

D R A F T
Scoped Heritage Impact Assessment
in support of proposed subdivision
2219 Ottawa St. S. and 808 Bleams Rd.
Kitchener, ON



CHC Limited
87 Liverpool Street, Guelph, ON N1H 2L2 (519) 824-3210
oscott87@rogers.com

March 14, 2022
updated July 21, 2022



Table of Contents

1.0	BACKGROUND - REQUIREMENT for a HERITAGE IMPACT ASSESSMENT (HIA)	1
1.1	Current owner contact information	3
1.2	Site history	3
1.3	Description of buildings, landscape features and surrounding context	14
	Surrounding context	14
	Landscape and outbuildings	16
1.4	Documentation of the heritage resource	20
	The house	20
	Cultural heritage value and interest	33
	Heritage attributes	36
1.5	Proposed development and impacts	37
1.6	Conservation options - principles and mitigating measures	41
1.7	Proposed alterations justified and explained	44
1.8	Summary statement and conservation recommendations	44
1.9	Qualifications of the author completing the Heritage Impact Assessment	45
2.0	MANDATORY RECOMMENDATION	45
	REFERENCES	46
	Appendix 1 - Cultural Heritage Resource Evaluation Form	
	Appendix 2 - Architectural Analysis - Don Ryan, Heritage Researcher, June 13, 1991	
	Appendix 3 - Scoped Heritage Impact Assessment Terms of Reference	
	Appendix 4 - Chain of Title	
	Appendix 5 - Notes: Winnifred and Keith Shantz	
	Appendix 6 - Architectural Drawing Set	
	Appendix 7 - CMA Realty photos 2012	
	Appendix 8 - Conceptual grading plan - house environs	
	Appendix 9 - Qualifications of the author	

All photographs taken by the author November 1, 2017 unless otherwise noted
cover photo: from Trussler Road, *circa* late 1970s

1.0 BACKGROUND - REQUIREMENT for a HERITAGE IMPACT ASSESSMENT (HIA)

The property is not listed on the City's Heritage Register, nor is it designated under the *Ontario Heritage Act*. It is listed on the City's 'Heritage Kitchener Inventory of Historic Buildings'. City of Kitchener Heritage Planning staff completed a cultural heritage resource evaluation form for 2219 Ottawa Street South in 2017 (Shantz house) (Appendix 1) which confirms the property merits listing and designation under the *Ontario Heritage Act* and meets the definition of a significant built heritage resource or cultural heritage landscape as defined by the *Provincial Policy Statement*.

The City requires an HIA for this application and provided a site specific scope in October 2017 (Appendix 3). A *Partial Draft HIA*¹ was prepared by CHC and submitted for comment during the pre-submission for the project in October 2018.

As a result, the development proposal was redesigned to provide both protection for and better public views to the property as well as retaining views from the property. City requirements *vis-a-vis* heritage issues were outlined September 27, 2019² and August 17, 2021³ and were:

"An updated HIA, assessing in particular the views that have been established through the proposed subdivision layout, and the submission of a Conservation Plan will be requirements of a complete planning application. In summary, Heritage Planning staff will require the following as part of a complete application:

- the submission of an updated scoped Heritage Impact Assessment;
- the submission of a Conservation Plan; and
- a response to the guidelines for the conservation of cultural heritage resources found in Part A of the City's Urban Design Manual for New Neighbourhoods."

Subsequently, in discussions with Heritage Planner Victoria Grohn⁴, it was agreed that the updated HIA would address the layout and configuration of the subdivision and any potential impacts to the heritage resource as a result of that layout and configuration, especially a fulsome assessment of particular views that have been established through the proposed subdivision layout; whether the heritage block established in the draft plan is an appropriate size or configuration to conserve views and the heritage resource as a focal point within the community; any potential impacts as a result of park block locations, street layout, or proposed adjacent land uses; and any potential impacts as a result of construction activities around the heritage resource and how these will be mitigated.

The subject property is 13.33 ha (32.94 acres) in area, comprised of 4 parcels, a 0.89 ha parcel to the northeast (1), a 1.38 ha triangular piece bounded by Ottawa Street on the north and Trussler Road and the Township of Wilmot on the west (2), the +/- 0.80 ha Mannheim Road road allowance (3), and a larger 10.26 ha parcel

¹ *Partial Draft Scoped Heritage Impact Assessment in support of proposed subdivision, 2219 Ottawa St. S. and 808 Bleams Rd., Kitchener, ON*, CHC Limited, October 25, 2018

² Internal Memo to Brian Bateman, Senior Planner from Victoria Grohn, Heritage Planner re: OPA/ZBA/SUB Pre-Submission Consultation, 2219 & 2159 Ottawa Street South & 808 Trussler Road, Heritage Planning Comments

³ email from: Michelle Drake to Brian Bateman re: additional comment, Circulation for Comment - Pre-submission Consultation - 2219 Ottawa Street South & 808 Trussler Road (OPA/ZBA/Subdivision)

⁴ emails between Owen R. Scott and Victoria Grohn, October 19, 2021 and October 29, 2021

bounded on the west by Trussler Road, on the north by the former Ottawa Street South (Mannheim Road) road allowance, and on the south by Bleams Road (4) (Figure 1).

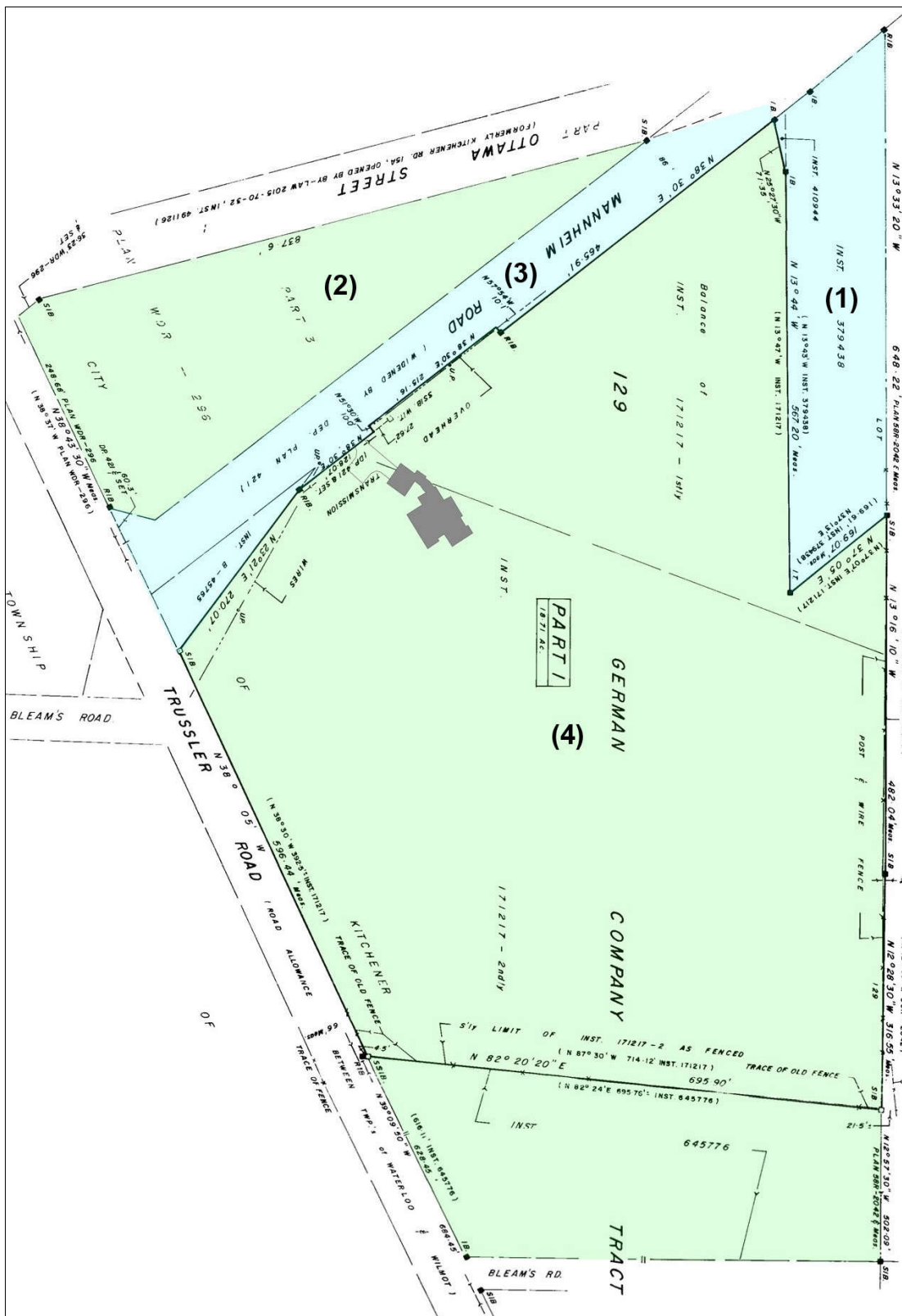


Figure 1 subject property - from: 1981 survey by J. Douglas Ansley Ltd., O.L.S.

1.1 Current Owner Contact Information

Tercot Communities
c/o Polocorp Inc.
379 Queen Street South
Kitchener, ON N2G 1W6
519-745-3249
Attention: Mr. Paul Puopolo
paul@polocorpinc.com

1.2 Site History

The property at 2219 Ottawa Street South and 808 Bleams Road. is a remnant of a 19th century farmstead, the only remaining historic feature being the ruins of a gambrel roof barn. As noted above, the subject property is comprised of two distinct parcels, separated by the former Mannheim Road (Figure 1). Both parcels are situated within the 94,012 acres known as ‘Block 2 on the Grand River’ that Richard Beasley purchased from the Crown on the 5th of February 1798 for the sum of £8,887.

In 1805 Beasley sold 60,000 acres of Block 2 (‘Part of Block No. 2 comprising the German Company Tract of the Township of Waterloo’)⁵ to Daniel and Jacob Erb, who in turn subdivided the lands and sold 83 acres of Lot 129, within which the subject property lies, to Samuel Bricker in 1807. Bricker sold the 83 acres⁶ to John Erb in 1816. Erb’s estate sold the land to William Scollick in 1834. Scollick’s estate sold the property to Ephram Wilson in 1845. 10 acres of the property were severed and sold by Wilson to Jonathan Bleam in 1849. The remaining 73 acres was sold by Wilson in 1852 to Conrad Schmidt, who sold 45 acres to Peter Knechtel and 11 acres to Daniel Weiss the next year. Conrad Schmidt sold another 12 acres to Michael Weiss in 1852. Daniel Weiss transferred his 11 acre parcel to Peter Weiss in 1857 and Michael, his 12 acre parcel to Peter in 1862. In 1873, Peter Weiss sold the 23 acres (the current parcel south of the former Mannheim Road allowance) to George Unger. Unger sold part of the property to Franz Stepan in 1881 and Unger’s estate the remainder to John Schotzke in 1885. In 1896, Stepan sold the property to Johanna Mitzlaff (wife of farmer August Mitzlaff). Mitzlaff sold the lands to Joseph and Mary Luciw for \$3,000 in 1922. On March 7, 1936 a Fact of Filing⁷ was registered by Joseph Medoruk who held a mortgage on the property, and on the same day, the property was transferred by Medoruk to Mark and Edna Jones for \$2,200. The Jones’ sold the property , less 2 acres, to Robert and Fern Schmidt in 1954 for \$13,500.

The triangular parcel between Ottawa Street South and the closed Mannheim Road allowance was part of a larger parcel to the north. The 45 acres of the estate of Peter Knechtel (noted above), now 32 acres, was

⁵ from *Lt 129 Tsp. of Waterloo* Registry Office record

⁶ The exact location of the 83 acre parcel within Lot 129 has not be found as the deeds for this property from the Crown to 1853 and others before 1899 are missing from the Registry office records.

⁷ In the case of real property, if under the laws of the jurisdiction in which the real property is located, a deed is not valid as against a purchaser of the property who (at the time of purchase) does not have actual notice or knowledge of the existence of such deed unless the **fact of filing** of such deed has been entered and recorded in a public index at the place of filing in such a manner that a reasonable inspection of the index will reveal the existence of the deed

transferred to John D. Knechtel in 1876. Through a Release of Equity of Redemption⁸ the property was transferred from Knechtel to George Randall in 1880. The now 35 acre parcel was sold to John Rickert in 1881 for \$3,800. Rickert retained ownership until 1899 when he sold what was now a 38 acre parcel to August Stoltz. In 1907, Stoltz sold the 38 acres to Isaac W. Brighton, who sold to August Potz for \$4,820 in 1914. Potz, who had purchased adjacent property in Lots 130 and 131, sold a 50 acre parcel to Ervin Hass in 1923 for \$6,000. That 50 acre property was transferred to Catherine & James Bergey in 1926, thence to Clayton Bowman, carpenter, in 1933, to Eden & Mary Bechtel in 1943, and to Florence & Verne Bechtel in 1956.

In November of 1957, the County of Waterloo registered Plan 421 requiring lands from F. & V. Bechtel, M. L. & E. M. Jones, and the Schmidts for the widening of Mannheim Road (Figure 2). In 1958, the Schmidts sold the property to Keith Shantz who demolished the farmhouse, retained the gambrel-roofed barn and constructed the current home *circa* 1968-1969 (Figure 3).

In 1970, 5.423 acres of the Bechtel property was transferred to the County of Waterloo for the purpose of realigning Mannheim Road (now Ottawa Street South). When the road was realigned in 1971 (Figure 4), the triangular lot between Ottawa Street South and the old Mannheim Road was sold to Keith Shantz for \$5,115.

The property, now comprised of the two parcels, was transferred to Keith & Winnifred Shantz in 1981. Keith Shantz had married Winnifred McLaren in 1973, a year after her husband Don McLaren, retired Director of Recreation for the City of Kitchener, died. Keith died in 1992 and Winnifred in 2012 (see Appendix 5). Her estate transferred the property to her children, Neil McLaren of Guelph and Lori Brien of Waterloo July 30, 2012 who sold to the current owner, August 8, 2012. The barn was demolished *c.* 2016.

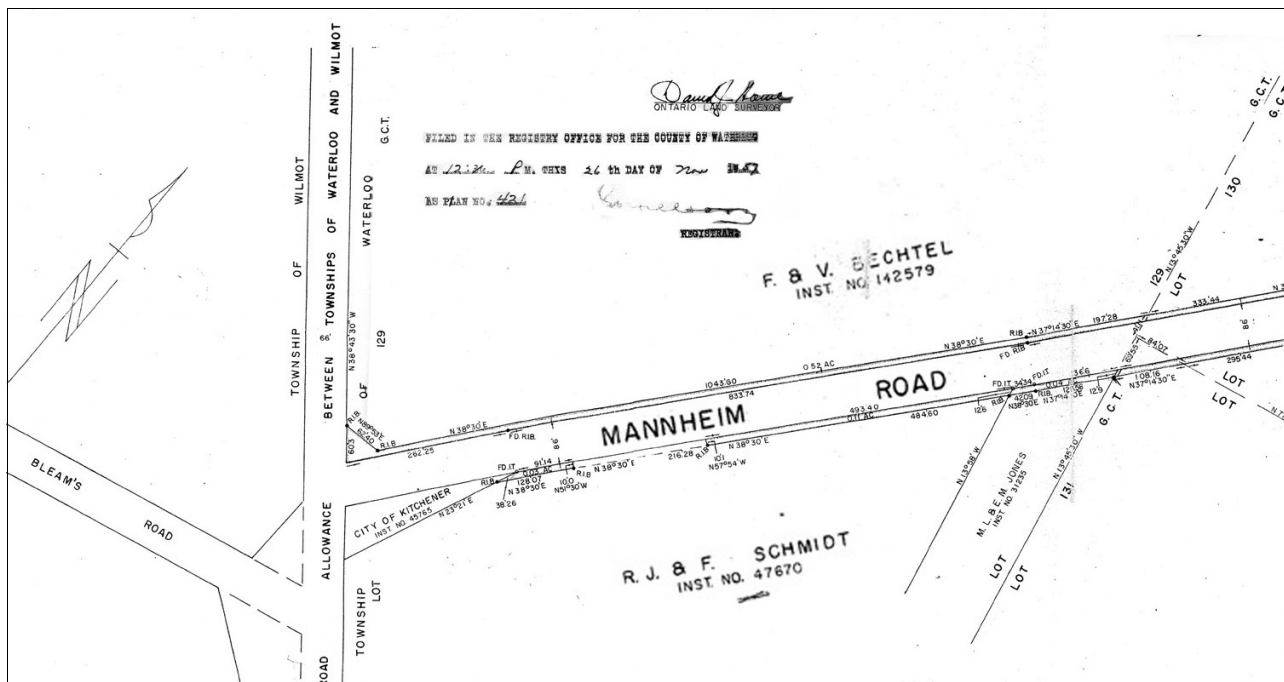


Figure 2

from: Registered Plan 421 - David J. Howe, O.L.S. 26 November 1957

⁸ Equity of redemption is the right to petition the courts of equity to compel the mortgagee to transfer the property back to the mortgagor once the secured obligation has been performed.

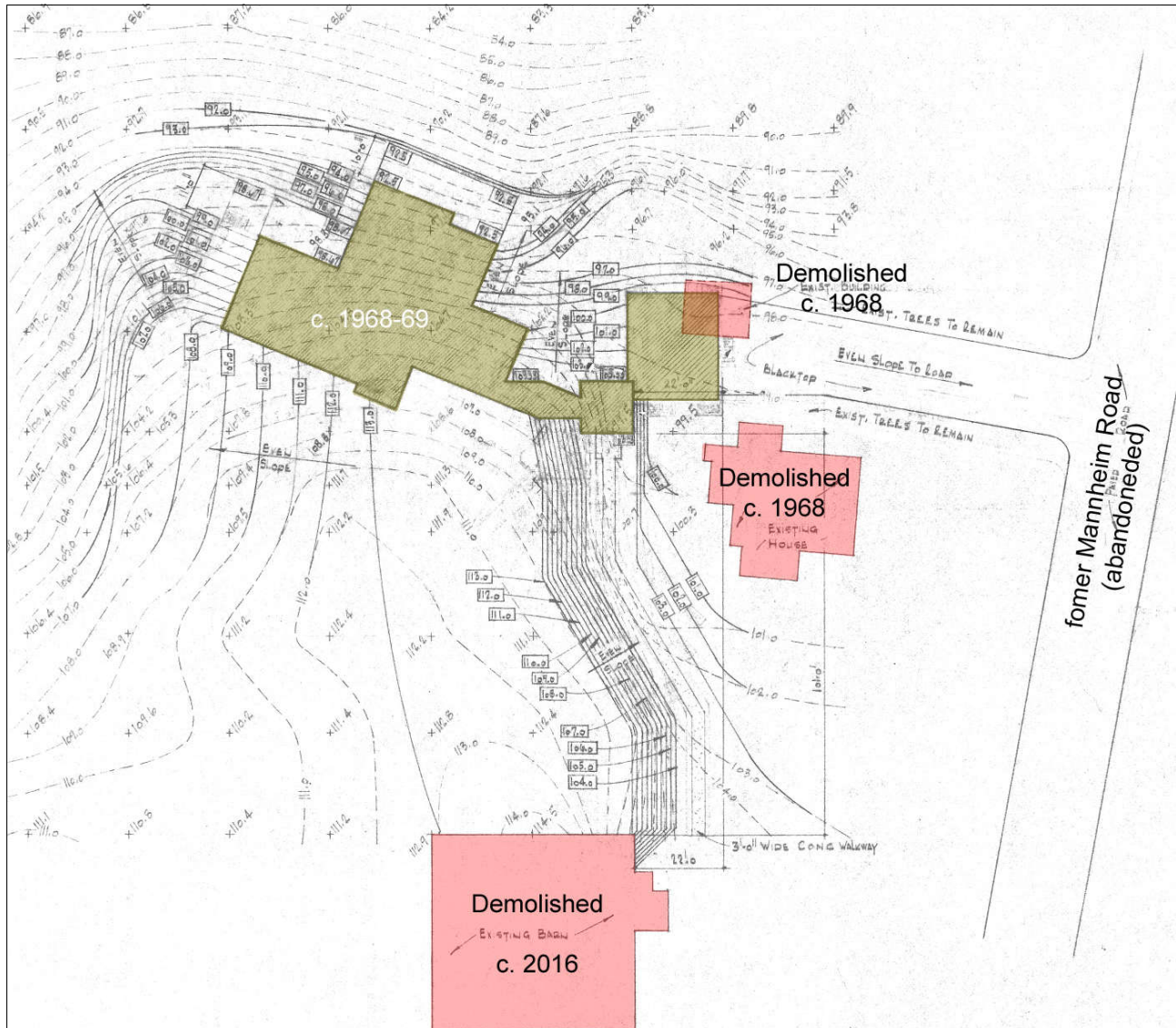


Figure 3

demolitions and construction *circa* 1968-1969

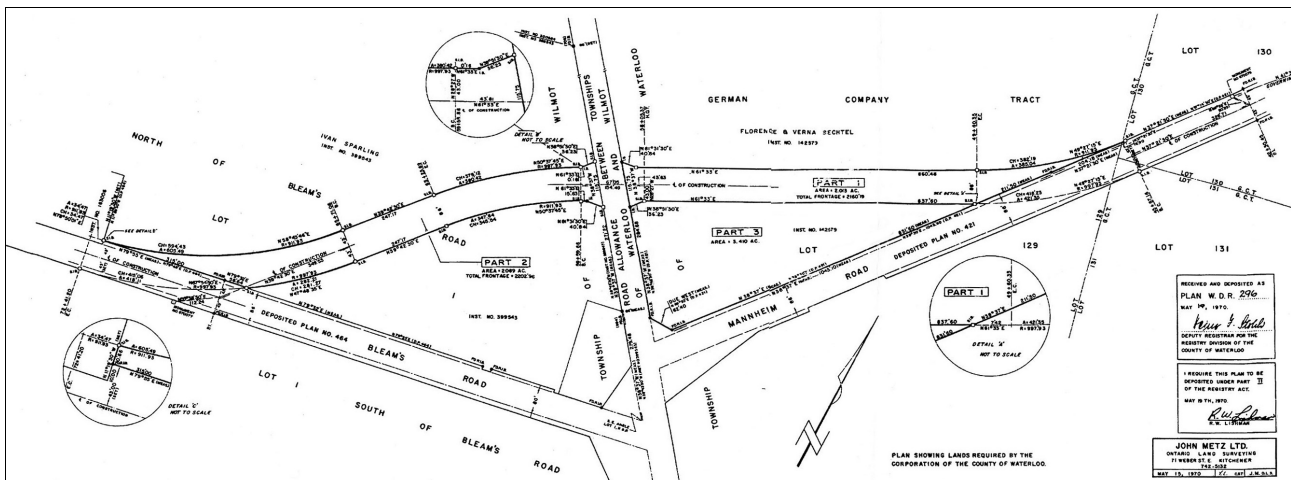


Figure 4

from: Plan W.D.R. 296, realignment of Mannheim Road and Bleams Road (Ottawa Street South)
John Metz Ltd., O.L.S., November 19, 1970

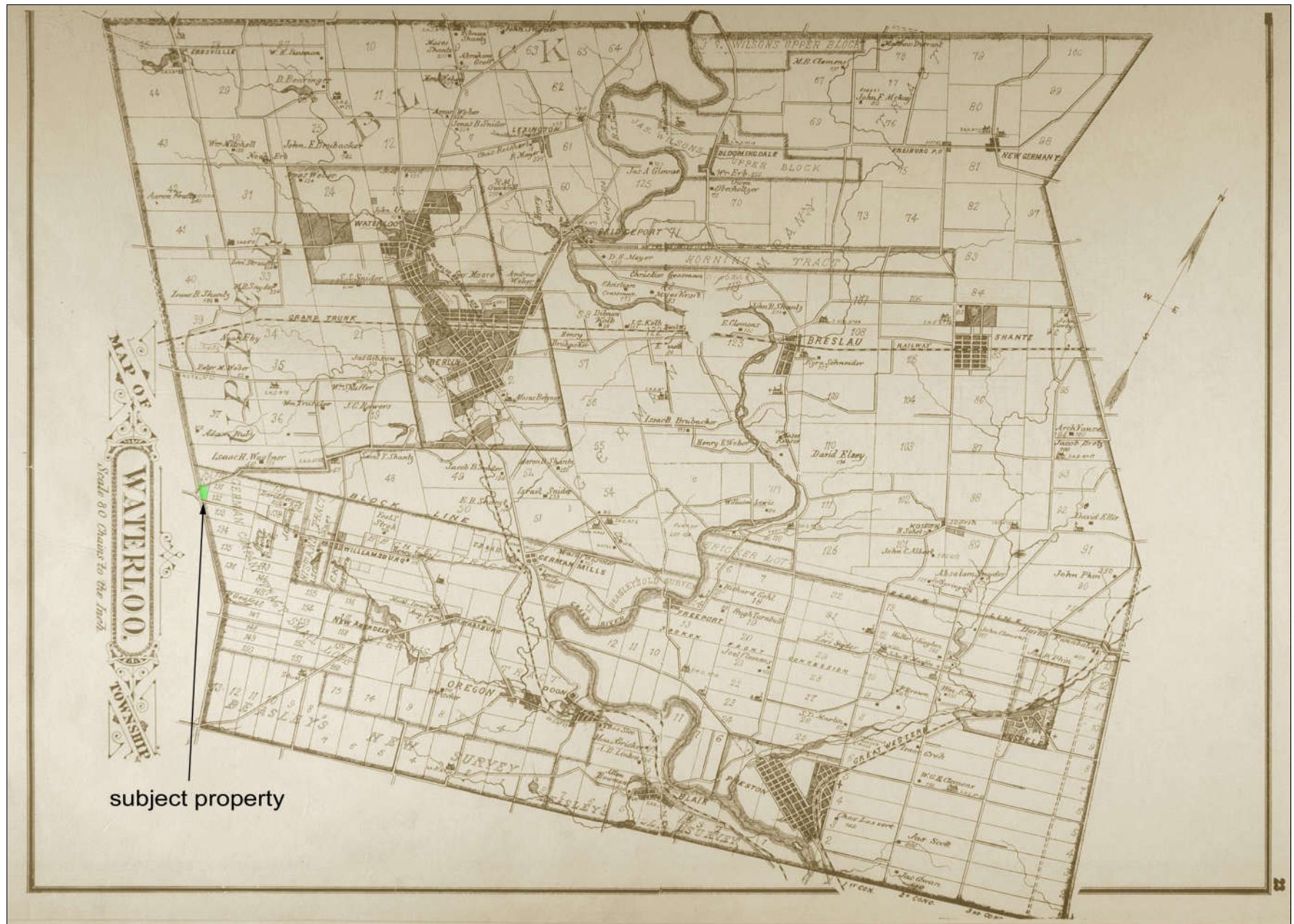


Figure 5

Lot 129, Waterloo Township (in green) - *Historical Atlas of Waterloo & Wellington Counties 1881 - 1877*

Figure 5 shows the subject property on the 1881 County Atlas on the border of Wilmot & Waterloo Townships and at the intersections of Bleams Road and Mannheim Road just east of the Village of Mannheim in Wilmot Township. Figure 6 is an enlargement of the area.



Figure 6

enlargement of 1881 Atlas - subject property

Airphotos from the University of Waterloo Geospatial Centre (Figures 7 - 14) show the context of the property in 1946, 1955, 1963-1966, 2000 and 2015. The property is outlined in green.

The alignment of what is now Trussler Road at the intersection of the former Mannheim Road in Wilmot Township is the same as that shown in the 1881 County Atlas (Figure 6) and was to avoid a wet depression, now partially filled.

Before 2000, little development had occurred in the vicinity of the property with the exception of Mannheim which had grown substantially in the latter part of the 20th and early 21st centuries. The lands surrounding the subject property were occupied by agriculture, and to a larger extent, by aggregate extraction, and remain so today.



Figure 7

1946 airphoto - *University of Waterloo Geospatial Centre*



Figure 8

1946 airphoto - *University of Waterloo Geospatial Centre*

In the 1955 airphoto (Figures 9 & 10), little has changed. The Trussler Road alignment remains the same; the Village of Mannheim has not grown. The field to the south on the subject property; however, appears to have been stripped of topsoil and a gravel pit opened.



Figure 9

1955 airphoto - University of Waterloo Geospatial Centre



Figure 10

1955 airphoto - University of Waterloo Geospatial Centre



Figure 11

1963 - 1966 airphoto - *University of Waterloo Geospatial Centre*

The rugged topography of the area south of the farmstead on the subject property can be readily seen in the 1963-1966 aerial photograph (Figure 12). That topography has since been altered. The landscape is even more rugged today. Whether this is a result of erosion or borrow pits is not known.

Treed areas included an east-west fence row just south of the farmstead, another east-west fence row further south marking a property boundary, and the wet area on the east side of Trussler Road near Mannheim Road which caused the road to deviate from a straight line. That deviation has since been removed. The circa 1972 photograph on the cover of this report shows the treed area adjacent Trussler Road with a few scattered trees throughout the property.



Figure 12

1963 - 1966 airphoto - *University of Waterloo Geospatial Centre*

Sometime after 1972, and after the Shantz house was constructed, Trussler Road and Mannheim Road (now Ottawa Street) were realigned, the driveway to the house lengthened to reach the new Ottawa Street alignment, and most of the property reforested in conifers. Mannheim had seen significant expansion (Figures 13 - 15).



Figure 13

Region of Waterloo mapping - 2000

Additional gravel pits had been opened east of the property and south of Bleams Road (Figures 13 - 15). The laneway between the house and realigned Ottawa Street was planted with a row of Norway Maple trees on either side (Figures 15 & 16).



Figure 14

GRCA mapping - 2015

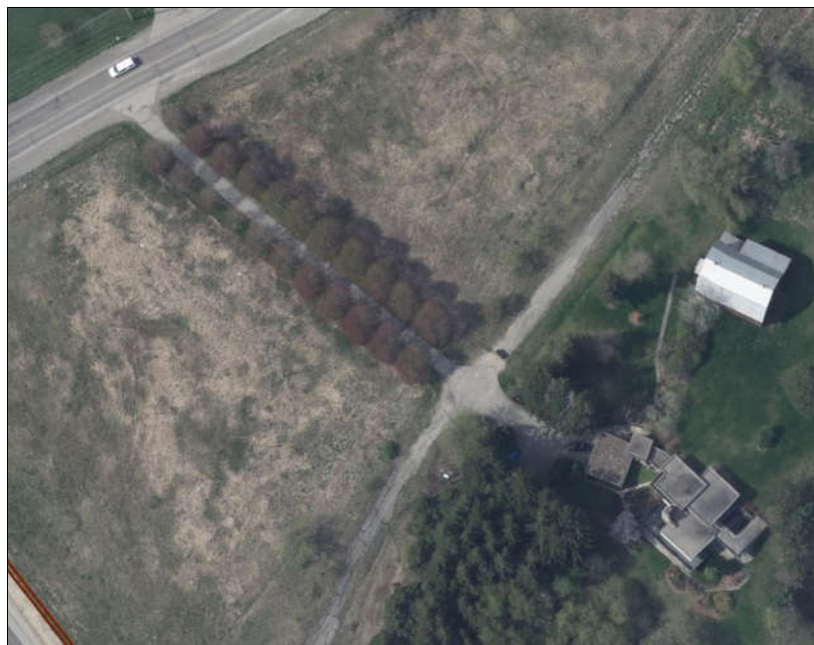


Figure 15

Shantz house, barn & laneway, Ottawa Street at top
Region of Waterloo mapping 2015



Figure 16 view from Ottawa Street and Trussler Road, June 2015 - *Google Maps*



Figure 17 view from Trussler Road, similar to position of c. 1972 view on report cover - *Google Maps* 2015



Figure 18 view from Trussler Road at old Mannheim Road, November 2017

1.3 Description of buildings, landscape features and surrounding context

Surrounding context

A portion of the former farm property ceased to be an agricultural landscape circa 1950s when the southerly portion became a gravel pit (Figure 10). The major changes to the surrounding context have occurred in the late 20th century and the early 21st. Those have been the substantial growth of the Village of Mannheim in Wilmot Township and the opening of aggregate extraction areas within, south and east of the subject property. Trussler Road has been realigned adjacent the property and Mannheim Road (now Ottawa Street) has been realigned to change the northerly boundaries of the property and divide it into two parcels. The following photographs are views from areas adjacent to the subject house (Figures 19 - 27).



Fig. 19 St. James Lutheran Church at Trussler & Knechtel



Figure 20 looking across Trussler Road from house



Figure 21 view southwest to Trussler Road



Figure 22 view southwest to wet area on Trussler



Figure 23 view south to 808 Bleams Road



Figure 24 looking southeast



Figure 25 looking east



Figure 26 communications tower east of house
old Mannheim Road roadbed remnant



Figure 27 view to Ottawa Street



Figure 27 view to Ottawa & Trussler intersection

Landscape and outbuildings

The house is approached by an asphalt drive that leads directly to the garage, the first feature of the house that is viewed upon entering the property, one that is a product of its era (Figure 28). The approach landscape is now becoming naturalized with herbaceous meadow plants and some woody pioneer species such as sumac beginning to invade. When the house was built, the approach was manicured lawn (see report cover photo).



Figure 28

driveway approach (original driveway length)

The house is entered via a stone flag walk and natural stone stair, hidden to the left of the garage door and signed “NONSUCH PLACE FRONT DOOR” (Figures 29 - 30).



Figure 29

front entry from drive



Figure 30

sign to front door ‘Nonsuch Place’

The front door is flanked on the left by a former ornamental pond, framed by limestone rocks which also serve as an informal retaining wall for the steep slope adjacent. Vegetation is overgrown, but many of the original plantings, or plantings like the original juniper, serviceberry, spirea, hydrangea, *etc.* remain (Figures 31 & 32).



Figure 31

front entry, former pond, rock work



Figure 32

rock work, precast concrete path, garden at front entry

A precast concrete pathway wends its way around most of the perimeter of the house. Beds of pachysandra ground cover, juniper and other shrubs have been invaded by golden rod, thistle, teasel, sumac and other pioneer and meadow plants; however, the original informal landscape structure, and many of the original plants remain. The design is a product of its era and contemporary with the house (Figures 33 - 37).



Figure 33 Pachysandra bed and precast concrete walk from 'entry grotto' (see Appendix 6)



Figure 34 Pachysandra bed adjacent 'entry grotto'



Figure 35 timber retaining wall



Figure 36 west side landscape, precast concrete walk



Figure 37 underside of deck at south end

There are no outbuildings on the property. Until 2016 a gambrel-roofed bank barn was located just northeast of the house. It has been demolished (Figure 38).



Figure 38

former barn

1.4 Documentation of the heritage resource

The house

The mid-century modern house built *circa* 1968-1969, was designed by local architect John Lingwood who was inspired by the 'Prairie' style⁹ of architecture fostered by Frank Lloyd Wright and others. The house faces west with the east side being buried in the hillside on which it is placed. Originally there were views across what is now Trussler Road and into the countryside. These views were replaced by a coniferous plantation that also removed almost all public views of the house as well. In 2016, much of the plantation was removed, restoring the earlier views originally intended.

Exterior building materials are a deep brown cedar fascia board used around the roof and deck edges, dark brown vertical board and batten siding, with a granite fieldstone foundation, chimney tower and vertical elements (Figures 35 - 37, 39 & 40). Fieldstone is from the environs.

⁹ The designation Prairie is due to the dominant horizontality of the majority of Prairie style buildings which echoes the wide, flat, treeless expanses of the mid-Western United States. The most famous proponent of the style, Frank Lloyd Wright, promoted an idea of "organic architecture", the primary tenet of which was that a structure should look as if it naturally grew from the site. Wright also felt that a horizontal orientation was a distinctly American design motif, in that the younger country had much more open, undeveloped land than found in most older, urbanized European nations. Wikimedia Foundation
https://en.wikipedia.org/wiki/Prairie_School



Figure 38 cedar fascia board, board & batten siding, fieldstone chimney tower - west elevation



Figure 40 fieldstone elements

Windows are aluminum framed and vertical on the ground floor, horizontal on the upper floor. Decks are found on the west and south sides (Figures 41 & 42).



Figure 41

south elevation - work/hobby rooms below



Figure 42

southeast corner

The east side of the house is set into the hillside (Figure 43). Skylights added later to the pool room provide light to an otherwise dark space because of the hillside setting and large overhanging decks above (Figures 37, 42 & 44).



Figure 43

east elevation - pool room skylights at left



Figure 44

skylights over pool room



Figure 45

east elevation - garage at right



Figure 46

north elevation - from Ottawa Street (lengthened driveway)



Figure 47

west elevation

Appendix 6 provides copies of the original 1968 architectural drawings. Figure 48 from that set is the main floor plan of the house and attached garage, showing the extensive deck and the juxtaposition of the garage and main body of the house to take advantage of the natural topography, isolate the house from the road (which was much closer to the house than it is at present), and provide dramatic views over the countryside. Figure 49 shows the lower floor plan which is comprised of a hobby room an work room under the living room, and the pool room. The upper floor of a single bedroom is also shown in Figure 49. Another bedroom and en-suite was added to the north at a later date.

Foundations are of reinforced concrete, and the main structural members are unique polystyrene blocks filled with reinforced concrete. Original owner, Kitchener industrialist Keith Shantz, was the proprietor of Morval-Durofoam Ltd., who manufactured polystyrene picnic coolers and provided the inspiration for the construction method (see Appendix 6 for construction details). The polystyrene/concrete blocks provide both strength and insulating properties.

At the time of the writing of the *Partial Draft Scoped Heritage Impact Assessment* (October 2018), the house was not being used as a residence, but was an office. Furnishings consisted of office equipment and office furniture (Figure 53), although built-in furniture remained in the bedrooms (Figure 60).

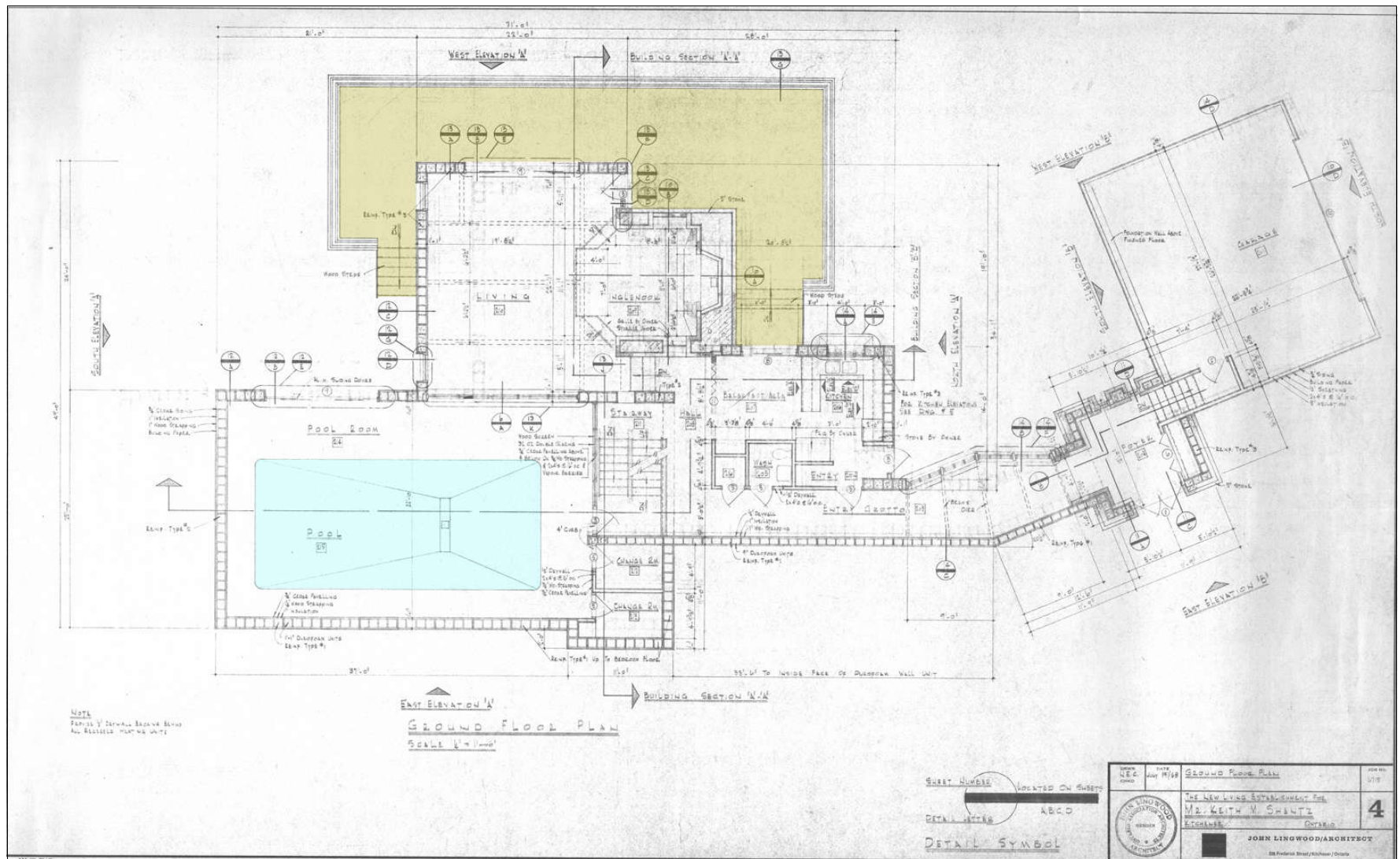


Figure 48

main floor plan - after 'Ground Floor Plan' drawing no. 4, John Lingwood/Architect, July 19/68

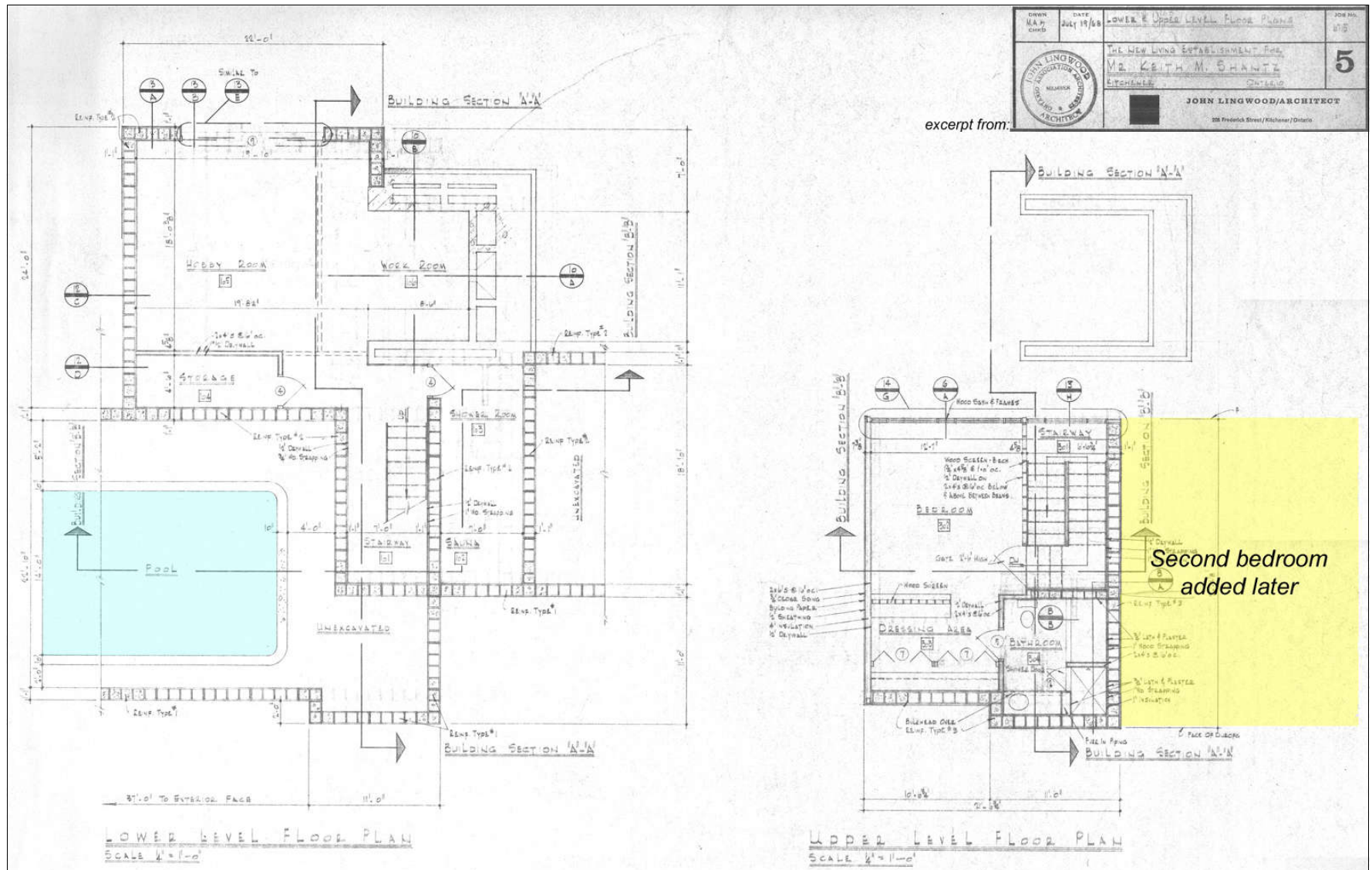


Figure 49

lower and upper floor plans - after 'Lower & Upper Floor Plans' drawing no. 5, John Lingwood/Architect, July 19/68

The main double doors are dark-stained birch framed by large fieldstones. Interior doors are birch, with aluminum doors and windows. Floors are carpeted throughout. The 1991 architectural analysis¹⁰ indicates that the floors are hardwood. Formerly exposed cedar rafters in the ceiling on the main floor are now covered by a dropped ceiling of acoustic tile. Exposed rafters are found in the second floor bedroom. The indoor swimming pool room walls are stained wood. The following photographs are from the realty listing in 2012 and from November 2017. More 2012 photographs can be found in Appendix 7.

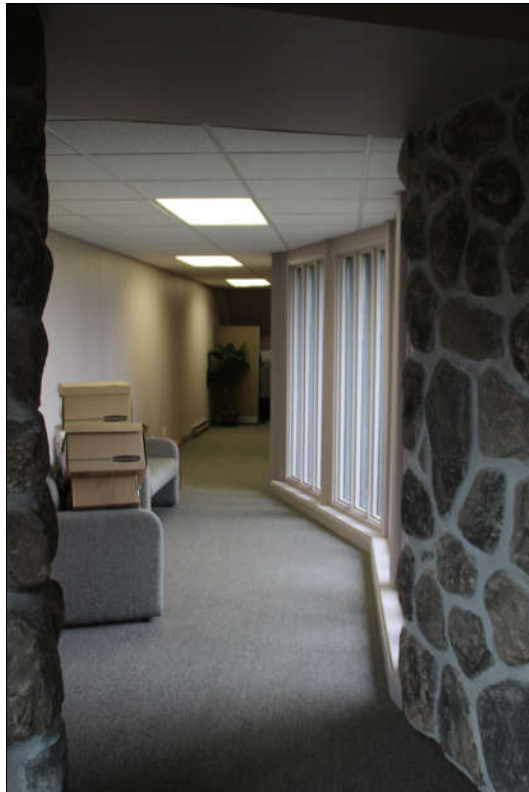


Figure 50 entry 'grotto'
carpeted floor, dropped ceiling



Figure 51 entry 'grotto', views to the west



Figure 52 kitchen

¹⁰ Architectural Analysis - Don Ryan, Heritage Researcher, June 13, 1991



Figure 53

living room, fluorescent lighting in dropped ceiling

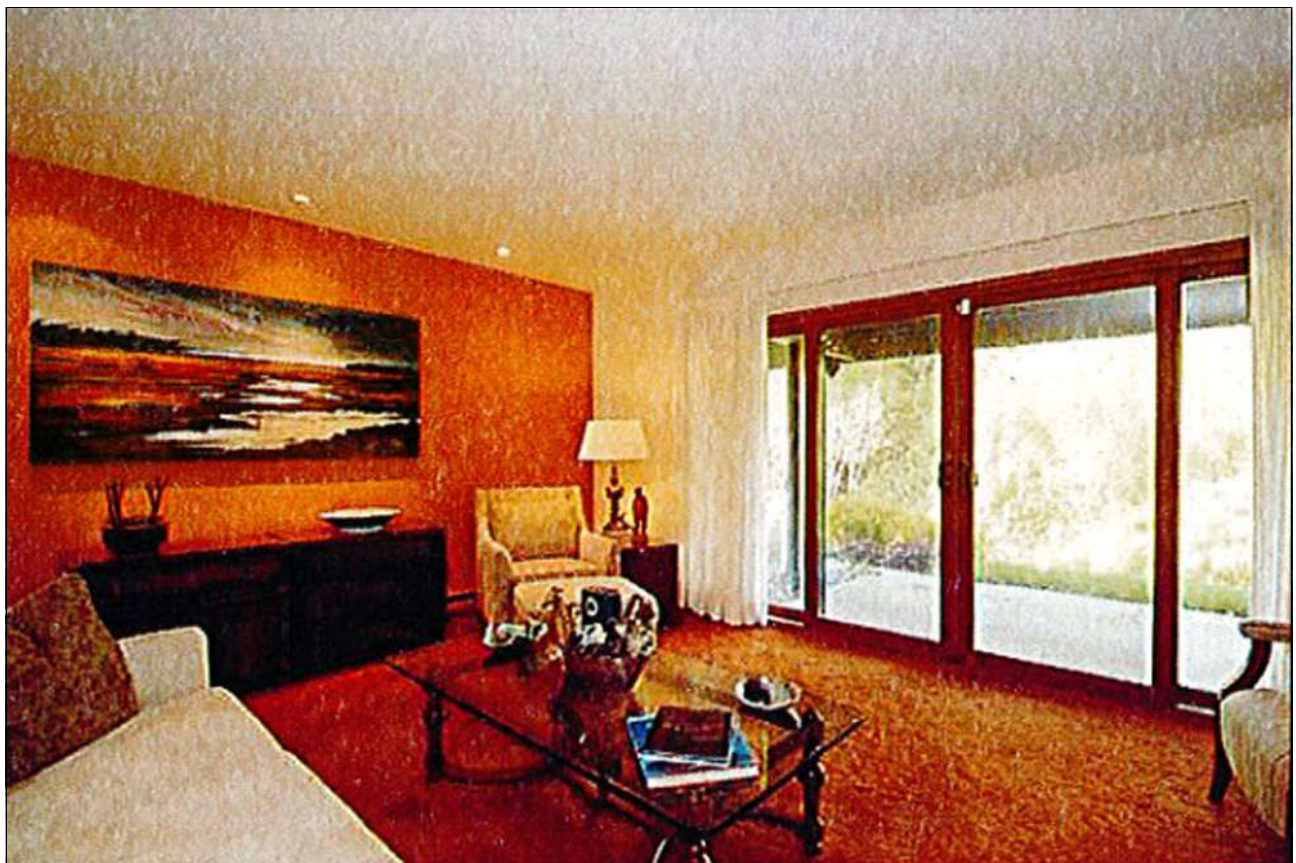


Figure 54

living room, 2012 - CMA Realty photo



Figure 55

‘inglenook’, 2012 - CMA Realty photo



Figure 56

swimming pool, 2017

The “inglenook” (Figure 55) is now covered with drywall and the ceiling has been dropped.



Figure 57

swimming pool, 2012 - CMA Realty photo



Figure 58

stair to bedrooms



Figure 59

stair between bedrooms



Figure 60

built-in dresser - original bedroom



Figure 61

built-in dresser - added bedroom

The contrast between the original bedroom with its exposed ceiling joists, minimalist trim, and modern built-in dresser (Figure 60) and the added bedroom with its crown moulding, ornate trim, painted woodwork, and neoclassical-style pedimented built-in chest is striking (Figure 61).

Views from the main floor and upper floor are exclusively to the west (Figures 62 & 63).



Figure 62

view from living room



Figure 63

view from south bedroom

Cultural heritage value and interest

Section 2 of the *Planning Act* indicates that the municipal Council shall have regard to matters of Provincial interest such as the conservation of features of significant architectural, cultural, historical, archaeological or scientific interest. In addition, Section 3 of the *Planning Act* requires that decisions of Council shall be consistent with the *Provincial Policy Statement (PPS 2014)*. Policy 2.6.1 of the *PPS* requires that “**significant built heritage resources** and significant cultural heritage landscapes **shall be conserved**.”¹¹

The *PPS* defines built heritage resource as “a building, structure, monument, installation or any manufactured remnant that contributes to a property’s cultural heritage value or interest as identified by a community, including an Aboriginal community. Built heritage resources are generally located on property that has been designated under Parts IV or V of the *Ontario Heritage Act*, or included on local, provincial and/or federal registers.”¹²

With relation to the subject property, *significant* means “**resources that have been determined to have cultural heritage value or interest for the important contribution they make to our understanding of the history of a place, an event, or a people.**”¹³

Related to the subject property, *conserved* means “**the identification, protection, management and use of built heritage resources, cultural heritage landscapes and archaeological resources in a manner that ensures their cultural heritage value or interest is retained under the *Ontario Heritage Act*.** This may be achieved by the implementation of recommendations set out in a conservation plan, archaeological assessment, and/or heritage impact assessment. Mitigative measures and/or alternative development approaches can be included in these plans and assessments.”¹⁴

For a property to be considered of cultural heritage value or interest, it must meet one or more of the following criteria from the *Ontario Heritage Act Regulation 9/06*:

criteria	meets?
1. have design value or physical value because it:	
• is a rare, unique, representative or early example of a style, type, expression, material or construction method,	yes
• displays a high degree of craftsmanship or artistic merit, or	yes
• demonstrates a high degree of technical or scientific achievement	yes
2. have historical value or associative value because it:	
• has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community,	yes

¹¹ *Provincial Policy Statement (PPS, 2014)*, p. 29

¹² *Ibid*, p 39

¹³ *Ibid*, p 49

¹⁴ *Ibid*, p 40

criteria	meets?
<ul style="list-style-type: none"> yields, or has the potential to yield, information that contributes to an understanding of a community or culture, or 	no
<ul style="list-style-type: none"> demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community. 	yes
3. have contextual value because it:	
<ul style="list-style-type: none"> is important in defining, maintaining or supporting the character of an area, 	no
<ul style="list-style-type: none"> is physically, functionally, visually or historically linked to its surroundings, or 	yes
<ul style="list-style-type: none"> is a landmark. 	yes

The built heritage resource and potentially significant heritage resource on this property is the **house**.

The property is listed on the City's Municipal Heritage Register; it is not designated under Part IV or Part V of the *Ontario Heritage Act*.

The house has **design value or physical value**. It is a notable, locally rare example of a mid-century modern residential dwelling in the 'Prairie' style. The use of locally-sourced granite fieldstone and cedar as building materials is unusual and the structural design of the house (reinforced concrete-filled polystyrene blocks) may be unique. Built into the side of a hill, the mainly horizontal elements of the building complement the open character of the adjacent countryside, affording views to the west. The interior was designed to be in harmony with the exterior, bringing stone and wood from the outside. Built-in cabinetry and interior architectural detailing was part of the design.

The original landscape design remains mostly intact although it has not been maintained since *circa* 2012.

The property has **historical value or associative value** as it is associated with Keith and Winnifred Shantz, the first residents. Winnifred was a potter, and with her husband Keith, founding supporter of the Canadian Clay and Glass Gallery, supporter for the arts and supporter of the community. Keith was the owner of Morval-Durofoam Ltd., manufacturers of polystyrene picnic coolers and the inspiration for the polystyrene blocks used to construct the house.

It demonstrates the work of a prominent local architect, John Lingwood who was influenced by the 'Prairie' school of design in this project.

The property has **contextual value** as it is visually linked to its surroundings, being built into and cantilevered from the natural topographic feature on the property. It doesn't define, maintain or support the character of a neighbourhood; however, it is a prominent feature in the landscape and could be considered a landmark. Its architectural features, massing, and siting are in harmony with the character of the surrounding landscape.

For modern buildings, the significance criteria outlined in *Regulation 9/06* can be complemented by the

following.¹⁵

element	criterion	meets?
Philosophy	Does the project represent the philosophy of the modern movement?	yes
Design	Does the design of the project reflect the most salient characteristics of the Modern aesthetic?	yes
Materials	Is the material palette treated in a distinctively modern way?	yes
Construction	Is the structure of the project particularly innovative or representative of Modern technology of construction?	yes
Alterations	Does the project retain its most salient design features, or have alterations been sensitive to the original intentions of the design?	yes & no
Architect	Was the project designed by an important and influential architect who made a significant contribution to the Modern Movement?	yes
Historic Significance	Has the project contributed to the historical development of Kitchener?	no
Influence	Has the project influenced the development of architecture locally, nationally, or internationally?	no
Awards	Has the project received recognition through publication or awards?	unknown
Context	Does the project contribute to community identity?	no

Application of Criteria

Philosophically, the building provides an aesthetic that complements the landscape within which it is set in keeping with the school of architectural design that influenced it.

From a design perspective, the building has pure, simple geometries, clean lines. It appears fresh and immaculate (even 53 years after its construction). It sports flat roofs, unadorned finishes, and elegantly machined details. It is devoid of decoration. The interior and exterior become one with the fieldstone features brought from the outside to the inside.

There is an emphasis on the intrinsic beauty of the materials themselves. Fieldstone and stained (not painted) wood are used extensively.

The building's structure is unusual (perhaps unique) and expresses a new technology of the era.

Some alterations have been made to the original interior that are not sensitive to the original intentions of the design; however, it appears that most of these alterations may be reversible.

¹⁵ *North York's Modernist Architecture*, A reprint of the 1997 City of North York publication, Presented by E.R.A. Architects 2009, Prepared for the North York Modernist Architecture Forum held at North York Civic Centre on October 27, 2009

John Lingwood Architect and Lingwood-Robertson (partner Lloyd Robertson, P.Eng.) produced a volume of work that included a number of significant modern buildings, including the Carmel New Church of Jerusalem (1960), a number of elegant modern homes, the award-winning Pressworks building on Fairway Road (1969) (dismantled and moved to Randall Avenue in Waterloo in 1996), the former University Heights High School (now a campus of Conestoga College), the TD Bank at King and Francis streets in Kitchener, the former provincial courthouse at Frederick and Lancaster Streets, the Kitchener Transit Terminal, St. Paul's Lutheran Church in Cambridge, the Frank C. Peters Building (1980) and the John Aird Centre at Laurier University (1988). The body of work produced by the firm over nearly four decades is a comprehensive cross-section of Modern design.

Lingwood's Mid-Century Modern architecture represented a break from earlier, more traditional styles. His buildings were ... *a modernistic rejection of the past, a faith in progress, the fundamental and irreversible shift toward the dominance of the automobile, an overall optimistic view about the economy and citizens' ability to sustain a much higher quality of life than had been available in the past.*¹⁶

The property's architectural features, massing, landscaping, and siting is harmoniously set in the rural landscape.

Heritage Attributes

The cultural heritage attributes of the property are those of the original house and its immediate environs landscape. The later additions and alterations are not included in these features.

Exterior:

- topography of the immediate environs of the house providing the setting into and cantilevering over the hillside;
- views to and from Trussler Road in the west;
- style of the immediate environs walks and gardens which respond to the topography of the land, but not including the plant or walkway materials;
- scale and irregular massing of the mid-century modern residence, including the garage;
- load-bearing, reinforced concrete filled polystyrene block foundation;
- granite fieldstone chimney and 'tower' wall expressed on both the exterior and interior;
- stained wood board and batten siding;
- flat roofs with stained cedar fascia board;
- aluminum-framed windows;
- expansive deck on west and south sides.

Interior:

- stained birch doors;
- suspended tread staircase to upper floor;
- sunken living room;
- south facing skylight;
- granite fieldstone chimney and 'tower' wall expressed on both the exterior and interior;
- exposed cedar rafters in the original bedroom ceiling.

¹⁶ Rick Haldenby, professor University of Waterloo School of Architecture - Prolific architect put his stamp on Waterloo Region, Catherine Thompson, *Waterloo Region Record*, Nov 07, 2015

Other potential attributes that may be hidden under dropped ceilings or drywall include:

- hardwood floors in the Inglenook;
- exposed cedar rafters in the Inglenook ceiling;
- interior of stone tower within the foyer;
- fieldstone fireplace and surround in the Inglenook.

1.5 Proposed development and impacts

The terms of reference require the HIA to address the following:

An outline of the proposed development, its context, and how it will impact the property (buildings, structures, and site details including landscape features). In particular, the potential visual and physical impact of the proposed development on the identified heritage attributes of the property shall be assessed.

The Heritage Impact Assessment must consider potential negative impacts as identified in the Ministry of Tourism, Culture & Sport's Ontario Heritage Tool Kit. Negative impacts may include but are not limited to: alterations that are not sympathetic or compatible with the cultural heritage resource; demolition of all or part of a cultural heritage resource; etc. The outline should also address the influence and potential impact of the development on the setting and character of the subject property, including any impact on views or site lines.

The proposed draft plan of subdivision must identify an appropriate level of conservation for the cultural heritage resources. Negative impacts should be avoided, or alternative options must be provided that minimize the negative impact.¹⁷

The proposed development is a Draft Plan of Subdivision for the property which retains the subject house on a 0.37 ha (almost one acre) lot, with a 0.24 ha (0.59 acre) park on one side and a 0.58 ha (1.43 acre) open space/SWM facility on the other (Figure 64).

Views to and from Trussler Road in the west, such as this shown in Figures 18, 20, 21, 62 and 63, are heritage attributes and they are preserved in the subdivision plan as can be seen in Figure 65. Open space is provided in the important viewshed, and the elevated position of the house affords unimpeded views.

A park block is proposed between the subject property and the main internal street, affording limited views of the house, which is mostly hidden from that position because of the natural landform and the way the house is set into the hill (Figure 43). The park block will afford an opportunity to retain the landform and the house setting.

Public views of the house are provided from Trussler Road as noted and also from a public trail that follows the original Mannheim Road allowance, parallels the drive to the house, and connects to the stormwater management block and to Trussler Road (Figure 65).

¹⁷ City of Kitchener Community Services Department - Planning Division, 2219 Ottawa Street South Proposed Official Plan Amendment, Zone Change & Draft Plan of Subdivision Site Specific Heritage Impact Assessment –Terms of Reference, para. 2.5



Figure 64

Master Plan, Lingwood Heights, March 2022



Figure 65 views to and from Trussler Road in the west, from internal main street & public trail

The following assessment of potential impact the proposed redevelopment or site alteration may have on the cultural heritage attributes of the mid-century modern house is based on the possible negative impacts as stated in the *Ontario Heritage Tool Kit*.

<i>Potential Negative Impact</i>	<i>Assessment</i>
Destruction of any, or part of any, significant heritage attributes or features	no heritage attributes are contemplated
Alteration that is not sympathetic, or is incompatible, with the historic fabric and appearance	no heritage attributes are contemplated - there is potential to restore some interior attributes and the immediate environs landscape
Shadows created that alter the appearance of a heritage attribute or change the viability of an associated natural feature or plantings, such as a garden	no shadows are created
Isolation of a heritage attribute from its surrounding environment, context or a significant relationship	the topographic setting (heritage attribute) of the house remains unchanged

<i>Potential Negative Impact</i>	<i>Assessment</i>
Direct or indirect obstruction of significant views or vistas within, from, or of built and natural features (<i>potential visual and physical impact of the proposed development on the identified heritage attributes of the property</i>)	public views if the house are currently from Ottawa Street (view of the garage) and from Trussler Road (long, unobstructed views) - the Trussler Road views remain unimpeded
A change in land use (such as rezoning a church to a multi-unit residence) where the change in use negates the property's cultural heritage value	the building is no longer a residence, but at the time of the site visit, was a professional office which does not affect the exterior - a long-term use is yet to be determined
Land disturbances such as a change in grade that alters soils, and drainage patterns that adversely affect a cultural heritage resource, including archaeological resources	no significant changes in grade are expected within 20 metres of the house - the grades of its immediate environs landscape remain unchanged.

Although it is stated above that no significant changes in grade are expected within 20 metres of the house, (see Appendix 8) there are possible construction impacts that can be avoided with mitigating measures pre- and during construction.

Protective fencing on the proposed new property line between the park and the heritage property and on the southerly and westerly proposed heritage property lines is recommended. On the north, a new driveway is required to access the heritage property and protective fencing on this side must allow for that construction. Therefore, fencing will need to be placed such that construction of the driveway does not negatively impact the house or garden. Fencing shall be placed prior to construction on the site and maintained throughout the construction period. No construction equipment or storage of materials shall be placed within the construction fencing at any time.

Vibration impacts to the heritage resource during construction are not envisaged. Blasting on site is not proposed, bedrock excavation is not required, and vibration from heavy duty compaction equipment will be limited to the new streets which are a minimum of 40 metres distant from the house.

Currently, the former owner of the property continues to use it as his office. Given that, he is there daily – or close to it – he monitors its condition. If maintenance is needed, the property owner organizes any repairs or improvements, as necessary. There is also a property manager to who does routine maintenance. No changes are planned for the property until after approval and permits are issued. As such, the property will continue to operate as it has for many years.

Should the heritage resource be damaged during construction, repairs shall be made in concert with the Ministry of Heritage, Sport, Tourism and Culture Industries *Eight Guiding Principles for the Conservation of Built Heritage Properties* and in consultation with the City's Heritage Planning staff.

In summary, there are no foreseen negative heritage impacts on the property, depending on the eventual use and alterations that may be required to accommodate that use. This should be dealt with at the Site Plan stage of development.

1.6 Conservation options - principles and mitigating measures

The Shantz House will be preserved *in situ*; its use has yet to be determined. *Heritage Planning staff require an option that considers the conservation of the cultural heritage resources in-situ and integrates them as focal points within the proposed draft plan of subdivision.*¹⁸ Methods of minimizing or avoiding negative impact on cultural heritage resources, noted by the Ministry include but are not limited to the following:

- *Alternative development approaches*

Alternative development approaches to conserving the house in the Draft Plan have been considered. Each hinges on the location of a park block for the development. From a heritage perspective, an option that conserves the view to and from Trussler Road, providing the only dramatic public view of the building and its setting is preferred. A sampling of the numerous alternatives examined is found in figures 66 - 69).

¹⁸ *Ibid*, para. 2.6



Figure 66 alternative development concept A - March 13, 2018

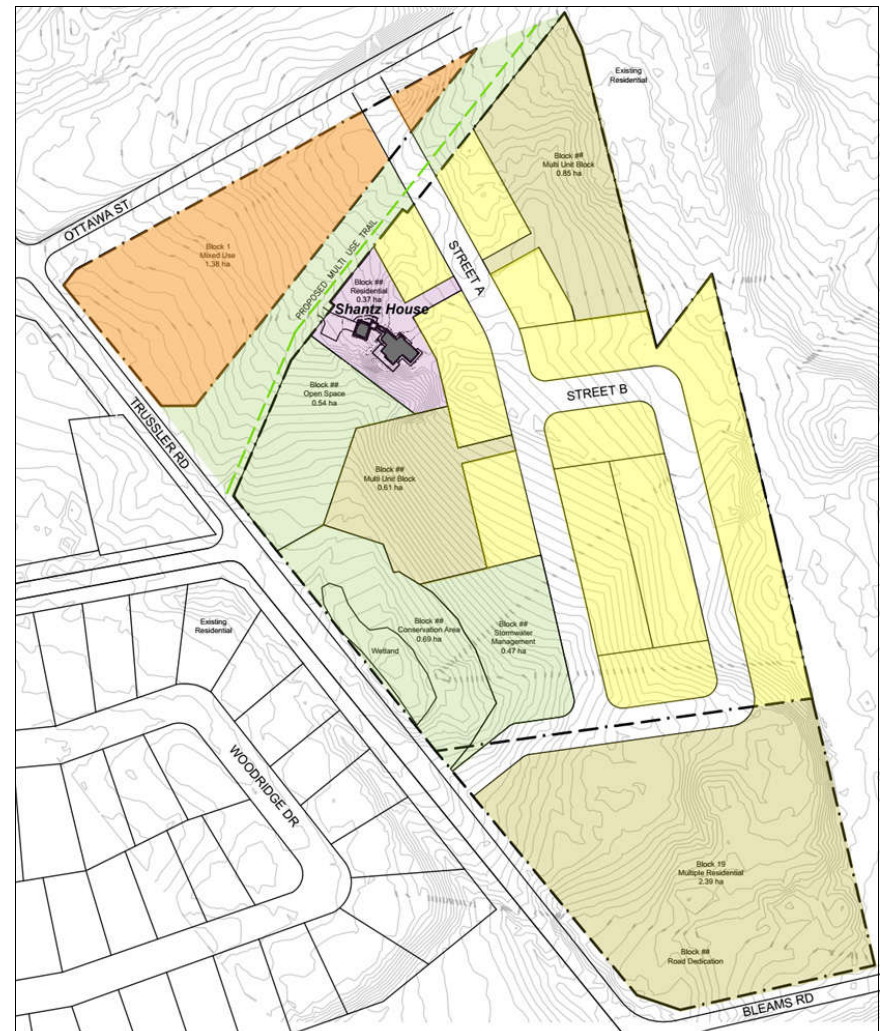


Figure 67 alternative development concept B - March 13, 2018

Alternative development concept A (Figure 66) provided a narrow window view of the house from Trussler Road with the potential to block much of the view with multi-residential development. Residential development screened the house from the internal street as well.

Concept B (Figure 67) was an improvement; however it still had the potential, with a multi-residential block to screen views from Trussler and continued to screen the house from the internal street. It proposed parkland between the house and Trussler Road on the fairly steep topography which would require extensive grading.



Figure 68 alternative development concept - October 18, 2018



Figure 69 alternative development concept - November 22, 2018

The October 18, 2018 concept (Figure 68) was similar to that of Figure 67 but reduced the size of the lot for the heritage resource and removed its access from the internal street.

The November 2018 concept (Figure 69) was an exercise in developing alternative parkland locations.

After consultation with City Planning, Parks and Heritage staff, a concept was developed that appears to satisfy parkland requirements and heritage considerations, allowing the house to become the visual focal point in the development, preserving the significant views to and from it and its prominent position on the hill.

1.7 Proposed alterations justified and explained

At the subdivision design stage, no alterations to the building are being proposed. Access to the property will be re-routed via the former Mannheim Road road allowance which was the original access to the property and the house will be situated within sufficient land area to avoid any grade changes and preserve more than the area of originally cultivated garden. At the Site Plan stage, and when a use has been determined for the property, a detailed examination of potential impacts and a Conservation Plan will be required.

1.8 Summary statement and conservation recommendations

The Shantz house is a notable, locally rare example of a mid-century modern residential dwelling in the 'Prairie' style. The structural design of the house (reinforced concrete-filled polystyrene blocks) may be unique. Built into the side of a hill, the mainly horizontal elements of the building complement the open character of the adjacent countryside, affording views to the west. The interior was designed to be in harmony with the exterior. It is associated with Keith and Winnifred Shantz, the first residents who were prominent citizens of the City and Region. The house demonstrates the work of a prominent local architect, John Lingwood and it is visually linked to its surroundings, being built into and cantilevered from the natural topographic feature on the property. It is a significant heritage resource possessing the following heritage attributes.

Exterior:

- topography of the immediate environs of the house providing the setting into and cantilevering over the hillside;
- views to and from Trussler Road in the west;
- style of the immediate environs walks and gardens which respond to the topography of the land, but not including the plant or walkway materials;
- scale and irregular massing of the mid-century modern residence, including the garage;
- load-bearing, reinforced concrete filled polystyrene block foundation;
- granite fieldstone chimney and 'tower' wall expressed on both the exterior and interior;
- stained wood board and batten siding;
- flat roofs with stained cedar fascia board;
- aluminum-framed windows;
- expansive deck on west and south sides.

Interior:

- stained birch doors;
- suspended tread staircase to upper floor;
- sunken living room;
- south facing skylight;
- granite fieldstone chimney and 'tower' wall expressed on both the exterior and interior;
- exposed cedar rafters in the original bedroom ceiling.

With the following potential attributes that may be hidden under dropped ceilings or drywall:

- hardwood floors in the Inglenook;
- exposed cedar rafters in the Inglenook ceiling;

- interior of stone tower within the foyer;
- fieldstone fireplace and surround in the Inglenook.

The proposed development is not expected to have a negative impact on the heritage resource. Until a use is determined and vetted for potential impacts the house should continue to be secured and monitored. Construction of the subdivision is not expected to have any negative impacts on the property as it is on a generous lot with more than adequate distance protection from adjacent grading and servicing.

1.9 Qualifications of the author completing the Heritage Impact Assessment

See Appendix 9.

2.0 MANDATORY RECOMMENDATION

It is the opinion of this author that the Shantz house, including the attached garage, meets the criteria for designation under Part IV of the *Ontario Heritage Act* for the reasons stated in this report. It warrants conservation and it and its heritage attributes listed in this report are recommended for designation under Part IV of the *Ontario Heritage Act*.

This DRAFT heritage impact assessment is respectfully submitted.

CHC Limited



per: Owen R. Scott, OALA, FCSLA, CAHP

REFERENCES

Architectural Analysis - Don Ryan, Heritage Researcher, June 13, 1991

City of Kitchener - Cultural Heritage Resource Evaluation Form, 2219 Ottawa St S, August 3, 2017

City of Kitchener Community Services Department - Planning Division, 2219 Ottawa Street South Proposed Official Plan Amendment, Zone Change & Draft Plan of Subdivision Site Specific Heritage Impact Assessment – Terms of Reference, 2017/08/17

CMA Realty photos 2012

Plan of Survey Part of Lot 129 German Company Tract City of Kitchener, Plan 58R -3440, J. Douglas Ansley Ltd., O.L.S. 20th July 1981

Plan of Survey Showing Part of Lots 129 and 130 German Company Tract Township of Waterloo and Part of Lot 1 North of Bleam's Road Township of Wilmot, Plan W. D. R 296 John Metz Limited, O.L.S., May 19, 1970

Plan of Survey Showing Lands Required of Lots 46, 47, 129, 130 and 131 German Company Tract across Part of Lots 11 and 12, Registered Plan No. 820, Township of Waterloo, County of Waterloo, Plan No. 421, David J. Howe, O.L.S. 26 November 1957

Historical Atlas of Waterloo & Wellington Counties 1881 - 1877, H. Parsell & Co. Walker & Miles, Toronto re-print 1972

Ontario Heritage Act R.S.O. 1990, c. 0.18, Ontario Regulation 9/06 'Criteria for Determining Cultural Heritage Value or Interest' January 25, 2006

Parks Canada, *Standard & Guidelines for the Conservation of Historic Places in Canada*, www.pc.gc.ca Second Edition.

North York's Modernist Architecture, A reprint of the 1997 City of North York publication, Presented by E.R.A. Architects 2009, Prepared for the North York Modernist Architecture Forum held at North York Civic Centre on October 27, 2009

Provincial Policy Statement (PPS, 2014)

Waterloo Region Record, Rick Haldenby, professor University of Waterloo School of Architecture - Prolific architect put his stamp on Waterloo Region, Catherine Thompson, Nov 07, 2015

University of Waterloo Geospatial Centre

Website: Wikipedia https://en.wikipedia.org/wiki/Prairie_School

Website: Ontario Ministry of Tourism, Culture & Sport
http://www.culture.gov.on.ca/english/heritage/info_sheets/info_sheet_8principles.htm

Appendix 1
City of Kitchener - Cultural Heritage Resource Evaluation Form

Address: 2219 Ottawa St S

Period: c. 1968

Field Team Initials: MD/LB

Description: mid-century modern single detached dwelling

Date: Aug. 3, 2017

DESIGN OR PHYSICAL VALUE	FIELD TEAM	EVALUATION SUBCOMMITTEE
<i>Style</i> Is this a notable architectural style?	Yes	
<i>Construction</i> Is this a notable rare or unique example of a particular material or method of construction?	Yes	
<i>Design</i> Is this a particularly attractive or unique structure because of the merits of its design composition craftsmanship or details? Does this structure demonstrate a high degree of technical or scientific achievement?	Yes No	
<i>Interior</i> Is the interior arrangement finish craftsmanship and/or detail noteworthy?	Unknown	

Notes:

- Style
 - o notable, rare and unique example of a mid-century modern residential dwelling
 - o refer to Architectural Analysis prepared by Don Ryan dated June 13, 1991
- Construction
 - o early example of a method of construction (1960s insulating concrete forms for residential dwelling)
- Design
 - o attractive and unique because of its design, composition, craftsmanship and details
 - o design inspired by Frank Lloyd Wright's organic style of architecture; striking similarities with *Fallingwater* in Pennsylvania
 - o overall design features organic qualities reflected in the warm, deep brown cedar fascia boards, tower of large fieldstones, large fieldstone chimney
 - o mid-century modern residential dwelling is built into the topography of the land
 - o dwelling, sidewalks and gardens all respond to the topography of the land
 - o emphasis on horizontal lines and stone core
 - o sign that reads "Nonsuch Place"
- Interior
 - o new carpet, drywall and drop ceiling
 - o Architectural Analysis (1991) and images from real estate listing (2012) describe and show evidence of interior details that are noteworthy
 - some of these details still exist
 - birch doors

Appendix 1

City of Kitchener - Cultural Heritage Resource Evaluation Form

- aluminum doors and windows
- indoor pool with ceramic tiles and walls that are stained wood
- gallery corridor with slit windows
- suspended tread staircase
- sunken living room and evidence of the “Inglenook”
- south facing skylight
- some of these details may be gone
 - main dark stained birch double doors
- others may still be present underneath the carpet, behind the drywall and above the drop ceiling
 - hardwood floors in the “Inglenook”
 - exposed cedar rafters in the ceiling
 - interior of stone tower within the foyer
 - fieldstone fireplace surrounding the “Inglenook”
 - 12 foot ceilings

<i>CONTEXTUAL VALUE</i>	FIELD TEAM	EVALUATION SUBCOMMITTEE
Continuity Does this structure contribute to the community or character of the street neighbourhood or area?	No	
Setting Is the setting or orientation of the structure or landscaping noteworthy? Does it provide a physical historical functional or visual link to its surroundings?	Yes Yes	
Landmark Is this a particularly important visual landmark within the region city or neighbourhood?	No	
Completeness Does this structure have other original outbuildings notable landscaping or external features that complete the site?	Yes	

Notes:

- Setting
 - o the dwelling is panoramically cantilevered from the hillside
 - o dwelling was, until recently, largely obscured from public view by surrounding trees
 - o sidewalks twist around the land contours through gardens (note: gardens appear to not have been maintained since 2012) and around trees (note: trees were recently removed without permission from the City)
 - o evidence of sidewalks, stairs, lights and natural landscape features continue to exist
 - o original gambrel roof barn was demolished sometime between 2012 and 2017 without a demolition permit from the building division
 - o trees along laneway were recently removed without permission from the City
 - o dwelling is functionally linked to its surroundings given the design requires the topography of the land

Appendix 2
Architectural Analysis

and tower and chimney were both built with fieldstones from the area

<i>INTEGRITY</i>	FIELD TEAM	EVALUATION SUBCOMMITTEE
Site Does the structure occupy its original site?	Yes	
Alterations Does this building retain most of its original materials and design features?	Yes	
Condition Is this a notable structure due to sympathetic alterations that have taken place over time? Is this building in good condition?	No Yes	

Notes:

<i>HISTORICAL OR ASSOCIATIVE VALUE &</i>	FIELD TEAM	<i>EVALUATION SUBCOMMITTEE</i>
<i>SIGNIFICANCE</i> Does this property or structure have strong associations with and/or contribute to the understanding of a belief, activity, person, organization or institution that is significant or unique within the City?	Yes	
Is the original previous or existing use significant?	No	
Does this property meet the definition of a significant built heritage resource or cultural heritage landscape as identified in the Provincial Policy Statement under the Ontario Planning Act? <i>A property or structure valued for the important contribution it makes to an understanding of the history of a place, an event or a people.</i>	Yes	

Notes:

- dwelling was designed by local architect John Lingwood
- design was inspired by Frank Lloyd Wright
- original owner was Winnifred and Keith Shantz
 - o Winnifred was a potter, founding supporter of the Canadian Clay and Glass Gallery, supporter for the arts and supporter for the community
 - o Keith was the owner of Morval-Durofoam Ltd., a company than manufactured polystyrene picnic coolers and possibly the source of the polystyrene blocks used to construct the dwelling

Appendix 2
Architectural Analysis

Address: 2219 Ottawa Street South
Part Lot 129 G.C.T.

Current Owner: Keith and Winifred (*sic*) Shantz

Report Date: June 13, 1991

INTRODUCTION This modern home, built in 1968, was designed by local architect John Lingwood. The design was inspired by Frank Lloyd Wright's organic style of architecture, and striking similarities can be seen between the Shantz house and FLW's *Fallingwater* (Fig. 1) located in Pennsylvania. Both homes are panoramically cantilevered from a hillside with emphasized horizontal lines anchored by a massive stone core. In this way, both homes establish very intimate relationships with their environments. The Shantz house, nicknamed *Nonsuch Place*, is located on 21.73 acres of carefully landscaped property. The house faces west, and is largely obscured from view by surrounding trees. Sidewalks twist around the land contours through gardens and trees. There is one original gambrel roof barn positinoed (*sic*) east of the house, which establishes a strong tension with the house.

MATERIALS The organic qualities of the overall design are reflected in the warm, deep brown cedar fascia board used around the roof and deck edges. The main double doors are dark-stained birch nestled in a tower of large fieldstones gathered from the area. This entrance tower balances the strikingly large fieldstone chimney in the living area. Interior doors are also birch, with aluminum doors and windows revealing the extraordinary view. Inside we find hardwood floors in the "Inglenook" and exposed cedar rafters in the ceiling. The indoor pool is surrounded by ceramic tiles and the walls are stained wood. The foundations are made of reinforced concrete, and the main structural members are unique polystyrene blocks filled with reinforced concrete. This provides both strength and insulative properties. The joists, studs, and rafters are all spruce and cedar.

TOUR One is first confronted with the double garage when approaching the house from the north along the driveway. A subtle sign directs the way along the east side of the garage to the entrance: a warm yet intimidating pair of large stained birch doors set in a wall of large fieldstone. A doorbell with voice screen establishes an impersonal greeting.

Beyond these doors lies the interior of the stone tower, the foyer. The foyer and garage together comprise the north wing and are set at an angle to the rest of the house. A gallery corridor with slit windows facing south and lined with paintings of barns bends into the living area. To the right is the kitchen and breakfast area.

Appendix 2
Architectural Analysis

Page 2 - ARCHITECTURAL ANALYSIS - 2219 Ottawa Street South

Next is the powder room and closet. Ahead climbs the suspended tread staircase.

The hall opens up into a spacious, sunken living room which boasts a huge fieldstone fireplace and surrounding conversation pit, nicknamed the "Inglenook" by the architect. The "Inglenook" is sunken a few additional steps below the living room level.

Colour schemes are warm and patterned, complementing the organic integrity of materials. Unlike *Fallingwater*, the Shantz home has twelve foot ceilings to expand rather than limit the vertical space. Cedar decks wrap around the west side of the living area, accessed by sliding aluminum doors. They afford a fantastic view of the distending countryside.

The stairs descend first to the indoor pool, which has a south facing skylight above. There are two change rooms at this level. Further down the stairs is the recreation room, which also has sliding doors to the outside. There is a laundry room, storage room, and mechanical room at this level.

Upstairs are the master (south) and guest (north) bedrooms. Both have full baths and beautiful views from their lofty positions.

CHANGES The guest bedroom was added on at a later date, as was the skylight over the pool. The barn is presently used only for storage.

ATYPICAL FEATURES This is an excellent example of the Frank Lloyd Wright influence on modern architecture. Its unique relationship with the landscape establishes a contemporary interpretation of the integrity we see in nearby stone and log houses. It is also compelling to see this modern design juxtaposed against the aboriginal gambrel barn. There is a contrast, but also an important link established between the two archetypal structures. There is also significance in that it was designed by a local architect.

COMMENTS This is a beautiful house of high architectural value. It is both appropriately and essentially linked to the older properties around it. The gambrel barn is a pure example of farm architecture and has weathered extremely well.

Sources: 1. Date from Regional Assessment, Cambridge
2. Mr. & Mrs. Keith Shantz

References: 1. Blueprints of the Shantz home, courtesy of Mr. Shantz
2. Frank Lloyd Wright's *Fallingwater*. UMD Library, University of Waterloo

Don Ryan,
Heritage Researcher

Appendix 2
Architectural Analysis

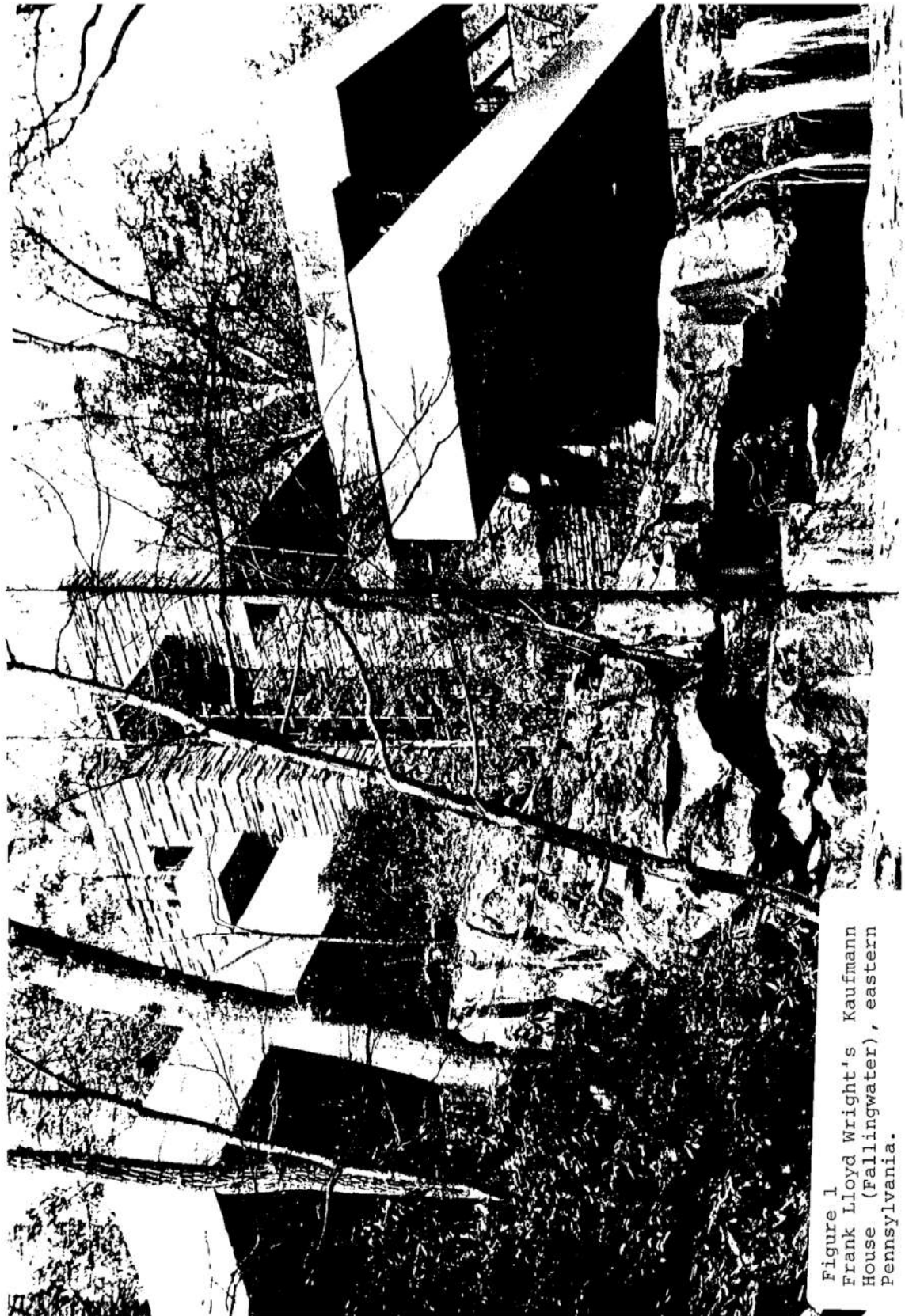


Figure 1
Frank Lloyd Wright's Kaufmann
House (Fallingwater), eastern
Pennsylvania.

1.0 Background

A Heritage Impact Assessment is a study to determine the impacts to known and potential cultural heritage resources within a defined area proposed for future development. The study shall include an inventory of all cultural heritage resources within the planning application area. The study results in a report which identifies all known cultural heritage resources, evaluates the significance of the resources, and makes recommendations toward mitigative measures that would minimize negative impacts to those resources. A Heritage Impact Assessment may be required on a property which is listed on the City's Heritage Advisory Committee Inventory; listed on the City's Municipal Heritage Register; designated under the *Ontario Heritage Act*; or where development is proposed adjacent to a protected heritage property. The requirement may also apply to unknown or recorded cultural heritage resources which are discovered during the development application stage or construction.

These terms of reference have been scoped, based on the existing status of the property and the nature of the proposal. Sections not required are noted by strikethrough. Requirements specific to the subject property are noted in italics. Subject property should be read to include both the lot to be retained and the new lot that is proposed.

2.0 Heritage Impact Assessment Requirements

It is important to recognize the need for Heritage Impact Assessments at the earliest possible stage of development or alteration. Notice will be given to the property owner and/or their representative as early as possible. When the property is the subject of a Plan of Subdivision or Site Plan application, notice of a Heritage Impact Assessment requirement will typically be given at the pre-submission consultation meeting, followed by written notification to include specific terms of reference. The notice will inform the property owner of any known heritage resources specific to the subject property and provide guidelines to completing the Heritage Impact Assessment.

The following minimum requirements will be required in a Heritage Impact Assessment:

- 2.1 Present owner contact information for properties proposed for development and/or site alteration.
- 2.2 A detailed site history to include a listing of owners from the Land Registry Office, and a history of the site use(s).
- 2.3 A written description of the buildings, structures and landscape features on the subject properties including: building elements, building materials, architectural and interior finishes, natural heritage elements, and landscaping. The description will also include a chronological history of the buildings' development, such as additions and demolitions.

The report shall include a clear statement of the conclusions regarding the cultural heritage value and interest as well as a bullet point list of heritage attributes.

- 2.4 Documentation of the subject properties to include: current photographs of each elevation of the buildings, photographs of identified heritage attributes and a site plan drawn at an appropriate scale to understand the context of the buildings and site details. Documentation shall also include, where available, current floor plans, and historical photos, drawings or other available and relevant archival material.
- 2.5 An outline of the proposed development, its context, and how it will impact the property

(buildings, structures, and site details including landscaping). In particular, the potential visual and physical impact of the proposed development on the identified heritage attributes of the property shall be assessed.

The Heritage Impact Assessment must consider potential negative impacts as identified in the Ministry of Tourism, Culture & Sport's Ontario Heritage Tool Kit. Negative impacts may include but are not limited to: alterations that are not sympathetic or compatible with the cultural heritage resource; demolition of all or part of a cultural heritage resource; etc. The outline should also address the influence and potential impact of the development on the setting and character of the subject property, including any impact on views or site lines.

The impact of the proposed severance on the existing context of the subject property, including impacts to the relationship between the house, detached stone garage, and the streetscape. Potential impacts may include those that are visual/contextual, as well as physical/structural.

- 2.6 Options shall be provided that explain how the cultural heritage resources may be conserved, relating to their level of importance. Methods of mitigation may include, but are not limited to preservation/conservation in situ, adaptive re-use, relocation, commemoration and/or documentation. Each mitigative measure should create a sympathetic context for the heritage resource.

Heritage Planning staff understand that the intent is to conserve the existing house and detached garage. Conservation options will need to consider how to minimize impacts to the context and the streetscape such as through front or side yard setbacks, tree preservation and/or enhancement, and/or design guidelines for new construction.

- 2.7 A summary of the conservation principles and how they will be used must be included. The conservation principles may be found in publications such as: Parks Canada – Standards and Guidelines for the Conservation of Historic Places in Canada; Eight Guiding Principles in the Conservation of Built Heritage Properties, Ontario Ministry of Tourism, Culture & Sport; and, the Ontario Ministry of Tourism, Culture & Sport's Ontario Heritage Tool Kit (all available online).
- 2.8 The proposed *severance and the potential construction of a new dwelling unit* ~~alterations and demolitions~~ must be justified and explained as to any loss of cultural heritage value and impact on the site/streetscape/neighbourhood context.
- 2.9 Recommendations shall be as specific as possible, describing and illustrating locations, elevations, materials, landscaping, etc.
- 2.10 The qualifications and background of the person(s) completing the Heritage Impact Assessment shall be included in the report. The author(s) must demonstrate a level of professional understanding and competence in the heritage conservation field of study. The report will also include a reference for any literature cited, and a list of people contacted during the study and referenced in the report.

3.0 Summary Statement and Conservation Recommendations

The summary statement should provide a full description of:

Appendix 3
City of Kitchener Community Services Department - Planning Division
50 Brookside Crescent Proposed Consent to Create 1 New Lot
Scoped Heritage Impact Assessment –Terms of Reference

3

- The significance and heritage attributes of the subject property.
- The identification of any impact the proposed development will have on the heritage attributes of the subject property.
- An explanation of what conservation or mitigative measures, or alternative development or site alteration approaches are recommended.
- Clarification as to why specific conservation or mitigative measures, or alternative development or site alteration approaches are not appropriate.

4.0 Mandatory Recommendation

The consultant must write a recommendation as to whether the subject property is worthy of listing or designation under the Ontario Heritage Act. Should the consultant not support listing or designation then it must be clearly stated as to why not.

The following questions must be answered in the final recommendation of the report:

1. ~~Do the properties meet the City of Kitchener's criteria for Listing on the Municipal Heritage Register as a Non-Designated Property of Cultural Heritage Value or Interest? Why or why not?~~
2. Do additional resources on the property, beyond those already identified in the listing, meet the criteria for heritage designation under Ontario Regulation 9/06 of the Ontario Heritage Act? Why or why not?
3. Regardless of the failure to meet criteria for heritage designation, does the property warrant conservation as per the definition in the Provincial Policy Statement? Why or why not?

5.0 Approval Process

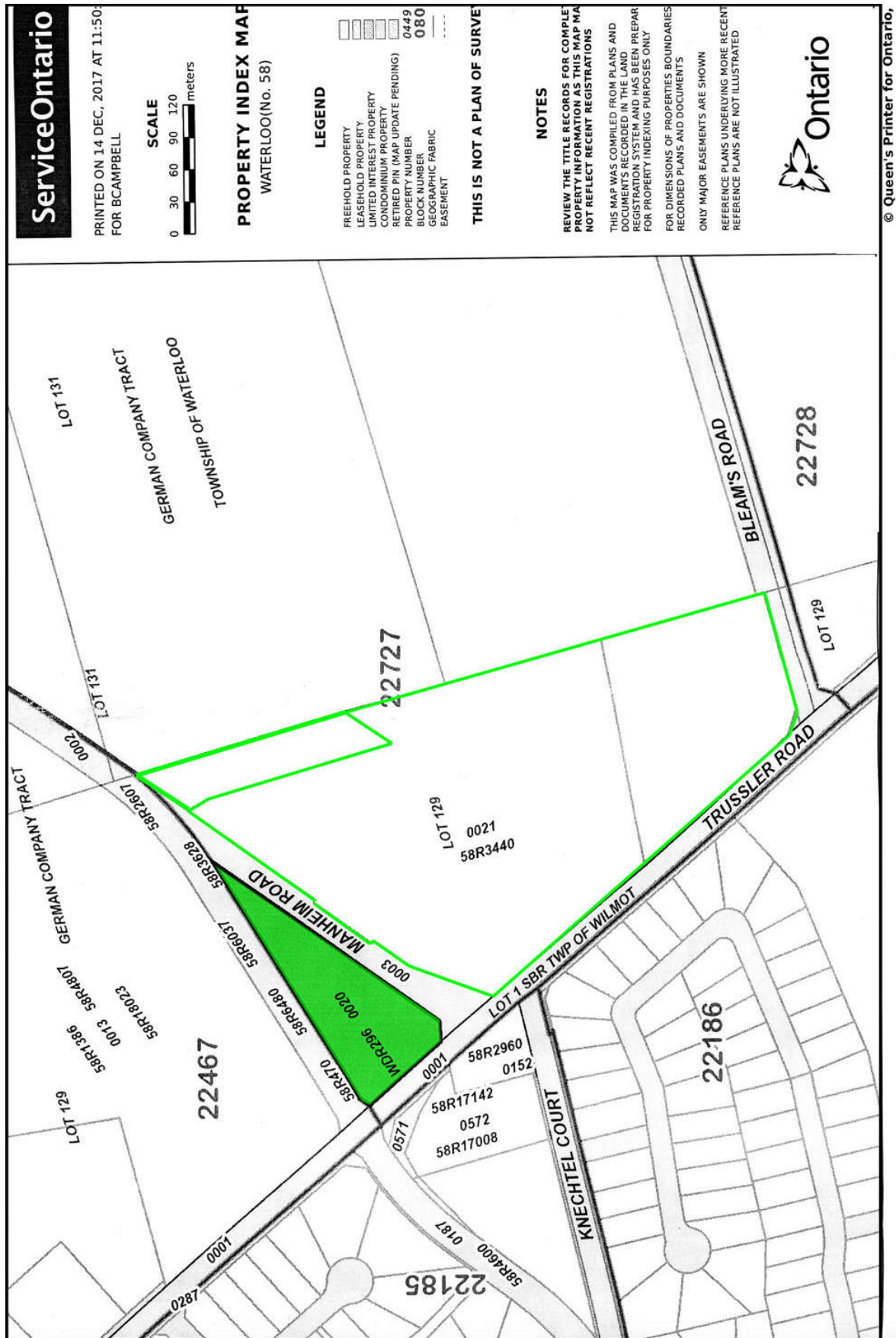
Five (5) hard copies of the Heritage Impact Assessment and one electronic pdf format burned on CD shall be provided to Heritage Planning staff. Both the hard and electronic copies shall be marked with a "DRAFT" watermark background. The Heritage Impact Assessment will be reviewed by City staff to determine whether all requirements have been met and to review the preferred option(s). Following the review of the Heritage Impact Assessment by City staff, five (5) hard copies and one electronic copy of the final Heritage Impact Assessment ("DRAFT" watermark removed) will be required. The copies of the final Heritage Impact Assessment will be considered by the Director of Planning. *Note that Heritage Impact Assessments may be circulated to the City's Heritage Kitchener Committee for information and discussion. Staff may recommend deferral of the consent applications by the committee of adjustment until such time as Heritage Kitchener has provided comment and the Director of Planning has approved the HIA.*

Heritage Impact Assessments may be subject to a peer review to be conducted by a qualified heritage consultant at the expense of the City of Kitchener. The applicant will be notified of Staff's comments and acceptance, or rejection of the report. An accepted Heritage Impact Assessment will become part of the further processing of a development application under the direction of the Planning Division. The recommendations within the final approved version of the Heritage Impact Assessment may be incorporated into development related legal agreements between the City and the proponent at the discretion of the municipality.

Appendix 4
Chain of Title PIN 22727-0021-2219 (a), 1729 Ottawa Street, Kitchener, ON

no.	instrument	registered date	from	to
	Patent	04 July 1952	Crown	Richard Beasley, James Wilson & St. John B. Rosseau
31	Partition Deed	19 Feb 1801	Richard Beasley, James Wilson & St. John B. Rosseau	Richard Beasley
33	Partition Deed	19 Feb 1801	Richard Beasley, James Wilson & St. John B. Rosseau	John B. Rosseau
123	B&S	24 July 1805	Richard Beasley	Daniel Erb & Jacob Erb
285	B&S	07 April 1808	Daniel Erb & Jacob Erb	Samuel Bricker
85	B&S	03 Feb 1817	Samuel Bricker	John Erb
843	B&S	30 June 1834	estate of John Erb	William Scollick
147	B&S	09 May 1845	William Scollick	Ephram Wilson
113	B&S	06 Aug 1853	Ephram Wilson	Conrad Schmidt
4663?	B&S	23 Dec 1852	Conrad Schmidt	Michael Weis
304?	B&S	27 Feb 1852	Conrad Schmidt	Daniel Weis
1657?	B&S	27 Oct 1857	Daniel Weis	Peter Weis
78	B&S	07 June 1862	Michael Weis	Peter Weis
2138	Will	05 April 1859	Peter Weis	Wilhelmina Weis
5434	B&S	22 Jan 1873	Wilhelmina Weis	George Unger
5976	B&S	13 Oct 1874	Wilhelmina Waldman (Weis)	Franz Stepan
8032	B&S	10 Feb 1881	Emanuel Unger <i>et. al.</i>	Franz Stepan
9571	B&S	25 Feb 1885	estate of George Unger	Franz Stepan
11152	B&S	07 Feb 1889	Emanuel Unger	John Scholtzke
13705	B&S	26 June 1896	Franz Stepan	Johanna Mitzloff
24698	Grant	17 Aug 1922	Johanna Mitzloff	Joseph & Mary Luciw
31188	FOF	17 March 1936	Joseph Medoruk	Joseph & Mary Luciw
31235	Grant	16 March 1936	Joseph Medoruk	Mark L. & Edna M. Jones
47670	Grant	05 March 1954	Mark L. & Edna M. Jones	Robert J. & Fern Schmidt
421	Ex Plan	26 Nov 1957		
171219	Grant	27 June 1958	Robert J. & Fern Schmidt	Keith M. & Winnifred J. Shantz
WR7045 68	Transmission App.	30 July 2012	estates of Keith M. & Winnifred J. Shantz	Neil McLaren & Lori Brien
WR7084 89	Transfer Pers. Rep.	17 Aug 2012	Neil McLaren & Lori Brien	current owner

Appendix 4
Chain of Title PIN 22727-0021-2219 (a), 1729 Ottawa Street, Kitchener, ON



Property Index Map - north portion

[illegible]

March 14, 2022, updated July 21, 2022

Winifred and Keith Shantz

Obituary: Winifred (*sic*) Shantz

"It is with great sadness that we announce that Winifred (*sic*) Shantz passed away on Saturday, February 11, 2012 in Kitchener, Ontario, in her 89th year. Winifred (*sic*) Fitch was born in London, England. She met Canadian Major Don McLaren during World War II and emigrated to Canada, marrying him in Kitchener after the war. Herself a potter, she became a vital part of the arts community in the Kitchener/Waterloo area. Don, retired Director of Recreation for the city of Kitchener, passed away in 1972. Her support for glass and ceramic artists culminated in the establishment of the Canadian Clay and Glass Gallery, a national gallery of which she and her second husband Keith Shantz were founding supporters. In 1990, she became a partner with Aggie Beynon in the ownership of Harbinger Gallery, showcasing contemporary Canadian visual artists, sculptors, jewelry, and ceramics. Her wide-ranging patronage of the performing arts included support for the Kitchener-Waterloo Symphony, the Stratford Festival, the Grand River Baroque Festival, the Kitchener-Waterloo Art Gallery, Brush with Art and many others. Her support and caring for young artists was exemplified by the Winifred (*sic*) Shantz Award for Ceramics through the Canadian Clay and Glass Gallery, and the Keith and Winifred (*sic*) Shantz Summer Internships granting opportunities for University of Waterloo Fine Arts students to work with established artists. As well, she supported students from the Nova Scotia College of Art and Design in internships abroad. In the Kitchener-Waterloo community she was a supporter of many community causes including both hospitals. Win's wisdom and enthusiasm for life will be very much missed by her family and the many colleagues and friends whose lives she touched. She brought to so many the kind of insight, critique, understanding and support that can turn dreams into lasting success, in the arts, in business, and in life. A celebration of the life of Win Shantz will be held at the Clay and Glass Gallery, 25 Caroline Street North, Waterloo, Ontario on Sunday, March 18th from 2 to 4 pm. Friends and family are invited to gather together and share memories. Memorial donations may be made to the Canadian Clay and Glass Gallery or the KW Symphony. Arrangements entrusted to the Erb & Good Family Funeral Home, 171 King St. S. Waterloo, www.erbgood.com or 519-745-8445."

<http://v1.theglobeandmail.com/servlet/story/Deaths.20120218.93286929/BDAStory/BDA/deaths>

Ceramicist became patron who propelled the Waterloo art scene

"I am filled with confidence for Waterloo's future because of you," David Johnston wrote NOREEN SHANAHAN
Special to The Globe and Mail

March 9, 2012

Winifred (*sic*) Shantz created for Waterloo, Ont., a space in which many talented artists have been invited to showcase their work. She was a lover of art, with the will and wherewithal to help create a unique and nurturing institution. Driven by her vision and support, the Canadian Clay and Glass Gallery opened in 1993.

"It is fair to say that the Canadian Clay and Glass Gallery was Win's baby," said executive director Bill Poole. "Without her initial leadership and dedication, the idea of a national gallery in Waterloo would not have come to fruition."

Nor would it have achieved its national and international recognition as the only Canadian gallery focusing (*sic*) exclusively on contemporary ceramic and glass art.

Shantz also funded the Winifred (*sic*) Shantz Award for Ceramics, enabling Canadian artists to significantly advance their artistic and professional practice through conducting independent research.

The first award, in 2001, went to artist Susan Collette.

"I was drawn to apply for the Winifred (*sic*) Shantz Award ... in order to focus my time to secure the future of my sculptural works," she wrote in her artist statement.

"She was instrumental in building my confidence as a young artist," Collette later commented.

The Winifred (*sic*) Shantz Summer Internships, another generous initiative, also provided opportunities for University of Waterloo Fine Arts students to apprentice with established artists.

As well, Shantz supported students from the Nova Scotia College of Art and Design in internships abroad.

Appendix 5

Notes:

Winnifred and Keith Shantz

For more than 40 years, her patronage also included donations to performing arts organizations such as the Kitchener-Waterloo Symphony, the Stratford Festival, the Grand River Baroque Festival, the Kitchener-Waterloo Art Gallery, Brush with Art and many others.

Governor-General David Johnston, former president of the University of Waterloo, praised Shantz for her support in shaping the city's vibrant cultural and artistic community.

"As I step down to take on my new role as Governor-General of Canada, I am filled with confidence for Waterloo's future because of you," he wrote to her. "You have been a key influence in the shaping of Waterloo's character and reputation."

In 1990, Shantz's interests turned to retail. She and Aggie Beynon became partners in the Harbinger Gallery, a showcase of contemporary Canadian artists, sculptors, jewellery makers and ceramic artists.

Due to the recent decline of Waterloo's economy, owing in part to Research in Motion's financial struggles, the Harbinger is being forced to close at the end of March. Coincidentally, news of its closure went out on the same day Shantz had her fatal heart attack - Feb. 11. She was 88.

Winifred (*sic*) Fitch was born in London, England, in 1923 to Albert and Jessie Fitch. Her father drove a bus and later became a bookkeeper. Her mother kept the house and cared for Win and her brother.

Win's grandfather, Sam Fitch, was a cabbie famous for driving London's first motorized cab and for ferrying a young, slightly corked Winston Churchill around to his evening entertainment.

As a teenager during the war, Win knew all about food rations, bomb shelters, flourless chocolate cakes and cauldrons brimming with sea-sodden periwinkles and cockleshells.

A five-foot-tall brunette with deep blue eyes, she and her friend Sybil Underwood spent Saturdays serving tea to Canadian soldiers.

During the week she was a typist for Canadian Major Don McLaren, and eventually they fell in love. McLaren was 20 years her senior, and he was married, but she joined him in Canada after the war anyway. In 1951, once he was divorced from his first wife, they married in Waterloo.

While her husband worked as recreation director for the YMCA, Winifred (*sic*) continued her secretarial work for insurance companies in town. After work she'd fire up the kiln, throw pottery, and create teapots, creamers and sugar bowls. She never took herself seriously as an artist, but she insisted that the work be taken seriously as an art form.

"There were remarkable writings and discoveries and developments by Canadian ceramists and she wanted to protect that," said ceramic artist Ann Roberts.

Toward the late 1950s she and a group of knitters, potters and painters volunteered to raise money for the new Kitchener-Waterloo Art Gallery. Rather short on space, a group of women sold art in a bicycle shed beside the local high school.

"They wore white gloves and made a big fuss over the artists," Beynon said, with Shantz insisting on elegance and style.

In 1966, she and a handful of other potters formed the Kitchener-Waterloo Potter's Guild, where she also taught courses and increased her involvement in the cultural scene.

She was widowed in 1972 when Don McLaren died of Alzheimer's disease.

The following year she married the successful Kitchener industrialist Keith Shantz, owner of Morval-Durofoam Ltd., manufacturer of polystyrene picnic coolers.

A few years later, supported by her husband, she and another potter, Yvonne Stanton, started a pottery supply business. She'd tease Yvonne about which of them could drag around the largest haul, leaving them giggling beneath the strain of bags of clay and heavy kilns.

Shantz soon began educating her new husband, increasing his interest in art and seizing opportunities for them to shine as patrons.

Early in their relationship, Keith Shantz laughed about his wife dragging him to the opera. "Well I can read, and they have this writing that's up in the sky," he said. "So I can lie back in the chair and read what they say."

"It was a good connection," said Roberts. "Keith Shantz and Win were very unlike each other but she made him into a much more interesting person."

Appendix 5

Notes:

Winnifred and Keith Shantz

Winifred (*sic*) Shantz's mantra was "Let's get on with it!" and so together they'd sign the cheques.

The Shantz's donated \$250,000 toward opening the Canadian Clay and Glass Gallery and had a room named after them. Keith died in 1992 and Winifred (*sic*) continued the steadfast patronage, sometimes extending her generosity to non-artists as well - such as her cleaning lady, her driver and the person who shovelled her snow.

In 2002, Shantz was awarded a lifetime achievement award from the Kitchener-Waterloo Arts Awards. At her memorial service - to be held the day after Harbinger Gallery closes its doors to the public - tea will no doubt be served in exquisite pots in her honour.

Winifred (*sic*) Shantz leaves stepdaughters Diana Smith and Barbara Shantz, as well as several nieces and nephews."

<http://v1.theglobeandmail.com/servlet/story/LAC.20120309.OBSHANTZATL/BDASStory/BDA/deaths>

Keith and Win Shantz International Research Scholarship

Award type: Scholarships

Award description:

This research scholarship was originally funded through generous donations from the late Winifred (*sic*) Shantz followed by a generous donation from the estate of Keith Shantz (Winifred's (*sic*) late husband). Each year Master of Fine Arts students who have completed a minimum of two terms of study spend at least six weeks of the summer months working as assistants in a professional artist's studio. On completion of this experience the students devote the balance of the term to developing their work in their own studios. The Keith and Winifred (*sic*) Shantz International Research Scholarship will provide at least one scholarship annually with a value of at least \$7,000 to cover the accommodation, living and travel expenses and tuition for that term.

Value: \$7,000

Eligibility & selection criteria:

full-time graduate students registered in the Master of Fine Arts program in the Faculty of Arts, typically in their third term University of Waterloo Department of Fine Arts will identify candidates and select recipients which will be approved by the Dean of Arts

<https://uwaterloo.ca/graduate-studies/awards/keith-and-win-shantz-international-research-scholarship>

"The Canadian Clay and Glass Gallery is proud to present 39 ceramic, glass and enamel works from the Estate of Winifred (*sic*) Shantz which was recently donated to our Permanent Collection. The works are by highly recognized national and international artists such as John Chalke, Dale Chihuly, Susan Collett, Dan Crichton, Laura Donefer, Joe Fafard, Irene Frolic, Robert Held, Carlo Moretti, Alan Perkins, Bernard Séguin Poirier, Ann Roberts, Fay Rooke, Jack Sures and Valeri Timofeev. Winifred (*sic*) Shantz willed that the Gallery be allowed to choose any silica-based works for our Permanent Collection. These works were chosen for their ability to better represent the history and scope of regional, national and international ceramic, glass and enamel works while celebrating the legacy of a highly visionary and generous arts patron.

Winifred (*sic*) Shantz (née Fitch) was born in London, England in 1923. She and Canadian Major Don McLaren fell in love during World War II. After the war, Shantz emigrated to Canada and married him in Kitchener. Herself was a potter, she became a vital part of the arts community in the Kitchener/Waterloo area. While her husband worked as recreation director for the YMCA, Shantz continued her secretarial work for insurance companies in town. After work, she would fire up the kiln, throw pottery, and create teapots, creamers and sugar bowls. She never took herself seriously as an artist, but she insisted that the work be taken seriously as an art form. Don McLaren retired as Director of Recreation for the City of Kitchener and passed away in 1972. The following year she married Keith Shantz, the successful Kitchener industrialist, owner of

Appendix 5

Notes:

Winnifred and Keith Shantz

Morval-Durofoam Ltd., manufacturer of polystyrene picnic coolers.

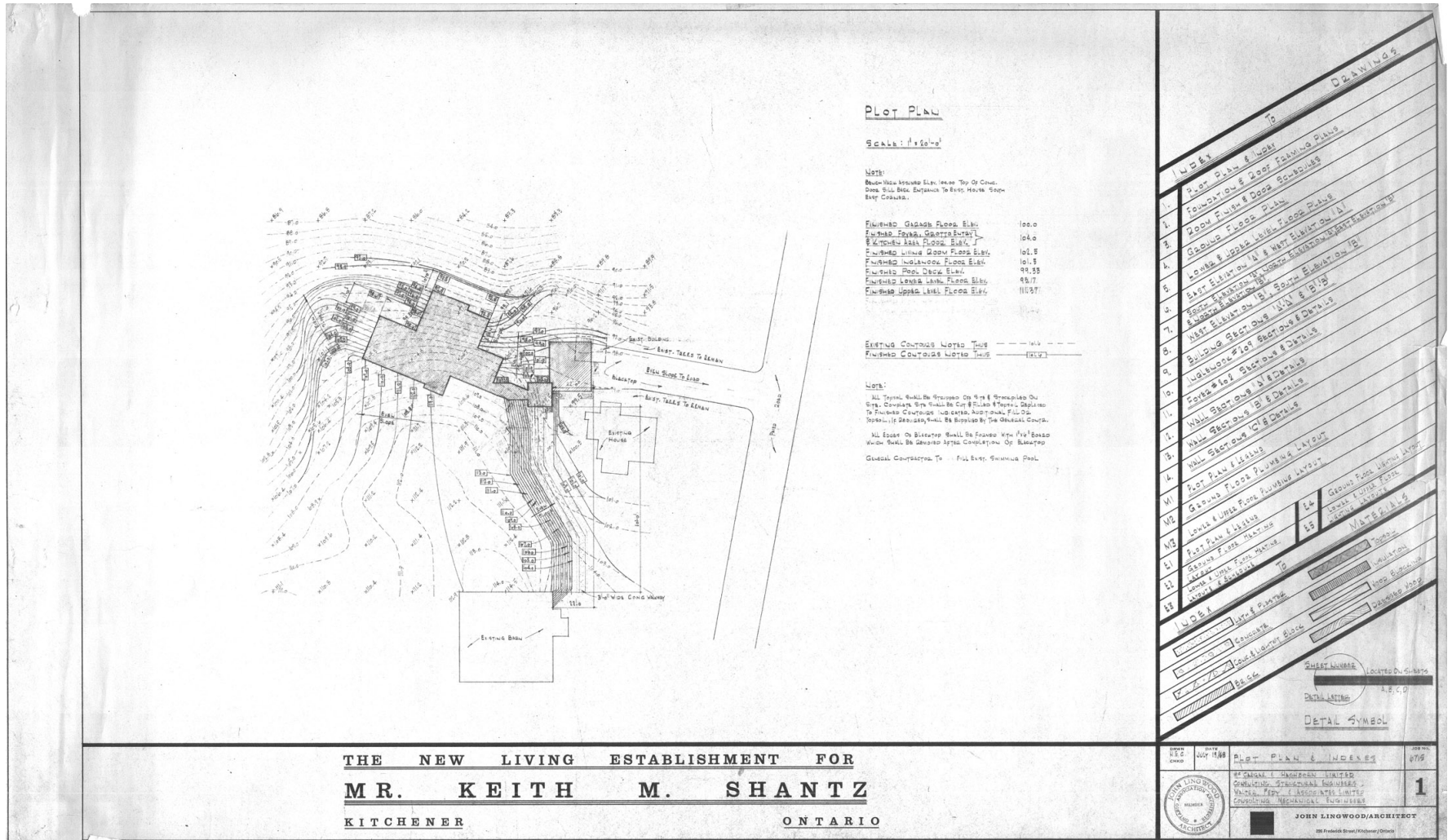
Winifred (*sic*) Shantz' support for ceramic and glass artists culminated in the establishment of the Canadian Clay and Glass Gallery, a national gallery of which she and her second husband were founding supporters. In 1990, she became a partner with Aggie Beynon in the ownership of Harbinger Gallery, showcasing contemporary Canadian visual artists, sculptors, jewelery, and ceramics. For more than 40 years her wide-ranging patronage of the arts included support for the Kitchener-Waterloo Symphony, the Stratford Festival, the Grand River Baroque Festival, the Canadian Clay and Glass Gallery, Kitchener-Waterloo Art Gallery, Brush with Art and many others. Her support and caring for young artists was exemplified by the Winifred (*sic*) Shantz Award for Ceramics through the Canadian Clay and Glass Gallery. The first award went to Susan Collett who later commented that, "she was instrumental in building my confidence as a young artist." Shantz also funded the Keith and Winifred (*sic*) Shantz Summer Internships that granted opportunities for University of Waterloo Fine Arts students to work with established artists. She also supported students from the Nova Scotia College of Art and Design in internships abroad. In the Kitchener-Waterloo community, she was supporter of many community causes including both hospitals. In 2002, Winifred (*sic*) Shantz was awarded a lifetime achievement award from the Kitchener-Waterloo Arts Awards

Christian Bernard Singer, Curator

<http://www.theclayandglass.ca/exhibitions/current-exhibitions/the-collection-of-winifred-shantz/>

Appendix 6

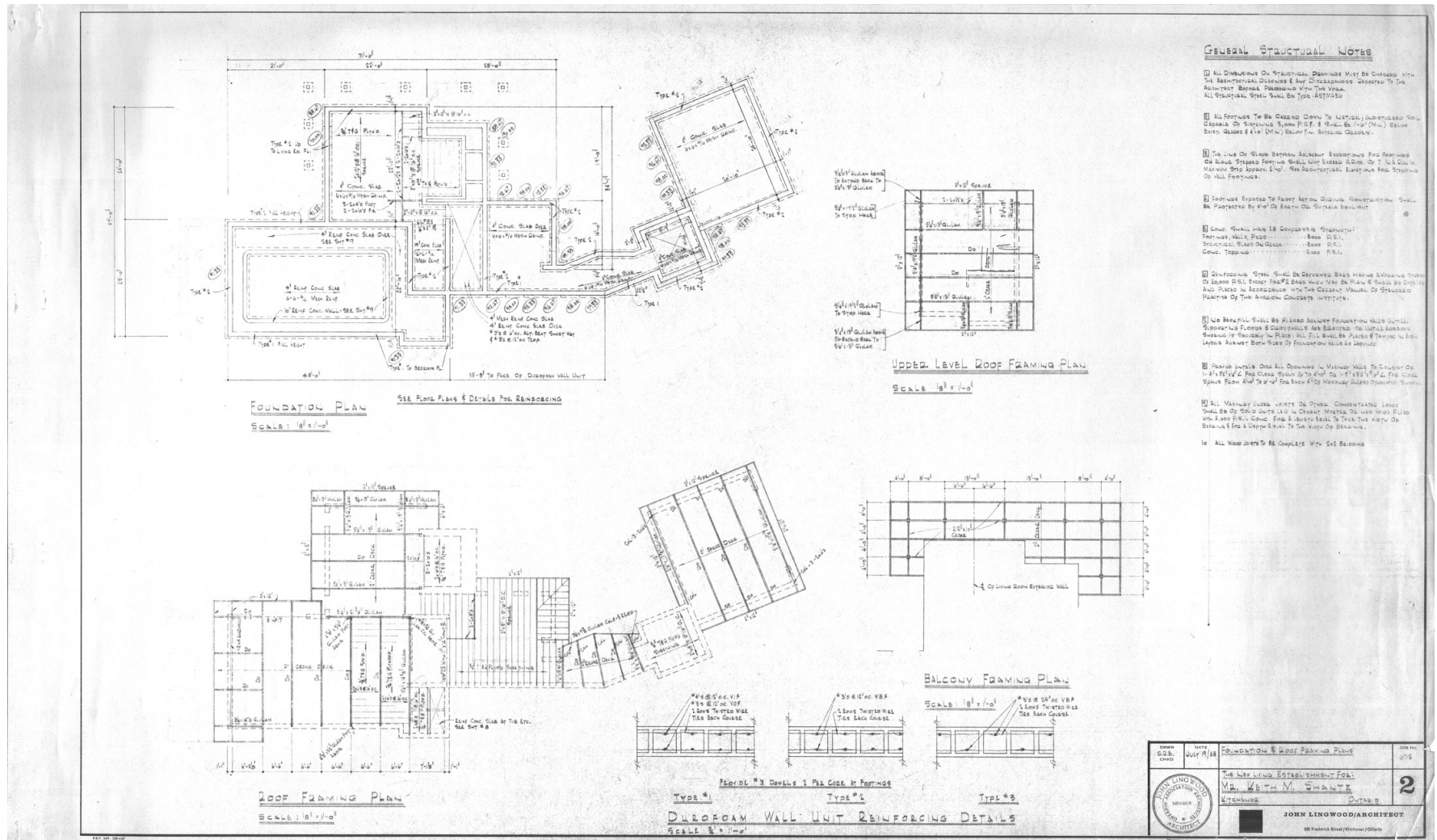
Architectural Drawing Set



The New Living Establishment for Mr. Keith M. Shantz - John Lingwood/Architect

Plot Plan & Indexes - Sheet 1

Appendix 6 Architectural Drawing Set



The New Living Establishment for Mr. Keith M. Shantz - John Lingwood/Architect

Foundation & Roof Framing Plans - Sheet 2

Appendix 6 Architectural Drawing Set

ROOM FINISH & DOOR SCHEDULE									
Rm. No.	Room Name	Floor	Base	WALLS		CEILING		Remarks	
				CONSTRUCTION	FINISH	CONSTRUCTION	FINISH		
LOWER LEVEL FLOOR PLAN									
101	STAIRWAY	COND.	4" CONCRETE	1" DRYWALL ON 1" WOOD STRAPPING	PAINTED	WOOD STUD CEILING	STAINED	WALL	
102	BATH	COND.	4" CONCRETE	EXP. INSULATION	WALLS	COND.	WALLS	10'-0"	
103	SHOWER ROOM	COND.	4" CONCRETE	EXP. INSULATION	WALLS	COND.	WALLS	10'-0"	
104	STORAGE	COND.	4" CONCRETE	WOOD STUD ON 1" WOOD STRAPPING	PAINTED	1" DRYWALL ON WOOD JOISTS	PAINTED	8'-0"	
105	KITCHEN	COND.	4" CONCRETE	WOOD STUD ON 1" WOOD STRAPPING	PAINTED	1" DRYWALL ON WOOD JOISTS	PAINTED	8'-0"	
106	WORK ROOM	COND.	4" CONCRETE	WOOD STUD ON 1" WOOD STRAPPING	PAINTED	1" DRYWALL ON WOOD JOISTS	PAINTED	7'-0"	
GROUND FLOOR PLAN									
101	GARAGE	COND.	WALLS	WOOD STUD, INSULATION & DRYWALL	PAINTED	WOOD STUD CEILING & WALLS	STAINED	10'-0"	
102	FOYER	COND.	WOOD	WOOD STUD, INSULATION & DRYWALL ON 1" WOOD STRAPPING	PAINTED	WOOD STUD CEILING & WALLS	STAINED	8'-0"	
103	ENTRY GUESTS	COND.	WOOD	WOOD STUD, INSULATION & DRYWALL ON 1" WOOD STRAPPING	PAINTED	WOOD STUD CEILING & WALLS	STAINED	8'-0"	
104	ENTRY	COND.	WOOD	WOOD STUD, INSULATION & DRYWALL ON 1" WOOD STRAPPING	PAINTED	WOOD STUD CEILING & WALLS	STAINED	8'-0"	
105	KITCHEN	COND.	WOOD	WOOD STUD, INSULATION & DRYWALL ON 1" WOOD STRAPPING	PAINTED	WOOD STUD CEILING & WALLS	STAINED	8'-0"	
106	KITCHEN	COND.	WOOD	WOOD STUD, INSULATION & DRYWALL ON 1" WOOD STRAPPING	PAINTED	WOOD STUD CEILING & WALLS	STAINED	8'-0"	
107	BREAKFAST AREA	COND.	WOOD	WOOD STUD, INSULATION & DRYWALL ON 1" WOOD STRAPPING	PAINTED	WOOD STUD CEILING & WALLS	STAINED	8'-0"	
108	HALL	COND.	WOOD	WOOD STUD, INSULATION & DRYWALL ON 1" WOOD STRAPPING	PAINTED	WOOD STUD CEILING & WALLS	STAINED	8'-0"	
109	LIVING ROOM	COND.	WOOD	WOOD STUD, INSULATION & DRYWALL ON 1" WOOD STRAPPING	PAINTED	WOOD STUD CEILING & WALLS	STAINED	8'-0"	
110	LIVING ROOM	COND.	WOOD	WOOD STUD, INSULATION & DRYWALL ON 1" WOOD STRAPPING	PAINTED	WOOD STUD CEILING & WALLS	STAINED	8'-0"	
111	STAIRWAY	COND.	WOOD	WOOD STUD, INSULATION & DRYWALL ON 1" WOOD STRAPPING	PAINTED	WOOD STUD CEILING & WALLS	STAINED	8'-0"	
112	CHANGE ROOM	COND.	WOOD	WOOD STUD, INSULATION & DRYWALL ON 1" WOOD STRAPPING	PAINTED	WOOD STUD CEILING & WALLS	STAINED	8'-0"	
113	CHANGE ROOM	COND.	WOOD	WOOD STUD, INSULATION & DRYWALL ON 1" WOOD STRAPPING	PAINTED	WOOD STUD CEILING & WALLS	STAINED	8'-0"	
114	POOL ROOM	COND.	WOOD	WOOD STUD, INSULATION & DRYWALL ON 1" WOOD STRAPPING	PAINTED	WOOD STUD CEILING & WALLS	STAINED	8'-0"	
115	POOL	COND.	WOOD	WOOD STUD, INSULATION & DRYWALL ON 1" WOOD STRAPPING	PAINTED	WOOD STUD CEILING & WALLS	STAINED	8'-0"	
UPPER LEVEL FLOOR PLAN									
116	STAIRWAY	COND.	WOOD	WOOD STUD, INSULATION & DRYWALL ON 1" WOOD STRAPPING	PAINTED	WOOD STUD CEILING & WALLS	STAINED	8'-0"	
117	BEDROOM	COND.	WOOD	WOOD STUD, INSULATION & DRYWALL ON 1" WOOD STRAPPING	PAINTED	WOOD STUD CEILING & WALLS	STAINED	8'-0"	
118	BEDROOM	COND.	WOOD	WOOD STUD, INSULATION & DRYWALL ON 1" WOOD STRAPPING	PAINTED	WOOD STUD CEILING & WALLS	STAINED	8'-0"	
119	BEDROOM	COND.	WOOD	WOOD STUD, INSULATION & DRYWALL ON 1" WOOD STRAPPING	PAINTED	WOOD STUD CEILING & WALLS	STAINED	8'-0"	
120	STORAGE	COND.	WOOD	WOOD STUD, INSULATION & DRYWALL ON 1" WOOD STRAPPING	PAINTED	WOOD STUD CEILING & WALLS	STAINED	8'-0"	

1. 1'-0" x 6'-0" x 1/2" BIRCH SLAB DOOR, SEE SPEC. COMPLETE WITH DOUBLE GLASS, STAINLESS STEEL HANDLES

2. 1'-0" x 6'-0" x 1/2" BIRCH SLAB DOOR, SEE SPEC. COMPLETE WITH DOUBLE GLASS, STAINLESS STEEL HANDLES

3. 1'-0" x 6'-0" x 1/2" BIRCH SLAB DOOR, SEE SPEC. COMPLETE WITH DOUBLE GLASS, STAINLESS STEEL HANDLES

4. 1'-0" x 6'-0" x 1/2" BIRCH SLAB DOOR, SEE SPEC. COMPLETE WITH DOUBLE GLASS, STAINLESS STEEL HANDLES

5. 1'-0" x 6'-0" x 1/2" BIRCH SLAB DOOR, SEE SPEC. COMPLETE WITH DOUBLE GLASS, STAINLESS STEEL HANDLES

6. 1'-0" x 6'-0" x 1/2" BIRCH SLAB DOOR, SEE SPEC. COMPLETE WITH DOUBLE GLASS, STAINLESS STEEL HANDLES

7. 1'-0" x 6'-0" x 1/2" BIRCH SLAB DOOR, SEE SPEC. COMPLETE WITH DOUBLE GLASS, STAINLESS STEEL HANDLES

8. 1'-0" x 6'-0" x 1/2" BIRCH SLAB DOOR, SEE SPEC. COMPLETE WITH DOUBLE GLASS, STAINLESS STEEL HANDLES

9. 1'-0" x 6'-0" x 1/2" BIRCH SLAB DOOR, SEE SPEC. COMPLETE WITH DOUBLE GLASS, STAINLESS STEEL HANDLES

10. 1'-0" x 6'-0" x 1/2" BIRCH SLAB DOOR, SEE SPEC. COMPLETE WITH DOUBLE GLASS, STAINLESS STEEL HANDLES

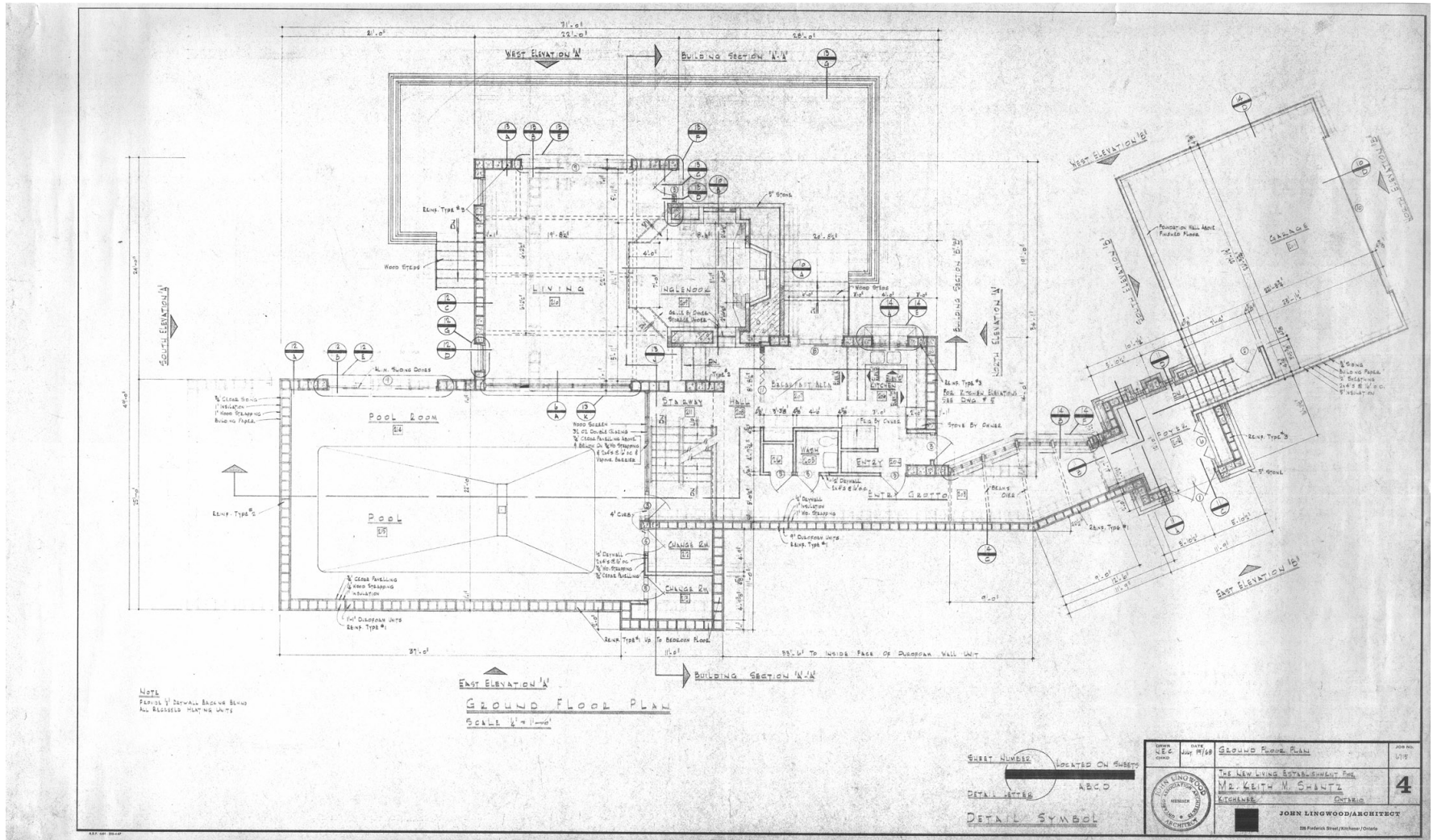
11. 1'-0" x 6'-0" x 1/2" BIRCH SLAB DOOR, SEE SPEC. COMPLETE WITH DOUBLE GLASS, STAINLESS STEEL HANDLES

DRAWN J.S.S. DATE July 1980	ROOM FINISH & DOOR SCHEDULE 1/2" WOOD STUD CEILING
--------------------------------------	---

The New Living Establishment for Mr. Keith M. Shantz - John Lingwood/Architect

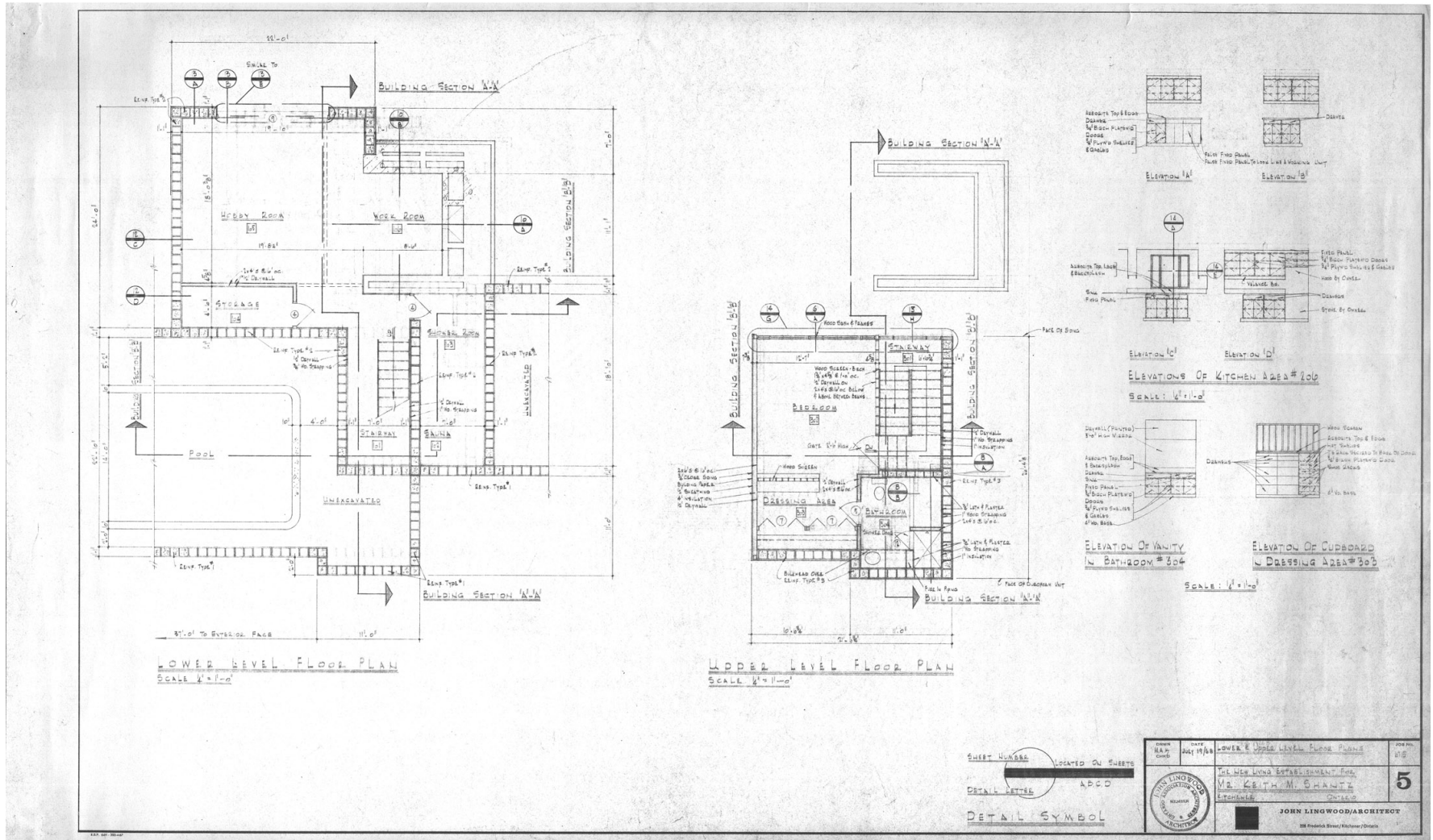
Room Finish & Door Schedule - Sheet 3

Appendix 6 Architectural Drawing Set



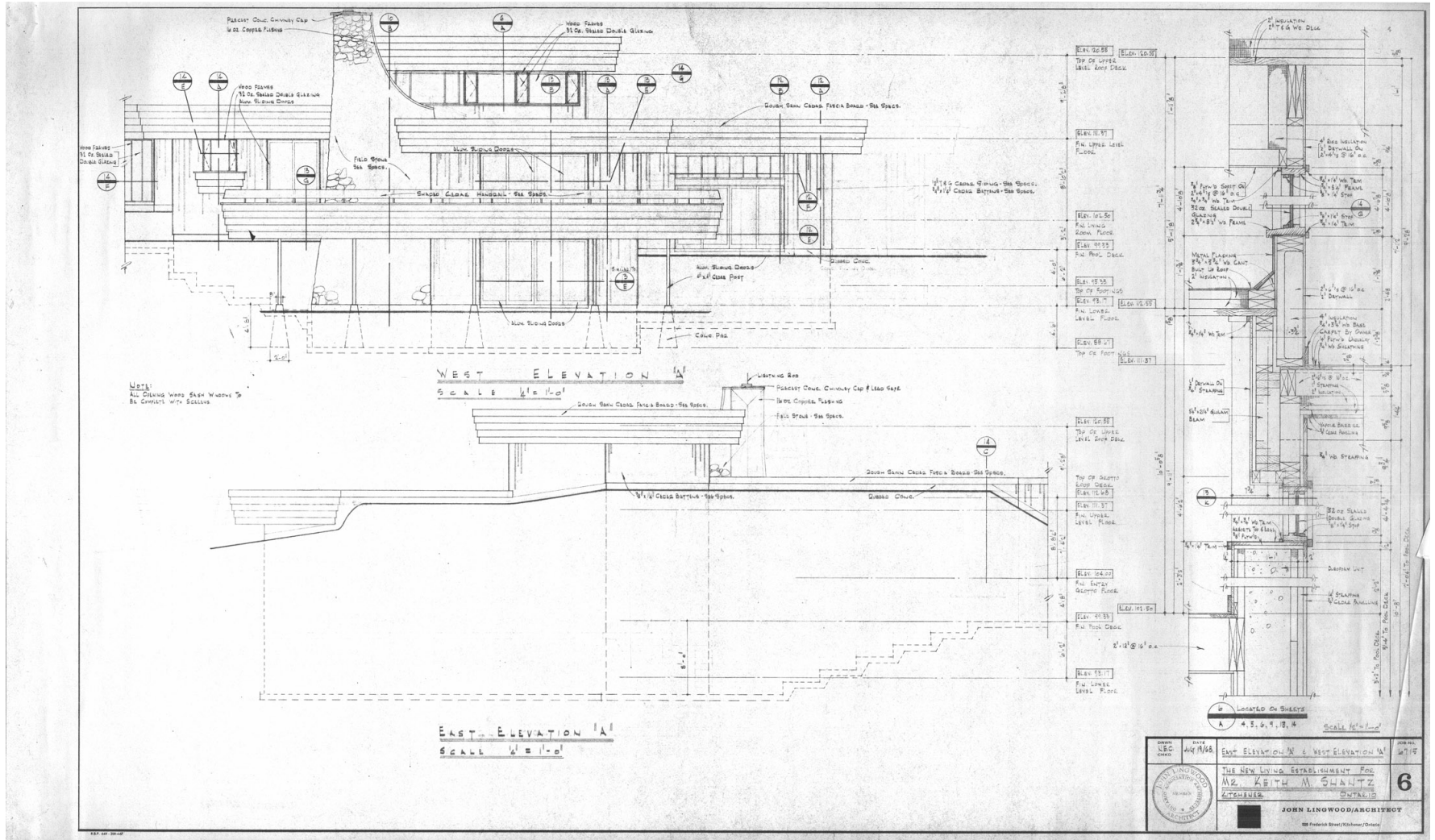
The New Living Establishment for Mr. Keith M. Shantz - John Lingwood/Architect

Ground Floor Plan - Sheet 4



Appendix 6

Architectural Drawing Set

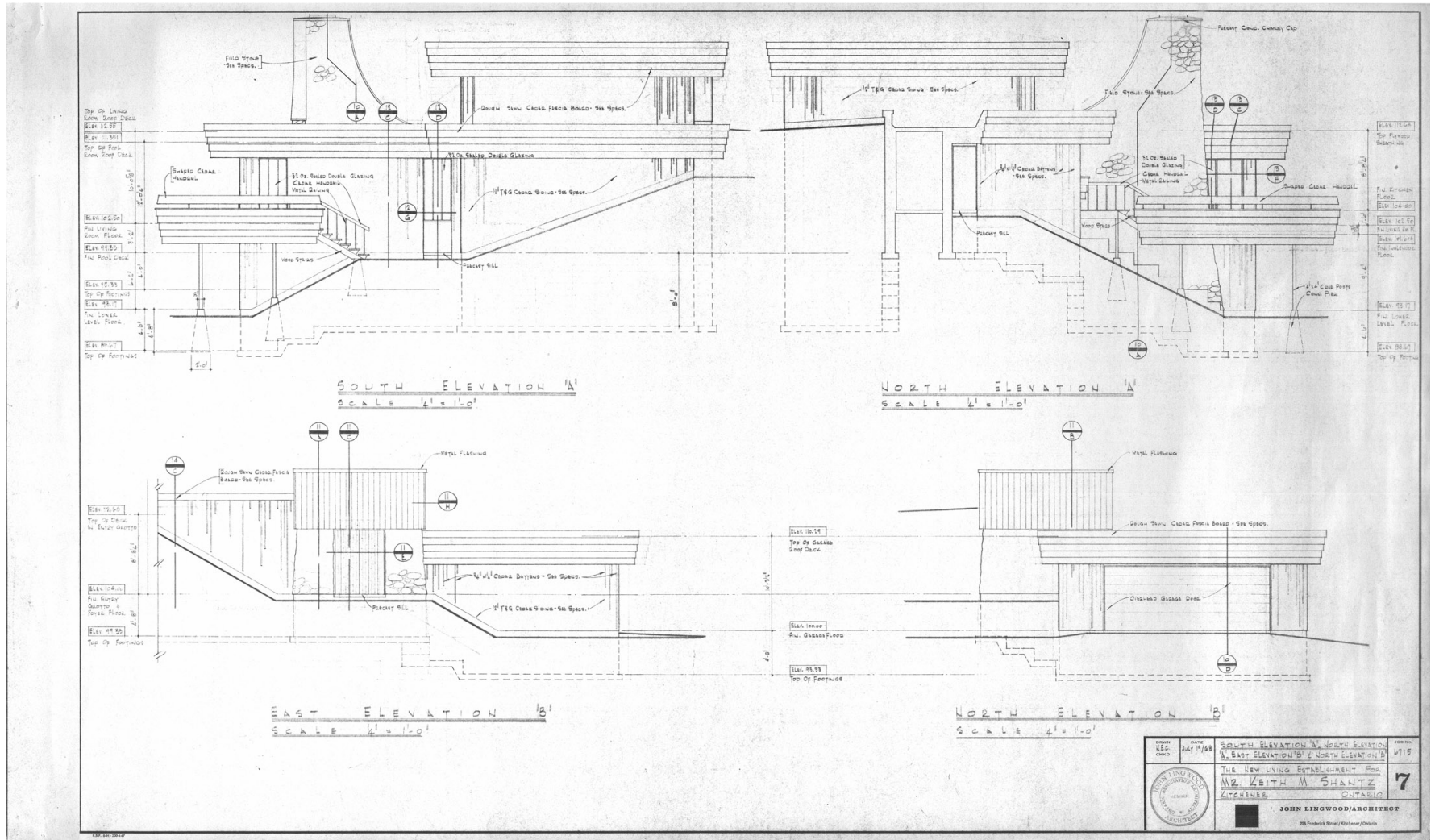


The New Living Establishment for Mr. Keith M. Shantz - John Lingwood/Architect

East Elevation 'A' & West Elevation 'A' - Sheet 6

Appendix 6

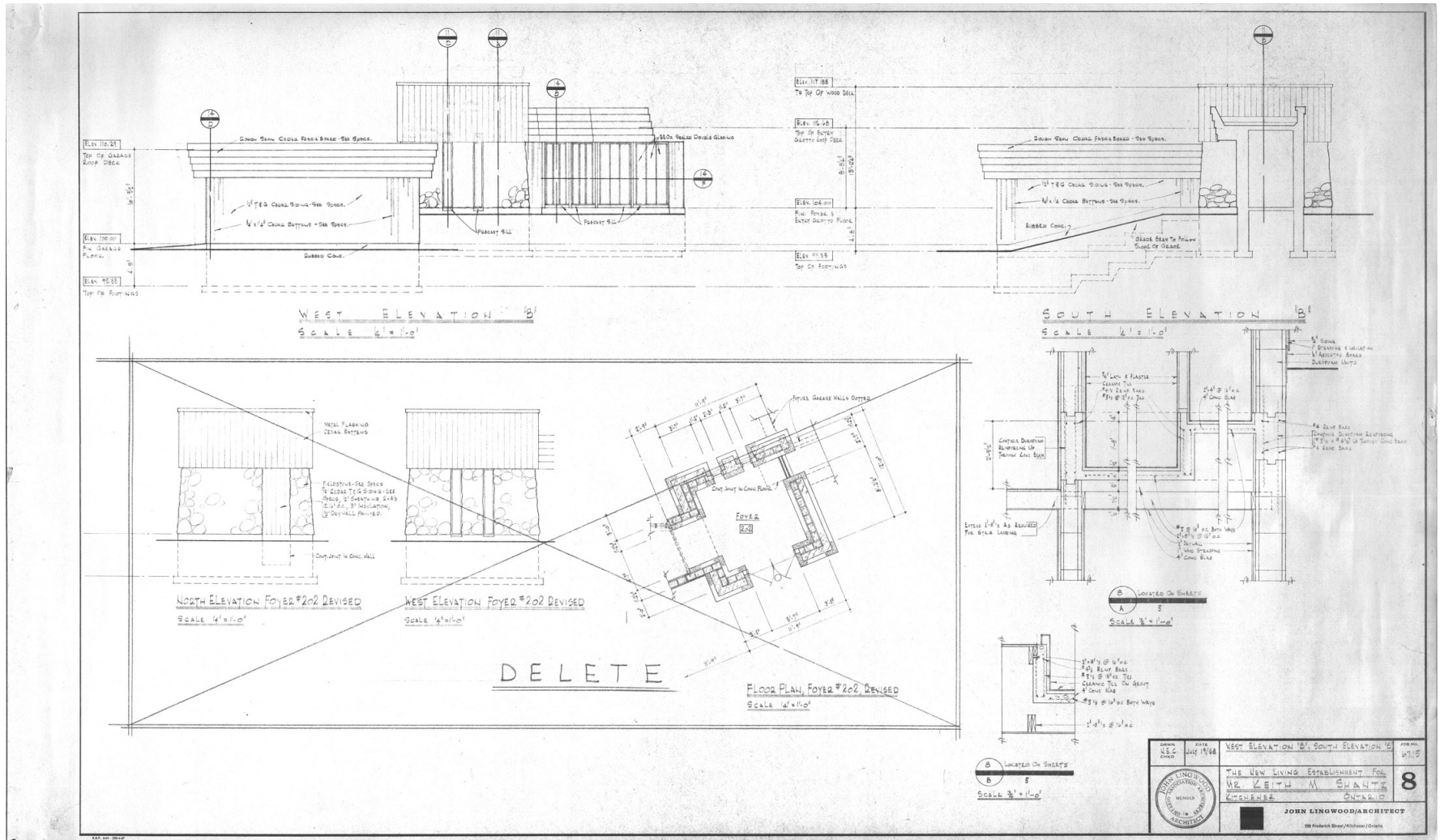
Architectural Drawing Set



The New Living Establishment for Mr. Keith M. Shantz - John Lingwood/Architect

South Elevation 'A', North Elevation 'A', East Elevation 'B',
North Elevation 'B' Sheet 7

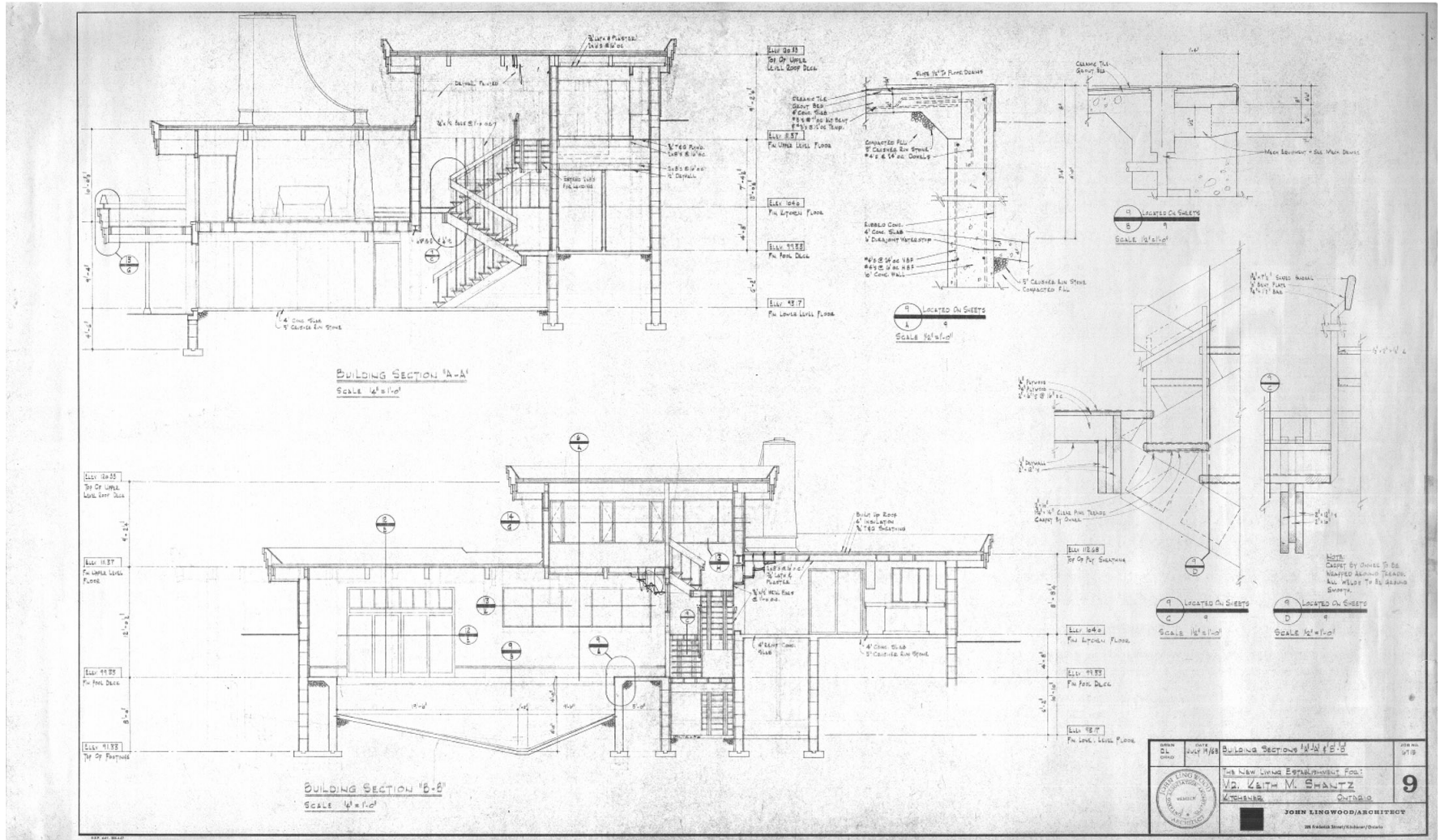
Appendix 6 Architectural Drawing Set



The New Living Establishment for Mr. Keith M. Shantz - John Lingwood/Architect

West Elevation 'B' & South Elevation 'B' - Sheet 8

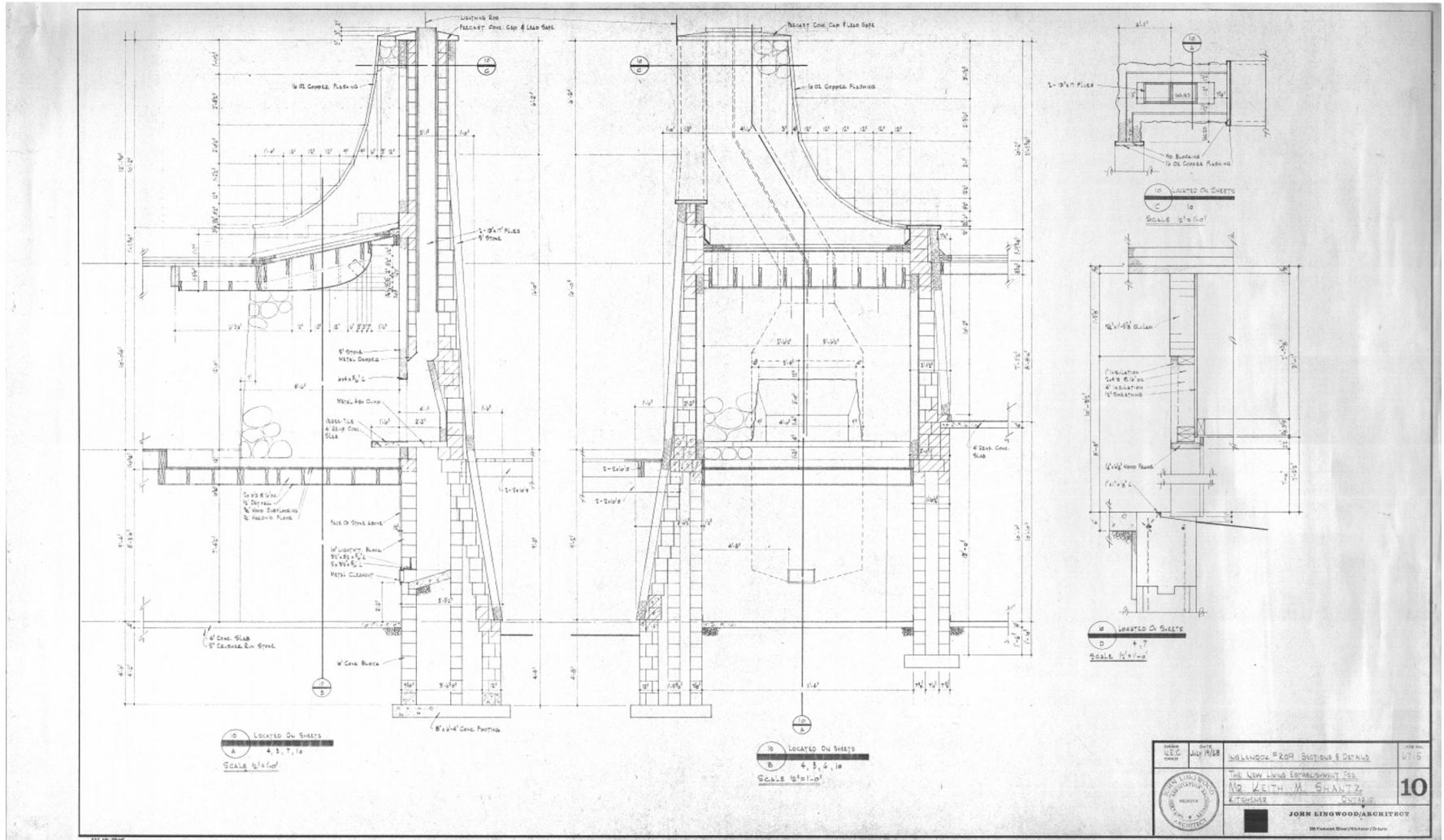
Appendix 6 Architectural Drawing Set



The New Living Establishment for Mr. Keith M. Shantz - John Lingwood/Architect

Building Sections 'A'-A' & 'B'-B' - Sheet 9

Appendix 6 Architectural Drawing Set

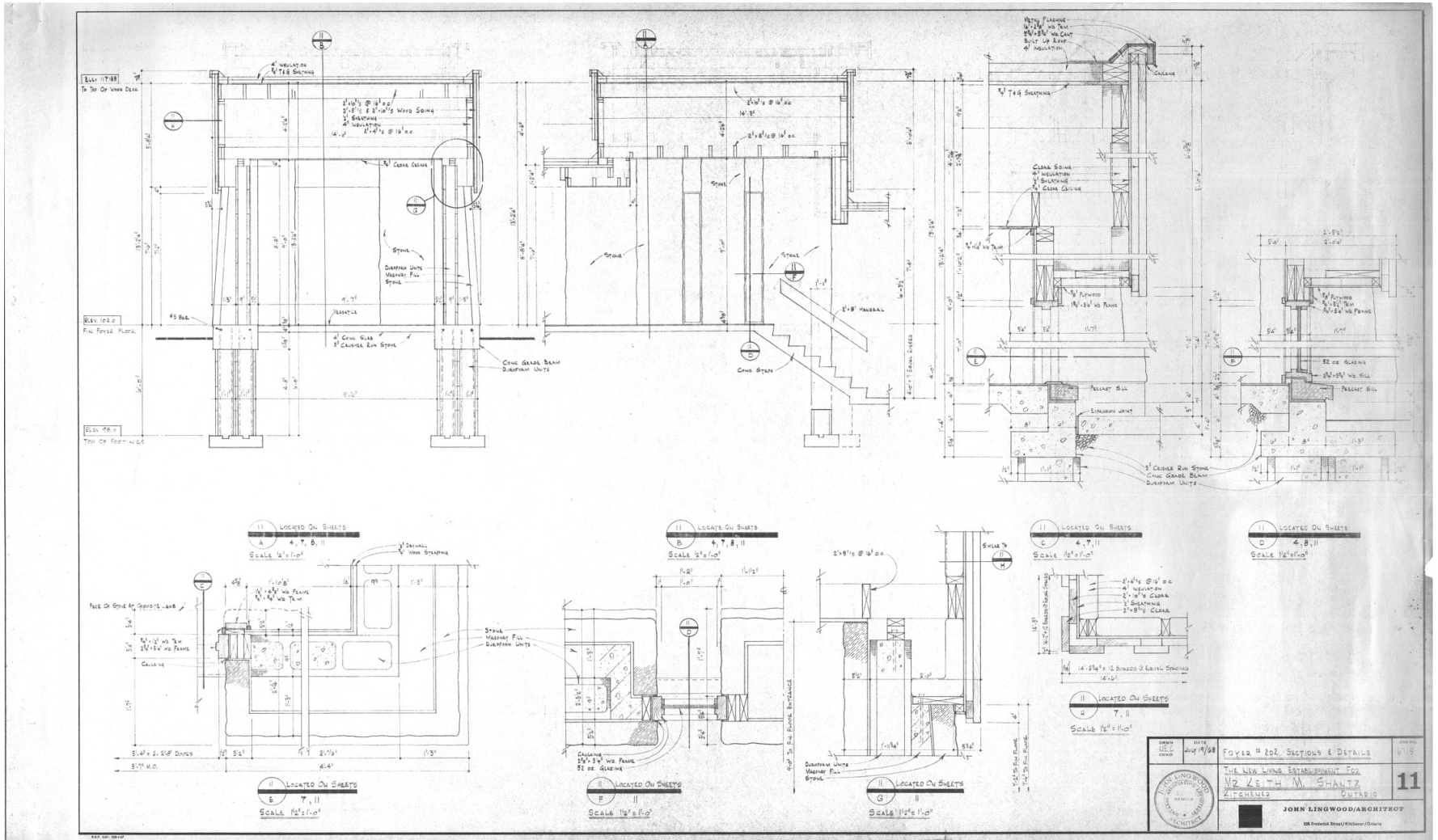


The New Living Establishment for Mr. Keith M. Shantz - John Lingwood/Architect

Inglenook #209 - Sections & Details - Sheet 10

Appendix 6

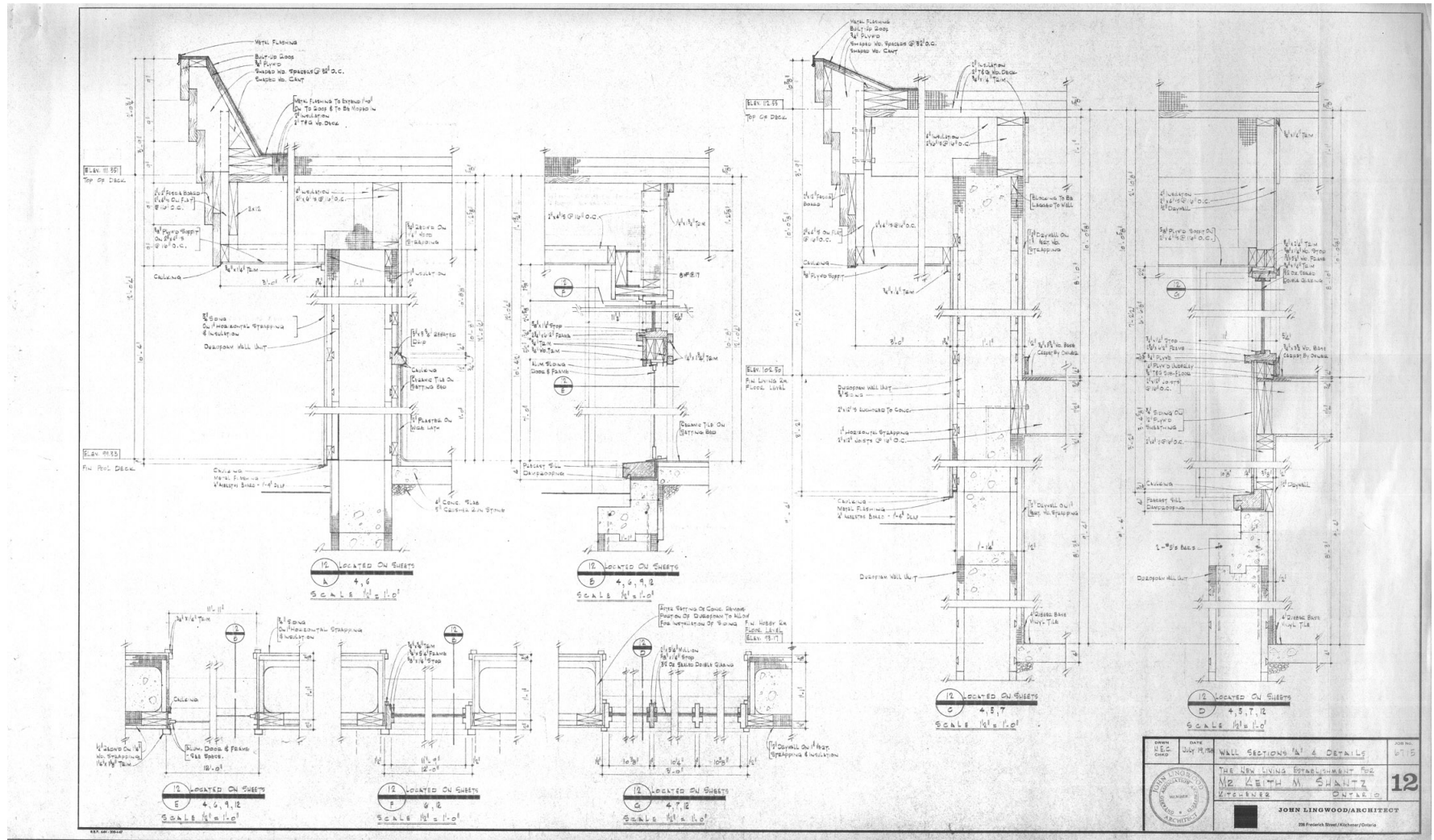
Architectural Drawing Set



The New Living Establishment for Mr. Keith M. Shantz - John Lingwood/Architect

Foyer #202 - Sections & Details - Sheet 11

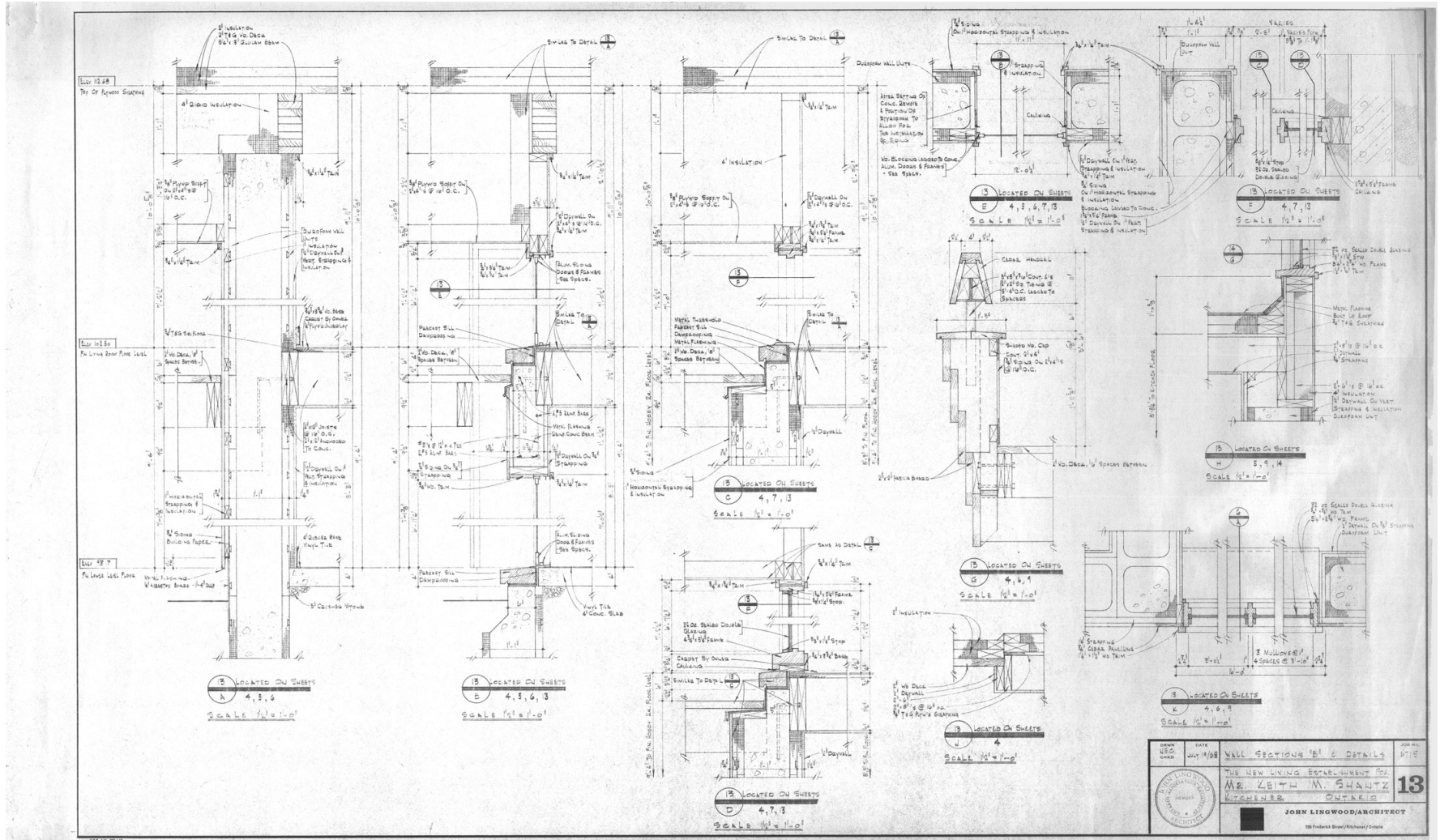
Appendix 6 Architectural Drawing Set



The New Living Establishment for Mr. Keith M. Shantz - John Lingwood/Architect

Wall Sections 'A' & Details - Sheet 12

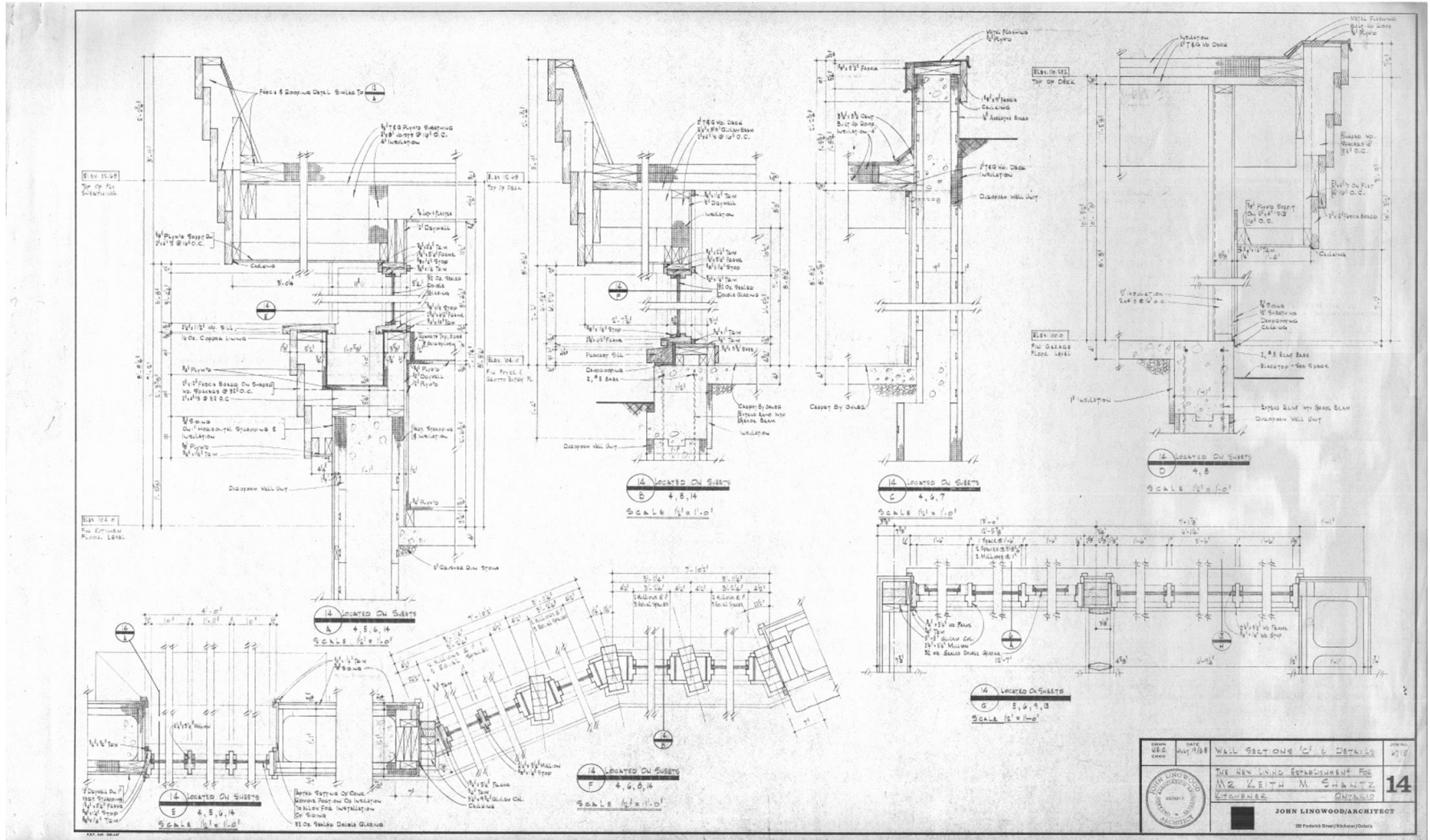
Appendix 6 Architectural Drawing Set



The New Living Establishment for Mr. Keith M. Shantz - John Lingwood/Architect

Wall Sections 'B' & Details - Sheet 13

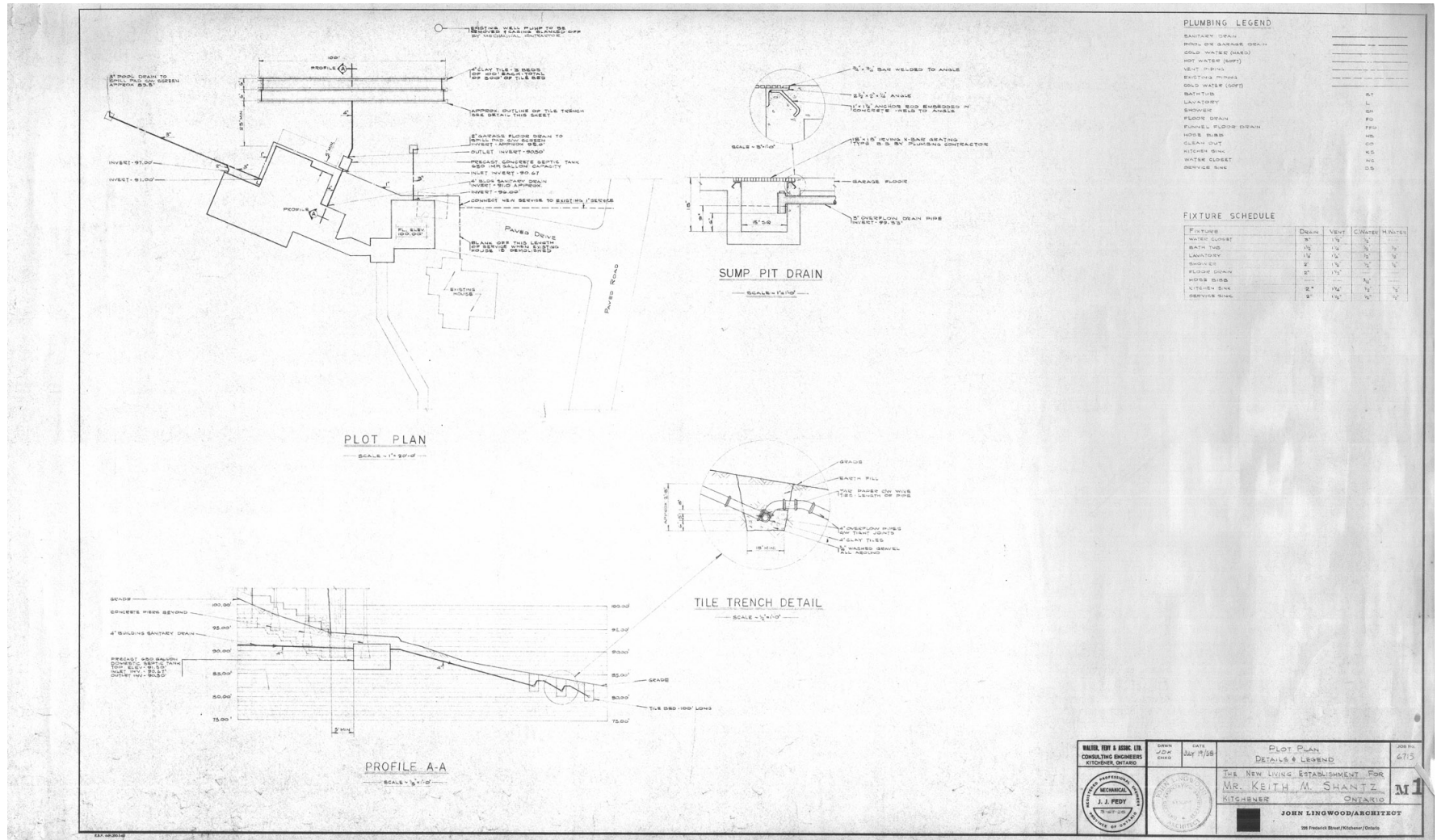
Appendix 6 Architectural Drawing Set



The New Living Establishment for Mr. Keith M. Shantz - John Lingwood/Architect

Wall Sections 'C' & Details - Sheet 14

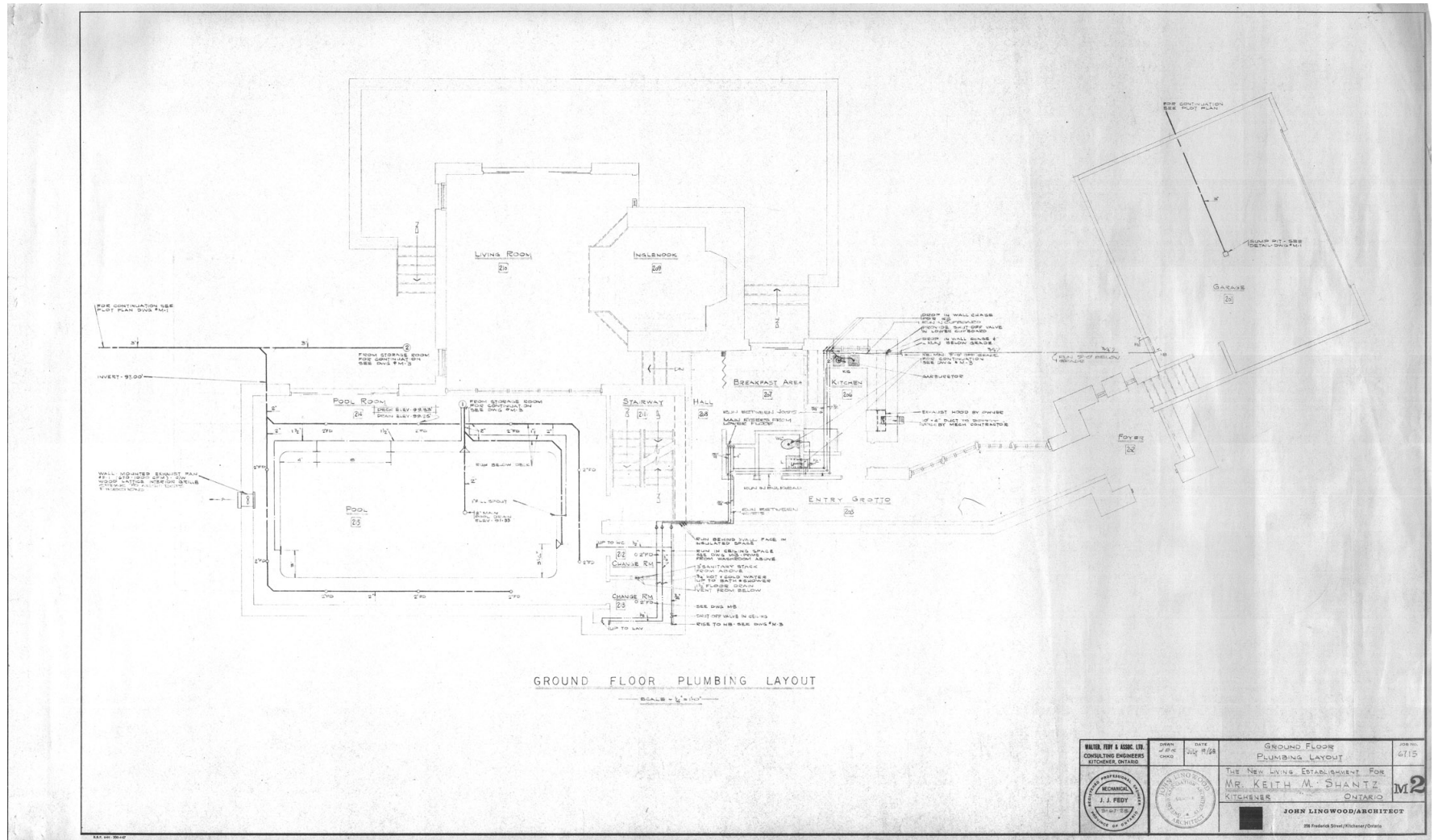
Appendix 6 Architectural Drawing Set



The New Living Establishment for Mr. Keith M. Shantz - John Lingwood/Architect

Plot Plan, Details & Legend - Sheet M1

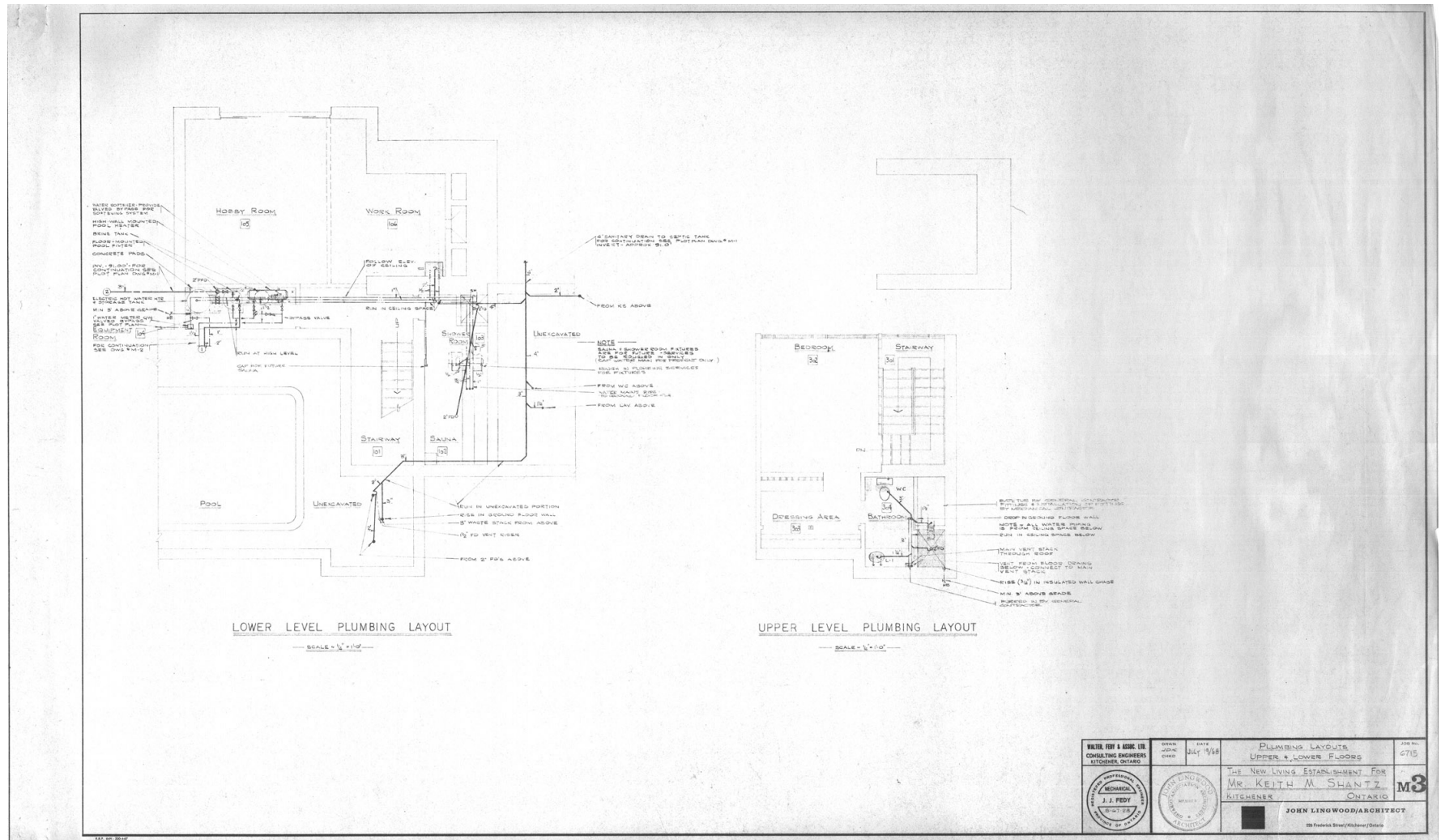
Appendix 6 Architectural Drawing Set



The New Living Establishment for Mr. Keith M. Shantz - John Lingwood/Architect

Ground Floor Plumbing Layout - Sheet M2

Appendix 6 Architectural Drawing Set

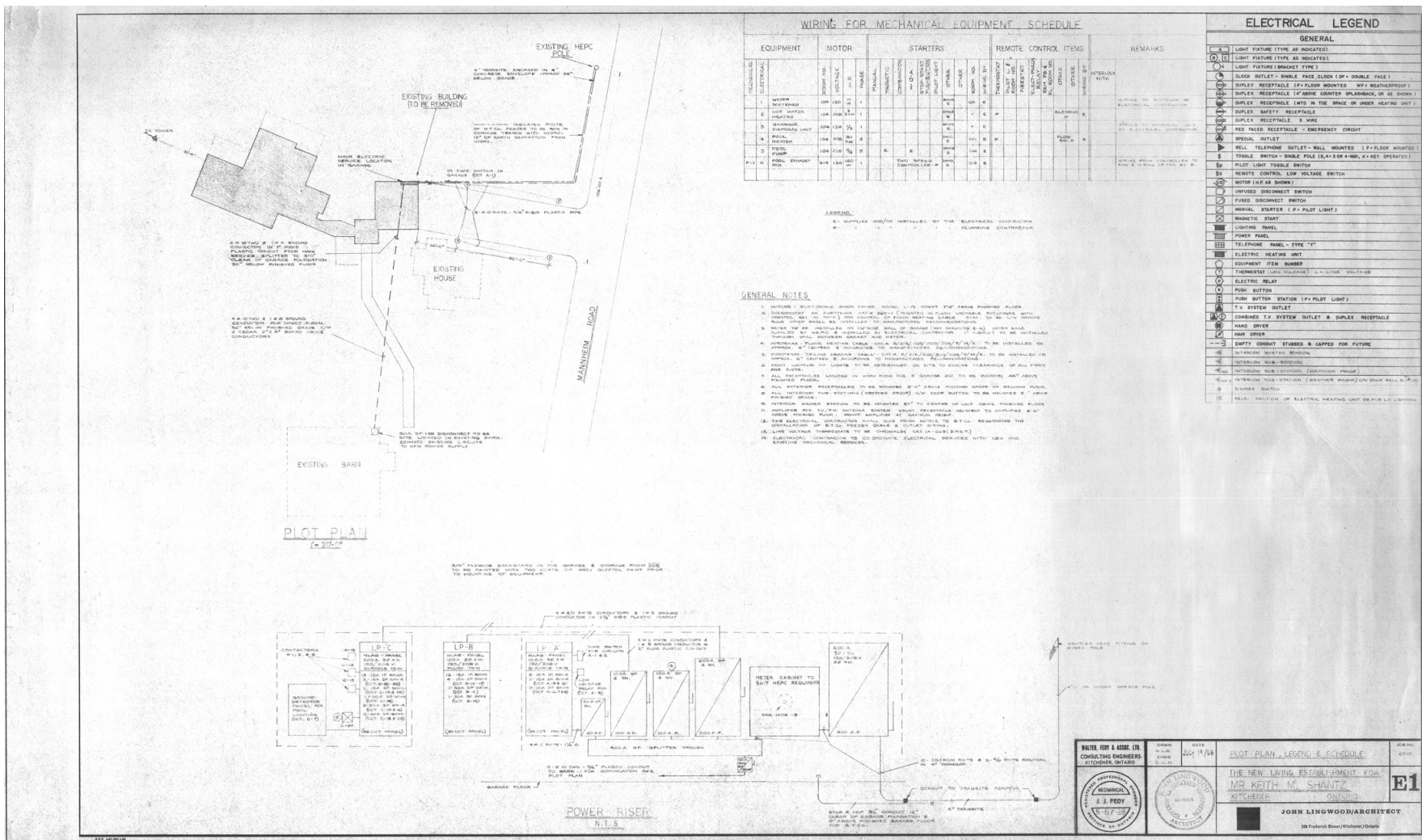


The New Living Establishment for Mr. Keith M. Shantz - John Lingwood/Architect

Plumbing Layouts Upper & Lower Floors - Sheet M3

Appendix 6

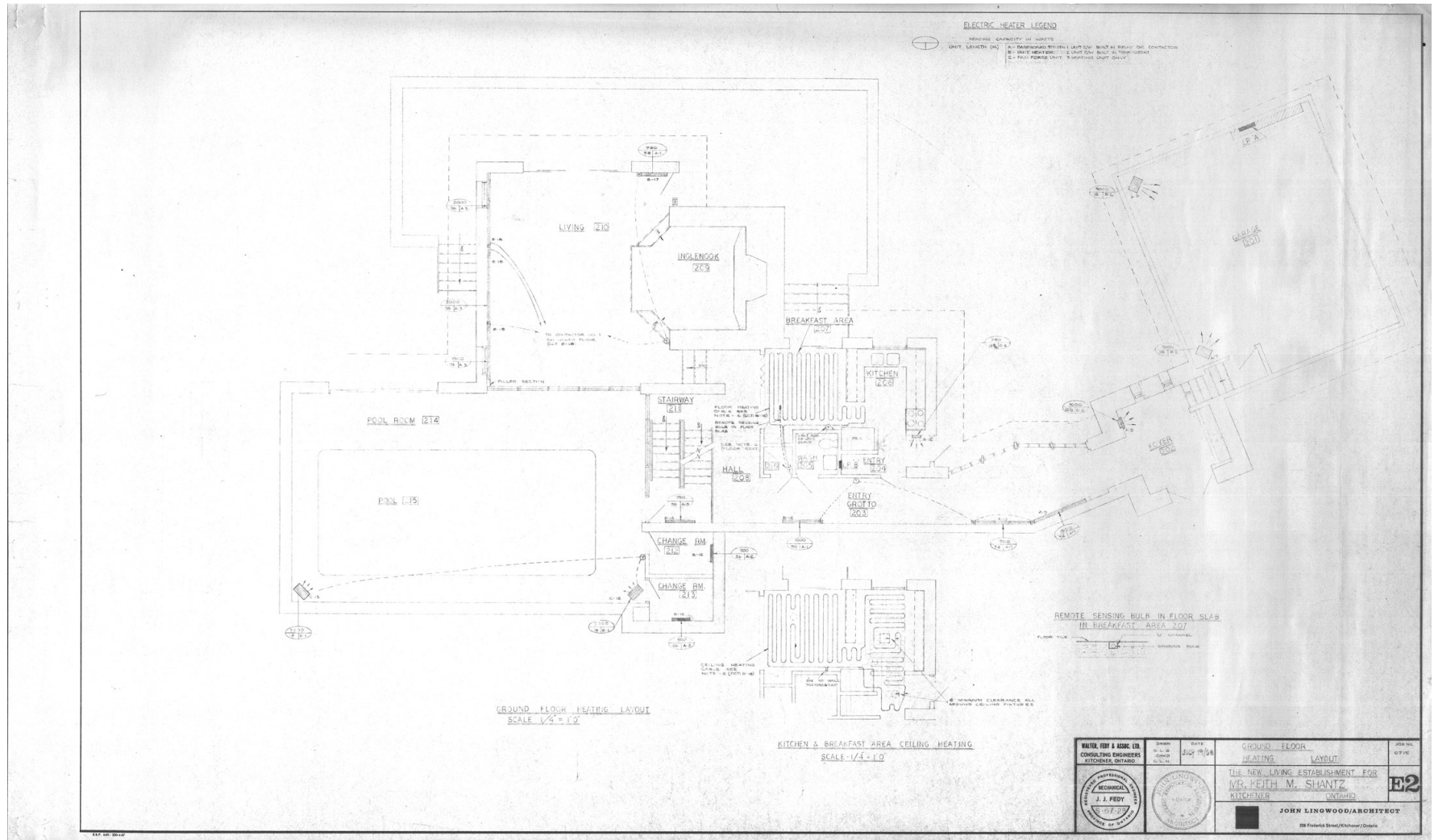
Architectural Drawing Set



The New Living Establishment for Mr. Keith M. Shantz - John Lingwood/Architect

Plot Plan, Legend & Schedule - Sheet E1

Appendix 6 Architectural Drawing Set

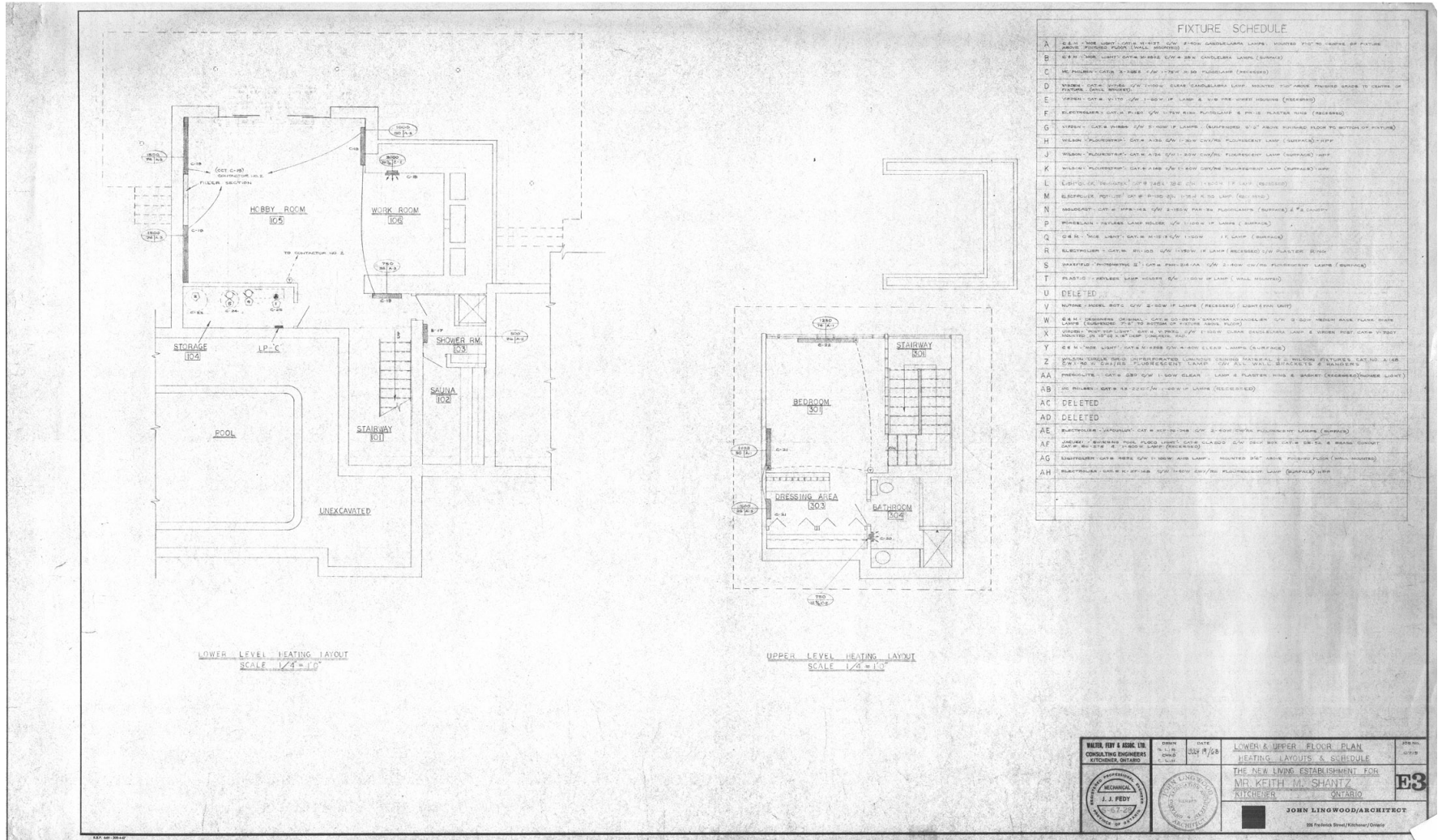


The New Living Establishment for Mr. Keith M. Shantz - John Lingwood/Architect

Ground Floor Heating Layout - Sheet E2

Appendix 6

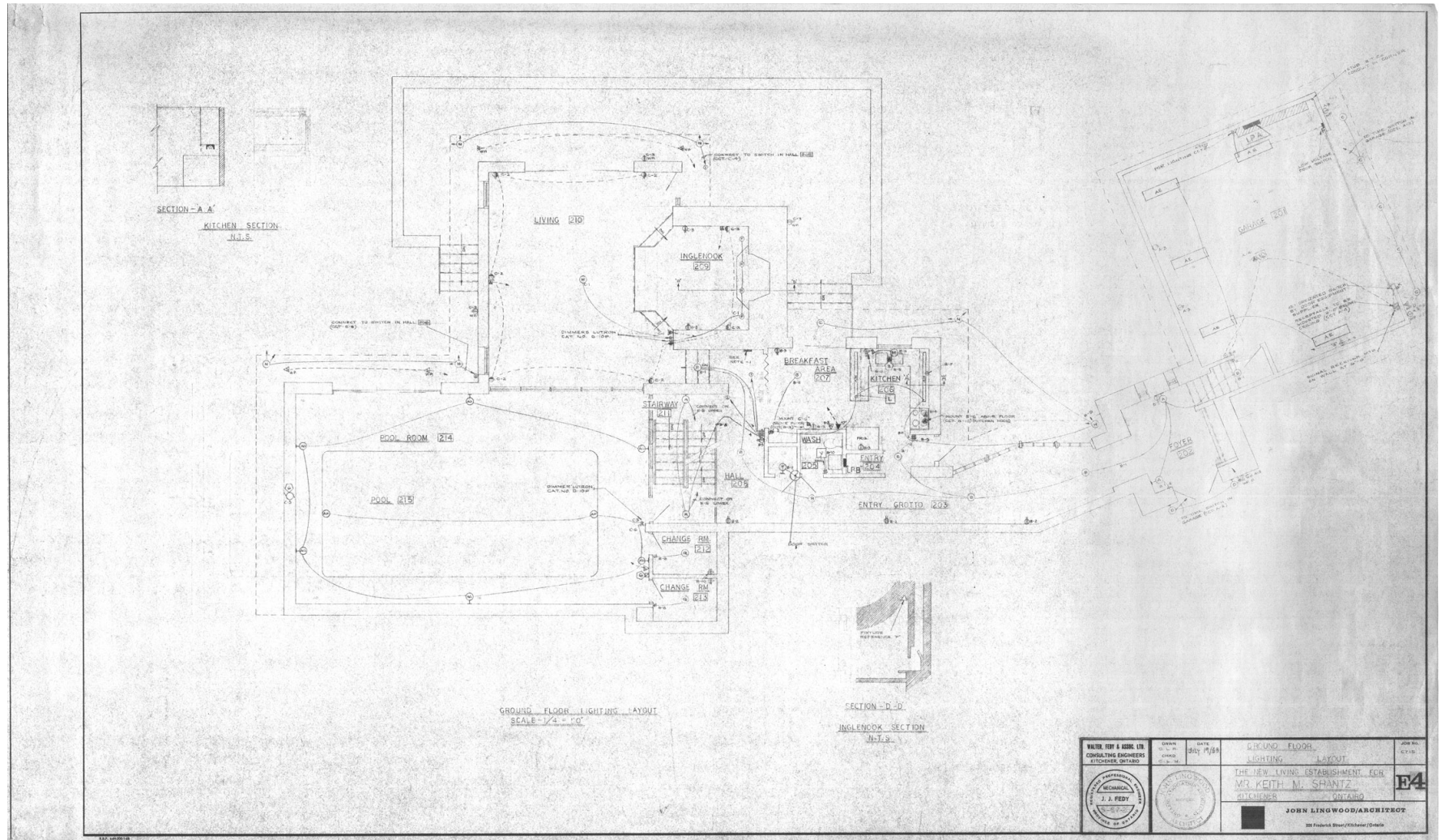
Architectural Drawing Set



The New Living Establishment for Mr. Keith M. Shantz - John Lingwood/Architect

Lower & Upper Floor Plans - Heating Layouts & Schedule - Sheet E3

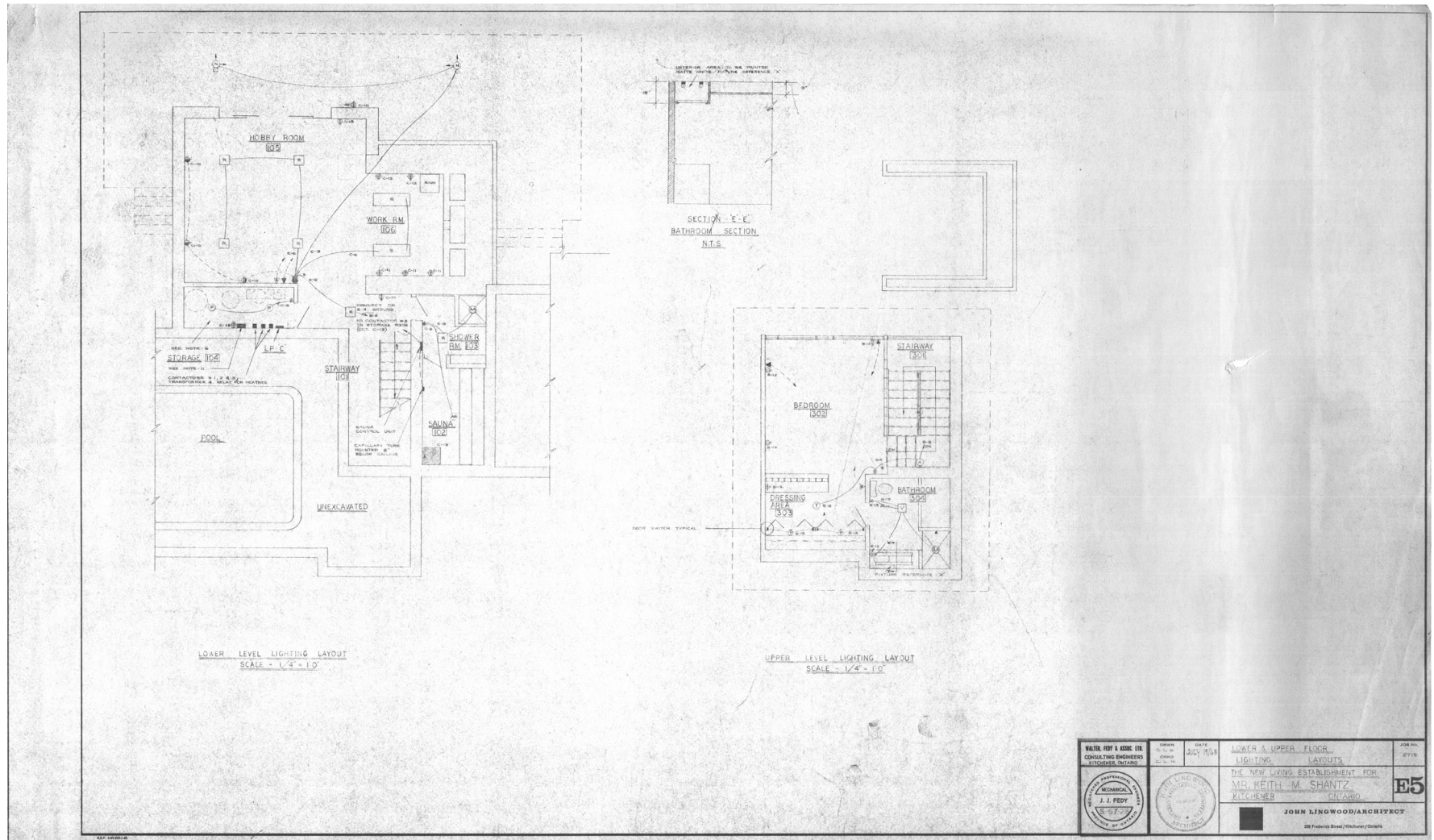
Appendix 6 Architectural Drawing Set



The New Living Establishment for Mr. Keith M. Shantz - John Lingwood/Architect

Ground Floor Lighting Layout - Sheet E4

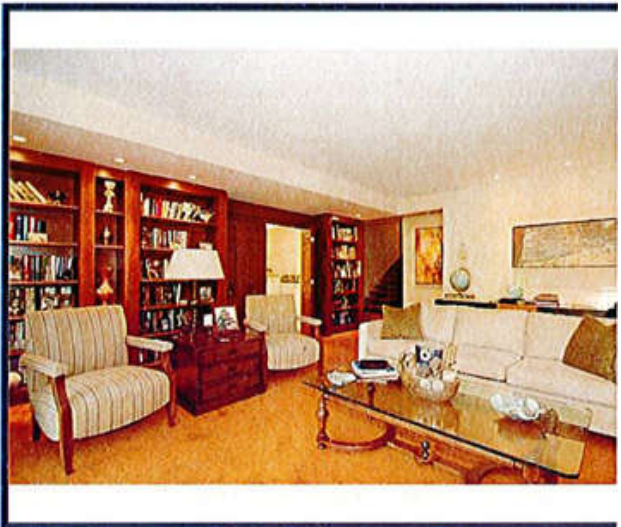
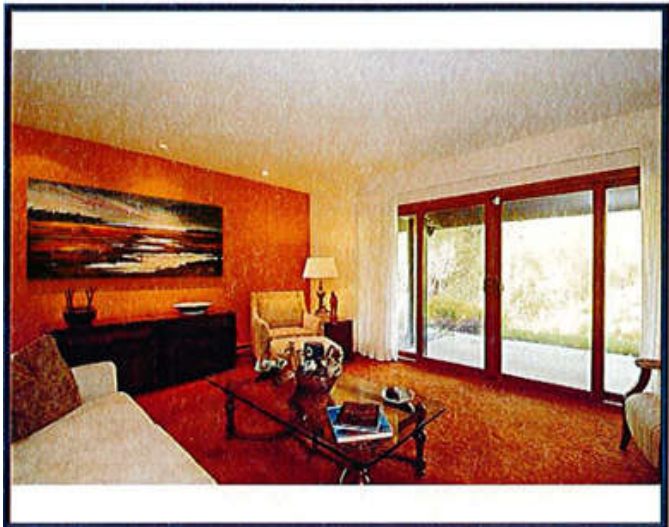
Appendix 6 Architectural Drawing Set



The New Living Establishment for Mr. Keith M. Shantz - John Lingwood/Architect

Lower & Upper Floor Lighting Layouts - Sheet E5

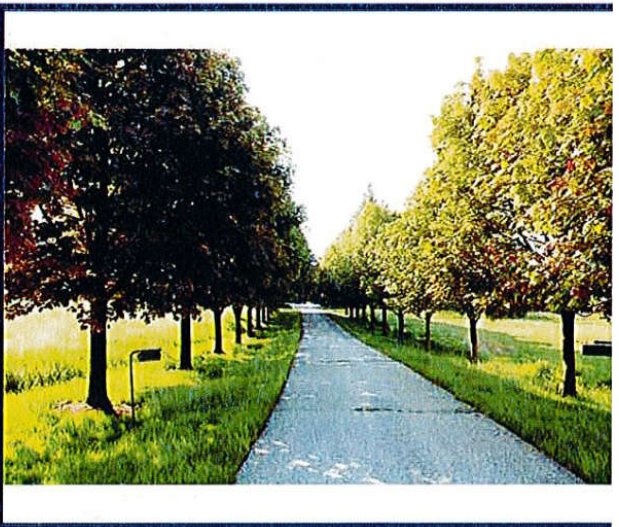
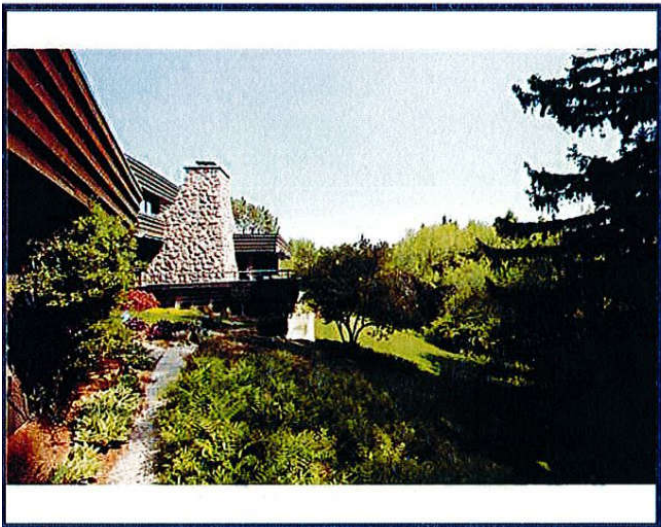
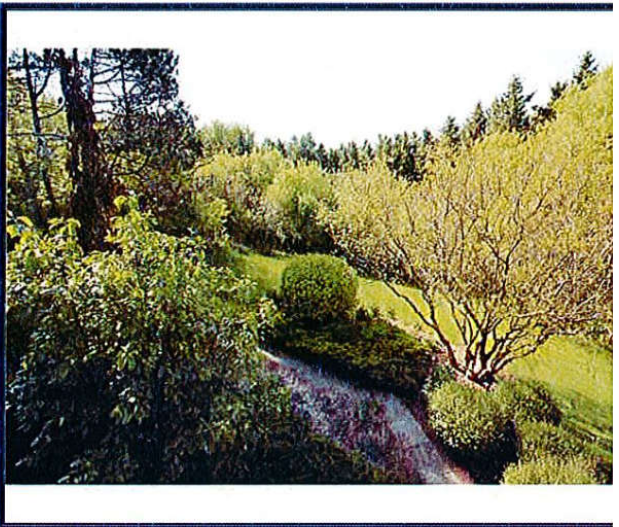
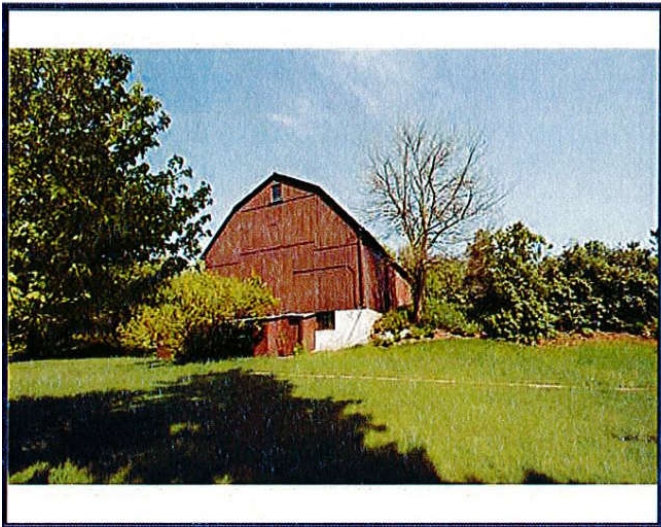
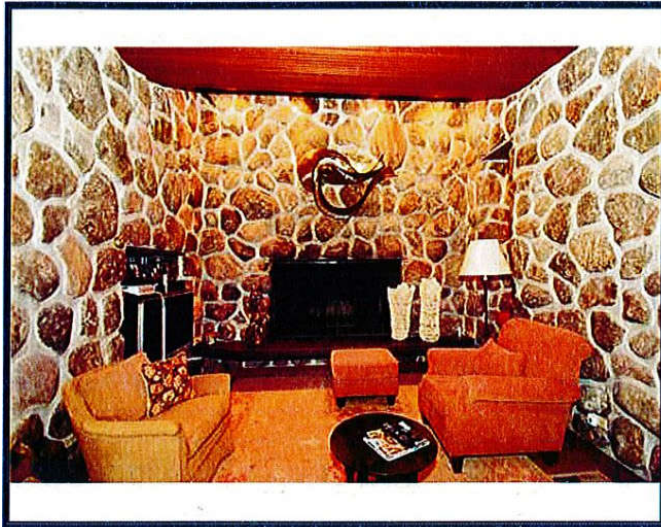
Appendix 7
CMA Realty photos 2012



www.cmarealty.ca/viewallphotos.php?id=439307&listingonly=true

6/8/2012

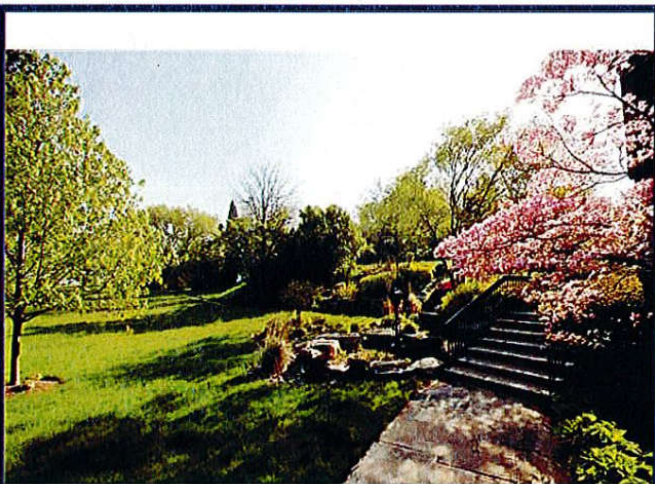
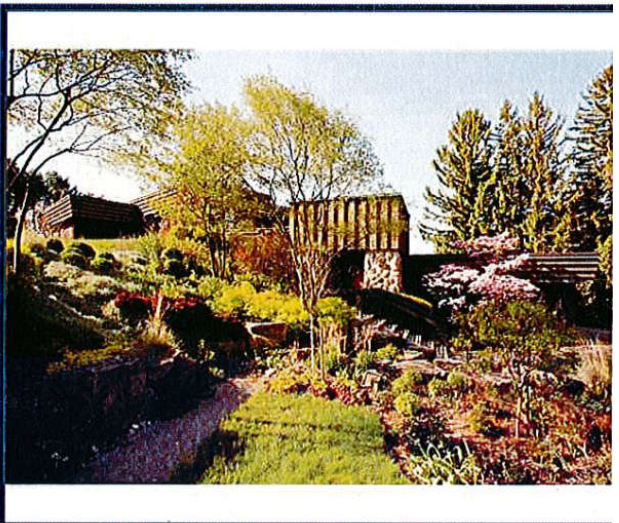
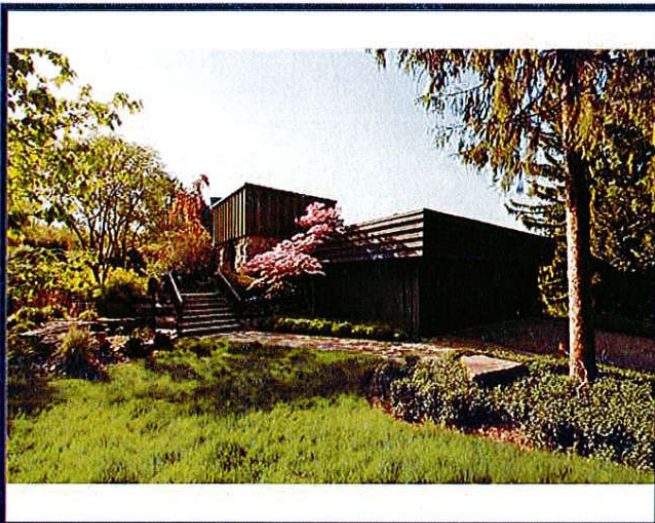
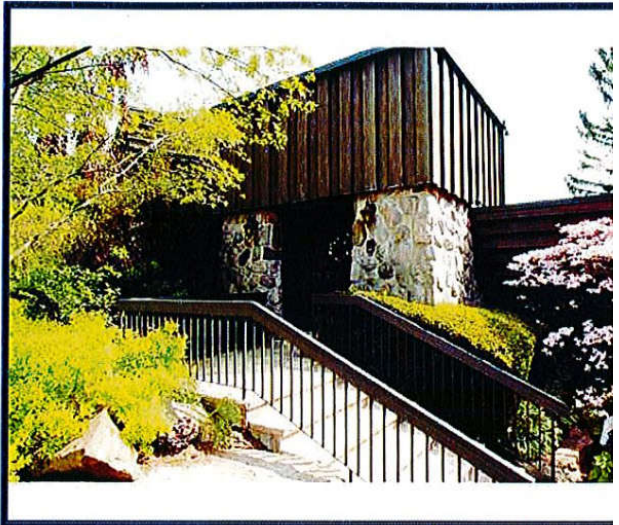
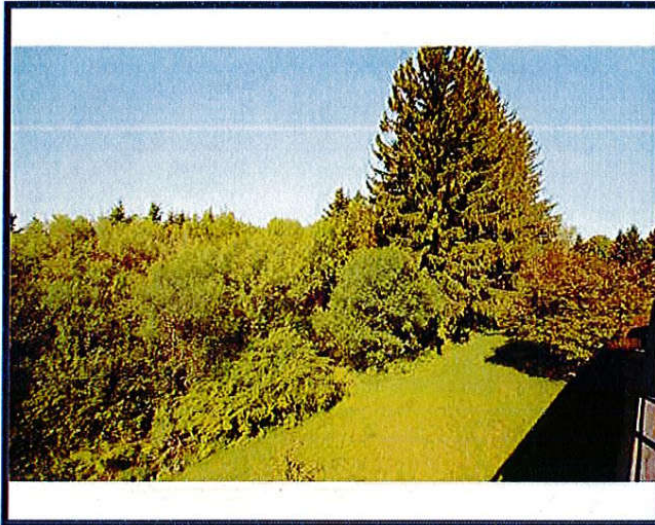
Appendix 7
CMA Realty photos 2012



<http://www.cmarealty.ca/viewallphotos.php?id=439307&listingonly=true>

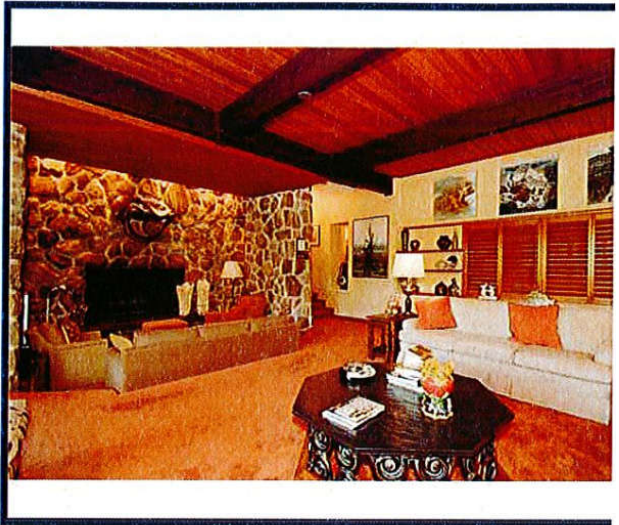
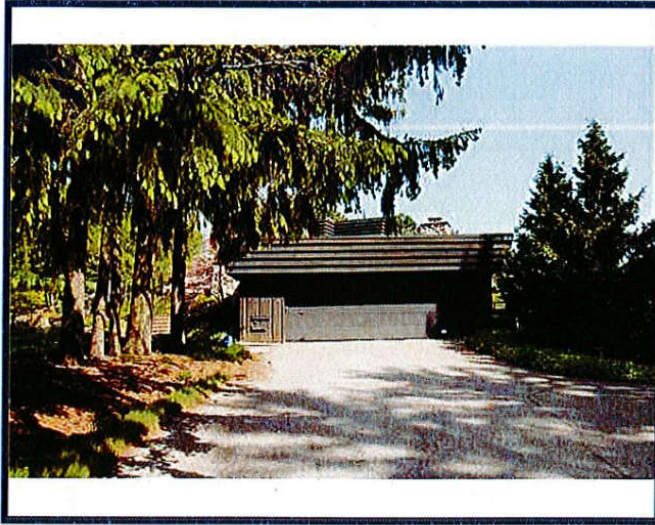
6/8/2012

Appendix 7
CMA Realty photos 2012



<http://www.cmarealty.ca/viewallphotos.php?id=439307&listingonly=true> 6/8/2012

Appendix 7
CMA Realty photos 2012



<http://www.cmarealty.ca/viewallphotos.php?id=439307&listingonly=true> 6/8/2012

Agent Login | Powered by YourOnlineAgents.com

[illegible]

March 14, 2022, updated July 21, 2022

Appendix 9

Qualifications of the Author

OWEN R. SCOTT, OALA, FCSLA, CAHP

Education:

Master of Landscape Architecture (MLA) University of Michigan, 1967

Bachelor of Science in Agriculture (Landscape Horticulture), (BSA) University of Guelph, 1965

Professional Experience:

1965 - present President, CHC Limited, Guelph, ON

1977 - 2018 President, The Landplan Collaborative Ltd., Guelph, ON

1977 - 1985 Director, The Pacific Landplan Collaborative Ltd., Vancouver and Nanaimo, BC

1975 - 1981 Editor and Publisher, *Landscape Architecture Canada*, Ariss, ON

1969 - 1981 Associate Professor, School of Landscape Architecture, University of Guelph

1975 - 1979 Director and Founding Principal, Ecological Services for Planning Limited, Guelph, ON

1964 - 1969 Landscape Architect, Project Planning Associates Limited, Toronto, ON

Historical Research, Heritage Planning and Conservation Experience and Expertise

Current Professional and Professional Heritage Associations Affiliations:

Member: Alliance for Historic Landscape Preservation (AHLP) - 1978 -

Member: Canadian Association of Heritage Professionals (CAHP) - 1987 -

Member: Ontario Association of Landscape Architects (OALA) - 1968 - (Emeritus 2016)

Member: Canadian Society of Landscape Architects (FCSLA) - 1969 - (Fellow 1977, Life Member 2016)

Community and Professional Society Service (Heritage):

Director: Canadian Association of Heritage Professionals (CAHP), 2002 - 2003

Member: Advisory Board, Architectural Conservancy of Ontario, 1980 - 2002

Member: City of Guelph Local Architectural Conservation Advisory Committee (LACAC), 1987 - 2000 (Chair 1988 - 1990)

Member: Advisory Council, Centre for Canadian Historical Horticultural Studies, 1985 - 1988

Professional Honours and Awards (Heritage):

Merit Award 2016 Canadian Association of Heritage Professionals Awards, City of Kitchener Cultural Heritage Landscapes

National Award 2016 Canadian Society of Landscape Architects (CSLA), City of Kitchener Cultural Heritage Landscapes

Mike Wagner Award 2013 Heritage Award - Breithaupt Block, Kitchener, ON

People's Choice Award 2012 Brampton Urban Design Awards, Peel Art Gallery, Museum and Archives, Brampton, ON

Award of Excellence 2012 Brampton Urban Design Awards, Peel Art Gallery, Museum and Archives, Brampton, ON

National Award 2009 Heritage Canada Foundation National Achievement, Alton Mill, Alton, ON

Award of Merit 2009 Canadian Association of Heritage Professionals Awards, Alton Mill, Alton, ON

Award 2007 Excellence in Urban Design Awards, Heritage, Old Quebec Street, City of Guelph, ON

Award 2001 Ontario Heritage Foundation Certificate of Achievement

Award 1998 Province of Ontario, Volunteer Award (10 year award)

Award 1994 Province of Ontario, Volunteer Award (5 year award)

Regional Merit 1990 CSLA Awards, Britannia School Farm Master Plan

National Honour 1990 CSLA Awards, Confederation Boulevard, Ottawa

Citation 1989 City of Mississauga Urban Design Awards, Britannia School Farm Master Plan

Honour Award 1987 *Canadian Architect*, Langdon Hall Landscape Restoration, Cambridge, ON

Citation 1986 *Progressive Architecture*, The Ceremonial Routes (Confederation Boulevard), Ottawa,

National Citation 1985 CSLA Awards, Tipperary Creek Heritage Conservation Area Master Plan, Saskatoon, SK

National Merit 1984 CSLA Awards, St. James Park Victorian Garden, Toronto, ON

Award 1982 Ontario Ministry of Municipal Affairs Ontario Renews Awards, Millside, Guelph, ON

Appendix 9

Qualifications of the Author

Selected Heritage Publications:

- Scott, Owen R., The Southern Ontario “Grid”, *ACORN* Vol XXVI-3, Summer 2001. *The Journal of the Architectural Conservancy of Ontario*.
- Scott, Owen R. *19th Century Gardens for the 20th and 21st Centuries*. Proceedings of “Conserving Ontario’s Landscapes” conference of the ACO, (April 1997). Architectural Conservancy of Ontario Inc., Toronto, 1998.
- Scott, Owen R. *Landscapes of Memories, A Guide for Conserving Historic Cemeteries*. (19 of 30 chapters) compiled and edited by Tamara Anson-Cartright, Ontario Ministry of Citizenship, Culture and Recreation, 1997.
- Scott, Owen R. Cemeteries: A Historical Perspective, *Newsletter, The Memorial Society of Guelph*, September 1993.
- Scott, Owen R. The Sound of the Double-bladed Axe, *Guelph and its Spring Festival*. edited by Gloria Dent and Leonard Conolly, The Edward Johnson Music Foundation, Guelph, 1992. 2 pp.
- Scott, Owen R. Woolwich Street Corridor, Guelph, *ACORN* Vol XVI-2, Fall 1991. Newsletter of the Architectural Conservancy of Ontario Inc. (ACO)
- Scott, Owen R. guest editor, *ACORN*, Vol. XIV-2, Summer 1989. Cultural Landscape Issue, Newsletter of the ACO.
- Scott, Owen R. Heritage Conservation Education, Heritage Landscape Conservation, *Momentum* 1989, Icomos Canada, Ottawa, p.31.
- Scott, Owen R. Cultivars, pavers and the historic landscape, *Historic Sites Supplies Handbook*. Ontario Museum Association, Toronto, 1989. 9 pp.
- Scott, Owen R. Landscape preservation - What is it? *Newsletter*, American Society of Landscape Architects - Ontario Chapter, vol. 4 no.3, 1987.
- Scott, Owen R. Tipperary Creek Conservation Area, Wanuskewin Heritage Park. *Landscape Architectural Review*, May 1986. pp. 5-9.
- Scott, Owen R. Victorian Landscape Gardening. Ontario Bicentennial History Conference, McMaster University, 1984.
- Scott, Owen R. Canada West Landscapes. *Fifth Annual Proceedings Niagara Peninsula History Conference (1983)*. 1983. 22 pp.
- Scott, Owen R. Utilizing History to Establish Cultural and Physical Identity in the Rural Landscape. *Landscape Planning*, Elsevier Scientific Press, Amsterdam, 1979. Vol. 6, No. 2, pp. 179-203.
- Scott, Owen R. Changing Rural Landscape in Southern Ontario. *Third Annual Proceedings Agricultural History of Ontario Seminar (1978)*. June 1979. 20 pp.
- Scott, Owen R., P. Grimwood, M. Watson. George Laing - Landscape Gardener, Hamilton, Canada West 1808-1871. *Bulletin, The Association for Preservation Technology*, Vol. IX, No. 3, 1977, 13 pp. (also published in *Landscape Architecture Canada*, Vol. 4, No. 1, 1978).
- Scott, Owen R. The Evaluation of the Upper Canadian Landscape. Department of Landscape Architecture, University of Manitoba. 1978. (Colour videotape).

Following is a **representative listing of some of the heritage consultations undertaken by Owen R. Scott** in his capacity as a principal of The Landplan Collaborative Ltd., and principal of CHC Limited.

Cultural Heritage Evaluation Reports & Heritage Impact Assessments - Bridges

- Adams Bridge (Structure S20) Cultural Heritage Evaluation Report & Heritage Impact Assessment, Southgate Township, ON
- Belanger Bridge Cultural Heritage Evaluation Report & Heritage Impact Assessment, Casey Township, ON
- Bridge #9-WG Cultural Heritage Evaluation Report & Heritage Impact Assessment, Township of Centre Wellington, ON
- Bridge #20 Cultural Heritage Evaluation Report & Heritage Impact Assessment, Blandford-Blenheim Township, ON
- Bridge #25 Cultural Heritage Evaluation Report & Heritage Impact Assessment, Blandford-Blenheim Township, ON
- Bridge Street Bridge Cultural Heritage Evaluation Report & Heritage Impact Assessment, Wilmot Township, ON
- Holland Mills Road Bridge Cultural Heritage Evaluation Report & Heritage Impact Assessment, Wilmot Township, ON
- Irvine Street (Watt) Bridge Cultural Heritage Evaluation Report & Heritage Impact Assessment, Township of Centre Wellington, ON
- Oxford-Waterloo Bridge Cultural Heritage Evaluation Report & Heritage Impact Assessment, Wilmot Township, ON
- Uno Park Road Bridge, Cultural Heritage Evaluation Report & Heritage Impact Assessment, Harley Township, ON

Heritage Master Plans and Landscape Plans

- Alton Mill Landscape, Caledon, ON
- Black Creek Pioneer Village Master Plan, Toronto, ON
- Britannia School Farm Master Plan, Peel Board of Education/Mississauga, ON

Appendix 9

Qualifications of the Author

- Confederation Boulevard (Sussex Drive) Urban Design, Site Plans, NCC/Ottawa, ON
- Doon Heritage Crossroads Master Plan and Site Plans, Region of Waterloo/Kitchener, ON
- Downtown Guelph Private Realm Improvements Manual, City of Guelph, ON
- Downtown Guelph Public Realm Plan, City of Guelph, ON
- Dundurn Castle Landscape Restoration Feasibility Study, City of Hamilton, ON
- Elam Martin Heritage Farmstead Master Plan, City of Waterloo, ON
- Exhibition Park Master Plan, City of Guelph, ON
- George Brown House Landscape Restoration, Toronto, ON
- *Grand River Corridor Conservation Plan*, GRCA/Regional Municipality of Waterloo, ON
- Greenwood Cemetery Master Plan, Owen Sound, ON
- Hamilton Unified Family Courthouse Landscape Restoration Plan, Hamilton, ON
- John Galt Park, City of Guelph, ON
- Judy LaMarsh Memorial Park Master Plan, NCC/Ottawa, ON
- Langdon Hall Gardens Restoration and Site Plans, Cambridge, ON
- London Psychiatric Hospital Cultural Heritage Stewardship Plan, London, ON
- McKay / Varley House Landscape Restoration Plan, Markham (Unionville), ON
- Museum of Natural Science/Magnet School 59/ Landscape Restoration and Site Plans, City of Buffalo, NY
- Muskoka Pioneer Village Master Plan, MNR/Huntsville, ON
- Peel Heritage Centre Adaptive Re-use, Landscape Design, Brampton, ON
- Phyllis Rawlinson Park Master Plan (winning design competition), Town of Richmond Hill, ON
- Prime Ministerial Precinct and Rideau Hall Master Plan, NCC/Ottawa, ON
- Queen/Picton Streets Streetscape Plans, Town of Niagara-on-the-Lake, ON
- Regional Heritage Centre Feasibility Study and Site Selection, Region of Waterloo, ON
- Rockway Gardens Master Plan, Kitchener Horticultural Society/City of Kitchener, ON
- St. George's Square, City of Guelph, ON
- St. James Cemetery Master Plan, Toronto, ON
- St. James Park Victorian Garden, City of Toronto, ON
- Tipperary Creek (Wanuskewin) Heritage Conservation Area Master Plan, Meewasin Valley Authority, Saskatoon, SK
- Whitehern Landscape Restoration Plan, Hamilton, ON
- Woodside National Historic Park Landscape Restoration, Parks Canada/Kitchener, ON

Cultural Heritage Evaluation Reports (CHER), Cultural Heritage Inventories and Cultural Heritage Landscape Evaluations

- Belfountain Area Heritage Inventory for Environmental Assessment, Peel Region, ON
- Chappell Estate / Riverside / Mississauga Public Garden Heritage Inventory, Mississauga, ON
- 8895 County Road 124 Cultural Heritage Opinion Report, Erin (Ospringe), ON
- County of Waterloo Courthouse Building Cultural Heritage Evaluation Report, Kitchener, ON
- Cruickston Park Farm & Cruickston Hall - Cultural Heritage Resources Study, Cambridge, ON
- Doon Valley Golf Course - Cultural Heritage and Archaeological Resources Inventory, Kitchener/Cambridge, ON
- Government of Ontario Light Rail Transit (GO-ALRT) Route Selection, Cultural and Natural Resources Inventory for Environmental Assessment, Hamilton/Burlington, ON
- Hancock Woodlands Cultural Heritage Assessment, City of Mississauga, ON
- Hespeler West Secondary Plan - Heritage Resources Assessment, City of Cambridge, ON
- Highway 400 to 404 Link Cultural Heritage Inventory for Environmental Assessment, Bradford, ON
- Highway 401 to 407 Links Cultural Heritage Inventory for Environmental Assessment, Pickering/Ajax/Whitby/Bowmanville, ON
- Homer Watson House Cultural Heritage Evaluation Report, Kitchener, ON
- Lakewood Golf Course Cultural Landscape Assessment, Tecumseh, ON
- Landfill Site Selection, Cultural Heritage Inventory for Environmental Assessment, Region of Halton, ON
- Niska Road Cultural Heritage Landscape Addendum, City of Guelph, ON
- 154 Ontario Street, Historical - Associative Evaluation, Guelph, ON
- 35 Sheldon Avenue North, Cultural Heritage Evaluation Report, Kitchener, ON
- 43 Sheldon Avenue North, Cultural Heritage Evaluation Report, Kitchener, ON
- Silvercreek (LaFarge Lands) Cultural Landscape Assessment, Guelph, ON
- South Kitchener Transportation Study, Heritage Resources Assessment, Region of Waterloo, ON
- 53 Surrey Street East and 41, 43, 45 Wyndham Street South Cultural Heritage Evaluation Guelph, ON
- Swift Current CPR Station Gardens condition report and feasibility study for rehabilitation/reuse, Swift Current, SK

Appendix 9

Qualifications of the Author

- University of Guelph, McNaughton Farm House, Cultural Heritage Resource Assessment, Puslinch Township, ON
- University of Guelph, Trent Institute Cultural Heritage Resource Assessment, Guelph, ON
- University of Guelph, 1 and 10 Trent Lane Cultural Heritage Resource Assessments, Guelph, ON
- 2007 Victoria Road South Heritage Evaluation, Guelph, ON
- Waterloo Valleylands Study, Heritage and Recreational Resources mapping and policies, Region of Waterloo
- 69 Woolwich Street (with references to 59, 63-67, 75 Woolwich Street) Cultural Heritage Evaluation Report, Guelph, ON

Cultural Heritage Resource Impact Assessments (CHRIA/CHIA/HIS/HIA) and Cultural Landscape Heritage Impact Statements

- 33 Arkell Road Heritage Impact Assessment, Guelph, ON
- 86 Arthur Street, Heritage Impact Assessment, Guelph, ON
- William Barber House, 5155 Mississauga Road , Heritage Impact Assessment, Mississauga, ON
- Barra Castle Heritage Impact Assessment, Kitchener, ON
- 72 Beaumont Crescent Heritage Impact Assessment, Guelph, ON
- Biltmore Hat Factory Heritage Impact Assessment, Guelph, ON
- 140 Blue Heron Ridge Heritage Impact Assessment, Cambridge, ON
- 25 Breithaupt Street Heritage Impact Assessment, Kitchener, ON
- 51 Breithaupt Street Heritage Impact Assessment, Kitchener, ON
- 215 Broadway Street Heritage Impact Statement, Mississauga, ON
- Cambridge Retirement Complex on the former Tiger Brand Lands, Heritage Impact Assessment, Cambridge, ON
- Cambridge Retirement Complex on the former Tiger Brand Lands, Heritage Impact Assessment Addendum, Cambridge, ON
- 27-31 Cambridge Street, Heritage Impact Assessment, Cambridge, ON
- 3075 Cawthra Road Heritage Impact Statement, Mississauga, ON
- 58 Church Street Heritage Impact Assessment, Churchville Heritage Conservation District, Brampton, ON
- City Centre Heritage Impact Assessment, Kitchener, ON
- 175 Cityview Drive Heritage Impact Assessment, Guelph, ON
- 12724 Coleraine Drive Cultural Heritage Impact Statement, Caledon (Bolton), ON
- 12880 Coleraine Drive Cultural Heritage Impact Statement, Caledon (Bolton), ON
- Cordingly House Heritage Impact Statement, Mississauga, ON
- 264 Crawley Road Heritage Impact Assessment (farmstead, house & barn), Guelph, ON
- 31-43 David Street (25 Joseph Street) Heritage Impact Assessment, Kitchener, ON
- 35 David Street (Phase II) Heritage Impact Assessment, Kitchener, ON
- 75 Dublin Street Heritage Impact Assessment, Guelph, ON
- 24, 26, 28 and 32 Dundas Street East Heritage Impact Statement, Mississauga, (Cooksville), ON
- 1261 Dundas Street South Heritage Impact Assessment, Cambridge, ON
- 172 - 178 Elizabeth Street Heritage Impact Assessment, Guelph, ON
- 19 Esandar Drive, Heritage Impact Assessment, Toronto, ON
- 70 Fountain Street Cultural Heritage Impact Assessment, Guelph, ON
- 14 Forbes Avenue Heritage Impact Assessment, Guelph, ON
- 369 Frederick Street Heritage Impact Assessment, Kitchener, ON
- 42 Front Street South Heritage Impact Assessment, Mississauga, ON
- Grey Silo Golf Course/Elam Martin Farmstead Heritage Impact Assessment, City of Waterloo, ON
- GRCA Lands, 748 Zeller Drive Heritage Impact Assessment Addendum, Kitchener, ON
- Hancock Woodlands Heritage Impact Statement, City of Mississauga, ON
- 132 Hart's Lane, Hart Farm Heritage Impact Assessment, Guelph, ON
- 9675, 9687, 9697 Keele Street Heritage Impact Assessment, City of Vaughan (Maple) ON
- 13165 Keele Street Cultural Heritage Resource Impact Assessment, King Township (King City), ON
- 151 King Street North Heritage Impact Assessment, Waterloo, ON
- Kip Co. Lands Developments Ltd. Cultural Heritage Resource Impact Assessment - Woodbridge Heritage Conservation District, City of Vaughan (Woodbridge) ON
- 20415 Leslie Street Heritage Impact Assessment, East Gwillimbury, ON
- 117 Liverpool Street Heritage Impact Assessment, Guelph, ON
- 36-46 Main Street Heritage Impact Assessment, Mississauga, ON
- 30 - 40 Margaret Avenue Heritage Impact Assessment, Kitchener, ON

Appendix 9

Qualifications of the Author

- 19 - 37 Mill Street Scoped Heritage Impact Assessment, Kitchener, ON
- 2610, 2620 and 2630 Mississauga Road, Cultural Landscape Heritage Impact Statement, Mississauga, ON
- 4067 Mississauga Road, Cultural Landscape Heritage Impact Statement, Mississauga, ON
- 1142 Mona Road, Heritage Impact Assessment, Mississauga, ON
- 1245 Mona Road, Heritage Impact Statement, Mississauga, ON
- 15 Mont Street, Heritage Impact Assessment, Guelph, ON
- Proposed Region of Waterloo Multimodal Hub at 16 Victoria Street North, 50 & 60 Victoria Street North, and 520 & 510 King Street West, Heritage Study and Heritage Impact Assessment, Kitchener, ON
- 6671 Ninth Line Heritage Impact Statement, Cordingley House Restoration & Renovation, Mississauga, ON
- 266-280 Northumberland Street (The Gore) Heritage Impact Assessment, North Dumfries (Ayr), ON
- 324 Old Huron Road Heritage Impact Assessment, Kitchener, ON
- 40 Queen Street South Heritage Impact Statement, Mississauga, (Streetsville), ON
- Rockway Holdings Limited Lands north of Fairway Road Extension Heritage Impact Assessment, Kitchener, ON
- 259 St. Andrew Street East Cultural Heritage Assessment, Fergus, ON
- 35 Sheldon Avenue, Heritage Impact Assessment, Kitchener, ON
- 43 Sheldon Avenue, Heritage Impact Assessment, Kitchener, ON
- 2300 Speakman Drive Heritage Impact Assessment, Mississauga, ON
- 10431 The Gore Road Heritage Impact Assessment, Brampton, ON
- Thorny-Brae Heritage Impact Statement, Mississauga, ON
- 7 Town Crier Lane, Heritage Impact Assessment, Markham, ON
- University of Guelph, 3 - 7 Gordon Street Houses, Heritage Impact Assessment, Guelph, ON
- University of Guelph, Harrison House, Heritage Impact Assessment, Guelph, ON
- Victoria Park Proposed Washroom Cultural Heritage Impact Assessment, Kitchener, ON
- 927 Victoria Road South (barn) Heritage Impact Assessment, Guelph, ON
- 272-274 Victoria Street Heritage Impact Assessment, Mississauga, ON
- 26 - 32 Water Street North Heritage Impact Assessment, Cambridge (Galt), ON
- Winzen Developments Heritage Impact Assessment, Cambridge, ON
- 248-260 Woodbridge Avenue Cultural Heritage Resource Impact Assessment and Heritage Conservation District Conformity Report, Woodbridge Heritage Conservation District, City of Vaughan (Woodbridge)
- 35 Wright Street Cultural Heritage Resource Impact Assessment, Richmond Hill, ON
- 1123 York Road Heritage Impact Assessment, Guelph, ON
- 14288 Yonge Street, Heritage Impact Assessment, Aurora, ON

Heritage Conservation Plans

- William Barber House, 5155 Mississauga Road, Heritage Conservation Plan, Mississauga, ON
- 51 Breithaupt Street Heritage Conservation Plan, Kitchener, ON
- Hamilton Psychiatric Hospital Conservation Plan, for Infrastructure Ontario, Hamilton, ON
- Harrop Barn Heritage Conservation Plan, Milton, ON
- 120 Huron Street Conservation Plan, Guelph, ON
- 324 Old Huron Road Conservation Plan, Kitchener, ON
- Sixth Line Cultural Heritage Landscape Conservation Plan, Oakville, ON
- 264 Woolwich Street Heritage Conservation Plan, Guelph, ON
- 14288 Yonge Street Heritage Conservation Plan, Aurora, ON
- 1123 York Road Heritage Conservation Plan, Guelph, ON

Heritage Conservation District Studies and Plans

- Downtown Whitby Heritage Conservation District Study and Plan, Town of Whitby, ON
- MacGregor/Albert Heritage Conservation District Study and Plan, City of Waterloo, ON
- Queen Street East Heritage Conservation District Study, Toronto, ON
- University of Toronto & Queen's Park Heritage Conservation District Study, City of Toronto, ON

Cultural Heritage Landscape Inventories/Studies

- Cultural Heritage Landscape Study, City of Kitchener, ON
- Cultural Heritage Landscape Inventory, City of Mississauga, ON
- Cultural Heritage Resources Scoping Study, Township of Centre Wellington, ON

Appendix 9

Qualifications of the Author

Peer Reviews

- Acton Quarry Cultural Heritage Landscape & Built Heritage Study & Assessment Peer Review, Acton, ON
- Belvedere Terrace - Peer Review, Assessment of Proposals for Heritage Property, Parry Sound, ON
- Forbes Estate Heritage Impact Assessment Peer Review, Cambridge (Hespeler), ON
- Heritage Square Heritage Impact Assessment Peer Review for Township of Centre Wellington (Fergus), ON
- Little Folks Heritage Impact Assessment Peer Review for Township of Centre Wellington (Elora), ON
- Potter Foundry and the Elora South Condos Heritage Impact Assessment Peer Review for Township of Centre Wellington (Elora), ON
- 558 Welbanks Road, Quinte's Isle, miscellaneous heritage assessment documents, Prince Edward County, ON

Expert Witness Experience

- Oelbaum Ontario Municipal Board Hearing, Eramosa Township, ON, 1988
- Roselawn Centre Conservation Review Board Hearing, Port Colborne, ON, 1993
- Halton Landfill, Joint Environmental Assessment Act and Environmental Protection Act Board Hearing, 1994
- OPA 129 Ontario Municipal Board Hearing, Richmond Hill, ON, 1996
- Diamond Property Ontario Municipal Board Hearing, Aurora, ON, 1998
- Harbour View Investments Ontario Municipal Board Hearing, Town of Caledon, ON, 1998
- Aurora South Landowners Ontario Municipal Board Hearing, Aurora, ON, 2000
- Ballycroy Golf Course Ontario Municipal Board Hearing, Palgrave, ON, 2002
- Doon Valley Golf Course Ontario Municipal Board Hearing, Cambridge, ON, 2002
- Maple Grove Community Ontario Municipal Board Hearing, North York, ON, 2002
- Maryvale Crescent Ontario Municipal Board Hearing, Richmond Hill, ON, 2003
- LaFarge Lands Ontario Municipal Board Mediation, Guelph, ON, 2007
- 255 Geddes Street, Elora, ON, heritage opinion evidence - Ontario Superior Court of Justice, 2010
- Downey Trail Ontario Municipal Board Hearing, Guelph, ON, 2010
- Wilson Farmhouse Conservation Review Board Hearing, Guelph, ON, 2014
- 85 Victoria Street, Churchville Heritage Conservation District, Ontario Municipal Board Hearing, Brampton, ON, 2016
- Haylock / Youngblood Development OMB Mediation Hearing, Centre Wellington, ON, 2018
- Riverbank Drive LPAT Mediation Hearing, Cambridge, ON, 2019
- Skydevco Ontario Land Tribunal Hearing, 70 Fountain Street, Guelph, ON, 2022

