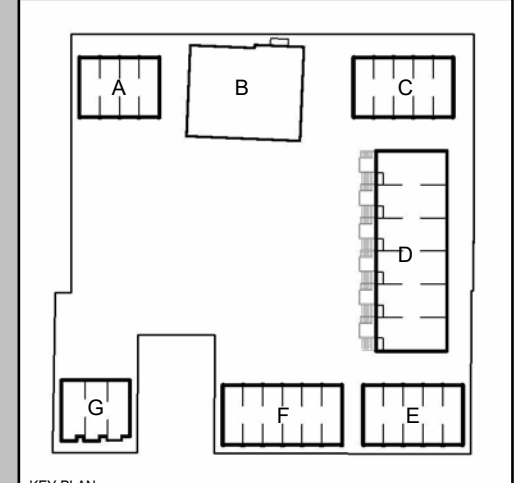
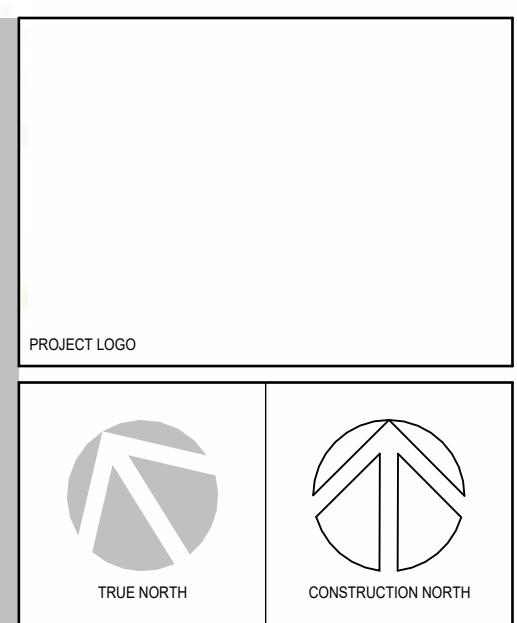


3 LEVEL 3 FLOOR PLAN  
SP2.1 1:100

**LEGEND**

- 1-BED UNIT
- 2-BED UNIT
- 2-BED + DEN UNIT
- 3-BED UNIT

BUILDING A - 8 UNITS  
BUILDING C - 10 UNITS  
BUILDING E - 10 UNITS  
BUILDING F - 12 UNITS



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PROJECT:  
**mCs ARCH TEMPLATE**

## Street, City, State Zip

DRAWING TITLE:  
**BUILDING TYPE A, C, E, F PLANS, ELEVATIONS & SECTIONS**

SHEET SIZE: ARCH D (810x814) SCALE:

PROJECT NO: **0001**

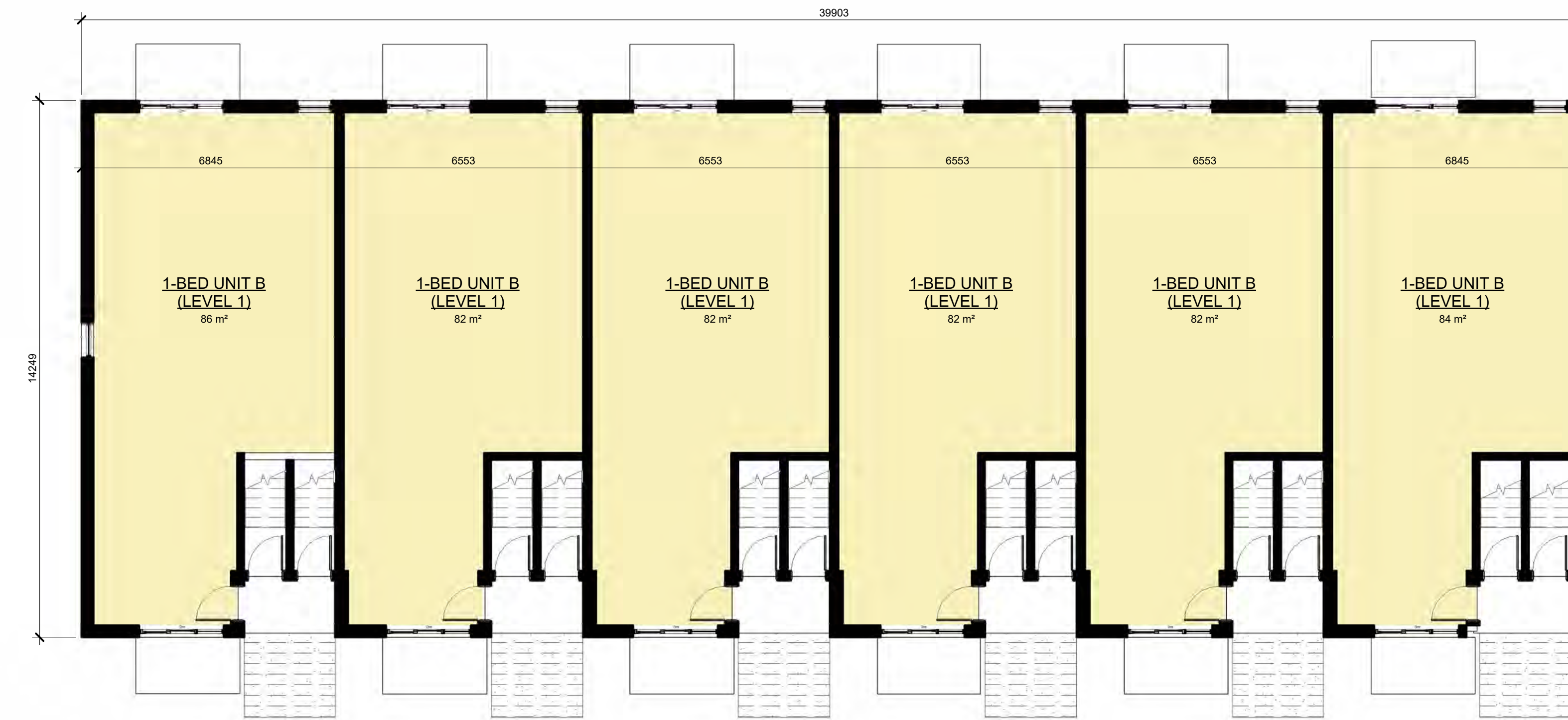
DRAWING NO: **SP2.1**



1  
SP2.2

**BASEMENT PLAN**

1 : 100



2  
SP2.2

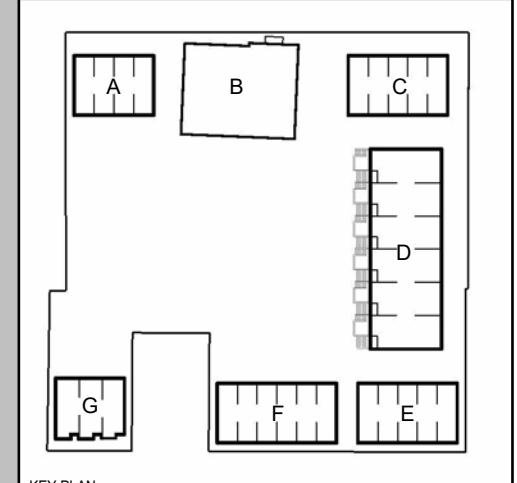
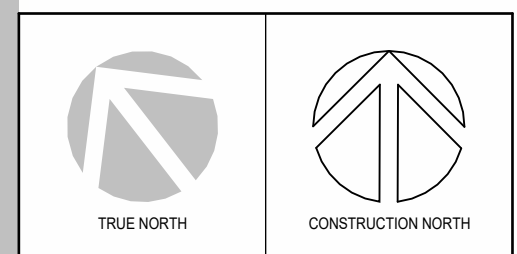
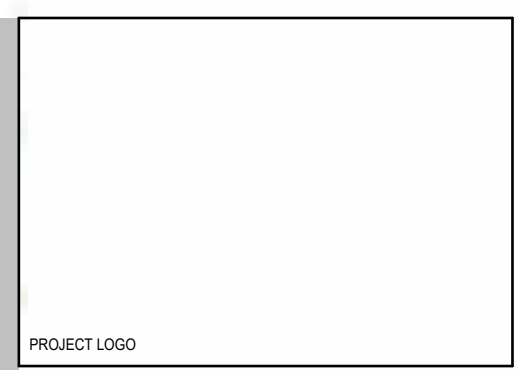
**LEVEL 1 PLAN**

1 : 100

**LEGEND**

1-BED UNIT
2-BED UNIT
2-BED + DEN UNIT
3-BED UNIT

BUILDING D - 24 UNITS



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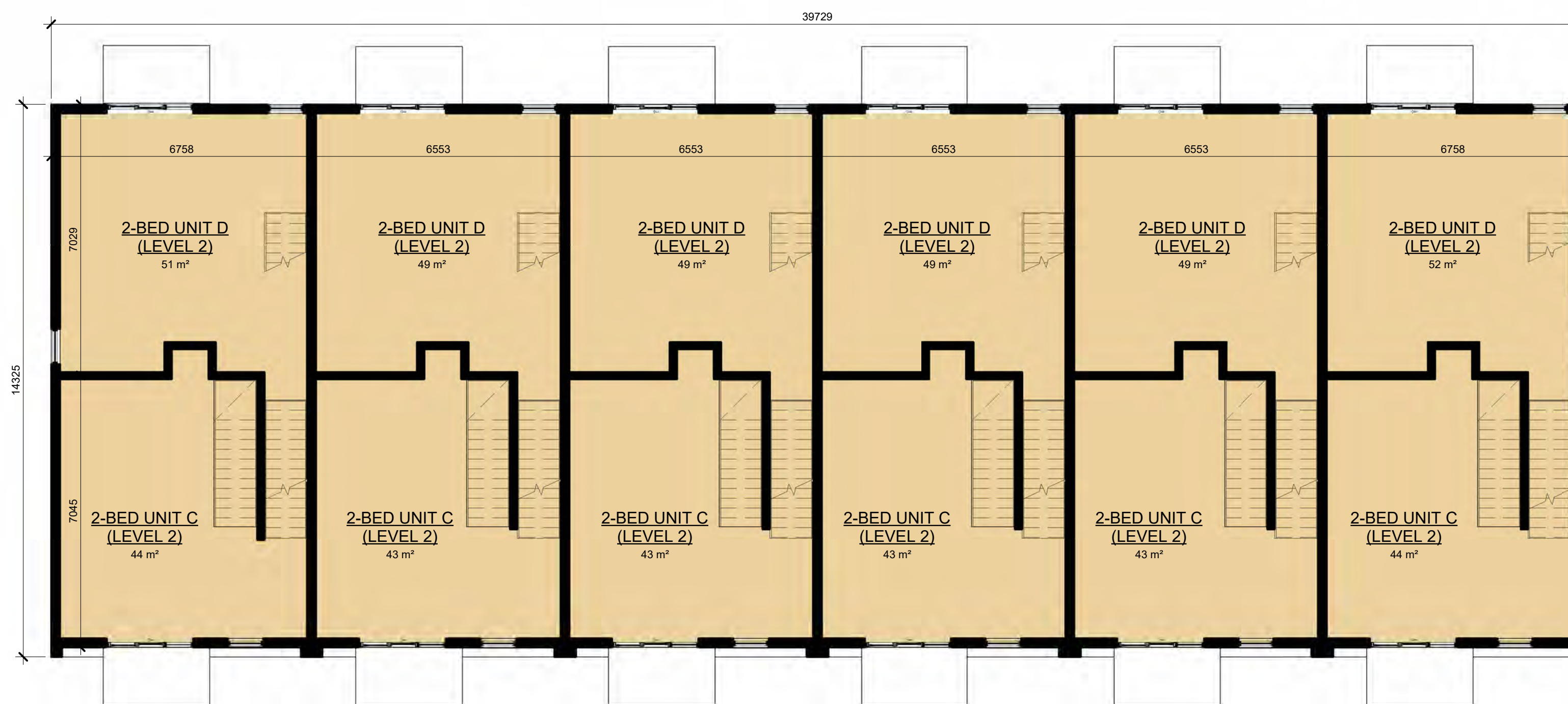
## Street, City, State Zip

DRAWING TITLE:  
**BUILDING D PLANS**

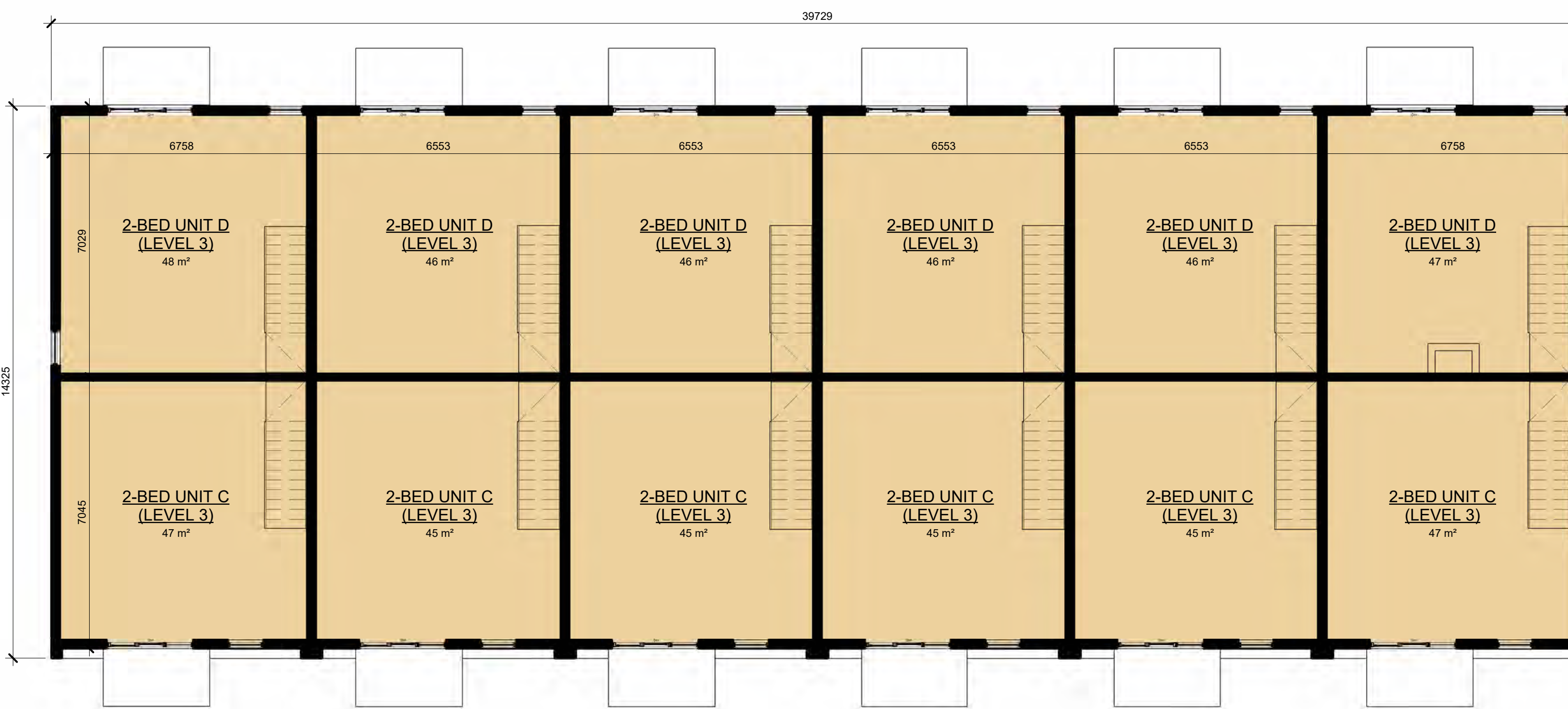
SHEET SIZE: ARCH D (810x614) SCALE:

PROJECT NO: **0001**

DRAWING NO: **SP2.2**



2 LEVEL 2 PLAN 1 : 100

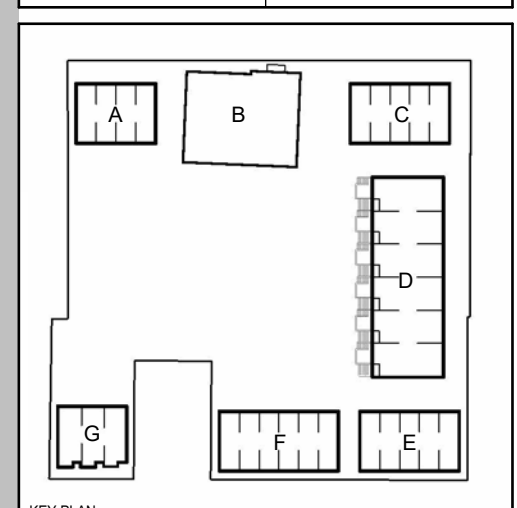
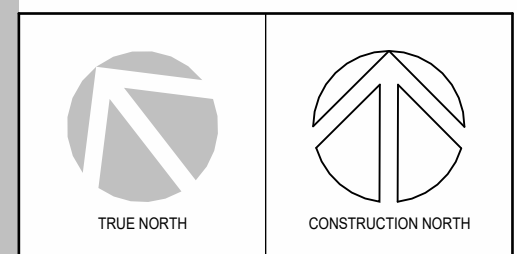
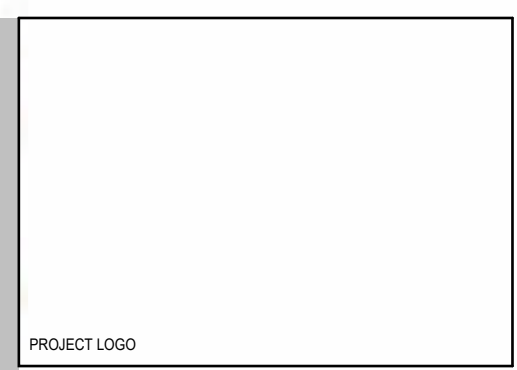


1 LEVEL 3 PLAN 1 : 100

**LEGEND**

1-BED UNIT
2-BED UNIT
2-BED + DEN UNIT
3-BED UNIT

BUILDING D - 24 UNITS



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DRAWING TITLE:  
**BUILDING D PLANS**

SHEET SIZE: ARCH D (810x814) SCALE:

PROJECT NO: **0001**

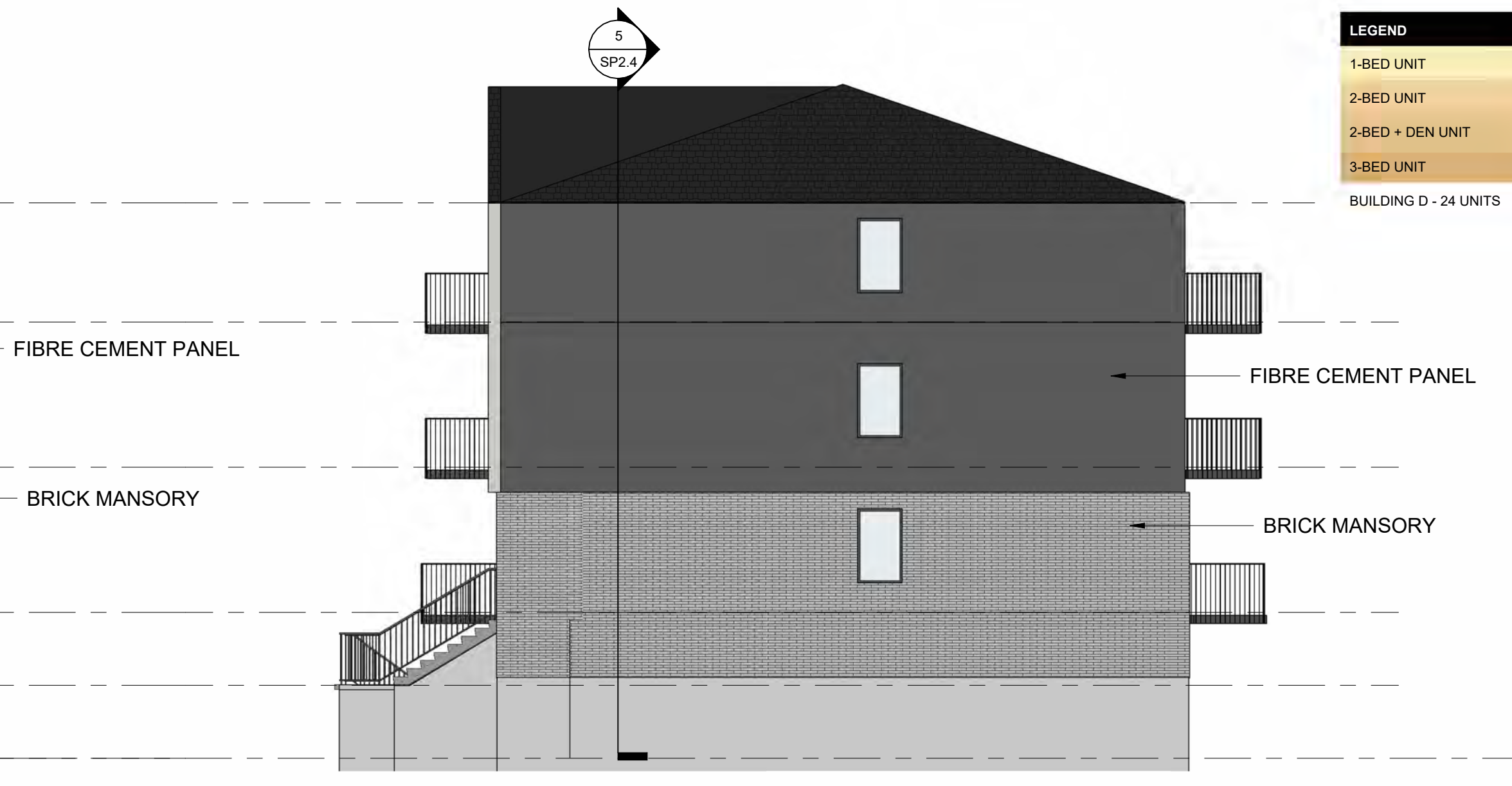
DRAWING NO: **SP2.3**

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1 FRONT ELEVATION

SP2.4 1:100



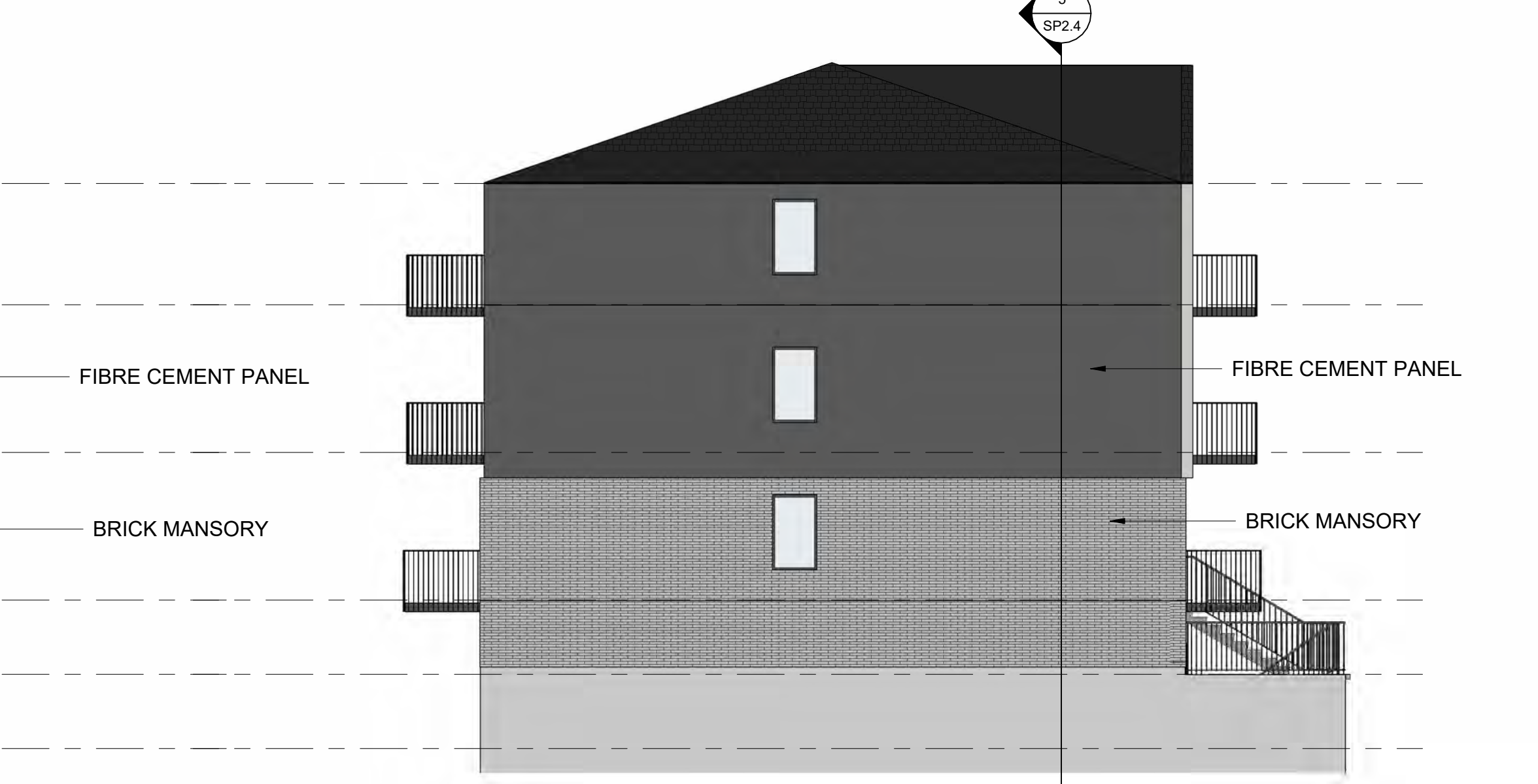
3 SIDE ELEVATION

SP2.4 1:100



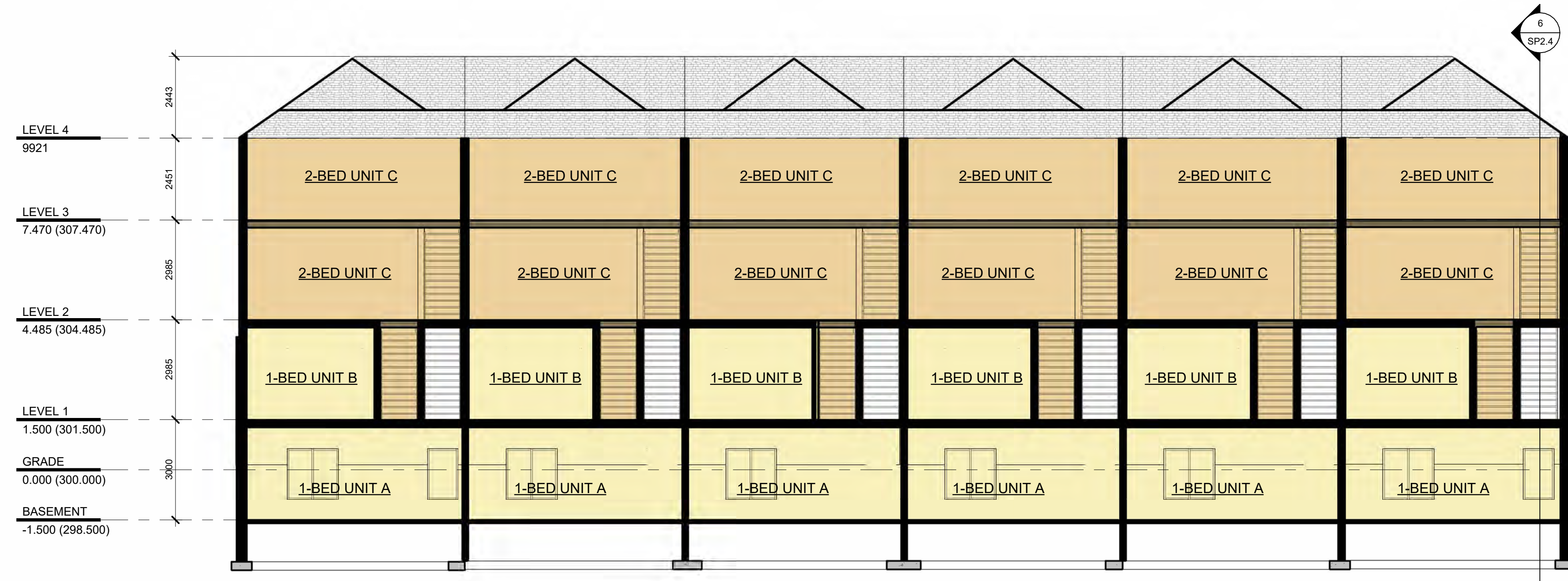
2 REAR ELEVATION

SP2.4 1:100



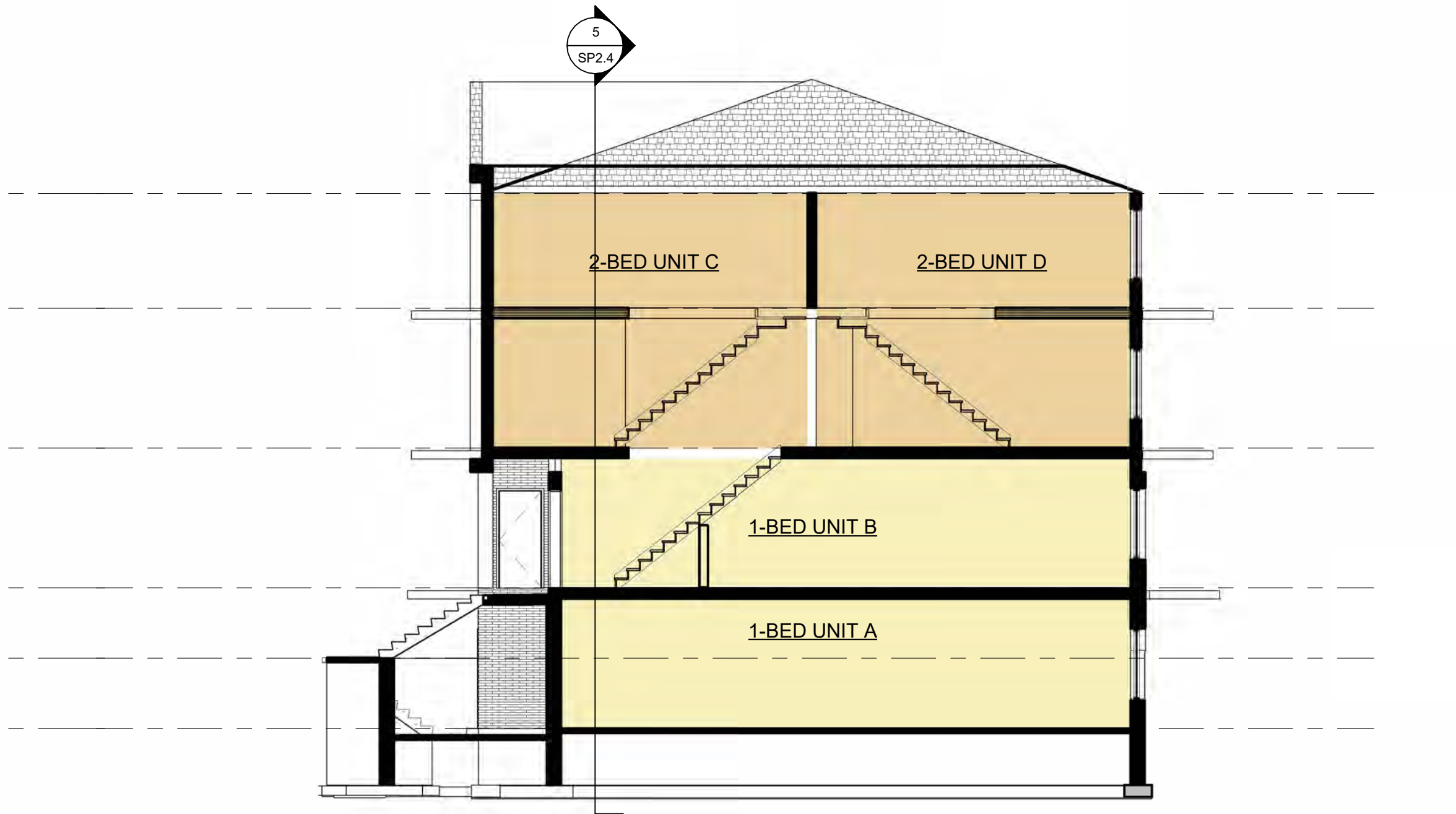
4 SIDE ELEVATION

SP2.4 1:100



5 BUILDING SECTION

SP2.4 1:100



6 BUILDING SECTION

SP2.4 1:100

**LEGEND**

1-BED UNIT
2-BED UNIT
2-BED + DEN UNIT
3-BED UNIT

BUILDING D - 24 UNITS

PROJECT LOGO

KEY PLAN

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PROJECT:  
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## Street, City, State Zip

DRAWING TITLE:  
**ELEVATIONS & SECTIONS**

SHEET SIZE: ARCH D (810x914) SCALE:

PROJECT NO: **0001**

DRAWING NO: **SP2.4**



4 FRONT ELEVATION

1:100

6 SIDE ELEVATION

1:100

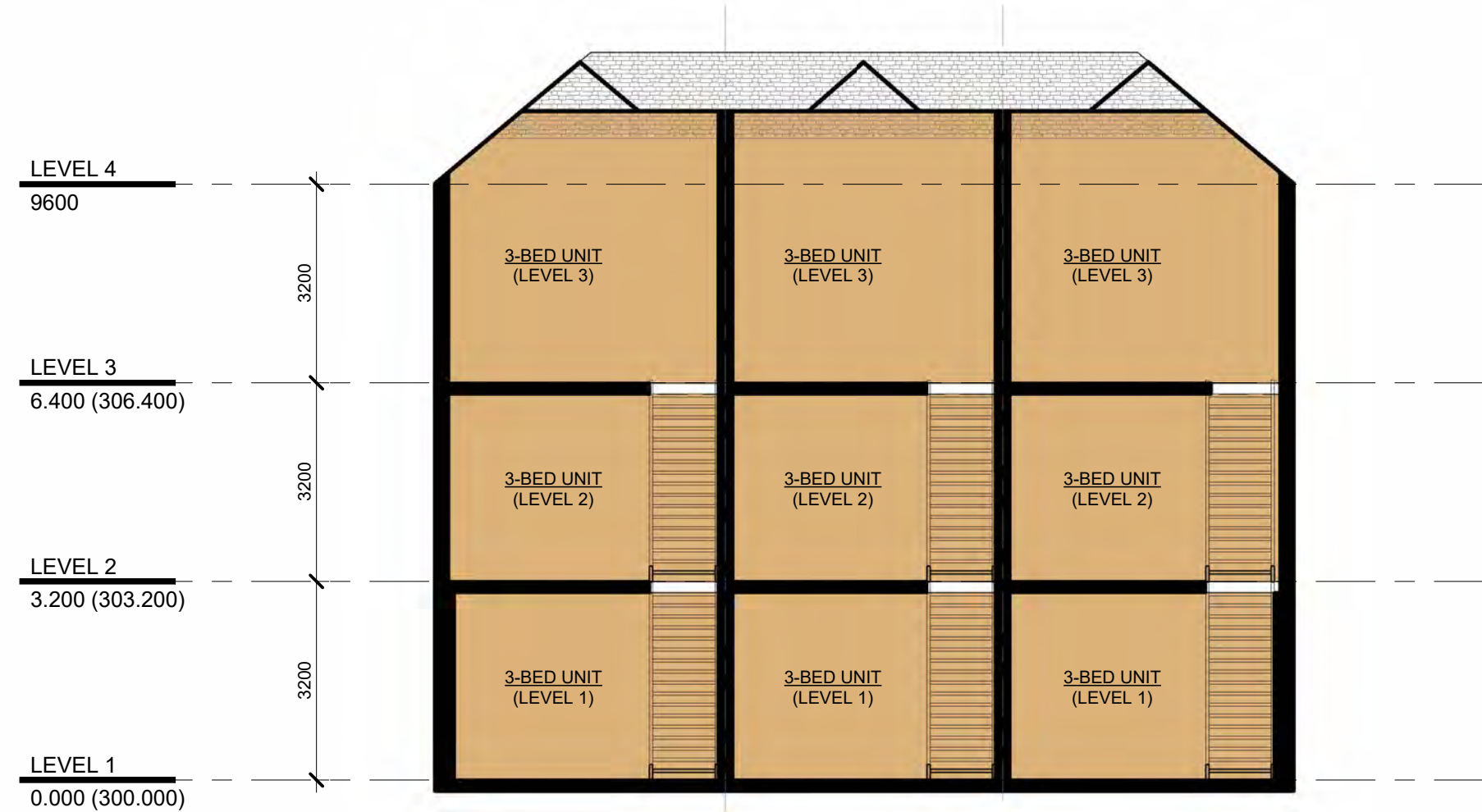


5 REAR ELEVATION

1:100

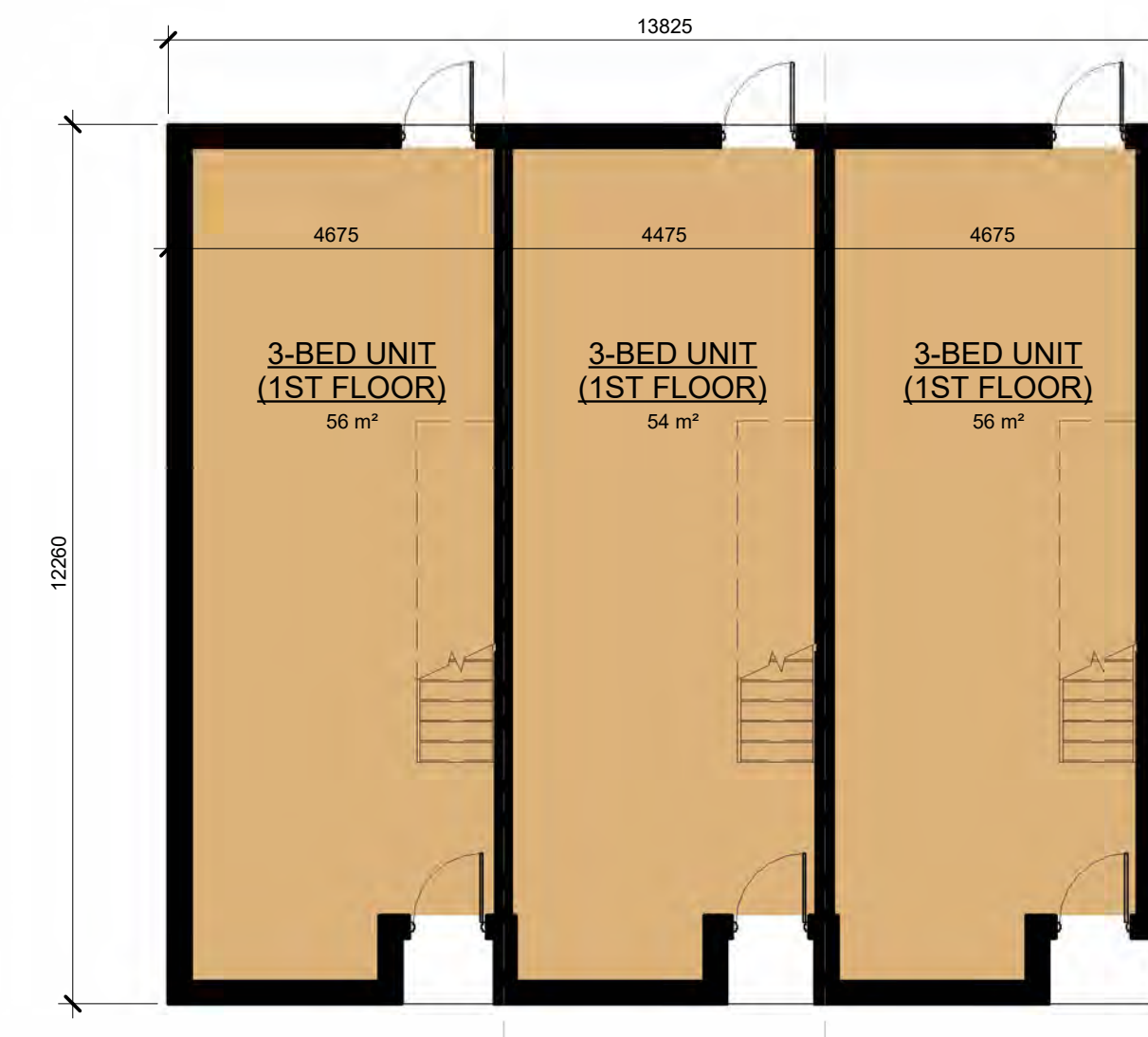
7 SIDE ELEVATION

1:100



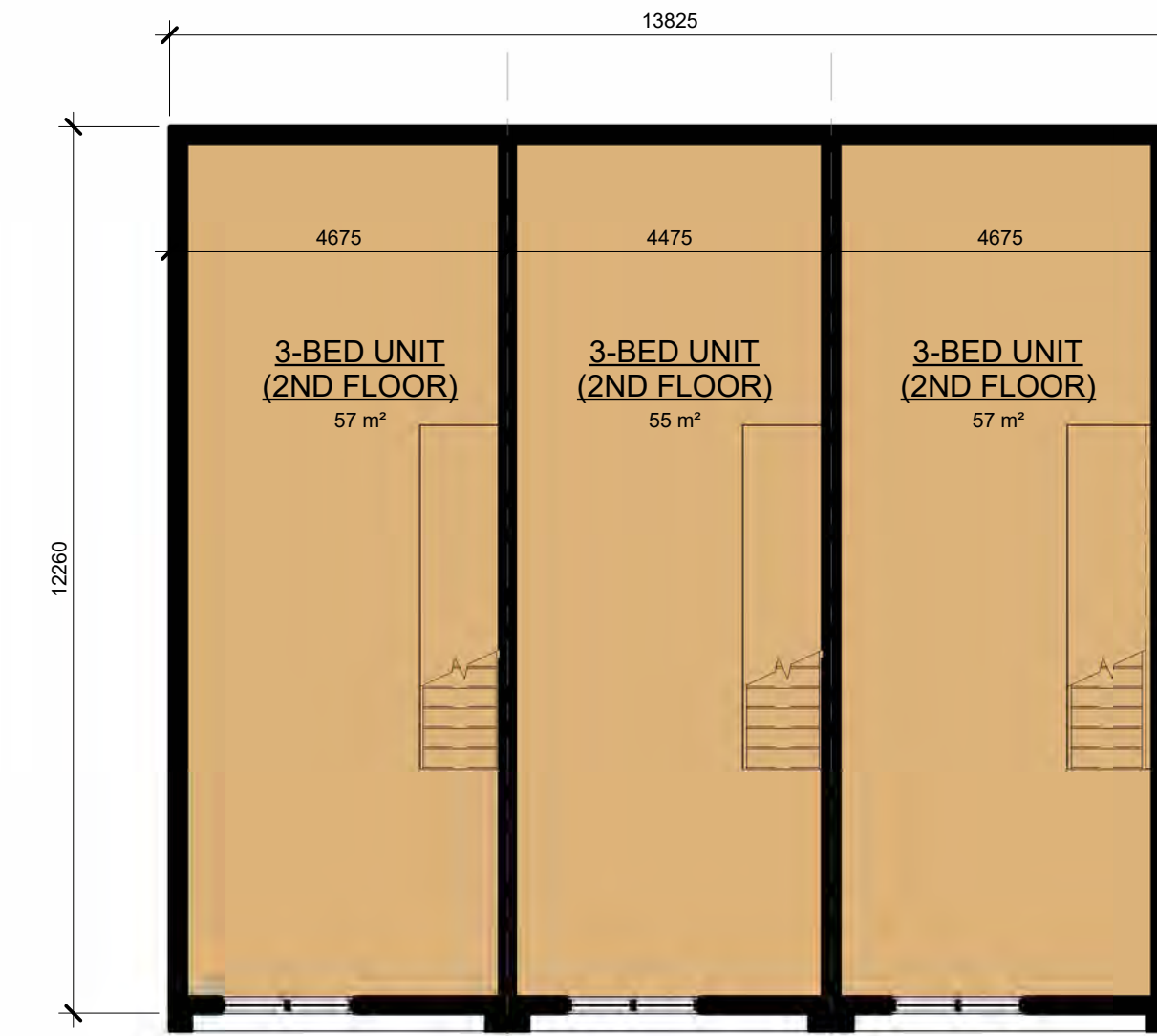
9 Section 1

1:100



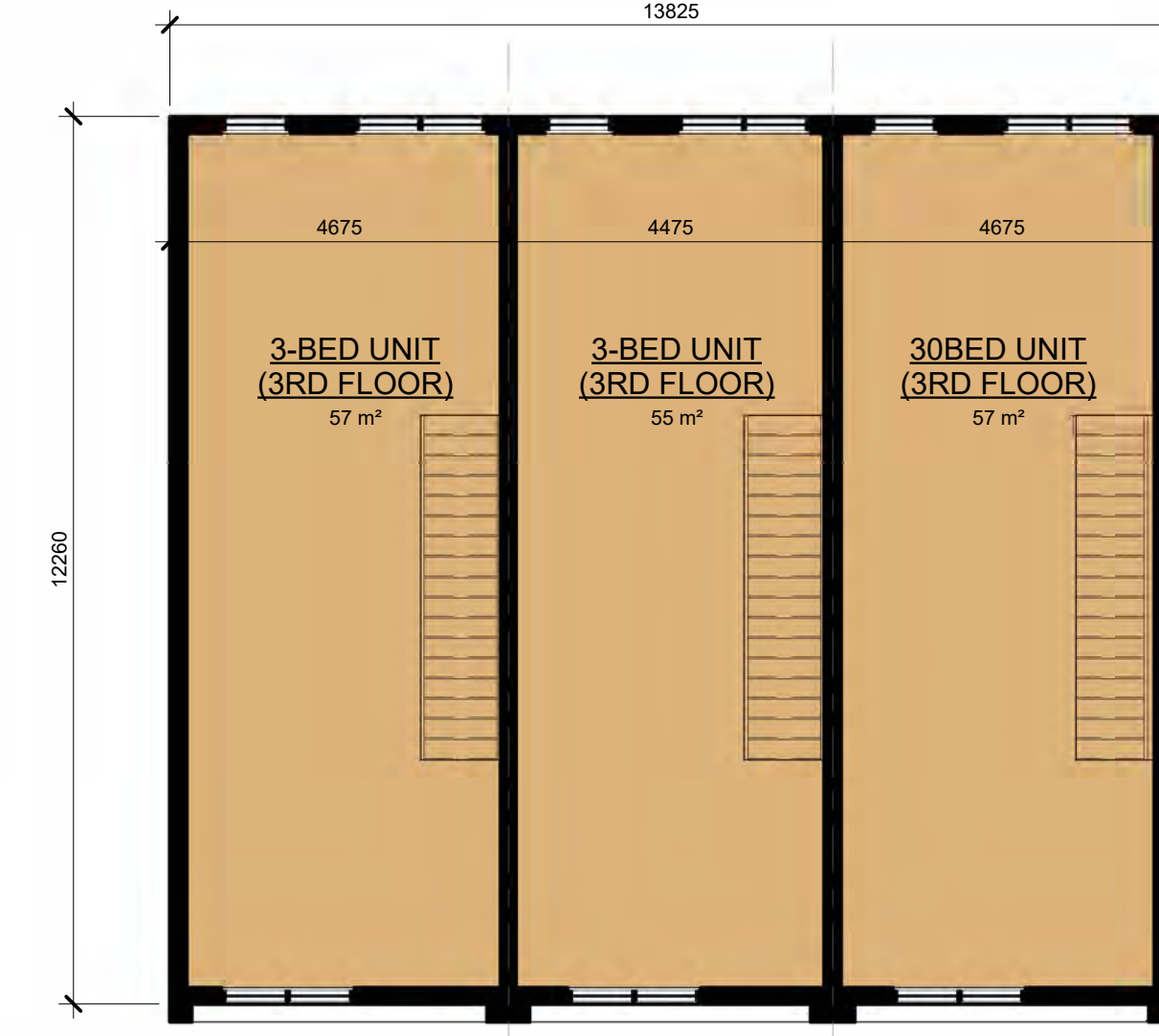
1 LEVEL 1 PLAN

1:100



2 LEVEL 2 PLAN

1:100



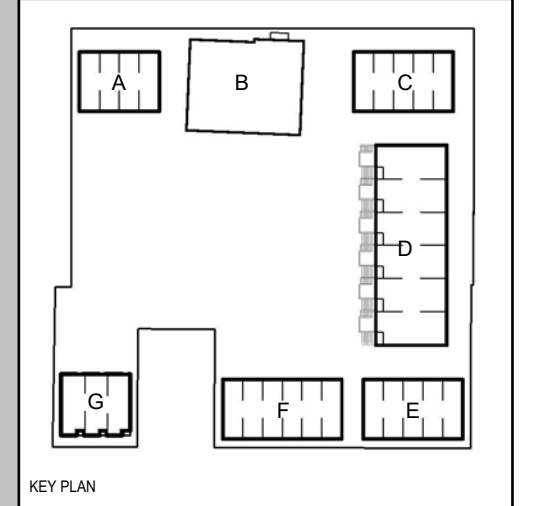
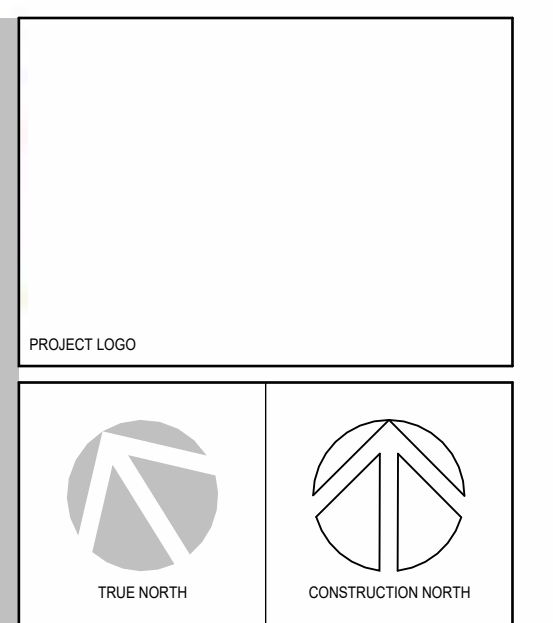
3 LEVEL 3 PLAN

1:100

**LEGEND**

1-BED UNIT
2-BED UNIT
2-BED + DEN UNIT
3-BED UNIT

BUILDING G - 3 UNITS



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PROJECT:  
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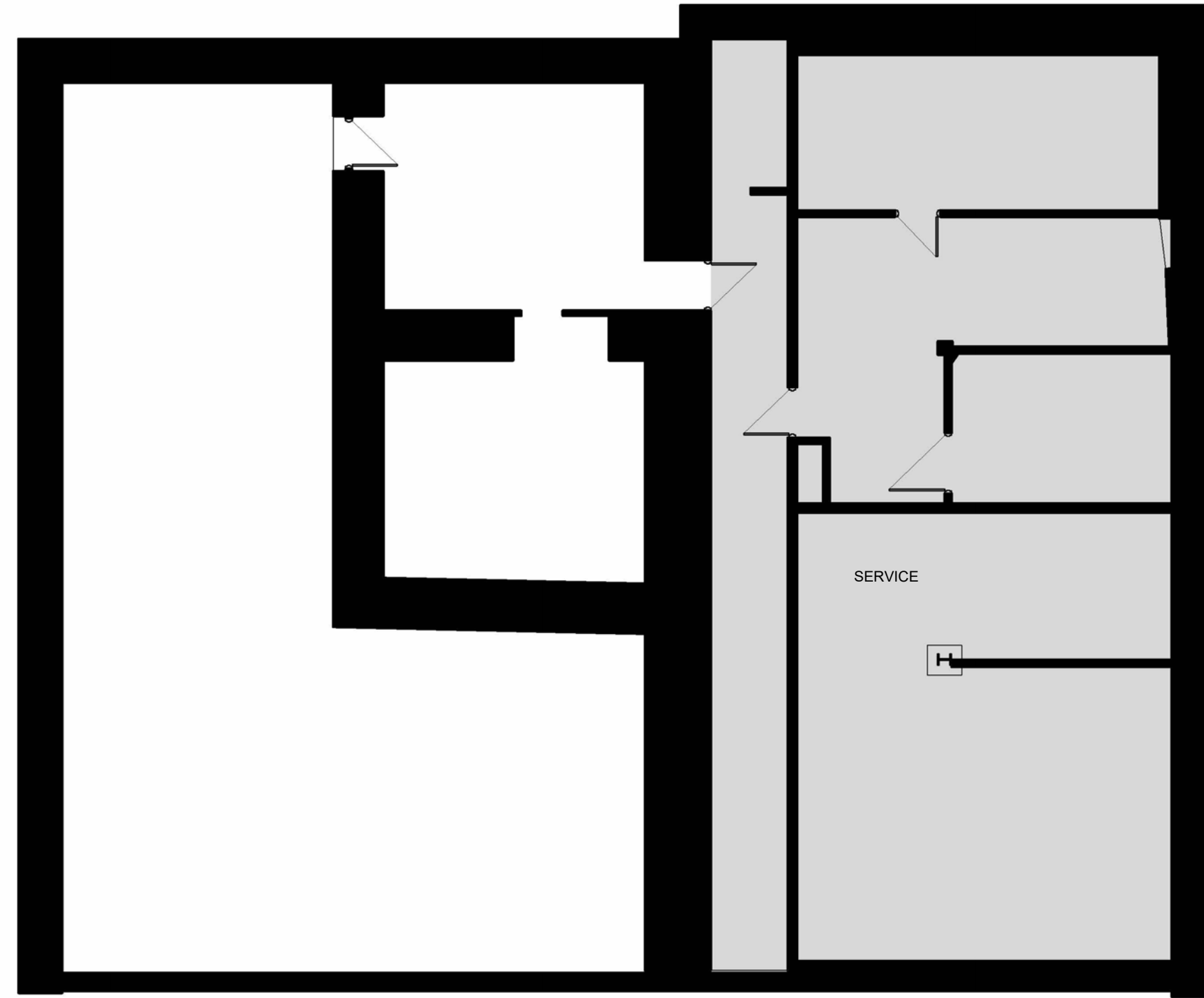
## Street, City, State Zip

DRAWING TITLE:  
**BUILDING G PLANS, ELEVATIONS & SECTIONS**

SHEET SIZE: ARCH D (810x914) SCALE:

PROJECT NO: **0001**

DRAWING NO: **SP2.5**



2 **BASEMENT FLOOR PLAN**

1 : 100

SP2.6



3 **LEVEL 1 FLOOR PLAN**

1 : 100

SP2.6



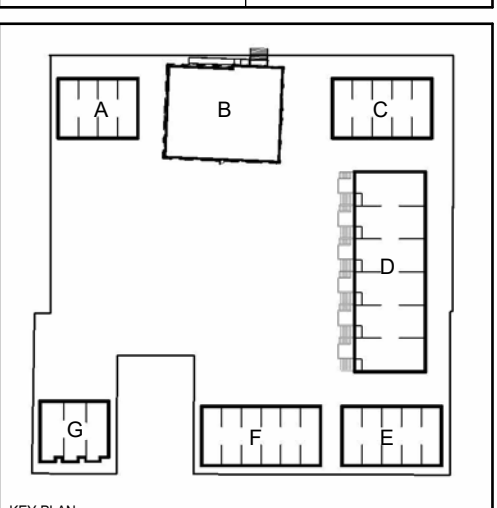
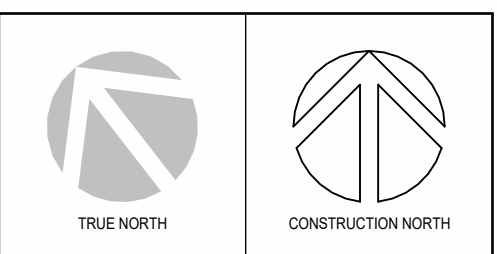
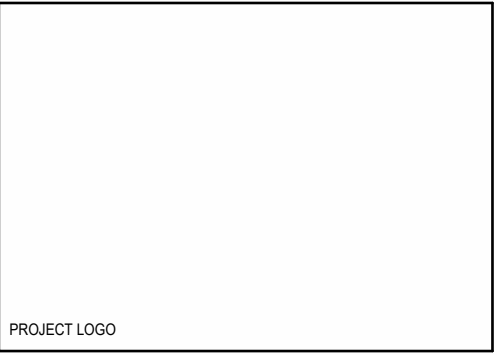
4 **LEVEL 2 FLOOR PLAN**

1 : 100

SP2.6

**AREA FUNCTION LEGEND**

- COMMON AREAS
- SERVICE/PARKING
- 1 BEDROOM
- AMENITY



Issued for Site Plan Approval  
 Issued for Schematic Design  
 Issued for Permit  
 Issued for Tender  
 Issued for Construction

REVISIONS

No.	DESCRIPTION	DATE

DISCREPANCIES MUST BE REPORTED IMMEDIATELY TO THE ARCHITECT / ENGINEER BEFORE PROCEEDING. ONLY FIGURED DIMENSIONS MUST BE USED. THE CONTRACTOR MUST CHECK THE DIMENSIONS ON SITE. THE DRAWING IS PROTECTED BY COPYRIGHT. ALL DIMENSIONS ARE SHOWN IN MILLIMETERS. DO NOT SCALE THE DRAWINGS.

**mcCallumSather**  
 Westinghouse HQ, 2nd Floor  
 284 Sanford Ave. N  
 Hamilton, ON L8L 6A1  
 905.526.6700  
[www.mccallumsather.com](http://www.mccallumsather.com)

SEAL

CONSULTANTS

PROJECT:  
**63 COURTLAND AVE E - HERITAGE APARTMENT BUILDING**  
 63 Courtland Ave E, Kitchener, ON N2G 3H7

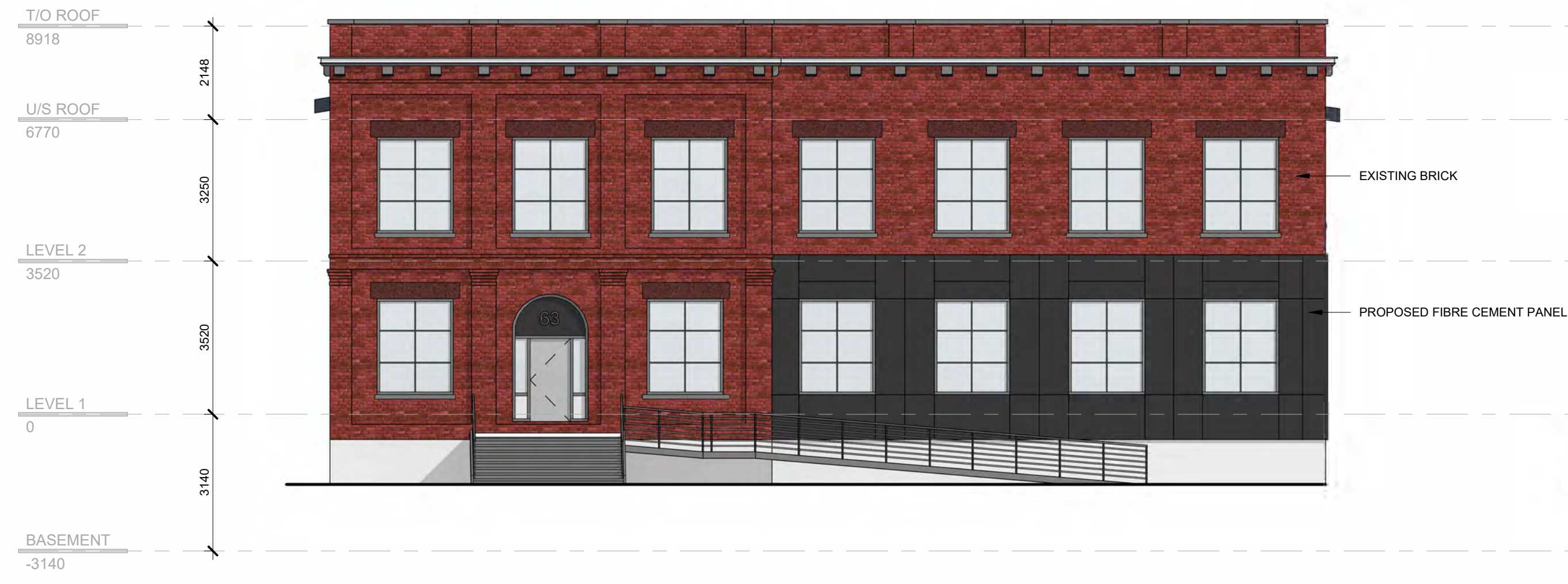
DRAWING TITLE:  
**BUILDING B FLOOR PLANS**

SHEET SIZE: ARCH D (810x914) SCALE:

PROJECT NO: **24113**

DRAWING NO: **SP2.6**

PRELIMINARY - NOT FOR CONSTRUCTION



1 FRONT ELEVATION  
SP2.7 1 : 100



2 SIDE ELEVATION  
SP2.7 1 : 100



3 REAR ELEVATION  
SP2.7 1 : 100



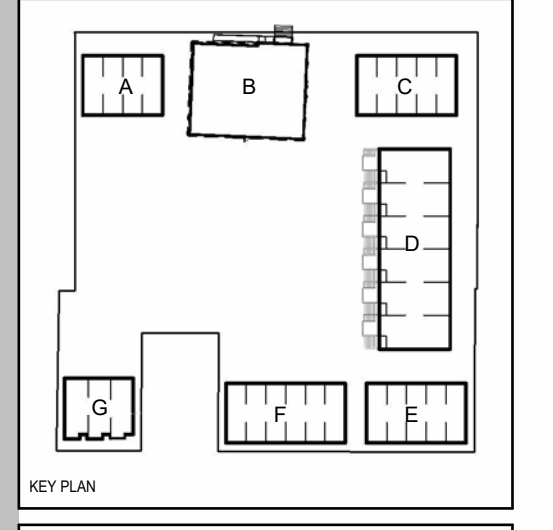
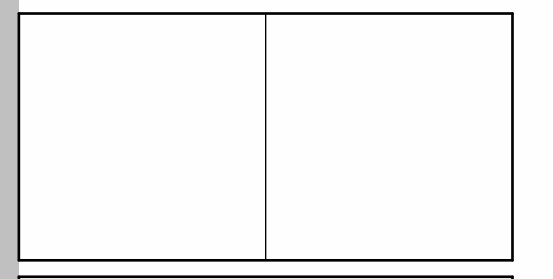
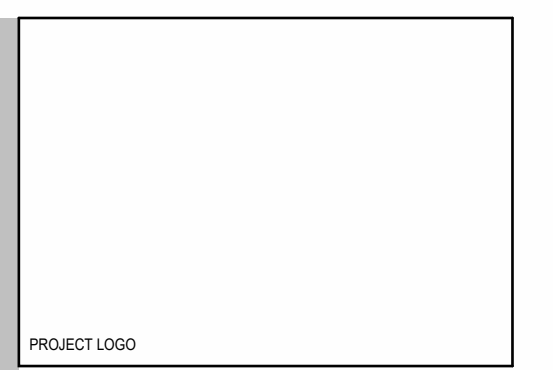
4 SIDE ELEVATION  
SP2.7 1 : 100



6 BUILDING SECTION  
SP2.7 1 : 100

AREA FUNCTION LEGEND

COMMON AREAS
SERVICE/PARKING
1 BEDROOM
AMENITY



Issued for Site Plan Approval  
Issued for Schematic Design  
Issued for Design Development  
Issued for Permit  
Issued for Tender  
Issued for Construction

REVISIONS

No.	DESCRIPTION	DATE

DISCREPANCIES MUST BE REPORTED IMMEDIATELY TO THE ARCHITECT / ENGINEER BEFORE PROCEEDING. ONLY FIGURED DIMENSIONS MUST BE USED. THE CONTRACTOR MUST CHECK THE DIMENSIONS ON SITE. THE DRAWING IS PROTECTED BY COPYRIGHT. ALL DIMENSIONS ARE SHOWN IN MILLIMETERS. DO NOT SCALE THE DRAWINGS.

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www.mccallumsather.com

SEAL

CONSULTANTS

PROJECT:  
**63 COURTLAND AVE E - HERITAGE APARTMENT BUILDING**

63 Courtland Ave E, Kitchener, ON N2G 3H7

DRAWING TITLE:  
**BUILDING B ELEVATIONS & SECTIONS**

SHEET SIZE: ARCH D (810x914) SCALE:

PROJECT NO: **24113**

DRAWING NO: **SP2.7**

PRELIMINARY - NOT FOR CONSTRUCTION



1 COURTLAND AVE ELEVATION  
SP3.1

1 : 150



2 MARTIN STREET ELEVATION  
SP3.1

1 : 150



3 INTERIOR DRIVE ELEVATION  
SP3.1

1 : 150

PROJECT LOGO

Issued for Schematic Design  
Issued for Design Development  
Issued for Site Plan Approval  
Issued for Permit  
Issued for Tender  
Issued for Construction

PRELIMINARY - NOT FOR CONSTRUCTION

No.	DESCRIPTION	DATE
REVISIONS		

DISCREPANCIES MUST BE REPORTED IMMEDIATELY TO THE ARCHITECT / ENGINEER BEFORE PROCEEDING. ONLY FIGURED DIMENSIONS MUST BE USED. THE CONTRACTOR MUST CHECK THE DIMENSIONS ON SITE. THE DRAWING IS PROTECTED BY COPYRIGHT. ALL DIMENSIONS ARE SHOWN IN MILLIMETERS. DO NOT SCALE THE DRAWINGS.

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905.526.6700  
[www.mccallumsather.com](http://www.mccallumsather.com)

SEAL

CONSULTANTS

PROJECT:  
**63 COURTLAND AVE HOUSING DEVELOPMENT**

**63 COURTLAND AVE E KITCHENER ON**

DRAWING TITLE:  
**ELEVATIONS**

SHEET SIZE: ARCH D (810x614) SCALE:

PROJECT NO.: **24113**

DRAWING NO.: **SP3.1**

# Appendix B

## Terms of Reference

# Scoped Heritage Impact Assessment – 63 Courtland Avenue East

---

## **Study Description:**

A Heritage Impact Assessment (HIA) is a study to determine the impacts to known and potential cultural heritage resources within a defined area proposed for future repair, alteration or development. The study shall include an inventory of all cultural heritage resources within the planning application area. The study results in a report which identifies all known cultural heritage resources, evaluates the significance of the resources, and makes recommendations toward mitigative measures that would minimize negative impacts to those resources. This document sets out the standard requirements that must be included in an HIA.

## **Purpose:**

The purpose of this Terms of Reference (“TOR”) is to establish clear expectations and requirements for the preparation of a Heritage Impact Assessment submitted to the City of Kitchener. Compliance with these guidelines will help to expedite review times and mitigate the need for further revisions and submissions. Failure to satisfy the requirements set out in this TOR may result in an application being deemed incomplete. If an application is deemed incomplete it will be returned to the applicant to satisfy the necessary submission requirements.

## **When it is Required:**

A Heritage Impact Assessment may be required on a property which is included on the City’s Historic Buildings Inventory; listed as a non-designated property of cultural heritage value or interest on the City’s Municipal Heritage Register; designated under the *Ontario Heritage Act*; or where development is proposed adjacent to a protected heritage property (i.e. designated property). The requirement may also apply to unknown or recorded cultural heritage resources which are discovered during the development application stage or construction.

It is important to recognize the need for an HIA at the earliest possible stage of development, alteration or proposed repair. Notice will be given to the property owner and/or their representative as early as possible. When the property is the subject of a development application, notice of an HIA requirement will typically be given at the pre-application meeting,

followed by written notification. The notice will inform the property owner of any known heritage resources specific to the subject property and provide guidelines to completing the HIA.

The City may scope the requisite information to be contained in the HIA on a case-by-case basis, and in consultation with any applicable external agencies through the pre-consultation process.

#### **Qualified Person:**

A Heritage Impact Assessment should be prepared by or under the direction of a professional who demonstrates a level of professional understanding and competence in the field of heritage conservation and who is registered with the Canadian Association of Heritage Professionals (CAHP) and in good standing. The CAHP that has authored or overseen the report shall take professional responsibility for its contents and the accuracy of the information contained therein. The report will also include a reference for any literature cited, and a list of people contacted during the study and referenced in the report.

#### **Applicable Legislation:**

Section 2 of the Planning Act indicates that Council shall have regard to matters of Provincial interest including the conservation of features of significant architectural, cultural, historical, archaeological or scientific interest. Section 3 of the Planning Act requires that decisions of Council shall be consistent with the Provincial Policy Statement.

Policy 4.6.1 of the Provincial Policy Statement requires that protected heritage property which may contain built heritage resources of cultural heritage landscapes, shall be conserved. The Provincial Policy Statement also encourages planning authorities to develop and implement proactive strategies for the conservation of significant built heritage resources and cultural heritage landscapes. The Provincial Policy Statement defines a built heritage resource as a building, structure, installation or any manufactured or constructed part of remnant that contributes to a property's cultural heritage value or interest as identified by a community, including an indigenous community. Conserved is defined as meaning the identification, protection, management and use of built heritage resources, cultural heritage landscapes and archaeological resources in a manner that ensures their cultural heritage value or interest is retained under the Ontario Heritage Act. This may be achieved by the implementation of recommendations set out in a conservation plan, archaeological assessment, heritage impact assessment, and/or other heritage studies. Mitigative measures and/or alternative development approaches can be included in these plans and assessments.

#### **Report Contents:**

**The HIA shall include, but is not limited to, the following sections/information.**

## **A. Introduction:**

- Ownership/applicant information.
- Party/firm retained to write the report.
- The address of the subject property.
- Purpose of the Heritage Impact Assessment.

## **B. Site Description and Context Analysis:**

- A description of the location of the site and its municipal and legal property address.
- ~~A detailed site history, including a list of owners from the Land Registry Office and former site use(s).~~
- A brief written description of the buildings, structures and landscape features on the subject properties including building elements, building materials, architectural and interior finishes, natural heritage elements, and landscaping. The description will also include a chronological history of the buildings' development, such as additions and demolitions.
- Identification of adjacent heritage resources, including protected or listed heritage properties, properties identified on the City's Heritage Inventory, Cultural Heritage Landscapes, and Cultural Heritage Corridors.
- ~~A clear statement of the conclusions regarding the cultural heritage value and interest of the subject property, clear identification of the specific Ontario Regulation 9/06 criteria met, and a bullet point list of heritage attributes.~~
  - ~~If applicable, the statement shall also address the value and significance of adjacent protected heritage property.~~
- ~~Documentation of the subject properties to include current photographs of each elevation of the buildings, photographs of identified heritage attributes and a site plan drawn at an appropriate scale to understand the context of the buildings and site details. Documentation shall also include where available, current floor plans, and historical photos, drawings or other available and relevant archival material.~~

## **C. Summary of Development Proposal**

- A detailed description of the proposed repair, alteration, or development including site design, any new structures or buildings, new proposed uses, and site details such as landscaping and lighting.
- A review of any buildings, structures or vegetation to be removed.
- A schedule of development phasing if multiple phases are proposed.
- Visuals (including but not limited to maps, aerial photography/imagery, renderings, photographs)

#### **D. Existing Planning Framework / Policy Review**

- Identification of the relevant regulatory frameworks and policies, including:
  - The Planning Act
  - The Ontario Heritage Act
  - The Provincial Policy Statement
  - The Regional Official Plan
  - The City of Kitchener Official Plan
  - The City of Kitchener Cultural Heritage Landscape Study
  - Applicable Heritage Conservation District Plans
  - Applicable draft legislation (including bills which have not yet received Royal Assent); and
  - Any other applicable policy documents, studies, guidelines, and standards that pertain to the subject lands and proposal.
- Written analysis of how the proposed alteration/development is consistent with and/or conforms to the relevant land use planning framework.

#### **E. Impact Analysis**

- Detailed consideration of potential negative impacts, as identified in the Ministry of Tourism, Culture and Sport's Ontario Heritage Tool Kit, of the proposed alteration/development on all identified heritage resources.
  - Negative impacts may include but are not limited to repair/alterations that are not sympathetic or compatible with the cultural heritage resource, demolition/destruction of all or part of a cultural heritage resource, shadow

impacts, isolation of heritage resources, direct or indirect obstruction of view, incompatible changes in land use, land disturbances etc.

- The scale or level of each impact should be clearly stated, and appropriate and comprehensive justification of each conclusion provided.
- The influence and potential impact of the development on the setting and character of the subject property, surrounding area, and any adjacent protected heritage property should be addressed.
- For applications contemplating demolition, consideration of the embodied carbon emissions and material waste impact shall be included. Embodied carbon refers to emissions from the materials, construction process of a building, maintenance, repair, and its demolition and disposal. Considerable carbon emissions are involved in the demolition and rebuilding of structures. In addition, demolition can result in significant material waste. Finding appropriate balances between demolition and new build as opposed to reuse and retrofitting of existing buildings is crucial for both heritage conservation and sustainability.
- Any supporting studies which aided in the conclusions of the impact analysis shall be identified, and a brief summary of the findings and conclusions provided.

## **F. Alternative Options and Recommendations**

- Options shall be provided that explain how the significant cultural heritage resources may be conserved. These may include, but are not limited to, preservation/conservation in situ, adaptive re-use, integration of all or part of the heritage resource, relocation. Each alternative should create a sympathetic context for the heritage resource. The HIA must also consider design interventions to ensure that the proposed development is compatible with the existing heritage building on-site and with the CHL.
- Recommendations shall be made for mitigation measures which address and minimize identified adverse impacts. These mitigation measures should follow best conservation practices/principles and, when implemented, ensure that appropriate conservation is achieved.

## **G. Conclusion**

- Concluding statement summarizing the heritage value of the subject property, the anticipated impacts as a result of the proposed alteration/development etc, and the adherence to policy frameworks and best heritage conservation practices/principles.
- Summary of recommended mitigation measures to be implemented.

## **H. Mandatory Recommendation**

- ~~If the property(s) being assessed are included on the Inventory of Historic Buildings, do the properties meet the criteria for listing on the Municipal Heritage Register as a Non-Designated Property of Cultural Heritage Value or Interest?
  - ~~Clear justification should be provided on why the consultant believes the property does or does not meet criteria for listing.~~~~
  
- ~~If the property(s) is listed as a non-designated property of cultural heritage value on the City's Municipal Heritage Register, do the properties meet the criteria for heritage designation under Ontario Regulation 9/06 of the Ontario Heritage Act?
  - ~~Clear justification should be provided on why the consultant believes the property does or does not meet criteria for listing.~~~~
  
- ~~Regardless of the failure to meet criteria for heritage listing or designation, do the properties warrant conservation as per the definition in the Provincial Policy Statement? Why or why not?~~

## **Approval Process**

One (1) digital pdf copy shall be provided to Heritage Planning staff. The HIA will be reviewed by Heritage Planning staff and a recommendation will be made to the Director of Development and Housing Approvals. Approval of the HIA by either the Director of Development and Housing Approvals or the Heritage Planner is required prior to issuance of approval of the application.

## **Additional Information**

1. City staff reserve the right to require a peer review of submitted material, to be conducted by a qualified heritage consultant at the expense of the applicant. The applicant will be notified of staff's comments and acceptance, or rejection of the report. An accepted HIA will become part of the further processing of a development application under the direction of the Planning Division. The recommendations within the final approved version of the HIA may be incorporated into development related legal agreements between the City and the proponent at the discretion of the municipality.
2. Deeming an application complete does not guarantee that the contents of the study are acceptable to City staff and/or that the application will be approved.

3. If a request for a HIA is not made at an earlier stage in the development process, this does not preclude the City from requesting a HIA at a later stage. Once an application has been deemed “complete”, the City may require additional information, reports, and/or studies following a more detailed review to assess the implications of an application for approval.
4. The City of Kitchener is committed to complying with the Accessibility for Ontarians with Disabilities Act (AODA). In our everyday work with businesses institutions, and community partners we anticipate the same commitment to AODA compliance. Therefore, the HIA must be AODA compliant and must meet the current provincial standard for compliance. ‘
5. The City reserves the right to request an updated study, or an addendum thereto, should staff determine that changes in the development proposal or changes to legislation warrant further/modified planning analysis.
6. Documents and all related information submitted to the City as part of a complete development application are considered public documents once submitted.
7. This Terms of Reference document is intended to be used for guideline purposes only and will be used to provide technical direction throughout the planning and development process. Completion of a report in alignment with the requirements of this Terms of Reference will not guarantee approval of the development application in question.
8. This TOR is relevant at the time of publishing and will be updated as necessary to reflect current policy, best practices, and accepted standards. It is the applicant’s responsibility to ensure the report is prepared in accordance with the most recent version of the TOR issued by the City.

# Conservation Plan – 63 Courtland Avenue East

---

## **Study Description:**

A Conservation Plan (CP) addresses how identified cultural heritage resources and associated heritage attributes will be conserved. The cultural heritage resource and attributes may be identified through existing designation by-laws, Heritage Conservation District Plans, or previous associated studies such as an approved Heritage Impact Assessment. The Conservation Plan will identify conservation principles appropriate for the type of cultural heritage resource/attributes being conserved; provides detailed documentation of the resource and its heritage attributes ; includes an assessment of current conditions and deficiencies; and recommends conservation measures and interventions in the short (pre-construction), medium (during and immediately after construction) and long term (including but not limited to regular maintenance after construction) to ensure preservation of the property's cultural heritage significance.

## **Purpose:**

The purpose of this Terms of Reference (“TOR”) is to establish clear expectations and requirements for the preparation of a Conservation Plan submitted to the City of Kitchener. Compliance with these guidelines will help to expedite review times and mitigate the need for further revisions and submissions. Failure to satisfy the requirements set out in this TOR may result in an application being deemed incomplete. If an application is deemed incomplete it will be returned to the applicant to satisfy the necessary submission requirements.

**When is it Required:**

A Conservation Plan may be required for the following applications, or when deemed necessary by the City's Heritage Planner:

- A Draft Plan of Subdivision
- A Draft Plan of Vacant Land Condominium
- A Site Plan Application
- A Zoning By-Law Amendment Application
- An Official Plan Amendment Application
- All other applications as in when required by the City's Heritage Planner

The City may scope the requisite information to be contained in the Conservation Plan on a case-by-case basis, and in consultation with any applicable external agencies through the pre-consultation process.

**Qualified Person:**

A Conservation Plan should be prepared by or under the direction of a professional who demonstrates a level of professional understanding and competence in the field of heritage conservation and who is registered with the Canadian Association of Heritage Professionals (CAHP) and in good standing. The CAHP that has authored or overseen the report shall take professional responsibility for its contents and the accuracy of the information contained therein. The report will also include a reference for any literature cited, and a list of people contacted during the study and referenced in the report.

**Applicable Legislation:**

Section 2 of the Planning Act indicates that Council shall have regard to matters of Provincial interest including the conservation of features of significant architectural, cultural, historical, archaeological or scientific interest. Section 3 of the Planning Act requires that decisions of Council shall be consistent with the Provincial Policy Statement.

Policy 4.6.1 of the Provincial Policy Statement requires that protected heritage property which may contain built heritage resources of cultural heritage landscapes, shall be conserved. The Provincial Policy Statement also encourages planning authorities to develop and implement proactive strategies for the conservation of significant built heritage resources and cultural heritage landscapes. The Provincial Policy Statement defines a built heritage resource as a building, structure, installation or any manufactured or constructed part of remnant that contributes to a property's cultural heritage value or interest as identified by a community, including an indigenous community. Conserved is defined as meaning the identification, protection, management and use of built heritage resources, cultural heritage landscapes and archaeological resources in a manner that ensures their cultural heritage value or interest is retained under the Ontario Heritage Act. This may be achieved by the implementation of recommendations set out in a conservation plan, archaeological assessment, heritage impact

assessment, and/or other heritage studies. Mitigative measures and/or alternative development approaches can be included in these plans and assessments.

**Required Contents:**

**The CP shall include, but is not limited to, the following sections/information.**

**I. Introduction**

- Ownership/applicant information.
- Party/firm retained to write the report.
- Purpose of the Conservation Plan.
- A description of the location of the site and its municipal and legal property address.
- A summary of the development proposed, including alterations, new buildings or structures to be constructed, buildings or structures to be removed, and land uses.
- The identification and summary of baseline documentation or other heritage studies which informed the completion of the Conservation Plan.

**J. Heritage Context Analysis:**

- Identification and description of all cultural heritage resource(s), including the cultural heritage value or interest and associated heritage attribute(s) of the resource(s).
- An assessment of the current physical condition and integrity of the cultural heritage resource(s) and heritage attribute(s), with a view toward making recommendations regarding appropriate repair and maintenance, in keeping with good conservation practice.
- Identification of the conservation principles and guidelines to be applied for the type of heritage resource/attributes being conserved and the specific conservation work being undertaken to repair, maintain, and protect the heritage resources and attributes. These conservation principles and guidelines may be found in publications such as: Parks Canada – Standards and Guidelines for the Conservation of Historic Places in Canada; Eight Guiding Principles in the Conservation of Building Heritage Properties, Ontario Ministry of Citizenship and Multiculturalism; and the Ontario Ministry of Citizenship and Multiculturalism’s Ontario Heritage Tool Kit (all available online). They should also consider Heritage Conservation District Plans, where applicable.

- Visuals (including but not limited to a site location map, aerial photography/imagery, photographs)

## **K. Measures and Implementation**

- Identification of the short (prior to construction) medium (during and immediately after construction) and long-term conservation measures to be applied to the subject property and cultural heritage resource(s) and attribute(s). Such measures shall describe the documentation, stabilization, repair, monitoring, and maintenance strategies required to be undertaken for each term and shall reference the qualification of anyone responsible for undertaking such work.
- Short-term conservation work shall include but is not limited to:
  - Documentation (through detailed description and photographs) of heritage attributes proposed to be demolished, removed, salvaged or otherwise irreversibly damaged.
  - Description and specifications for work required to be undertaken to conserve heritage attributes in need of immediate repair and stabilization to prevent further deterioration, damage and the potential loss of such attributes.
  - Monitoring strategy to protect the property from vandalism or fire (e.g. methodology for monitoring; frequency of monitoring; and process to address issues that arise through monitoring).
- Medium-term conservation work shall include but is not limited to:
  - Description and specifications for work required to be undertaken to heritage attributes as part of the proposed development and/or rehabilitation (to include demolition, removal and salvage of heritage attributes; the stabilization, repair and cleaning of heritage attributes; and the reconstruction or replacement of heritage attributes). Such work may be divided into phases.
  - Any protective mitigation measures that might need to be implemented including but not limited to protective fencing, vibration monitoring, submission and approval of a hoarding plan.
- Long-term conservation work shall include but is not limited to:
  - Identification of a monitoring program addressing appropriate measures for the ongoing maintenance of the heritage resources and attributes, post development/rehabilitation.

- Provide a recommended schedule for conservation work, inspections, monitoring, maintenances, and phases (short, medium, and long-term).
- Identification of measures to be applied in case unwanted damage does happen to heritage resources during construction.
- The proposed or anticipated schedule for the phases of work and the associated conservation measures being applied.
- A cost estimate of the conservation work to be undertaken in the short-term to heritage resource(s) or attribute(s) in need of immediate repair and stabilization to prevent further damage and deterioration. Such cost estimate must be prepared by a qualified individual or consultant and be to the satisfaction of the City's Heritage Planner. In order to ensure implementation of the Conservation Plan, the City may require the owner to post a Letter of Credit equal to the value of the short-term conservation work as a condition of the approval of the subject application.
- A cost estimate of the conservation work to be undertaken in the medium-term to heritage resource(s) or attribute(s) to be protected/conserved during the construction process. Such cost estimate must be prepared by a qualified individual or consultant and be to the satisfaction of the City's Heritage Planner. In order to ensure implementation of the Conservation Plan, the City may require the owner to post a Letter of Credit equal to the value of the medium-term conservation work as a condition of the approval of the subject application.

#### **L. Conclusions & Recommendations**

- Concluding statement regarding the adherence of the proposal with best heritage conservation practices and principles.
- Summary of recommended conservation measures to be implemented.

#### **Approval Process**

One (1) digital pdf copy shall be provided to Heritage Planning staff. The CP will be reviewed by Heritage Planning staff and a recommendation will be made to the Director of Development and Housing Approvals. Approval of the CP by either the Director of Development and Housing Approvals or the Heritage Planner is required prior to issuance of approval of the application.

#### **Additional Information**

9. City staff reserve the right to require a peer review of submitted material, to be conducted by a qualified heritage consultant at the expense of the applicant. The applicant will be notified of staff's comments and acceptance, or rejection of the

report. An accepted CP will become part of the further processing of a development application under the direction of the Planning Division. The recommendations within the final approved version of the CP may be incorporated into development related legal agreements between the City and the proponent at the discretion of the municipality.

10. Deeming an application complete does not guarantee that the contents of the study are acceptable to City staff and/or that the application will be approved.
11. If a request for a CP is not made at an earlier stage in the development process, this does not preclude the City from requesting a CP at a later stage. Once an application has been deemed “complete”, the City may require additional information, reports, and/or studies following a more detailed review to assess the implications of an application for approval.
12. The City of Kitchener is committed to complying with the Accessibility for Ontarians with Disabilities Act (AODA). In our everyday work with businesses institutions, and community partners we anticipate the same commitment to AODA compliance. Therefore, the CP must be AODA compliant and must meet the current provincial standard for compliance. ‘
13. The City reserves the right to request an updated study, or an addendum thereto, should staff determine that changes in the development proposal or changes to legislation warrant further/modified planning analysis.
14. Documents and all related information submitted to the City as part of a complete development application are considered public documents once submitted.
15. This Terms of Reference document is intended to be used for guideline purposes only and will be used to provide technical direction throughout the planning and development process. Completion of a report in alignment with the requirements of this Terms of Reference will not guarantee approval of the development application in question.
16. This TOR is relevant at the time of publishing and will be updated as necessary to reflect current policy, best practices, and accepted standards. It is the applicant’s responsibility to ensure the report is prepared in accordance with the most recent version of the TOR issued by the City.

## Statement of Significance 63 Courtland Avenue East

### Municipal Address:

63 Courtland Avenue East

### Legal Description:

Plan 280 Lot 6-9 Part Lot 10 GCT  
SUB 17 Part Lot 218 and 234

**Year Built:** 1909

### Architectural Style:

Industrial Vernacular

**Original Owner:** J.M. Schneider

**Original Use:** Pork Shop

**Condition:** Good

### Description of Historic Place

63 Courtland Avenue East is a two storey early 20<sup>th</sup> century brick building built in the Industrial Vernacular architectural style. The building is situated on a 1.57 acre parcel of land located on the south side of Courtland Avenue East between Benton Street and Peter Street in the Mill Courtland Woodside Park Planning Community of the City of Kitchener within the Region of Waterloo. The principal resource that contributes to the heritage value is the building.

### Heritage Value

63 Courtland Avenue East is recognized for its design, contextual, historic and associative values.



The design value relates to the architecture of the building. The building features a notable design that combines the original industrial function of the property with a commercial / retail space. The building is in good condition. The building is two storeys in height and features: flat roof; seven bays; light grey brick; decorative brick work, including cornices, banding, pilasters and other details; parapet with cornice and dentil blocks; flat headed window openings with stone headers and sills; and, half round front door opening with brick voussoir and stone keystone.

The contextual values relate to the contribution that the house makes to the continuity and character of the Courtland Avenue East streetscape. The property is historically linked to the existing Schneider factory on Courtland between Palmer Street and Borden Avenue because that site was the location of the abattoir that served the original business at 63 Courtland Avenue East.

The historic and associative values relate to the original owner and use as well as one previous owner. The original owner was John Metz (J.M.) Schneider. J.M. Schneider and his wife, Helena Ahrens, lived in a home on Courtland Avenue built by Helena's father, Charles Ahrens. J.M. worked at a button factory and injured himself in the spring of 1890 at the age of 31. In an effort to make money for his family, he bought a hog and grinder in order to make sausages out of his basement on Courtland Avenue. After 8 years operating out of his house, J.M. built a 1 ½ storey retail building that resembled a house with the retail located at the front and the office located above. The building resembled a house so that if the business failed it could be resold quickly. An addition was built to the side and rear of the original building in 1909 and a 16 acres field farther east (the existing Schneider factory property) was purchased to build an abattoir in 1918. Plans to build the existing Schneider factory began in 1924 and thus the building at 63 Courtland Avenue East was vacated and sold to Silverwood Dairies Ltd who operated at the property for 45 years between 1924 and 1969.

## **Heritage Attributes**

The heritage value of 63 Courtland Avenue East resides in the following heritage attributes:

- All elements related to the Industrial Vernacular architectural style of the house, including:
  - Two-storey height of the building;
  - Flat roof;
  - Seven bays;
  - Light grey brick;
  - Decorative brick work, including cornices, banding, pilasters and other details;
  - Parapet with cornice and dentil blocks;
  - Flat headed window openings with stone headers and sills; and,
  - Half round front door opening with brick voussoir and stone keystone.

- All elements related to the contextual value, including:
  - Location of the building and contribution that it makes to the continuity and character of the Courtland Avenue East streetscape.

## References

J.M. Schneider Inc. (1979). *J.M. Schneider Inc: a history*.

J.M. Schneider Inc. (1990). *A Legacy of Quality: J.M. Schneider Inc.: a centennial celebration 1890-1990*.

## Photos





63 Courtland Avenue East – Front Elevation



**63 Courtland Avenue East – Side Elevation**

# Appendix C

## Title Search

**Chain OF TITLE****63 Courtland Ave E****Parcel Register 22499-0047 - LRO 58 Waterloo Ots 6-10 Plan 280 & Part Lots 218 & 234 Subdivision of Lot 17 German Company Tract  
Previously Part of Lot 17 German Company Tract – Originally Part of Block 2 in the Indian Reserve**

<b>Instr. No.</b>	<b>Type</b>	<b>Registration Date</b>	<b>From</b>	<b>To</b>	<b>Value / Land / Remarks</b>
<b>B-46291</b>	Patent	5 Feb 1798 4 Jul 1952	CROWN (In Trust)	BEASLEY, RICHARD WILSON, JAMES ROSSEAU, ST. JOHN B.	94,012 Acres – Block 2 on the Grand River £8887.0.0
<b>10</b>	Mortgage	20 Jul 1798	BEASLEY, RICHARD WILSON, JAMES ROUSSEAU, JOHN BAPTISTE	SMITH, DAVID WILLIAM CLAUSE, WILLIAM STEWART, ALEXANDER	94,012 Acres – Block 2 on the Grand River – Comprising the Township of Waterloo
<b>31</b>	Deed of Partition	19 Feb 1801	WILSON, JAMES ROSSEAU, JOHN BAPTISTE	BEASLEY, RICHARD	64,590 Acres – Part of Block 2
<b>33</b>	Deed of Partition	19 Feb 1801	BEASLEY, RICHARD WILSON, JAMES	ROUSSEAU, JOHN BAPTISTE	26,860 Acres – Part of Block 2
<b>100</b>	Deed of Bargain & Sale	10 Mar 1804	ROSSEAU, JOHN BAPTISTE & wife	BEASLEY, RICHARD	26,860 Acres – Part of Block 2
<b>101</b>	Quit Claim	12 Mar 1804	JOSEPH BRANT, CHIEF WARRIOR OF THE MOHAWK OR FIVE NATIONS INDIANS	BEASLEY, RICHARD	13,430 Acres – Part of Block 2
<b>122</b>	Release of Mortgage & Reconveyance	23 Jul 1805	SMITH, DAVID WILLIAM CLAUSE, WILLIAM STEWART, ALEXANDER	BEASLEY, RICHARD	94,012 Acres – Block 2
<b>123</b>	Deed of Bargain & Sale	24 Jul 1805	BEASLEY, RICHARD & wife	ERB, DANIEL ERB, JACOB	60,000 Acres – Part of Block 2 – comprising the German Company Tract of the Township

**Chain OF TITLE****63 Courtland Ave E****Parcel Register 22499-0047 - LRO 58 Waterloo Ots 6-10 Plan 280 & Part Lots 218 & 234 Subdivision of Lot 17 German Company Tract  
Previously Part of Lot 17 German Company Tract – Originally Part of Block 2 in the Indian Reserve**

of Waterloo – see Memorial No. 122 which discharges No. 10

<b>448</b>	B & S	26 Jul 1805	ERB, DANIEL ERB, JACOB	HERSHY, BENJAMIN	448 Acres – Part Lot 17 G.C.T.
<b>1839</b>	B & S	11 Oct 1811	HERSHY, BENJAMIN	SCHNEIDER, JOSEPH	448 Acres – Part Lot 17 G.C.T.
<b>94</b>	B & S	20 May 1844	SCHNEIDER, JOSEPH	SCHNEIDER, JOSEPH E.	324 Acres - Part Lot 17 G.C.T.
<b>3387</b>	B & S	26 Jul 1875	SCHNEIDER, JOSEPH E.	SCHNEIDER, SAMUEL B.	\$5,000 – 153.6 Acres Lot 17 G.C.T.
<b>3683</b>	B & S	15 Aug 1876	SCHNEIDER, SAMUEL B.	SCHNEIDER, SARAH	2 Acres (Lot 218)
<b>4250</b>	B & S	29 Oct 1878	SCHNEIDER, SARAH Wife of & SCHNEIDER, DAVID	AHRENS, CHARLES A.	2 Acres – Part Lot 17 G.C.T. (Lot 218)
<b>5546</b>	B & S	27 Mar 1883	SCHNEIDER, SAMUEL B.	LEVAN, I. M.	Part Lot 17 G.C.T. (lot 234)
<b>6606</b>	B & S	1 Feb 1886	SCHNEIDER, SAMUEL B.	WILMS, JACOB	1.167 Acres – Part Lot 17 G.C.T (Plan 280) West Side of Peter St
<b>6995</b>	B & S	23 Oct 1886	LEVAN, ISAAC M.	EBY, BENJAMIN	Part Lot 17 G.C.T (lot 234)
<b>8115</b>	B & S	17 Nov 1888	EBY, BENJAMIN	EBY, DANIEL	Part Lot 17 G.C.T. (lot 234)
<b>10878</b>		7 Sep 1894			
<b>13010</b>	B & S	24 Feb 1897	AHRENS, CHARLES ANDREW	SCHNEIDER, JOHN	0.9 Acres – Part Lot 17 G.C.T. (lot 218)
<b>18921</b>	B & S	6 May 1905	WILMS, JACOB	SCHNEIDER, JOHN M.	\$120.00 – Part Lot 17 G.C.T. (Plan 280) 0.32 1/5 Acres

**Chain OF TITLE**

**63 Courtland Ave E**

**Parcel Register 22499-0047 - LRO 58 Waterloo Ots 6-10 Plan 280 & Part Lots 218 & 234 Subdivision of Lot 17 German Company Tract  
Previously Part of Lot 17 German Company Tract – Originally Part of Block 2 in the Indian Reserve**

<b>23045</b>		6 May 1908			\$3,800.00 – Part Lot 17 G.C.T (Plan 280) 1.167 Acres
<b>28408</b>	B & S	24 Jul 1912	SCHNEIDER, J. M. etux	J. M. SCHNEIDER & SON LTD.	\$25,000.00 – Part Lot 17 G.C.T. (lot 218)
<b>218</b>	Plan of Subdivision	6 May 1920		JOHN SCHNEIDER	
<b>44944</b>	Grant	14 Jul 1921	SCHNEIDER, JOHN M. etux	J. M. SCHNIEDER & SONS LTD.	\$3700.00 – Lots 6-7-8-9-10
<b>61347</b>	Grant	3 Oct 1925	J. M. SCHNIEDER & SONS LTD.	SILVERWOOD, ALBERT E., TRUSTEE	\$65,000.00 – Lots 6-7-8-9-10
<b>61347</b>	Grant	1 Oct 1928	J. M. SCHNEIDER & SONS LTD.	SILVERWOOD, ALBERT E.	\$65,000.00 - Part Lot 17 G.C.T.
<b>61349</b>	Grant	3 Oct 1928	SILVERWOOD, ALBERT E.	SILVERWOODS KITCHENER DAIRY LTD.	\$1.00 – Lots 6-7-8-9-10 & Part Lot 17 G.C.T.
<b>No Number For Plan</b>	Municipal Plan	6 Mar 1930	Subdivision of Lot 17 German Company Tract		Lots 218 & 234
	Treas Consent	16 Dec 1931	DANIEL M. EBY – died 8 Dec 1931		Recitals & Treas. Consent in A97309
<b>72539</b>	Grant	16 Jul 1936	SILVERWOODS KITCHENER DAIRY LTD.	SILVERWOOD DAIRIES LIMITED	\$1.00 – Lots 6-7-8-9- pt lot 10 Plan 280 & Pt lt 218 Subdivision of 17 GCT
<b>97309</b>	Grant	16 Sep 1948	EBY, NATHANIEL F. Minister of the Gospel, City of Kitchener, formerly City of Detroit	EBY, NATHANIEL F. EBY, HATTIE M.	Part Lot 234 Subdivision of 17 GCT

**Chain OF TITLE****63 Courtland Ave E****Parcel Register 22499-0047 - LRO 58 Waterloo Ots 6-10 Plan 280 & Part Lots 218 & 234 Subdivision of Lot 17 German Company Tract****Previously Part of Lot 17 German Company Tract – Originally Part of Block 2 in the Indian Reserve**

<b>260523</b>	Grant	31 Jul 1963	ESTATE OF HATTIE M. EBY	SILVERWOOD DAIRIES LTD.	\$7,700 – Part Lot 237 Subdivision of 17 GCT
<b>566300</b>	Grant	31 Mar 1976	SILVERWOOD INDUSTRIES LIMITED	HERPER INVESTMENTS LTD.	\$1.00 - Lots 6 to 9 & pt It 10 Plan 280 Lot 218 Subdivision of 17 GCT Ely 55 ft Lot 234 Subdivision of 17 GCT
<b>590729</b>	Deposit	25 Feb 1977	Declaration of Possession	WILLIAM IRVINE BARTON Secretary-Treasurer of SILVERWOOD INDUSTRIES LIMITED	Plan attached – copied below
<b>58R2152</b>	Ref Plan	21 Nov 1977			Parts 2, 3 & 4
<b>763800</b>	Grant	27 09 83	HERPER INVESTMENTS LTD.	KEN MANUFACTURING INC.	\$2.00 – Parts 2, 3 & 4 on 58R2152
<b>763801</b>	Mortgage	27 09 83	KEN MANUFACTURING INC.	TERMGUARD SAVINGS & LOAN COMPANY	\$310,000.00 – Land as in 763800
<b>812392</b>	Grant	03 06 85	COUNSEL TRUST CO.	534753 ONTARIO LTD	Parts 2, 3 & 4 on 58R2152
<b>812392</b>	Transfer	1985/06/03		534753 ONTARIO LIMITED	
<b>Parcelized 1997/03/24 as Parcel Register 22499-0316 (R) - Pt Lots 218 &amp; 234 Subdivision of Lot 17 German Company Tract &amp; Part Lots 6, 7, 8, 9 &amp; 10 Plan 280 – Parts 2, 3 &amp; 4 on 58R2152</b>					
<b>This Parcel was created based on information contained in document 812392 which is recorded for pin identification only</b>					
<b>1533699</b>	Transfer	2002/04/02	534753 ONTARIO LIMITED	DOREL’S INVESTMENTS INC.	\$225,000
<b>New Parcel Register 22499-0047 Created 2003/02/17 – Part Lot 218 &amp; Part Lot 234 Subdivision of Lot 17 German Company Tract &amp; Part Lots 6, 7, 8, 9 &amp; 10 Plan 280 – Parts 2, 3 &amp; 4 on 58R2152</b>					
<b>Re-Entry From Parcel Register 22499-0047</b>					

**Chain OF TITLE**

**63 Courtland Ave E**

**Parcel Register 22499-0047 - LRO 58 Waterloo Ots 6-10 Plan 280 & Part Lots 218 & 234 Subdivision of Lot 17 German Company Tract  
Previously Part of Lot 17 German Company Tract – Originally Part of Block 2 in the Indian Reserve**

**E. & O. E. – Completed by P.L.P. Titles Ltd. on the 4<sup>th</sup> April 2024 – Please note – Information has been gathered from On-Line Microfilmed copies of the Old Index Books – Due to the difficulty of analysing the information to compile this Chain of Title - Complete Accuracy cannot be relied upon - Names & Dates & Registration Numbers are difficult to read – Deeds have not been printed or descriptions plotted -**



COURTLAND

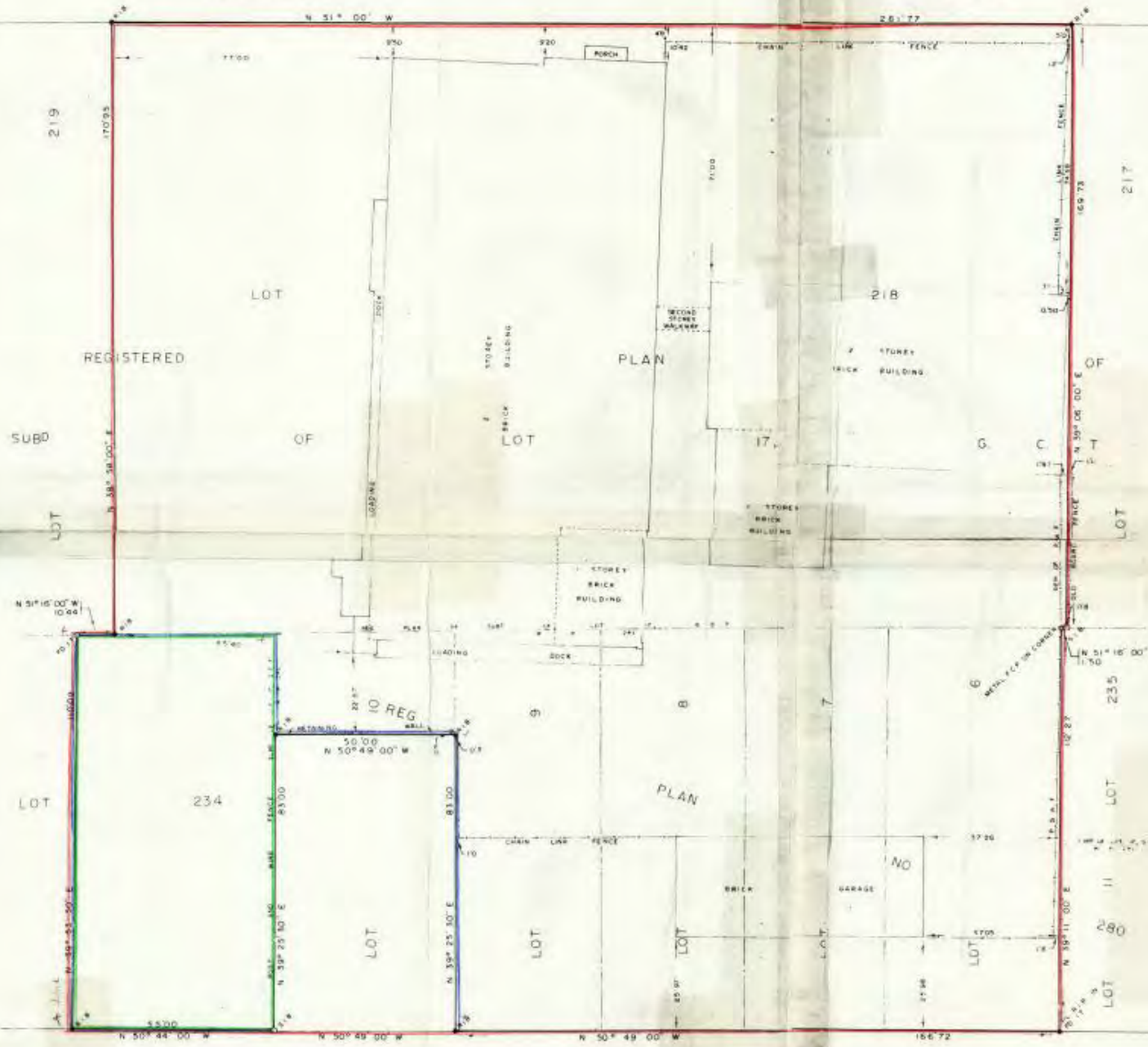
AVENUE

590729

Schedule 'B'

PLAN SHOWING  
 LOTS 6, 7, 8 AND 9  
 AND PART OF LOT 10, R. P. 280  
 AND LOT 218 AND PART OF LOT 234  
 SUBD. OF LOT 17, G. C. T.  
 CITY OF KITCHENER  
 SCALE - 1 INCH = 20 FEET

**Plan attached to Deposit  
 590729**

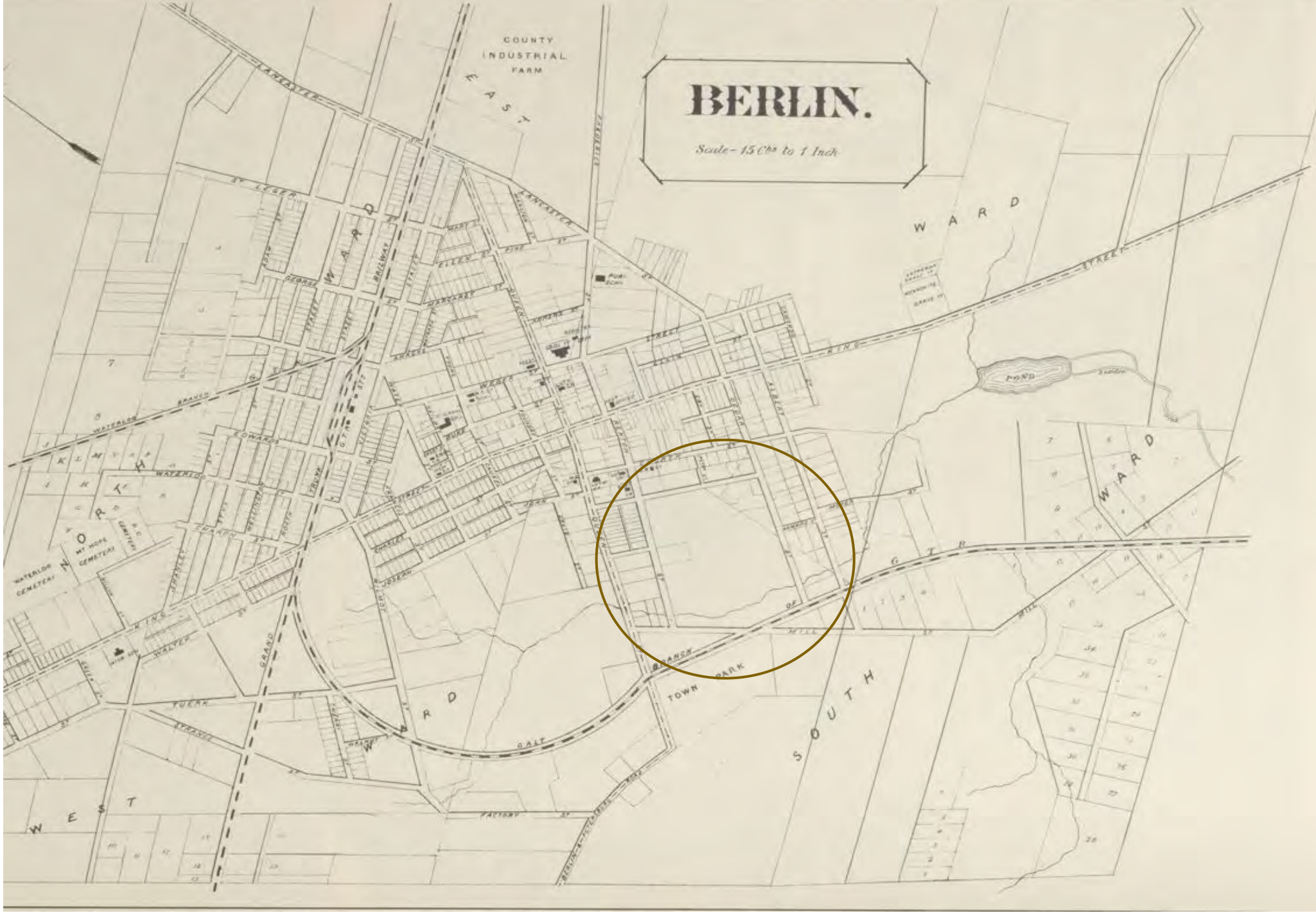


NOTE  
 TOTAL AREA OF LANDS IS 1.618 AC.

LEGEND  
 S.I.B. - STANDARD IRON BAR  
 R.I.B. - ROUND IRON BAR  
 I.T. - IRON TUBE  
 F.C.P. - FENCE CORNER POST  
 F.W.F. - FIRST AND WIRE FENCE

PREMISING THAT THE QUANTITATIVE LIMIT  
 OF LOTS 6, 7, 8, 9 AND 10, R. P. 280  
 HAS A BEARING OF N 50° 49' 00" W AND  
 RELATING ALL BEARINGS HEREUN TO

JOHN METZ LTD.  
 ONTARIO LAND SURVEYING  
 71 WEBER ST. E., KITCHENER  
 742-8371  
*Paul C. Whelan* O.L.S.  
 JULY 9, 1970 [ESCP] [PC 425]





# KITCHENER

## S.E. 1/4 LOT 17 G.C.T.

SCALE - 100' = 1"



280

COURTLAND

AVE.

PLAN OF PART LOT 17 G.C.T. KITCHENER

Scale-50'=1"

This plan has been approved by the City of Kitchener Planning Commission.

W. W. Birkhamph Chairman.

N. J. Hellmuth Secretary.

This plan has been approved by the Ontario Railway and Municipal Board.

July 9<sup>th</sup> 1918. H. Chwall

SECRETARY OF THE ONTARIO RAILWAY AND MUNICIPAL BOARD

Filed in the Registry Office for the County of Waterloo this 6<sup>th</sup> day of May A.D. 1920 at 10:01 o'clock A.M.

Armenius Duffly



28

County of Waterloo To wit: I, Henry H. Schmidt of the City of Kitchener in the County of Waterloo Book Keeper make oath and say: 1. That I was personally present and did see this plan duly signed by J.M. Schneider the party thereto. 2. That the said plan was signed at the City of Kitchener. 3. That I know the said party. 4. That I am a subscribing witness to the said plan.

The Corporation of the City of Kitchener hereby consents to the filing of this plan in the Registry Office for the County of Waterloo. Kitchener, April 1918.

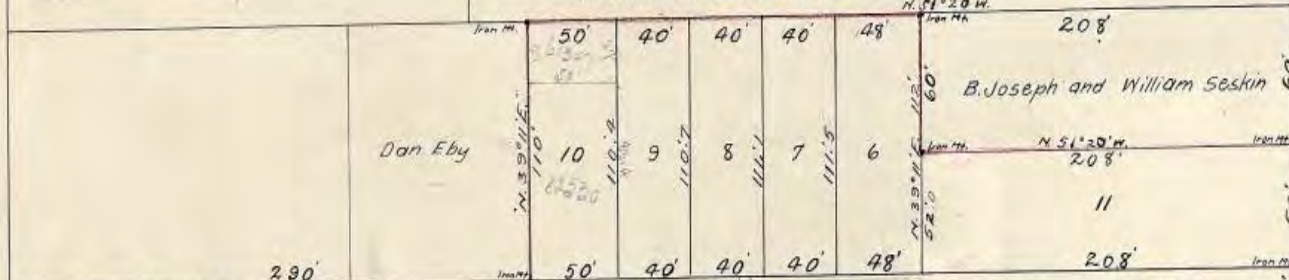
Mayor. Clerk.



Sworn before me at the City of Kitchener this day of A.D. 1918.

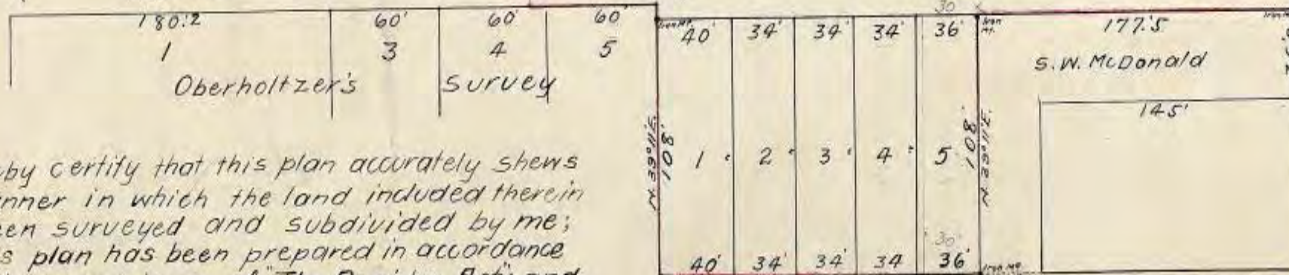
Henry H. Schmidt

J.M. Schneider and Sons Ltd



MARTIN

St.

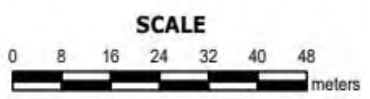


I hereby certify that this plan accurately shows the manner in which the land included therein has been surveyed and subdivided by me; that this plan has been prepared in accordance with the provisions of 'The Registry Act'; and constitutes a copy of my field notes. Kitchener, Dec. 21, 1917.

Herbert Johnston Ontario Land Surveyer.

I hereby certify that this plan shows the manner in which the land included therein, owned by me, has been subdivided, that the said lands are not encumbered and that this plan is to be filed in my behalf.

John M. Schneider Owner.



**PROPERTY INDEX MAP**  
WATERLOO(No. 58)

**LEGEND**

FREEHOLD PROPERTY	
LEASEHOLD PROPERTY	
LIMITED INTEREST PROPERTY	
CONDOMINIUM PROPERTY	
RETIRED PIN (MAP UPDATE PENDING)	
PROPERTY NUMBER	0449
BLOCK NUMBER	08050
GEOGRAPHIC FABRIC	
EASEMENT	

**THIS IS NOT A PLAN OF SURVEY**

**NOTES**

**REVIEW THE TITLE RECORDS FOR COMPLETE PROPERTY INFORMATION AS THIS MAP MAY NOT REFLECT RECENT REGISTRATIONS**

THIS MAP WAS COMPILED FROM PLANS AND DOCUMENTS RECORDED IN THE LAND REGISTRATION SYSTEM AND HAS BEEN PREPARED FOR PROPERTY INDEXING PURPOSES ONLY

FOR DIMENSIONS OF PROPERTIES BOUNDARIES SEE RECORDED PLANS AND DOCUMENTS

ONLY MAJOR EASEMENTS ARE SHOWN

REFERENCE PLANS UNDERLYING MORE RECENT REFERENCE PLANS ARE NOT ILLUSTRATED



RECEIVED AND DEPOSITED AS  
 PLAN 58 R - 2/52  
 NOV. 2/51, 1977.

*R. Robinson, Dep.*  
 LAND REGISTRAR FOR  
 THE REGISTRY DIVISION OF  
 WATERLOO NORTH (IND. 58)

I REQUIRE THIS PLAN TO  
 BE DEPOSITED UNDER PART  
 II OF THE REGISTRY ACT.

NOVEMBER 4, 1977.  
*R. W. Lishman*  
 R. W. LISMAN, C.S.T.

PLAN OF SURVEY  
 SHOWING LOTS 6, 7, 8, 9 AND PART OF LOT 10  
 REGISTERED PLAN NO. 280  
 AND LOT 218 AND PART OF LOT 234  
 REGISTERED PLAN OF SUBDIVISION OF LOT 17, G. C. T.  
 CITY OF KITCHENER  
 IN THE REGIONAL MUNICIPALITY OF WATERLOO

FORMERLY IN THE  
 CITY OF KITCHENER  
 COUNTY OF WATERLOO  
 SCALE: 1 INCH = 20 FEET  
 1977.

CAUTION: THIS PLAN IS NOT A PLAN OF SUBDIVISION WITHIN  
 THE MEANING OF SECTION 29, 32 OR 33 OF THE PLANNING ACT.

NOTE: ALL HANGING LINES HAVE BEEN VERIFIED.

SCHEDULE OF PARTS			
PART	OWNER	AREA	COMPOSITION
1		795 SQ. FT.	PT LOT 218, SUBR OF LOT 17, G.C.T.
2	HERPER	2,231 SQ. FT.	
3		1,730 SQ. FT.	PT LOT 218, SUBR OF LOT 17, G.C.T. AND PT LOT 234, SUBR OF LOT 17, G.C.T.
4	INVESTMENTS	1,463 AC.	PT LOTS 6, 7, 8, 9, R.P. 280
5	LIMITED	1,000 SQ. FT.	PT LOTS 6, 7, 8, 9, R.P. 280
6		330 SQ. FT.	PT LOT 234, SUBR OF LOT 17, G.C.T.

- LEGEND
- STANDARD IRON BAR (S.I.B.)
  - IRON BAR (I.B.)
  - ROUND IRON BAR (R.I.B.) (→ 18" ROUND)
  - IRON TUBE (I.T.)
  - FD. - FOUND
  - WIT. - WITNESS
  - C.B. - CATCH BASIN
  - P.W.F. - POST AND WIRE FENCE
  - P.I. - POINT OF INTERSECTION
  - SHORT STANDARD IRON BAR (S.S.I.B.)

PREMISING THAT THE SOUTHERLY LIMIT OF  
 LOTS 6, 7, 8, 9 AND 10, R.P. 280 HAS AN  
 ASTRONOMIC BEARING OF N 50° 49' 00" W (AS  
 SHOWN ON R.P. 280) AND RELATING ALL  
 BEARINGS HEREON THERETO.

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT:

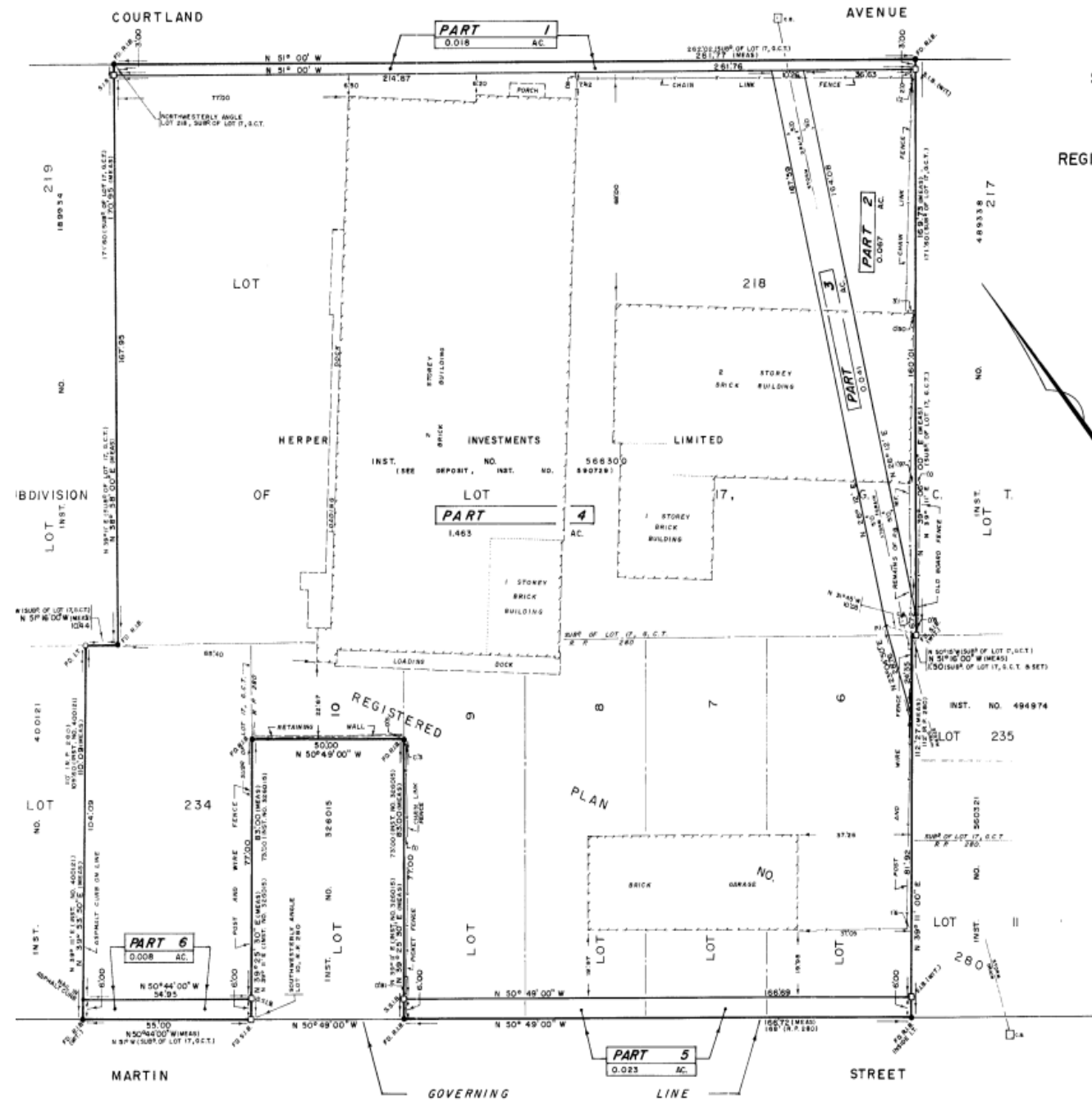
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT AND THE REGISTRY ACT AND THE REGULATIONS MADE THEREUNDER.
2. THE SURVEY WAS COMPLETED ON THE 27TH DAY OF OCTOBER, 1977.

DATED AT KITCHENER  
 NOVEMBER 4, 1977.

*Paul C. Wyman*  
 PAUL C. WYMAN  
 ONTARIO LAND SURVEYOR

JOHN METZ LTD.  
 ONTARIO LAND SURVEYING  
 71 WEBER ST. E., KITCHENER  
 N2G 2S1  
 NOVEMBER 4, 1977. [E.E.S.] P.C.W.

REVISED NOV. 10, 1977 P.C.W.



## Appendix D

# Structural Engineering Report (Tacoma, 2024)

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<b>Date:</b>	December 9, 2024	<b>No. of Pages:</b>	3 + Encl.
<b>Project:</b>	Feasibility and Condition Assessment	<b>Project No.:</b>	TW-1481-24
<b>Address:</b>	63 Courtland Avenue, Kitchener, Ontario	<b>Permit No.:</b>	N/A
<b>Client:</b>	Cantiro		
<b>Distribution:</b>	Cecilia Silva Vanessa Hicks	Cantiro MHBC	CSilva@cantiro.ca vhicks@mhbcpplan.com

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### Background

Tacoma Engineers has been retained by Cantiro to carry out a structural review of the building located at 63 Courtland Avenue, Kitchener, Ontario. An overview of the building is shown in Photograph 1. The property is being considered for redevelopment, and the developer is wishing to understand the feasibility of retaining a portion of the building as a part of the proposed redevelopment. The subject building was originally constructed in 1909 by J.M. Schneider as a part of his business venture. As such, the building has historical value, and it is believed the City of Kitchener will want a portion retained as a part of any redevelopment of the property.

A site visit was carried out by Nick Lawler, P.Eng. on April 19, 2024 and November 6, 2024 to complete the assessment.



**Photograph 1: Overview**

## Scope

This report is based on a visual inspection from grade only and does not include any destructive testing. No further structural analysis or building code analysis has been carried out as part of this report unless specifically noted. This report is not being prepared as a response to an Order, recommendations, or request by any regulatory body.

## Observations

### Construction

The building is constructed as a typical early 20<sup>th</sup> century factory, constructed with a mixture of wood and steel framing, supported on exterior masonry walls. The exterior masonry walls have been painted red, however the original brick does appear to be red brick. The age of the paint is unknown, but appears to be from the late 20<sup>th</sup> century, as it is peeling significantly.

Foundation walls are constructed with rubblestone mass masonry and appear to have been repaired at various times during the building history. An interior render, which has been painted white covered the interior face of the foundation walls in the basement area. Some areas of the building also contain concrete foundations, likely from the more modern additions.

Framing in the living area was mostly covered with finishes and was not accessible for view. The framing was visible in some open office areas, which had been left unfinished. The framing was found to be conventional wood framed construction, with steel beams used for longer spans. The main floor structure was confirmed to be reinforced concrete with structural steel beams, which was a typical construction for a heavy industrial floor area.

The complex contains several additions, which were used to expand the business and production area. These are less historically significant than the original 1909 one storey storefront building.

After the business was successful, the Schneider family constructed a second storey addition to the building, the early portion of the 20<sup>th</sup> century. The original “house” on the property, which was used in some capacity for the business was demolished as a part of these previous expansions.

## Discussion

The interior of the building has been heavily modified from the date of original construction. As such, there is little to no historic fabric remaining on the interior of the building, beyond its association with the J.M. Schneider company.

The building was found to be in fair condition, with no observed damage that would cause concern for structural stability. However, the exterior masonry was showing signs of distress due to lack / incorrect maintenance practices over the years. Long term exposure to the elements will cause deterioration of the lime mortar joints in the brick, and the brick themselves. This damage can be accelerated with poor water management, caused by damaged downspouts, or poor roof flashings. The exterior masonry will need to be restored as a part of any redevelopment to ensure that the historic fabric is not compromised by the exterior weather elements.

In terms of redevelopment of the site, portions of the existing building complex will need to be removed. Retention of the most historic portions of the building are desired to be preserved and integrated into the redevelopment of the site. Several options exist to make this retention;

*Selective Demolition Approach*

It is structurally feasible to remove the rear portions of the building without affecting the structural stability of the building portion that would remain. The building has been constructed in “bays”, which are delineated with columns on a grid pattern. By retaining the first three to four bays of the original storefront building, the remaining portion could be removed. Additional structure would likely be required to provide lateral stability to the remaining portion of the building. These lateral elements may be a part of the proposed new structure, or could be purpose built to support the heritage portions of the building only. These decisions would be made as the project details develop along with the project architect and owners.

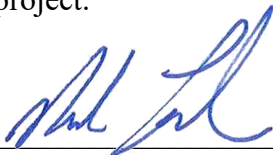
*Façade Retention Only Approach*

To maximize footprint of the new construction, the proposed development could see demolition of the interior wood framing, and conservation of the perimeter masonry walls. The interior wood framing currently provides the lateral support to the masonry walls. It is anticipated that the completed new structure will be designed to provide lateral support to the heritage walls over the long term life of the project.

During the construction phase of the project, the heritage masonry walls will require temporary support. Typically, this support is provided by a structural steel brace frame, tied into the masonry wall. Utilizing the space around the perimeter of the site, the structural steel frame is typically comprised of two vertical steel columns, with multiple horizontal and diagonal bracing members.

It is anticipated that after the redevelopment project is complete, and the temporary shoring framing removed, repairs to the brick masonry will be necessary. The repairs are required to provide long term durability to the brick masonry walls, and to repair any damage which occurs during construction. The project budget should include provisions for restoration of the brick façade which would include, repointing of the mortar joints, replacement of damaged brick units, and reinforcement and repair of step cracks in the brick. No significant repairs to the brick are expected to be required in advance of the temporary support framing, or redevelopment project.

Per



Nick Lawler, M.A.Sc., PE, P.Eng., CAHP  
Waterloo Team Lead, Senior Associate  
Tacoma Engineers

Encl.

Nil



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<b>Date:</b>	May 10, 2024	<b>No. of Pages:</b>	3 + Encl.
<b>Project:</b>	Feasibility and Condition Assessment	<b>Project No.:</b>	TW-1481-24
<b>Address:</b>	63 Courtland Avenue, Kitchener, Ontario	<b>Permit No.:</b>	N/A
<b>Client:</b>	Cantiro		
<b>Distribution:</b>	Cecilia Silva Vanessa Hicks	Cantiro MHBC	CSilva@cantiro.ca vhicks@mhbcpplan.com

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The complex contains several additions, which were used to expand the business and production area. These are less historically significant than the original 1909 one storey storefront building.

After the business was successful, the Schneider family constructed a second storey addition to the building, the early portion of the 20<sup>th</sup> century. The original “house” on the property, which was used in some capacity for the business was demolished as a part of these previous expansions.

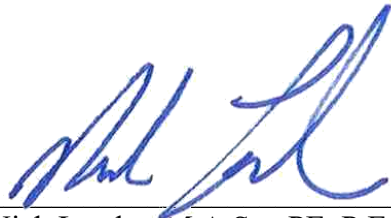
## Discussion

The interior of the building has been heavily modified from the date of original construction. As such, there is little to no historic fabric remaining on the interior of the building, beyond its association with the J.M. Schneider company.

The building was found to be in fair condition, with no observed damage that would cause concern for structural stability. However, the exterior masonry was showing signs of distress due to lack / incorrect maintenance practices over the years. The exterior masonry will need to be restored as a part of any redevelopment to ensure that the historic fabric is not compromised by the exterior weather elements.

In terms of redevelopment of the site, it is structurally feasible to remove the rear portions of the building without affecting the structural stability of the building that would remain. The building has been constructed in “bays”, which are delineated with columns on a grid pattern. By retaining the first few bays of the original storefront building, the remaining portion could be removed. It may also be structurally feasible to retain just the façade of the original storefront portion and integrate this into the future development.

**Per**



Nick Lawler, M.A.Sc., PE, P.Eng., CAHP  
Waterloo Team Lead, Senior Associate  
Tacoma Engineers



**Encl.** Nil

# Appendix E

## Cedar Hill Data Sheet

# L-NBR-10 Cedar Hill Neighbourhood



## DESCRIPTION:

Cedar Hill is located to the south of the original town core and formed a part of the original survey. As a height of land, it would have been a desirable location for better quality homes as they would enjoy the breezes and diminished numbers of insects during the summer months. Located here are a wide variety of some of the earlier homes in Kitchener including Italianate, Georgian cottages, and Queen Anne style with the earliest homes set very close to the street line in the manner of the late 1850's. However, the larger lots associated with the larger homes would become candidates for severance with the result that the properties gradually filled in with later housing types, typically associated with the population growth of the late nineteenth and early twentieth centuries. The neighbourhood is also one that includes a number of institutional uses such as churches and schools in a manner which is not done in residential areas laid out after the 1920's. The net impact of this is a wide visual variety in the setting, which in itself, creates the character of the community. Indeed, this visual variety is strong enough to permit the presence of massive mid-twentieth century apartment blocks without undue visual deterioration. The topography of the area, particularly the steep east and south sides, adds to the interest of this neighbourhood. Buildings were terraced into the steep slopes in order to create buildable lots. This in turn required significant retaining walls, stairs to front entrances and very steep driveways. Lawns and gardens are located on slopes as steep as 1:1 making maintenance a real challenge. These landscape features are relatively unique in downtown neighbourhoods where most of the landform is flat to gently rolling. Also unique to this neighbourhood are very narrow streets. Cedar Street, for example, has a 24 m (80 ft) right-of-way (ROW) from building face to building face. There are some streets with even smaller right-of-ways. Typical streets in the downtown area range between 30-33m (100 to 110 feet) in width. Cedar Hill streets have very small boulevards or no boulevard at all. This means that all major trees are located in front, rear and side yards and that the front facade of each house plays a more dominate role in the appearance and character of the neighbourhood. There are some dramatic long views along streets particularly to the west where viewing distances are in excess of 3 or 4 kilometres. Because of the visual variety, it can be seen that many of the earlier buildings have been renovated or modified in a manner which is not the same as the more visually cohesive subdivisions laid out in the early part of the twentieth century. The overall result is a unique part of Kitchener with deep historical roots and a continuum of buildings and streetscapes dating from the mid-nineteenth century to the present.

### LOCATION:

Located in the City's core south and west of the downtown bound by Benton Street, Iron Horse Trail, Charles Street East and Stirling Avenue South.

### HISTORIC THEMES:

Early/Significant Residential Neighbourhood

Within the Described boundary, there are:

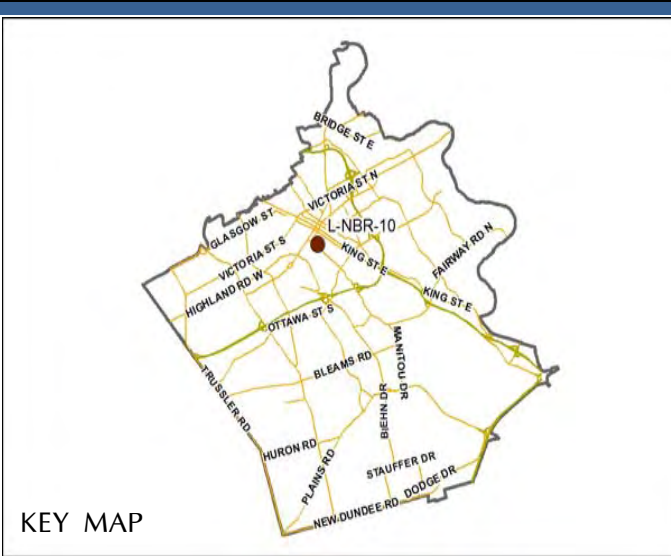
Designated HCDs:

Designated Properties:

Listed Properties:

LANDSCAPE TYPE: Neighbourhood

ARCHAEOLOGICAL POTENTIAL: YES



KEY MAP



1



2



3

**HISTORICAL INTEGRITY**

- LAND USE - CONTINUITY OF USE
- OWNERSHIP - CONTINUITY OF OWNERSHIP
- BUILT ELEMENTS - ORIGINAL GROUPINGS AND ASSOCIATED SITES
- VEGETATION - ORIGINAL PATTERNS
- CULTURAL RELATIONSHIPS - SUPPORTING DESIGNED ELEMENTS
- NATURAL FEATURES - PROMINENT NATURAL FEATURES
- NATURAL RELATIONSHIPS - FEATURES THAT DETERMINE USE
- VIEW THAT REFLECTS LANDSCAPE CHARACTER FROM HISTORIC PHOTOS
- RUIN - HUMAN MADE REMNANTS
- DESIGNED LANDSCAPES THAT HAVE RESTORATION POTENTIAL

**CULTURAL VALUE**

- DESIGN VALUE - RARENESS OR UNIQUENESS
- DESIGN VALUE - AESTHETIC/SCENIC REASONS
- DESIGN VALUE - HIGH DEGREE TECHNICAL / SCIENTIFIC INTEREST
- HISTORIC VALUE - HISTORIC UNDERSTANDING OF AREA
- HISTORIC VALUE - DIRECT ASSOCIATION WITH A THEME, EVENT OR PERSON
- HISTORIC VALUE-WORK OF LANDSCAPE ARCHITECT, ARCHITECT OR OTHER DESIGNER
- CONTEXTUAL VALUE - LANDMARK VALUE
- CONTEXTUAL VALUE - IMPORTANT IN DEFINING CHARACTER OF AREA
- CONTEXTUAL VALUE - HISTORICALLY, PHYSICALLY, FUNCTIONALLY OR VISUALLY LINKED TO SURROUNDINGS

**COMMUNITY VALUE**

- COMMUNITY IDENTITY - TELLS STORY OF AREA
- PUBLIC STEWARDSHIP SUPPORTED BY VOLUNTEERISM
- COMMUNITY IMAGE IDENTIFIED WITH KITCHENER'S PROVINCIAL/NATIONAL REPUTATION
- TOURISM - PROMOTED AS TOURIST DESTINATION
- LANDMARK - RECOGNIZED BY COMMUNITY
- COMMEMORATION - SITE USED FOR CELEBRATIONS
- PUBLIC SPACE - USED FOR FREQUENT PUBLIC EVENTS
- CULTURAL TRADITIONS - USED TO EXPRESS CULTURAL TRADITIONS
- QUALITY OF LIFE - VALUED FOR ITS DAY-TO-DAY IMPACT ON COMMUNITY LIFE
- LOCAL HISTORY - CONTRIBUTING TO LOCAL LORE
- VISUALLY SIGNIFICANT PHOTOGRAPHED OFTEN
- GENUS LOCI - SENSE OF PLACE
- PLANNING - IDENTIFIED THROUGH OTHER PLANNING INITIATIVES

The area is one of continual change since the earliest period of Kitchener's development and contains a continuum of buildings of various sizes and use from residential to institutional constructed from the 1850s to the late 20th Century.

Constructed on the original grid plan of the town survey, this area of Kitchener is prominent not only for its atypical height over the surrounding City but for the range of structures constructed here which co-exist with reasonable compatibility. As such, it is both an excellent location to study the evolution of community and, because of its extensive historical background, a means to establish an understanding of the evolution of Kitchener.

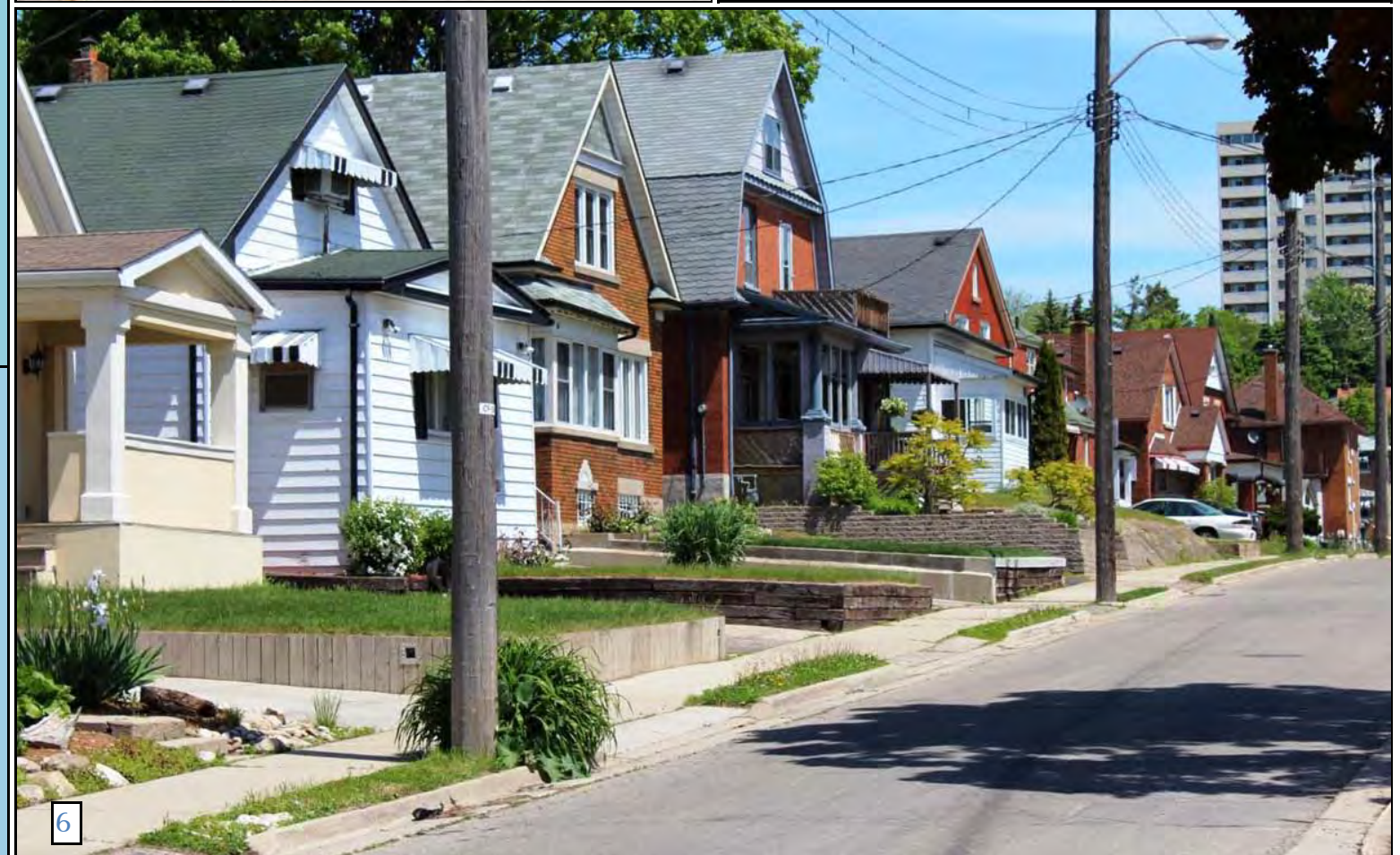
The area has community value not just because of its historical connections but by the presence of institutional structures, notably churches, which have formed an integral part of the social growth of the City since its founding.

**CHARACTER DEFINING FEATURES:**

Character defining features of this part of Kitchener include the elevation of the land; the variety of street widths and housing types; the range of dates of construction of buildings; the mingling of early and late housing, high-rise structures, and institutional buildings which creates a varied and yet integrated community unique to the City.

**LIST OF FIGURES:**

1. Stairs and walls to accommodate varying topography.
2. Typical streetscape.
3. Typical streetscape.
4. Neighbourhood church.
5. Narrow street cross-section without street trees.
6. Steep landform requires stairs and retaining walls.



# Appendix F

## Staff Bios.

## Dan Currie, B.A., B.E.S, M.A., M.C.I.P, R.P.P, C.A.H.P

Dan Currie, a Partner with MHBC, joined MHBC Planning in 2009, after having worked in various positions in the public sector since 1997 including the Director of Policy Planning for the City of Cambridge and Senior Policy Planner for the City of Waterloo.

Dan provides a variety of planning services for public and private sector clients including a wide range of policy and development work. Dan has experience in a number of areas including strategic planning, growth plan policy, secondary plans, watershed plans, housing studies and downtown revitalization plans. Dan specializes in long range planning and has experience in growth plans, settlement area expansions and urban growth studies. He has provided expert planning evidence to the Local Planning Appeals Tribunal and heritage planning evidence to the Conservation Review Board.

## Vanessa Hicks, M.A, C.A.H.P

Vanessa Hicks is an Associate and Senior Heritage Planner with MHBC. Vanessa and joined the firm after having gained experience as a Manager of Heritage Planning in the public realm where she was responsible for working with Heritage Advisory Committees in managing heritage resources, Heritage Conservation Districts, designations, special events and heritage projects. Vanessa is a full member of the Canadian Association of Heritage Professionals (CAHP) and graduated from the University of Waterloo with a Masters Degree in Planning, specializing in heritage planning and conservation.



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