

OBC DATA MATRIX: PART 9 - HOUSING AND SMALL BUILDINGS

CONSULTANT:	JOHN MACDONALD ARCHITECT INC. 195 King Street West, Suite 202 Kitchener, ON, N2G 1B1 p: 519-579-1700 e: info@johnmacdonaldarchitect.ca				<div>Preliminary</div> <div></div>				
CONTACT:	John MacDonald, Architect Matthew Muller, Project Leader								
PROJECT NAME:	Multi-Residential Renovation								
ADDRESS/LOCATION:	28 & 60 Ellen Street East, and 115 Lancaster Street East Kitchener, Ontario, N2H 1M8								
DATE:	August 11, 2022				Seal & Signature				
9.00 BUILDING CODE VERSION	O.Reg. 332/12		LAST AMENDMENT		O.Reg. 191/14		OBC REF. [1]		
9.01 PROJECT TYPE	Renovations and addition to an existing multiple dwelling building						[A] 1.1.2.		
9.02 OCCUPANCY CLASSIFICATION	OCCUPANCY		USE		9.10.2.				
	Group C		Residential						
	-		-						
	-		-						
9.03 SUPERIMPOSED MAJOR OCCUPANCIES	No		N/A		9.10.2.3.				
9.04 BUILDING AREA (m2)	DESCRIPTION		EXISTING		NEW		TOTAL		
	Multiple Dwelling Building		139.40 sq.m.		69.68 sq.m.		209.08 sq.m.		
	-		-		-		-		
	TOTAL		139.40 sq.m.		69.68 sq.m.		209.08 sq.m.		
9.05 GROSS AREA (m2)	DESCRIPTION		EXISTING		NEW		TOTAL		
	Ground Floor		139.40 sq.m.		69.68 sq.m.		209.08 sq.m.		
	2nd Floor		124.36 sq.m.		69.68 sq.m.		194.04 sq.m.		
	3rd Floor		110.57 sq.m.		56.74 sq.m.		167.31 sq.m.		
	TOTAL		374.33 sq.m.		196.1 sq.m.		570.43 sq.m.		
9.06 MEZZANINE AREA (m2)	DESCRIPTION		EXISTING		NEW		TOTAL		
	N/A		none existing		none proposed		0 sq.m.		
	-		-		-		-		
	TOTAL		0 sq.m.		0 sq.m.		0 sq.m.		
9.07 BUILDING HEIGHT	STOREYS ABOVE GRADE		3 (three)		(m) ABOVE GRADE		approx. 10 m		
	STOREYS BELOW GRADE		1 (one)						
9.08 NO. OF STREETS/FIRE FIGHTER ACCESS	2 (two), as existing, no change						9.10.20.		
9.09 SPRINKLER SYSTEM	REQUIRED?	No	PROVIDED?	No	DESCRIBE	N/A	9.10.8.2.-4.		
9.10 FIRE ALARM SYSTEM	REQUIRED?	Yes	PROVIDED?	Yes	TYPE	-	9.10.18.		
9.11 WATER SERVICE/SUPPLY ADEQUATE	No. New Service Proposed. See also Civil Documents								
9.12 CONSTRUCTION TYPE	RESTRICTIONS	Combustible Permitted		HEAVY TIMBER CONSTRUCTION		9.10.6.			
	ACTUAL	Combustible		N/A					
9.13 POST-DISASTER BUILDING							[A] 1.1.2.2.(2)		
9.14 OCCUPANT LOAD	FLOOR LEVEL/AREA		OCCUPANCY TYPE		BASED ON		OCCUPANT LOAD		
	Lower Floor		C		3.1.17.1(1)(b)		see note 1		
	Ground Floor		C		3.1.17.1(1)(b)		see note 1		
	2nd Floor		C		3.1.17.1(1)(b)		see note 1		
	3rd Floor		C		3.1.17.1(1)(b)		see note 1		
	TOTAL						see note 1		
9.15 BARRIER-FREE DESIGN	Yes		15% of Total Units to be accessible (12x0.15=1.8=2). Units M1 & M2 accessible				9.5.2.		
9.16 HAZARDOUS SUBSTANCES	No		None that Owner or Consultant are aware of at this time.				9.10.1.3.		
9.17 REQUIRED FIRE RESISTANCE RATINGS	HORIZONTAL ASSEMBLY		F.R.R. (H)		SUPPORTING ASSEMBLY (H)		9.10.8.		
	FLOORS EXCEPT CRAWLSPACE		45		as per 9.10.8.1				
	MEZZANINE		N/A		No mezzanines existing or proposed				
	ROOF		-		Not required for Group C Occupancies				
9.18 SPATIAL SEPARATION	WALL	AREA EBF (m2)	L.D. (m)	% AREA OF U.P.	REQ'D. F.R.R. (H)	CONSTRUCTION TYPE	CLADDING TYPE	9.10.14.	
	North	160m2	varies	to suit L.D.	1.0 hr.	Combustible	Non-Combustible		
	East	-	> 10.0m	100%	N/A	Combustible	Comb. Permitted	See Note 2	
	South	-	> 16.0m	100%	N/A	Combustible	Comb. Permitted	See Note 2	
	West	-	> 12.0m	100%	N/A	Combustible	Comb. Permitted	See Note 2	
9.19 PLUMBING FIXTURE REQUIREMENTS	RATIO OF MALE:FEMALE = 50:50 EXCEPT AS NOTED OTHERWISE						9.31. & 3.7.4.		
	FLOOR LEVEL/ AREA	OCCUPANT LOAD		OBC SENTENCE		FIXTURES REQUIRED	FIXTURES PROVIDED		
	See Note 3	Each Unit		9.31.4.		1 per Unit	1 per Unit		
	-	-		-		-	-		
	-	-		-		-	-		
9.20 ENERGY EFFICIENCY NONRESIDENTIAL	COMPLIANCE OPTION:		Table 3.1.1.11.(IP), for Additionst to Existing Buildings				12.2.1.		
	PROJECT DESIGN CONDITIONS		For Kitchener = 4200 deg. days below 18°C						
	CLIMATIC ZONE		Zone 1				SB12, 3.1.1.1.(1)(a)		
	FENESTRATION	GROSS ABOVE GRADE WALL OR ROOF AREA (m2)			FENESTRATION GROSS AREA (m2)	FENESTRATION RATIO			
	VERTICAL (W+D)	-	262m2			38m2	14.5%		
	SKYLIGHTS	N/A	No skylights proposed			N/A	N/A		
	SPACE HEATING FUEL				Electric air sourced heat pump units				
	HEATING EQUIPMENT EFFICIENCY				To be determined.				
	OTHER CONDITIONS				On-demand electric hot water heaters				
	COMPLIANCE PACKAGE				To be determined.				
	9.21 NOTES	1. Occupancy of each unit is based on 2 (two) persons per sleeping room as per OBC3.1.17.1.(1)(b)							
2. L.D. is measured to centreline of Street. Percentage of Openings based on this distance.									
3. Plumbing Facilities are provided to each Dwelling Unit in accordance with OBC 9.31.4.									
4. Approx.. Based on addition exterior wall area only. Area of fenestration ≤40%, therefore okay.									
Ontario Building Code Data Matrix, Part 9 Ontario Association of Architects		1 ALL REFERENCES ARE TO DIV. B OF THE OBC UNLESS PRECEDED BY [A] FOR DIV. A OR [C] FOR DIV. C							

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SPA	Site Plan Approval	Aug. 11 '22	MM
No.	Issued for Purpose	Date	Initial

Scale (for 11x17" printing) Multi-Residential Renovation
N/A 115 Lancaster Street

Approved _____ Drawing Title
Checked MM
Drawn MAM
OBC Matrix - Part 9

Project

Dwg. No.
A001

OBC DATA MATRIX: PART 11 - RENOVATION OF EXISTING BUILDING

CONSULTANT:

CONTACT:

PROJECT NAME:

ADDRESS/LOCATION:

DATE:

JOHN MACDONALD ARCHITECT INC.
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John MacDonald, Architect
Matthew Muller, Project Leader

Multi-Residential Renovation

28 & 60 Ellen Street East, and 115 Lancaster Street East
Kitchener, Ontario, N2H 1M8

August 11, 2022

Preliminary

Seal & Signature

11.00 BUILDING CODE VERSION	O.Reg. 332/12	LAST AMENDMENT		O.Reg. 191/14	OBC REF. [1]	
11.01 PROJECT TYPE	APPLICABLE PART	DESCRIPTION			[A] 1.1.2.	
	Part 9	Renovations and addition to an existing multiple dwelling building				
11.02 MAJOR OCCUPANCY CLASSIFICATION	OCCUPANCY	GROUP/DIVISION	DESCRIPTION OF USE		3.1.2.1.(1)	
	EXISTING	Group C	Residential			
	PROPOSED	Group C	Residential			
11.03 SUPERIMPOSED MAJOR OCCUPANCIES	YES / NO?	DESCRIPTION			3.2.2.7.	
	No	N/A				
11.04 BUILDING AREA (m2)	DESCRIPTION		EXISTING	NEW	TOTAL	[A] 1.4.1.2.
	Multiple Dwelling Building		139.40 sq.m.	69.68 sq.m.	209.08 sq.m.	
	-		-	-	-	
	-		-	-	-	
	TOTAL		139.40 sq.m.	69.68 sq.m.	209.08 sq.m.	
11.05 BUILDING HEIGHT	NO. OF STOREYS ABOVE GRADE		3 (three) (m) ABOVE GRADE		approx. 10 m	[A] 1.4.1.2. & 3.2.1.1.
	NO. OF STOREYS BELOW GRADE		1 (one)		-	
11.06 # OF STREETS/FIREFIGHTER ACCESS	2 (two), as existing, no change				3.2.2.10. & 3.2.5.	
11.07 BUILDING SIZE	Small (less than 600 sq.m. / 3 storeys)				T.11.2.1.1.B.-N.	
11.08 EXISTING BUILDING CLASSIFICATION	DESCRIPTION		EXISTING	NEW	NOTES	
	CHANGE IN MAJOR OCCUPANCY		C	C	no change	11.2.1.1.
	CONSTRUCTION INDEX (C.I.)		2	3 reqd, 4 proposed	see note 1	T.11.2.1.1.A.
	HAZARD INDEX (H.I.)		3	3	no change	T.11.2.1.1.B.-N.
	IMPORTANCE CATEGORY		Normal	Normal	no change	
11.09 RENOVATION TYPE	BASIC / EXTENSIVE RENOVATION?		Extensive Renovation		11.3.3.1. & 11.3.3.2.	
11.10 OCCUPANT LOAD	FLOOR LEVEL/AREA (LIST)		OCCUPANCY TYPE	BASED ON	OCCUPANT LOAD	3.1.17.
	Lower Floor Area		C, Units B1 & B4	2 per bedroom	B1 = 2, B4 = 2	New Units
	Ground Floor Area		C, Units M1 & M2	2 per bedroom	M1 = 4, M2 = 2	No Change
	2nd Floor Area		C, Units U1 & U2	2 per bedroom	U1 = 4, U2 = 2	No Change
	3rd Floor Area		C, Units A1 & A2	2 per bedroom	A1 = 2, A2 = 2	No Change
	TOTAL		Varies	Each Dwelling Unit	Each Dwelling Unit	
11.11 PLUMBING FIXTURE REQUIREMENTS	RATIO OF MALE:FEMALE = 50:50 EXCEPT AS NOTED OTHERWISE					3.7.4.
	FLOOR AREAS	OCCUPANT LOAD	OBC REFERENCE	FIXTURES REQUIRED	FIXTURES PROVIDED	
	See Note 2	Each Unit	9.31.4.	1 per Unit	1 per Unit	
11.12 BARRIER-FREE DESIGN	Existing is not accessible. Units M1 and M2 to become accessible units for the development.				11.3.3.2.(2)	
11.13 REDUCTION IN PERFORMANCE LEVEL	STRUCTURAL				11.4.2.1.	
	No reduction in performance level. Extension to be constructed to other Parts.					
	INCREASE IN OCCUPANT LOAD				11.4.2.2.	
	Exist. basement is regularly unoccupied except for use of shared laundry facilities. Renovations proposed new units. Performance of Lower Level is reduced due to increase in occupant load.					
	CHANGE OF MAJOR OCCUPANCY				11.4.2.3.	
	No change in occupancy type, no reduction in performance level.					
	PLUMBING				11.4.2.4.	
	Extension and alteration to existing plumbing system.					
	SEWAGE SYSTEM				11.4.2.5.	
	No sewage system existing or proposed, no reduction in performance level.					
11.14 COMPENSATING CONSTRUCTION	STRUCTURAL				11.4.3.2.	
	Alterations to existing structure to be designed to other Parts					
	INCREASE IN OCCUPANT LOAD				11.4.3.3.	
	Lower Level Floor Slab to be designed to suit occupant load and new use.					
	CHANGE OF MAJOR OCCUPANCY				11.4.3.4.	
	N/A					
	PLUMBING				11.4.3.5.	
	New to Code					
11.15 COMPLIANCE ALTERNATIVES	SEWAGE SYSTEM				11.4.3.6.	
	N/A					
	NUMBER	DESCRIPTION			11.5.1.1.	
	TBD	To be determined for Permit document & application stage.				
	Note	A fire alarm system is required due to number of sleeping accommodations.				
Note	Existing fire escape is proposed to remain, for 2nd exit from attic level.					
11.16 NOTES	Note	Exist. upper level units have 1 exit, and direct access to exterior balconies for their 2nd means of egress. NO change proposed. Exist. porches are proposed to be rebuilt, but due to heritage considerations do not have stairs to grade.			11.5.1.1.	
	1. Floors over basement shall be construction as fire separations having a f.r.r. of 45 min. All other Floors shall be construction as fire separations having a f.r.r. of 45 min. As such, although required C.I. is 3, actual construction shall have a C.I. of 4 to exceed minimum requirements.					
	2. Plumbing Facilities are provided to each Dwelling Unit in accordance with OBC 9.31.4.					
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Site Plan Approval

Aug. 11 '22

MM

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Date

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Approved

Checked MM

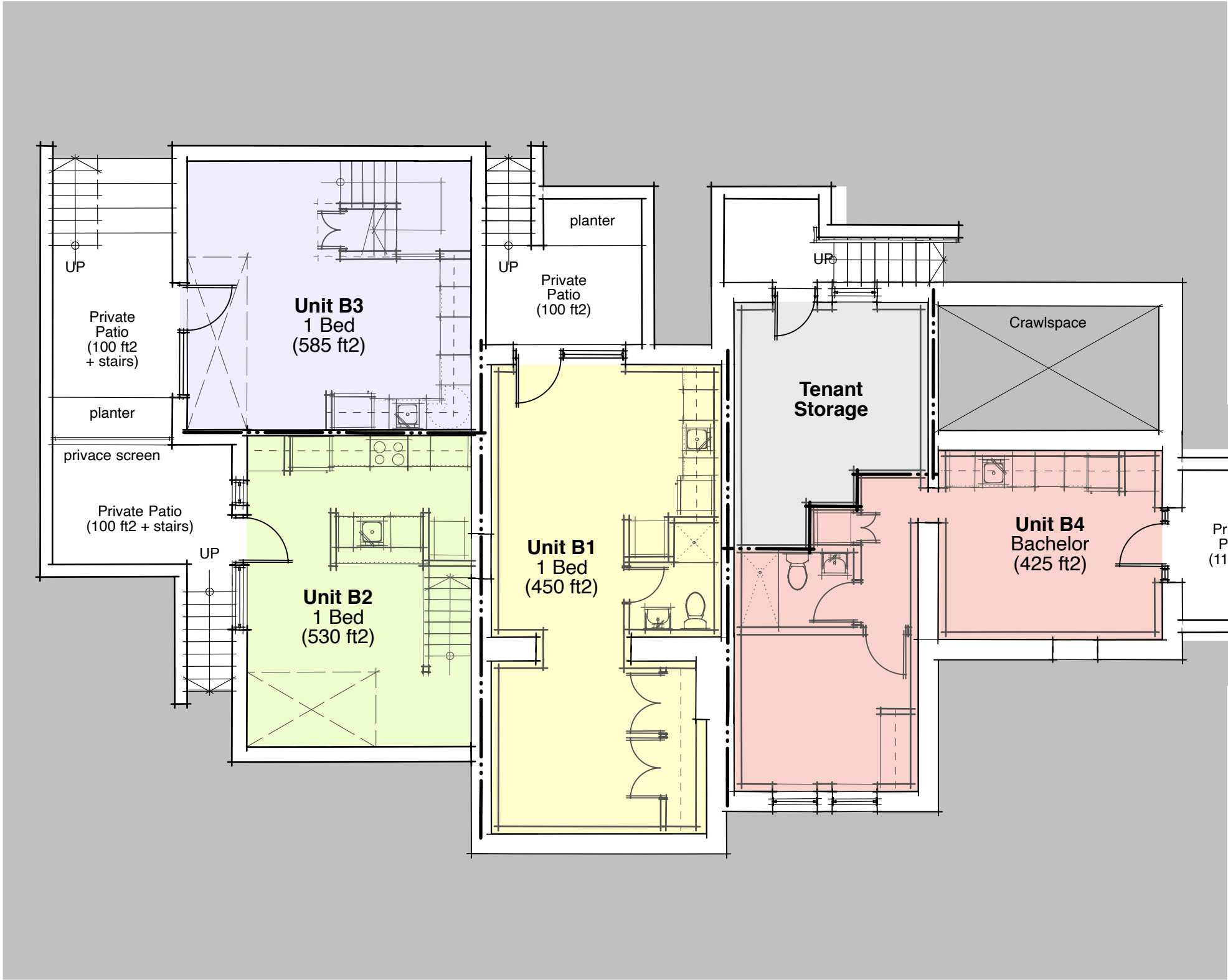
Drawn MAM

Multi-Residential Renovation
115 Lancaster Street

Drawing Title
OBC Matrix - Part 11

Project

Dwg. No.
A002



Summary of Development:

- Common Elements
- Unit B1 - 1 Bedroom + 1 Bath = 450 ft2 (New)
- Unit B2 - 1 Bedroom + 1 Bath = 530 ft2 (New)
- Unit B3 - 1 Bedroom + 1 Bath = 585 ft2 (New)
- Unit B4 - 1 Bedroom + 1 Bath = 425 ft2 (New)
- BF Unit M1 - 2 Bedroom + 2 Bath = 830 ft2 (Reno)
- BF Unit M2 - 1 Bedroom + 1 Bath = 420 ft2 (Reno)
- Unit U1 - 2 Bedroom + 1 Bath = 595 ft2 (Reno)



- Unit U2 - 1 Bedroom + 1 Bath = 425 ft2 (Reno)
- Unit U3 - 1 Bedroom + 1.5 Bath = 500 ft2 (New)
- Unit U4 - 1 Bedroom + 1 Bath = 570 ft2 (New)
- Unit A1 - 1 Bedroom + 1 Bath = 440 ft2 (Reno)
- Unit A2 - 1 Bedroom + 1 Bath = 550 ft2 (Reno)

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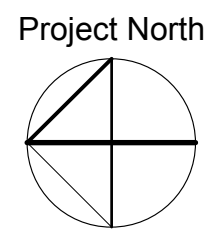
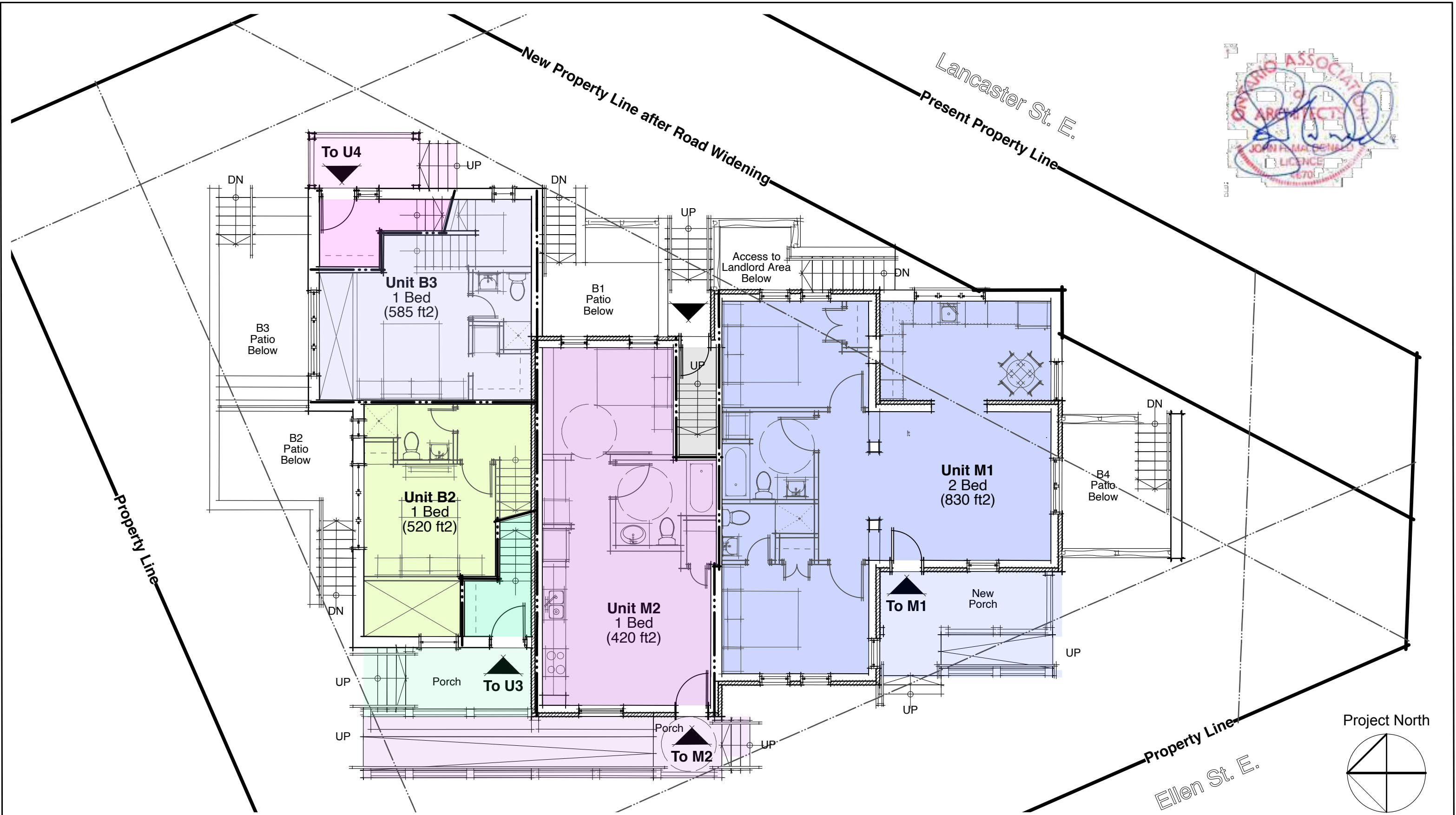
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Checked	MM
Drawn	MM

Multi-Residential Renovation
115 Lancaster Street

Drawing Title
Basement Floor Plan, Unit Key Plan

Project

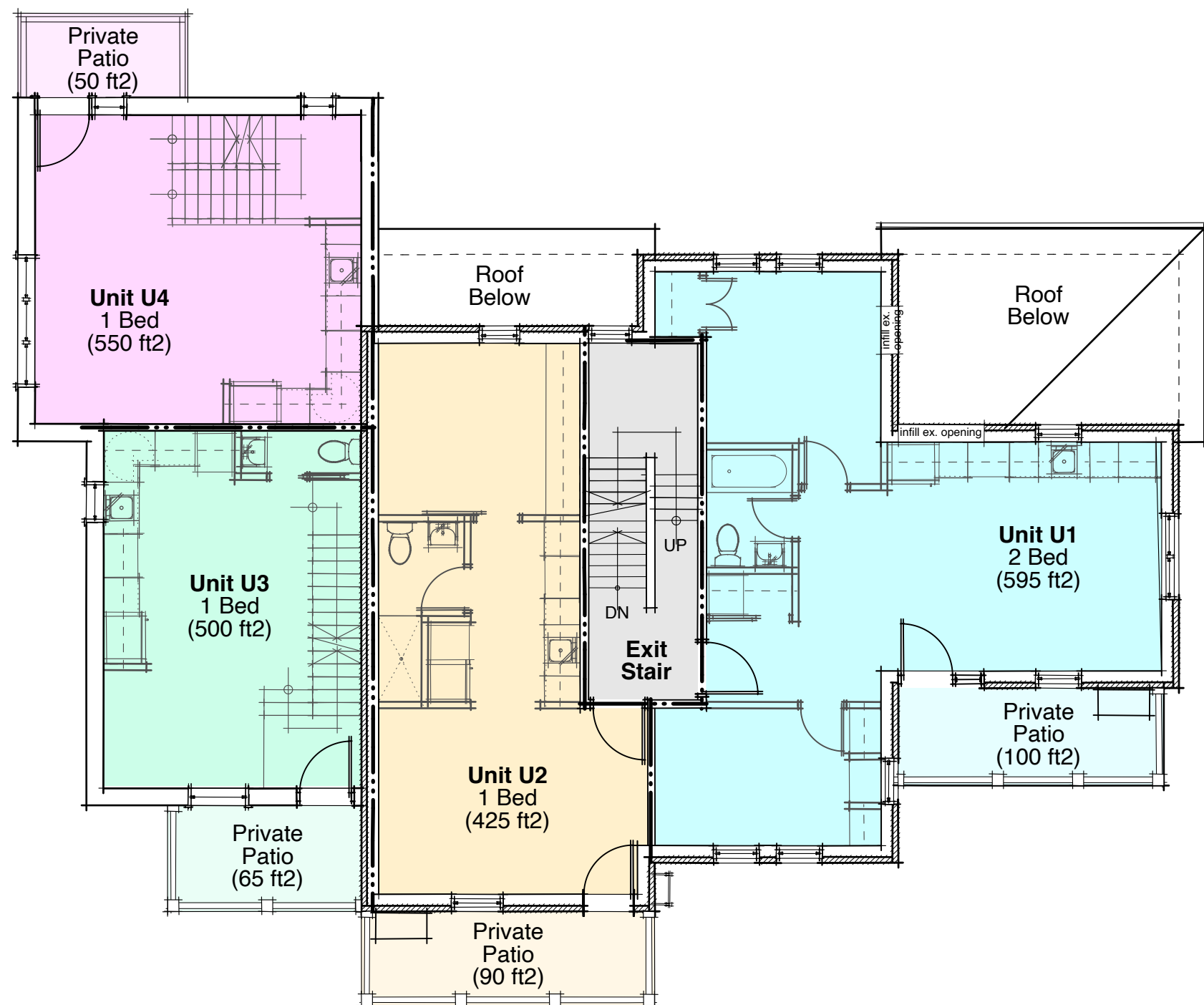
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A210



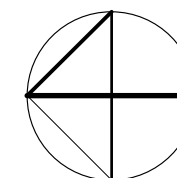
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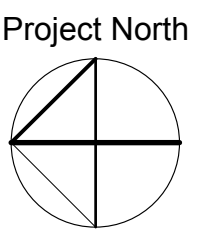
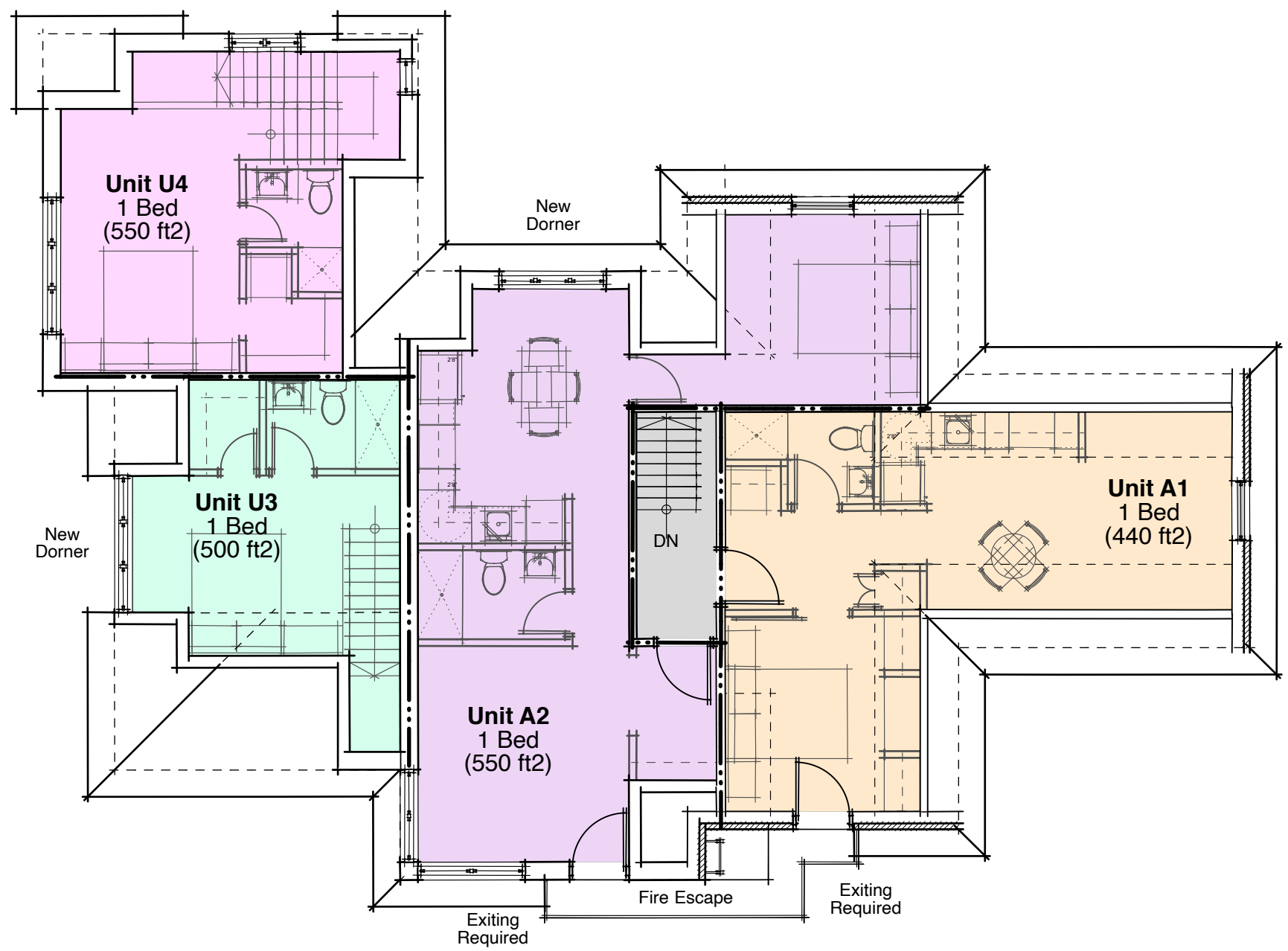
Project North



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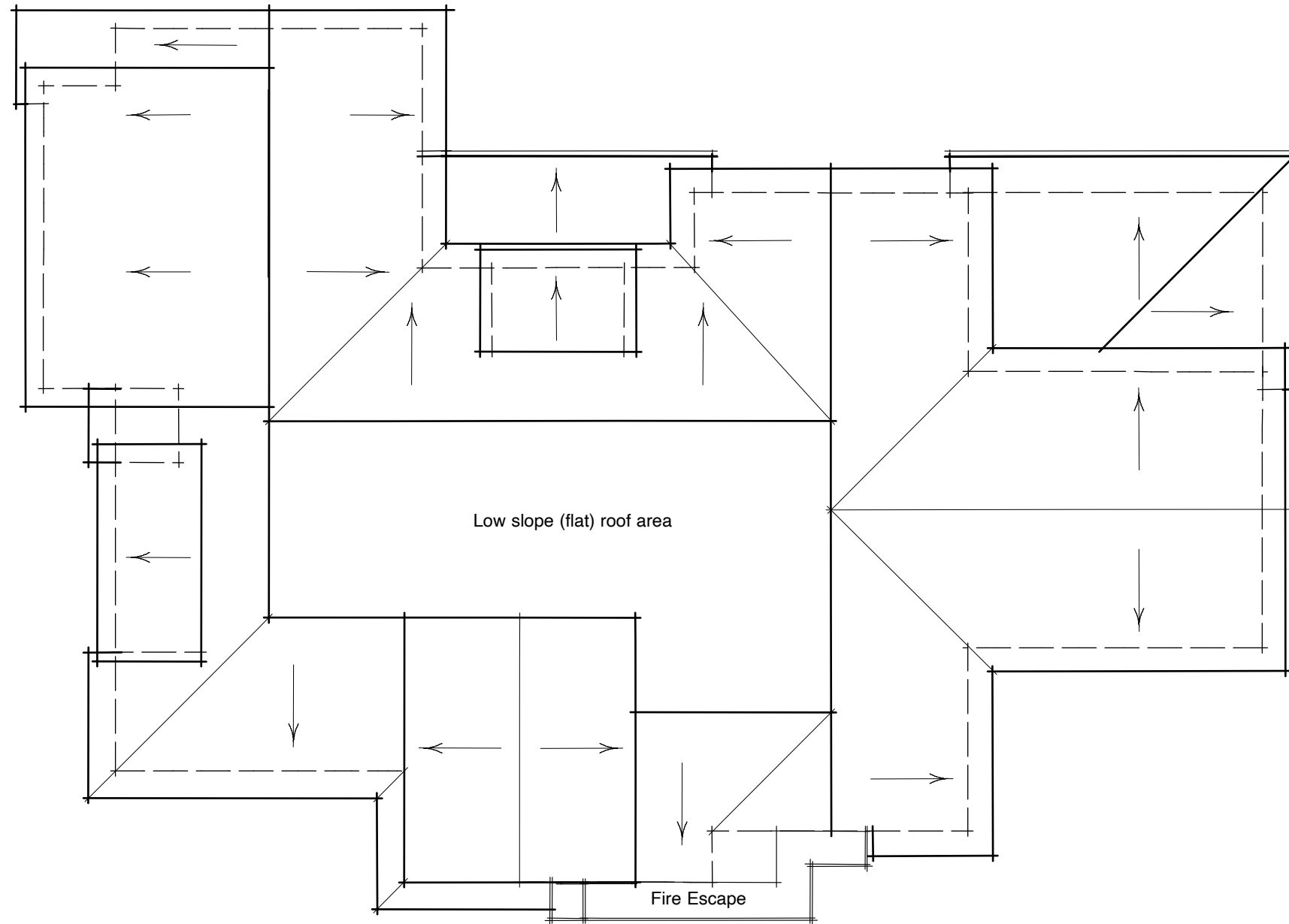
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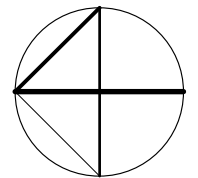
Multi-Residential Renovation
115 Lancaster Street

Drawing Title
3rd Floor Plan, Unit Key Plan

Project
Dwg. No.
A213



Project North



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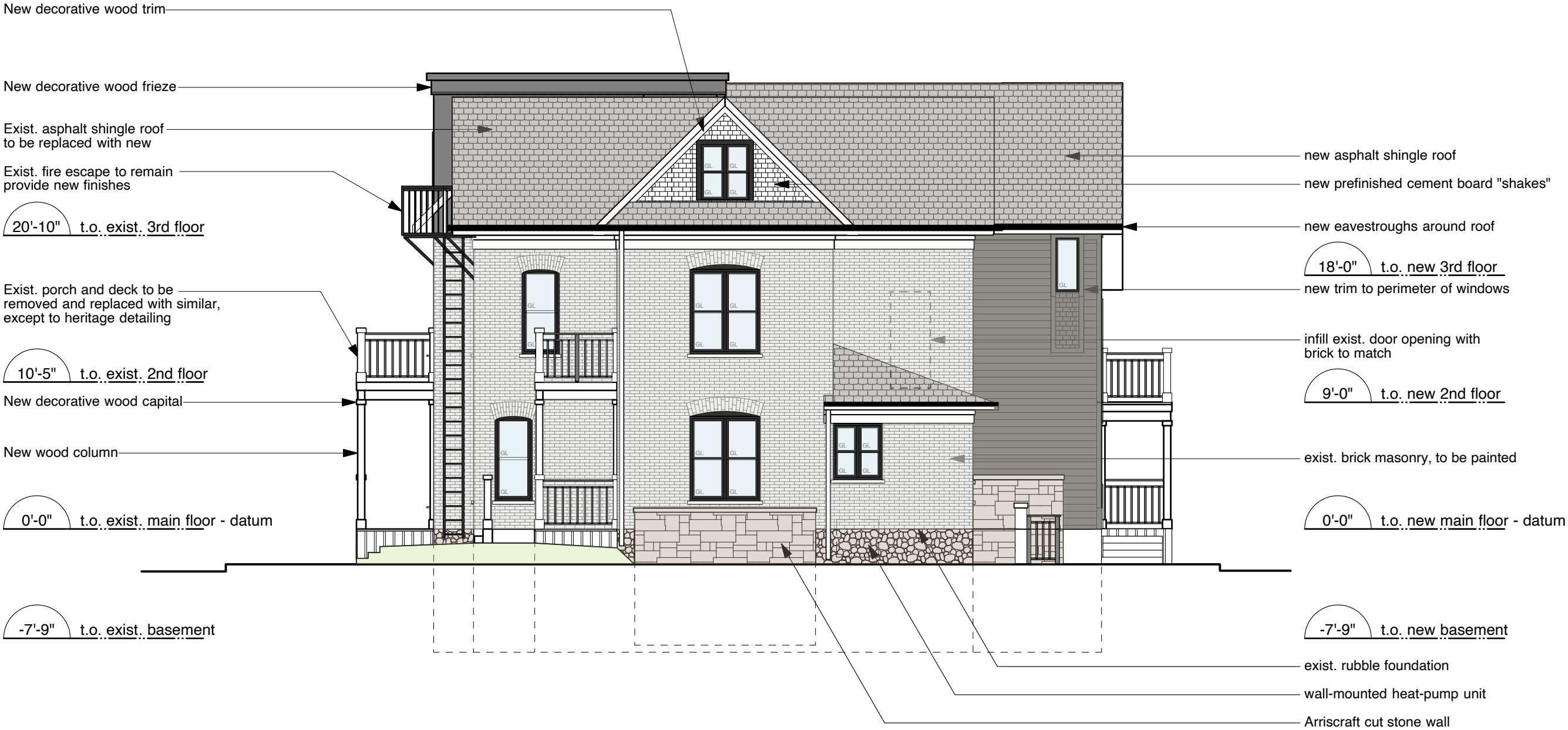
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Multi-Residential Renovation
115 Lancaster Street

Drawing Title
Roof Plan

Project
Dwg. No.
A214



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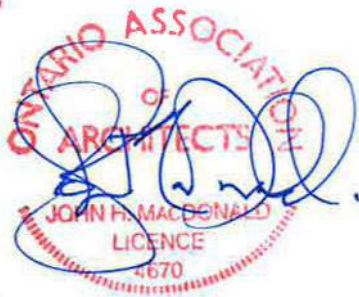
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115 Lancaster Street
Kitchener, ON N2L 3P8

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1/8" to 1'-0"

Approved
Checked MM
Drawn AY

Multi-Residential
Renovations

Drawing Title
Proposed South Elevation

John MacDonald Architect

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info@johnmacdonaldarchitect.ca

Project

Dwg. No.

A301

inc

ON N2G 1B1
(519) 579 1700



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115 Lancaster Street
Kitchener, ON N2L 3P8

Scale (for 11x17" printing)

1/8" to 1'-0"

Approved

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Drawn AY

Multi-Residential
Renovations

Drawing Title
Proposed East Elevation

John MacDonald Architect

195 King Street West, Suite 202, Kitchener
info@johnmacdonaldarchitect.ca

Project

Dwg. No.

A302

inc

ON N2G 1B1
(519) 579 1700



115 Lancaster Street
Kitchener, ON N2L 3P8

Multi-Residential Renovations

Project

Scale (for 11x17" printing)

Drawing Title

Dwg. No.

1/8" to 1'-0"

Proposed North Elevation

A303

Approved
Checked MM
Drawn AY

John MacDonald Architect

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inc

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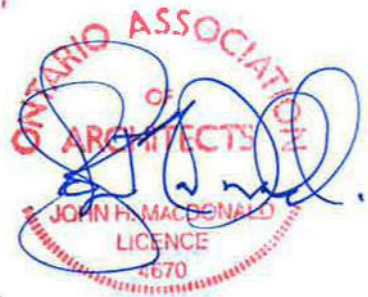
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115 Lancaster Street
Kitchener, ON N2L 3P8

Scale (for 11x17" printing)

1/8" to 1'-0"

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Multi-Residential
Renovations

Drawing Title
Proposed West Elevation

John MacDonald Architect

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Project

Dwg. No.

A304

inc

ON N2G 1B1
(519) 579 1700



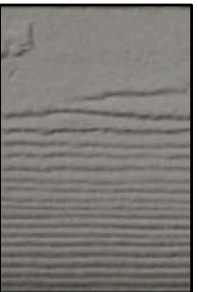
Asphalt Shingles to Roofs:
Certaineed, Landmark Pro
"Weathered Wood"



Prefinished Steel:
- steel roof to dormers; and
- siding and trim to dormers

Agway Metals or similar
"Charcoal"

Dormer Windows "Black"



New Siding to Addition
James Hardie Siding
"Aged Pewter"



New Trim to Addition & Detailing
James Hardie Siding
"Arctic White"



New "Shingles"
- to complete addition;
- to Detailing between
new windows; and
- within gables
of existing building

James Hardie
"Arctic White"

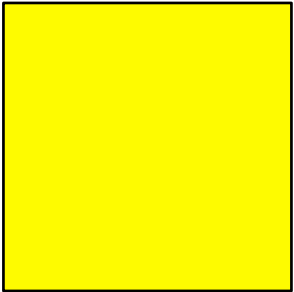


Porch Soffits & Shakes:
Stained Wood similar to Frasier
Wood Siding "Ginger"

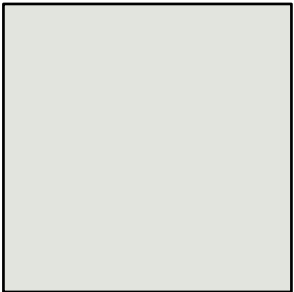


New "Shingles"
- to Detailing between
new windows; and
- within gables
of addition

James Hardie
"Aged Pewter"



Accent Paint to Entrances:
Benjamin Moore
2158-20 "Venetian Gold"



Primary Paint 'PT-1':
Benjamin Moore OC-55
"Paper White"

New asphalt shingles

New fascia trim 'PT2'

New cedar shake siding

New eaves 'Black'

Exist. frieze,
new paint 'PT-2'

Exist. brick masonry,
new paint 'PT-1'

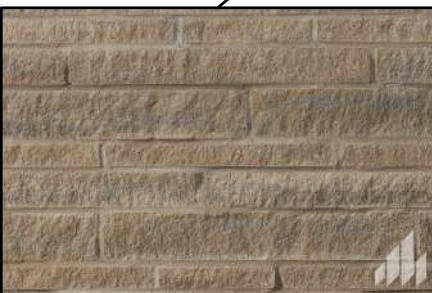
New vinyl windows 'white'

New asphalt shingles

New frieze board,
new paint 'PT-2'

Exist. rubble
foundation to remain

New low
landscape
walls



Masonry to New Landscape Walls:
Arriscraft Building Stone,
Urban Ledgestone
"Collingwood"

Guards to Sunken Patio Areas:
Prefinished
colour "Black"



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SPA	Site Plan Approval	Aug. 11 '22	MM
No.	Issued for Purpose	Date	Initial
No.	Revision	Date	Initial

115 Lancaster Street
Kitchener, ON N2L 3P8

Multi-Residential Renovations

Project

Scale (for 11x17" printing)

1/8" to 1'-0"

Drawing Title

Exterior Finishes Elevation

Dwg. No.

A311

John MacDonald Architect

195 King Street West, Suite 202, Kitchener
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inc

ON N2G 1B1
(519) 579 1700

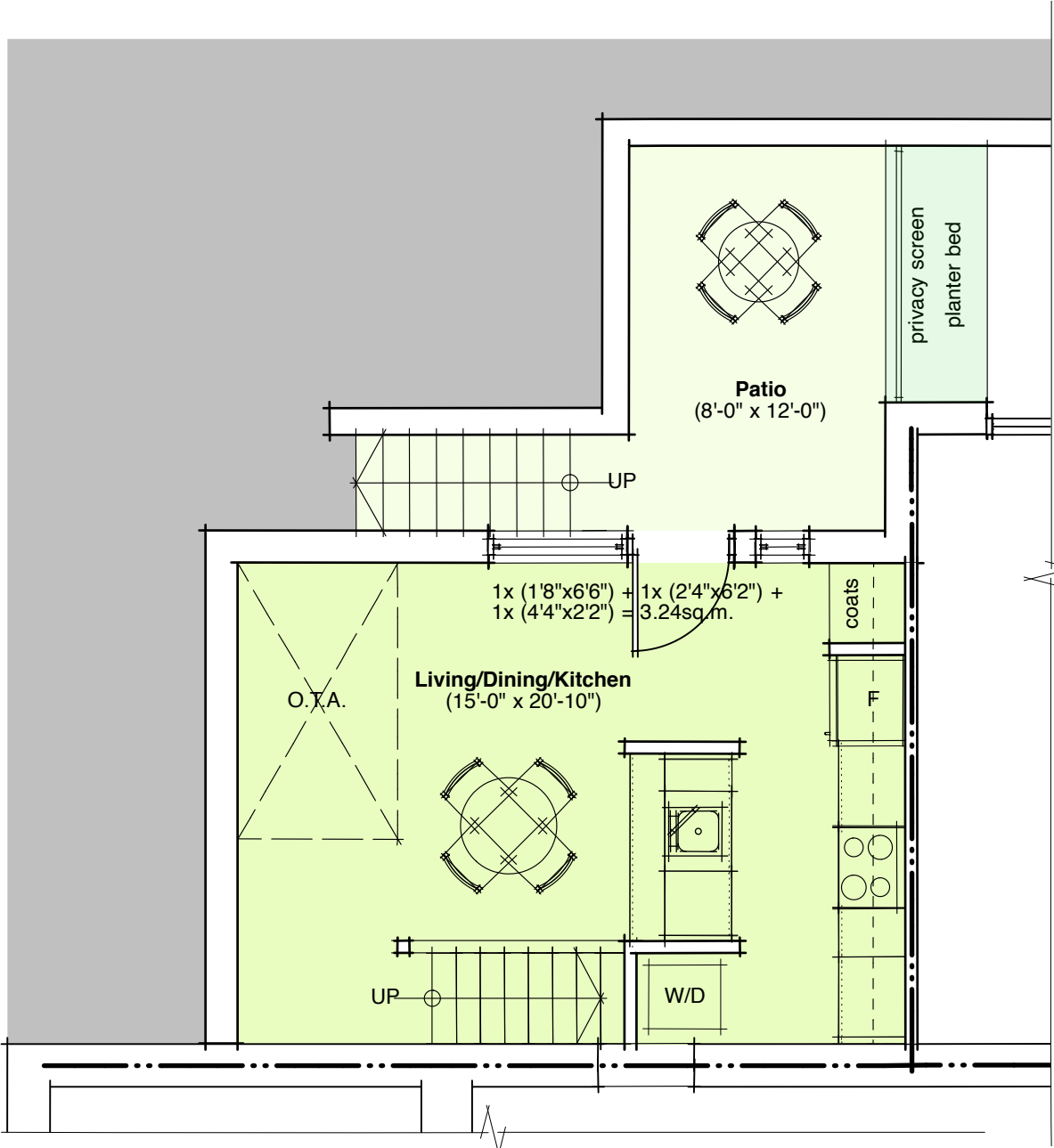
Suite Statistics:

Unit Area: 44.64 sq.m.
Private Patio Area = 9.10 sq.m.
Accessible = no

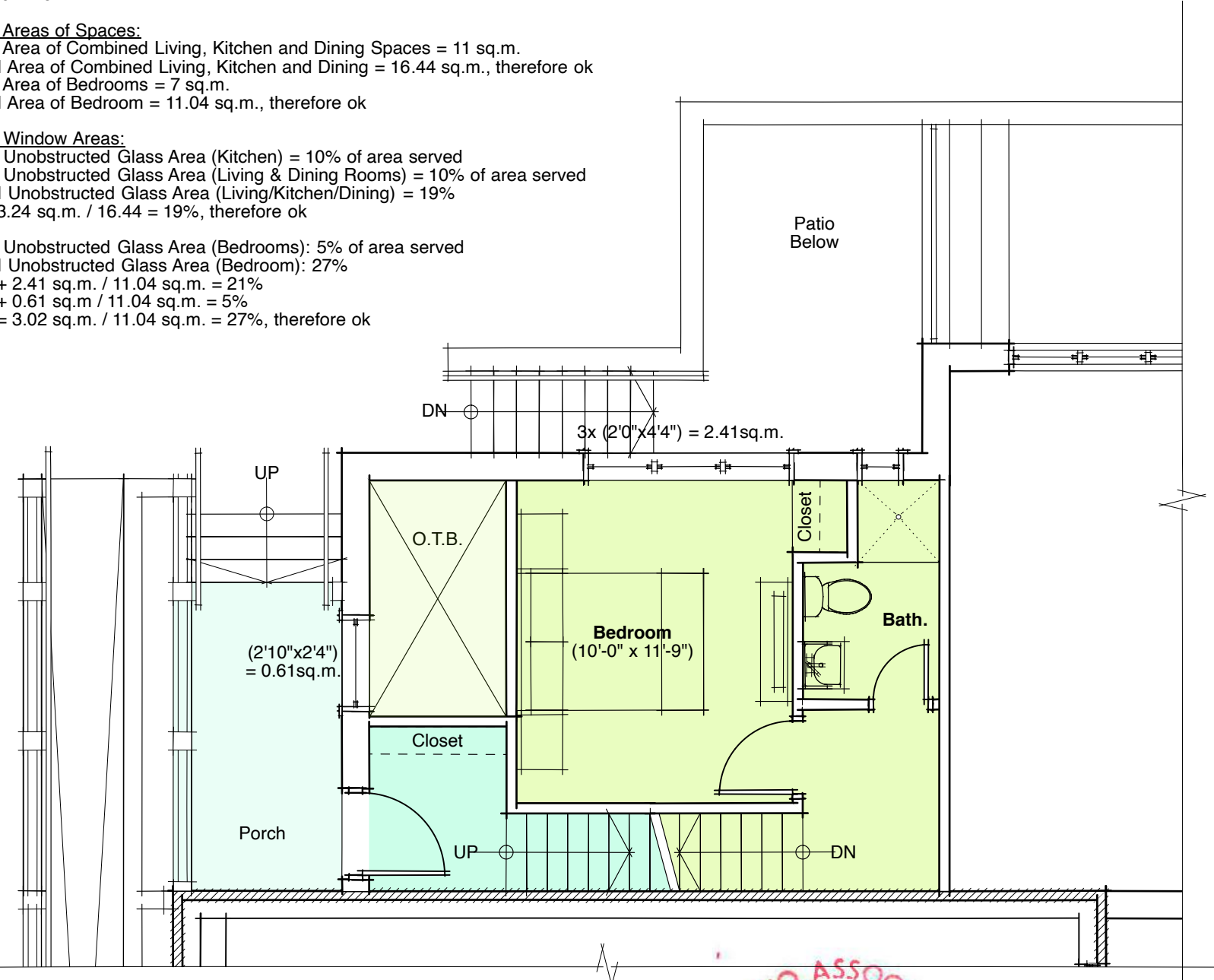
Minimum Areas of Spaces:
Minimum Area of Combined Living, Kitchen and Dining Spaces = 11 sq.m.
Proposed Area of Combined Living, Kitchen and Dining = 16.44 sq.m., therefore ok
Minimum Area of Bedrooms = 7 sq.m.
Proposed Area of Bedroom = 11.04 sq.m., therefore ok

Minimum Window Areas:
Minimum Unobstructed Glass Area (Kitchen) = 10% of area served
Minimum Unobstructed Glass Area (Living & Dining Rooms) = 10% of area served
Proposed Unobstructed Glass Area (Living/Kitchen/Dining) = 19%
3.24 sq.m. / 16.44 = 19%, therefore ok

Minimum Unobstructed Glass Area (Bedrooms): 5% of area served
Proposed Unobstructed Glass Area (Bedroom): 27%
+ 2.41 sq.m. / 11.04 sq.m. = 21%
+ 0.61 sq.m. / 11.04 sq.m. = 5%
= 3.02 sq.m. / 11.04 sq.m. = 27%, therefore ok



Lower Level Plan
Area = 315 ft2



Main Level Plan
Area = 215 ft2

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Kitchener, ON, N2G 1B1
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No.	Issued for Purpose	Date	Initial

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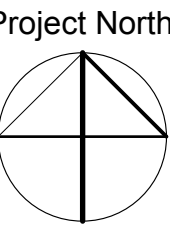
Scale	(for 11x17" printing)
3/16"	to 1'-0"
Approved	BR
Checked	MM
Drawn	MM

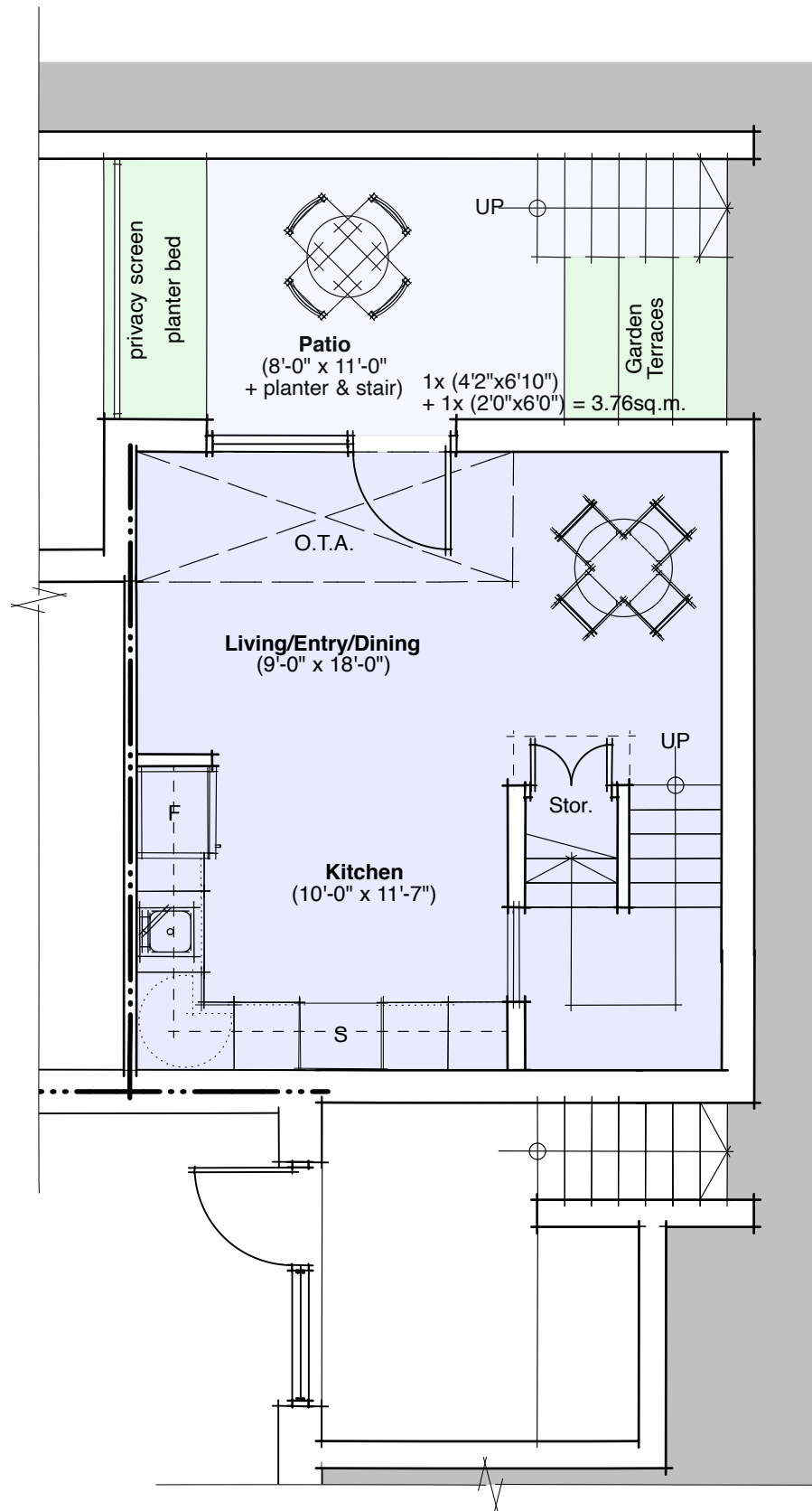
Multi-Residential Renovation
115 Lancaster Street

Drawing Title
Unit Plan

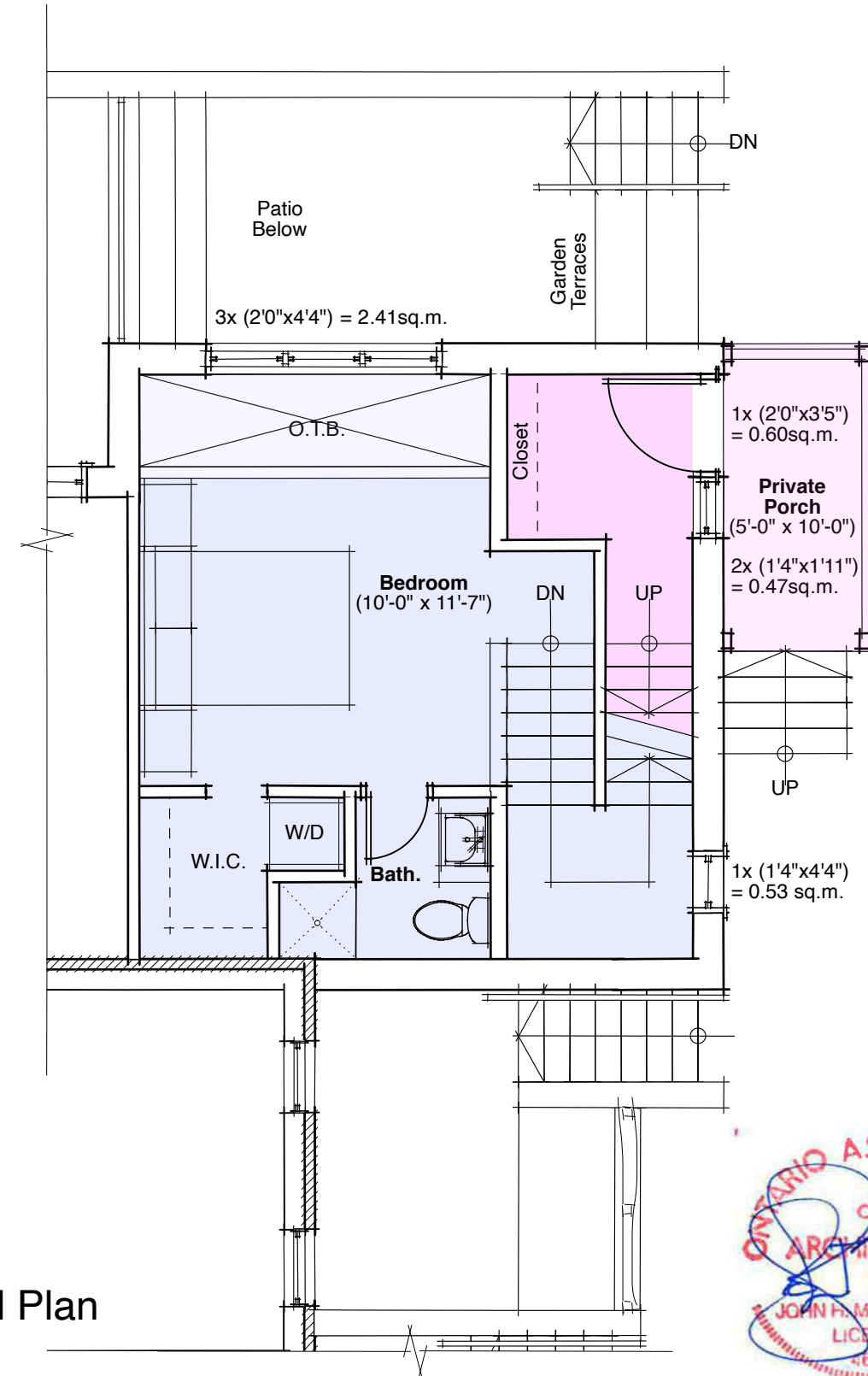
Project

Dwg. No.
B2





Lower Level Plan
Area = 340 ft²



Suite Statistics:

Unit Area: 43.54 sq.m.
Private Patio Area = 7.90 sq.m.
Accessible = no

Minimum Areas of Spaces:
Minimum Area of Combined Living, Kitchen and Dining Spaces = 11 sq.m.
Proposed Area of Combined Living, Kitchen and Dining = 18.42 sq.m.
Minimum Area of Bedrooms = 7 sq.m.
Proposed Area of Bedroom = 10.6 sq.m.

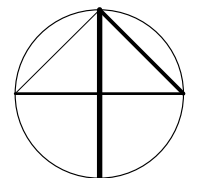
Minimum Window Areas:
Minimum Unobstructed Glass Area (Kitchen): 10% of area served
Minimum Unobstructed Glass Area (Living & Dining Rooms): 10% of area served
Proposed Unobstructed Glass Area (Living/Kitchen/Dining): 20%
3.76 sq.m. / 18.42 sq.m. = 20%, therefore ok

Minimum Unobstructed Glass Area (Bedrooms): 5% of area served
Proposed Unobstructed Glass Area (Bedroom): 27%
+ 2.41 sq.m. / 10.6 sq.m. = 22%
+ 0.53 sq.m. / 10.6 sq.m. = 5%
= 2.94 sq.m. / 10.6 sq.m. = 27%, therefore ok

Main Level Plan
Area = 245 ft²



Project North



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Kitchener, ON, N2G 1B1
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No.	Issued for Purpose	Date	Initial

No.	Issued for Purpose	Date	Initial

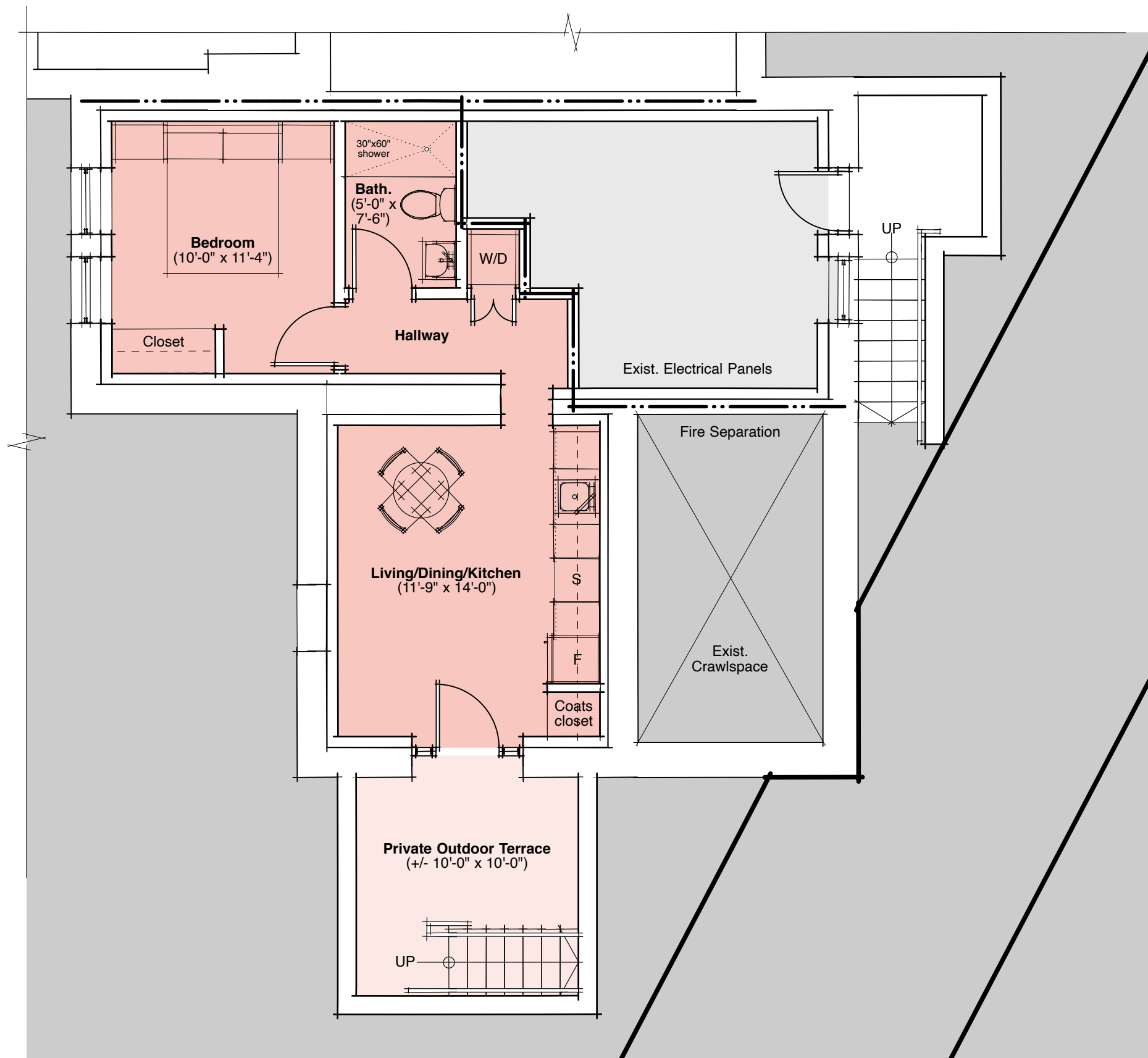
Scale (for 11x17" printing)
3/16" to 1'-0"

Approved	BR
Checked	MM
Drawn	MM

Multi-Residential Renovation
115 Lancaster Street

Drawing Title
Unit Plan

Project
Dwg. No.
B3



Suite Statistics:

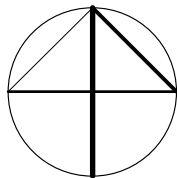
Unit Area: 50.0 sq.m.
Private Patio Area = 8.33 sq.m.
Accessible = no (not required)

Minimum Areas of Spaces:
Minimum Area of Combined Living, Kitchen & Dining = 11.0 sq.m.
Proposed Area of Combined Living, Kitchen & Dining = 12.5 sq.m. therefore
Minimum Area of Bedroom = 7.0 sq.m.
Proposed Area of Bedroom = 9.5 sq.m., therefore ok

Min. Unobstructed Glass Areas:
Min. Living, Kitchen & Dining = 10% of area served = 1.25 sq.m.
Proposed Unobstructed Glass Area = 1.5 sq.m., therefore ok
Min. Bedroom = 5% of area served = 0.475 sq.m.
Proposed Unobstructed Glass Area = 0.58 sq.m., therefore ok

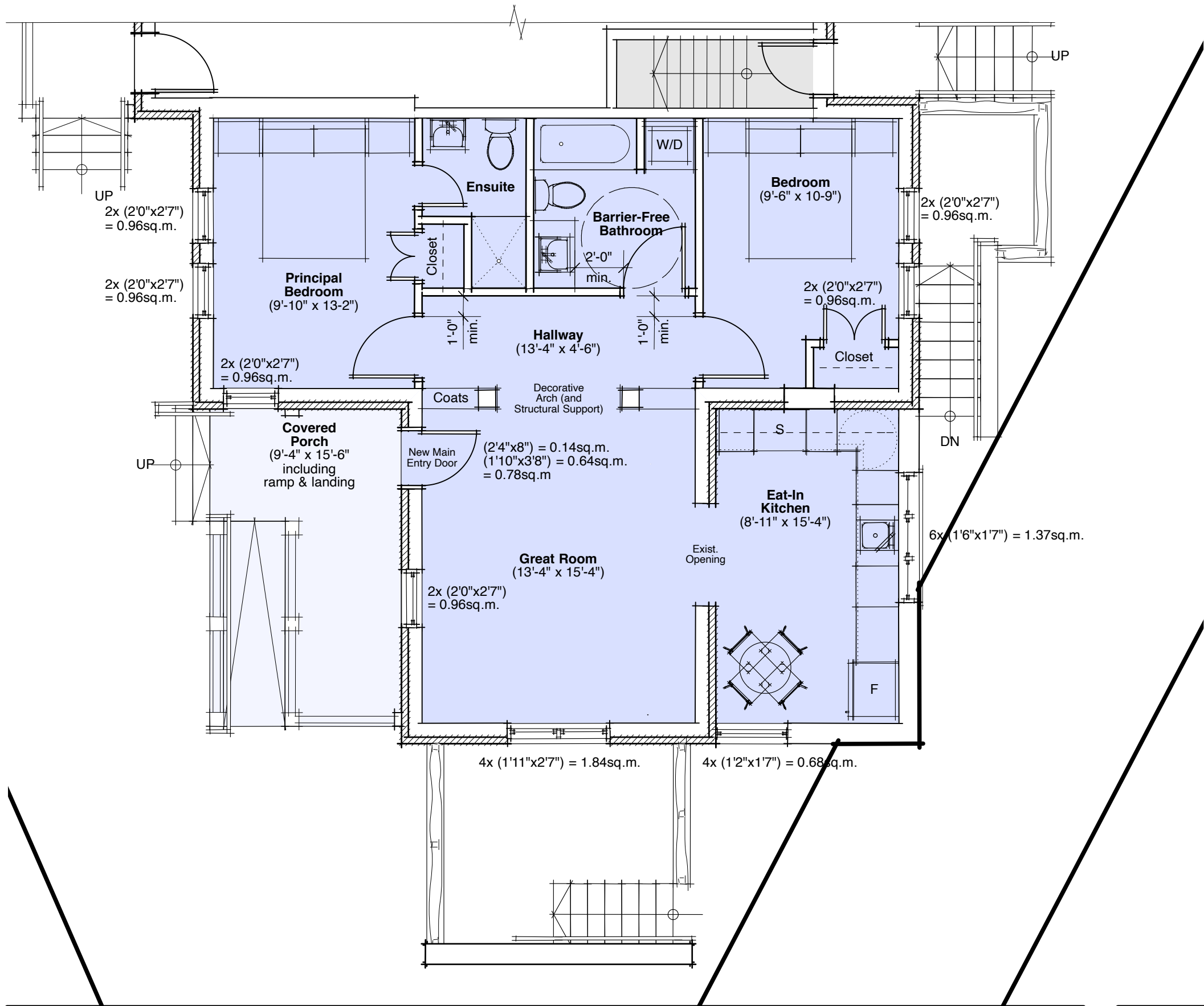


Project North



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Suite Statistics:

Unit Area = 73.59 sq.m.
Private Patio Area = 13.87 sq.m.
Accessible = yes

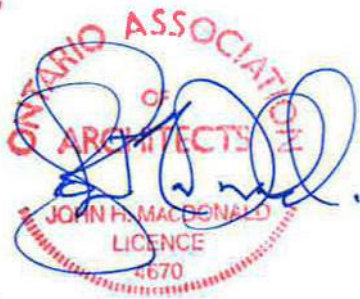
Minimum Areas of Spaces:
Minimum Area of Kitchen/Dining = 4.2 + 3.25 = 7.45 sq.m.
Proposed Area of Kitchen = 8.41 sq.m., therefore ok
Minimum Area of Living Spaces = 13.5 sq.m.
Proposed Area of Living Spaces = 19 sq.m., therefore ok
Minimum Area of Principal Bedroom = 9.8 sq.m.
Proposed Area of Master Bedroom = 12 sq.m., therefore ok
Minimum Area of Bedroom = 7 sq.m.
Proposed Area of Bedroom no.2 = 10.66 sq.m., therefore ok

Minimum Window Areas:
Minimum Unobstructed Glass Area (Kitchen & Dining) = 10% of area served
Proposed Unobstructed Glass Area (Kitchen & Dining) = 24%
+ 0.68 sq.m. / 8.41 sq.m. = 8%
+ 1.37 sq.m. / 8.41 sq.m. = 16%
= 2.05 sq.m. / 8.41 sq.m. = 24%, therefore ok

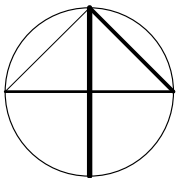
Minimum Unobstructed Glass Area (Living Room) = 10% of area served
Proposed Unobstructed Glass Area (Great Room) = 26%
+ 0.78 sq.m. / 13.5 sq.m. = 5%
+ 0.96 sq.m. / 13.5 sq.m. = 7%
+ 1.84 sq.m. / 13.5 sq.m. = 13%
= 3.58 sq.m. / 13.5 sq.m. = 26%, therefore ok

Minimum Unobstructed Glass Area (Bedrooms) = 5% of area served
Proposed Unobstructed Glass Area (Principal Bedroom) =
+ 0.96 sq.m. / 12 sq.m. = 8% (existing)
+ 0.96 sq.m. / 12 sq.m. = 8% (existing)
+ 0.96 sq.m. / 12 sq.m. = 8% (existing)
= 2.88 sq.m. / 12 sq.m. = 24%, therefore ok

Proposed Unobstructed Glass Area (Bedroom no.2) = 18%
+ 0.96 sq.m. / 10.66 sq.m. = 9% (existing)
+ 0.96 sq.m. / 10.66 sq.m. = 9% (existing)
= 1.92 sq.m. / 10.66 sq.m. = 18%, therefore ok



Project North



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No.	Issued for Purpose	Date	Initial
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SPA	Site Plan Approval	Aug. 11 '22	MM
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No.	Issued for Purpose	Date	Initial
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Scale (for 11x17" printing)
3/16" to 1'-0"

Approved	BR
Checked	MM
Drawn	MM

Multi-Residential Renovation
115 Lancaster Street

Drawing Title
Unit Plan

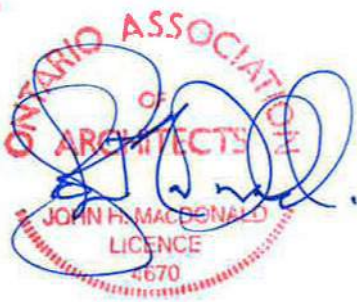
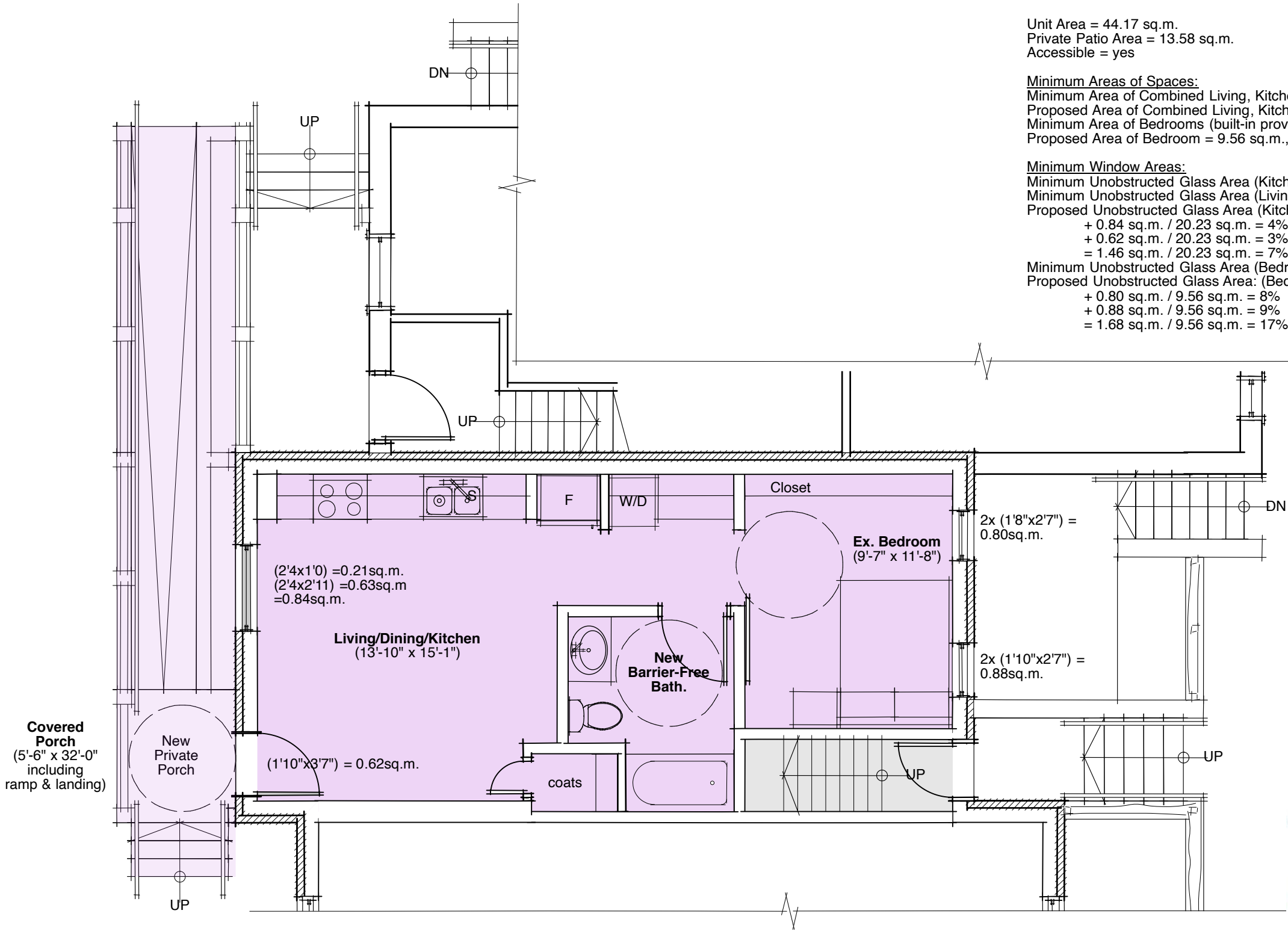
Project
Dwg. No.
M1

Suite Statistics:

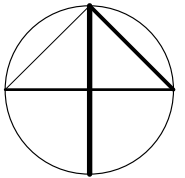
Unit Area = 44.17 sq.m.
Private Patio Area = 13.58 sq.m.
Accessible = yes

Minimum Areas of Spaces:
Minimum Area of Combined Living, Kitchen and Dining Spaces = 11 sq.m.
Proposed Area of Combined Living, Kitchen and Dining = 20 sq.m., therefore ok
Minimum Area of Bedrooms (built-in provided) = 6 sq.m.
Proposed Area of Bedroom = 9.56 sq.m., therefore ok

Minimum Window Areas:
Minimum Unobstructed Glass Area (Kitchen) = 10% of area served
Minimum Unobstructed Glass Area (Living & Dining Rooms) = 10% of area served
Proposed Unobstructed Glass Area (Kitchen/Living/Dining) = 7% (Existing Heritage Openings)
+ 0.84 sq.m. / 20.23 sq.m. = 4%
+ 0.62 sq.m. / 20.23 sq.m. = 3%
= 1.46 sq.m. / 20.23 sq.m. = 7%
Minimum Unobstructed Glass Area (Bedrooms) = 5% of area served
Proposed Unobstructed Glass Area: (Bedroom) = 17%
+ 0.80 sq.m. / 9.56 sq.m. = 8%
+ 0.88 sq.m. / 9.56 sq.m. = 9%
= 1.68 sq.m. / 9.56 sq.m. = 17%, therefore ok



Project North



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			</				

Suite Statistics:

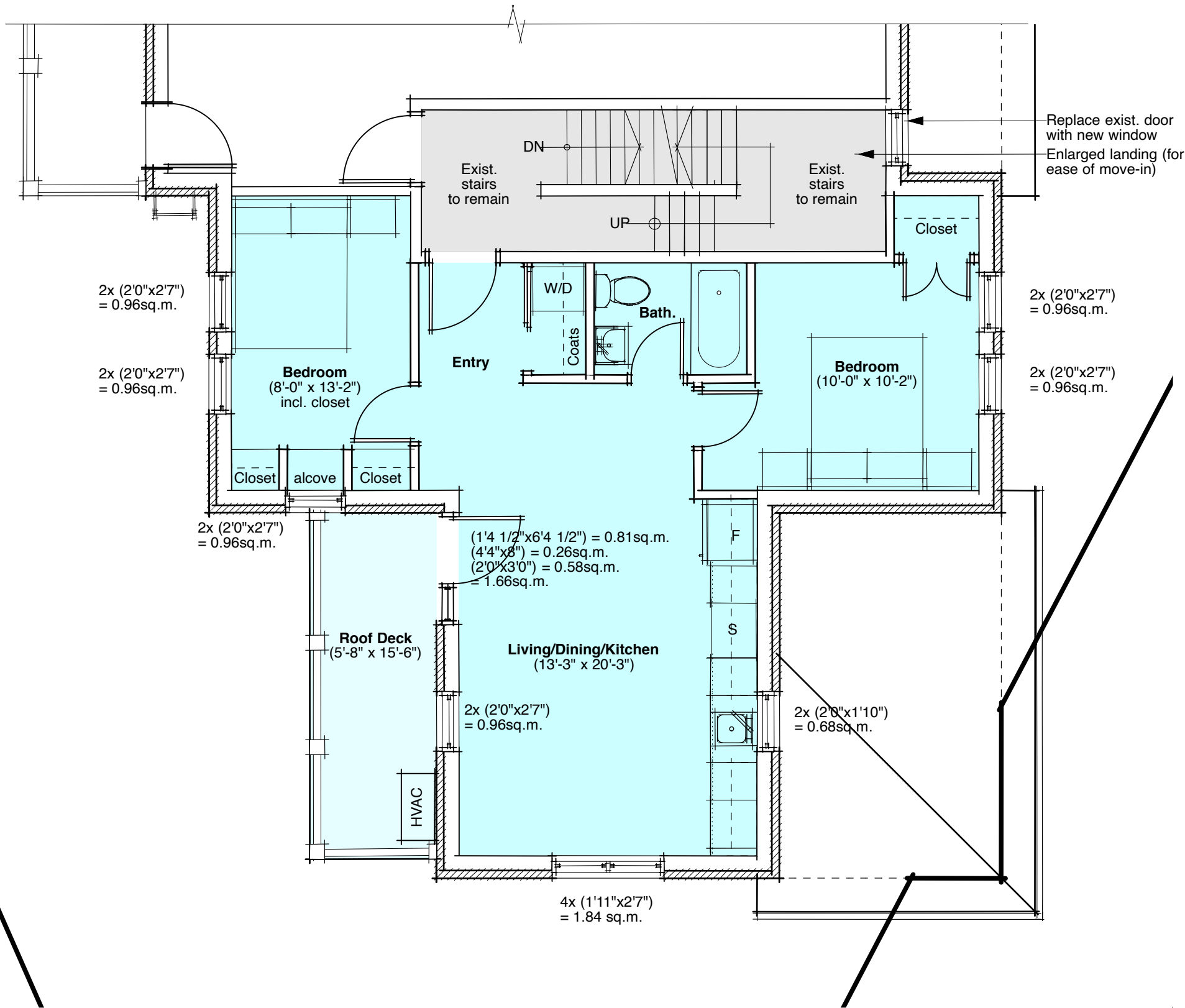
Unit Area = 55.08 sq.m.
Private Patio Area = 8.85 sq.m.
Accessible = no

Minimum Areas of Spaces:
Minimum Area of Combined Living, Kitchen and Dining Spaces = 11 sq.m.
Proposed Area of Combined Living, Kitchen and Dining = 21.40 sq.m., therefore ok
Minimum Area of Bedrooms (built-in provided) = 6 sq.m.
Proposed Area of Bedroom no.1 = 8.42 sq.m., therefore ok
Minimum Area of Bedrooms = 7 sq.m.
Proposed Area of Bedroom no.2 = 10.50 sq.m., therefore ok

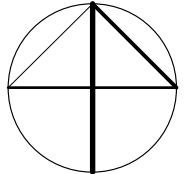
Minimum Window Areas:
Minimum Unobstructed Glass Area (Kitchen) = 10% of area served
Minimum Unobstructed Glass Area (Living & Dining Rooms) = 10% of area served
Proposed Unobstructed Glass Area (Living/Kitchen/Dining)= 24%
+ 1.66 sq.m. / 21.40 sq.m. = 7%
+ 0.96 sq.m. / 21.40 sq.m. = 4%
+ 1.84 sq.m. / 21.40 sq.m. = 8%
+ 0.68 sq.m. / 21.40 sq.m. = 3%
= 5.14 sq.m. / 21.40 = 24%, therefore ok

Minimum Unobstructed Glass Area (Bedrooms): 5% of area served
Proposed Unobstructed Glass Area (Bedroom no.1): 34%
+ 0.96 sq.m. / 8.42 sq.m. = 11%
+ 0.96 sq.m. / 8.42 sq.m. = 11%
+ 0.96 sq.m. / 8.42 sq.m. = 11%
= 2.88 sq.m. / 8.42 sq.m. = 34%, therefore ok

Proposed Unobstructed Glass Area (Bedroom no.2): 22%
+ 0.96 sq.m. / 8.42 sq.m. = 11%
+ 0.96 sq.m. / 8.42 sq.m. = 11%
= 1.92 sq.m. / 8.42 sq.m. = 22%, therefore ok



Project North



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No.	Issued for Purpose	Date	Initial

No.	Issued for Purpose	Date	Initial

Scale (for 11x17" printing)
3/16" to 1'-0"

Approved	BR
Checked	MM
Drawn	MM

Multi-Residential Renovation
115 Lancaster Street

Drawing Title
Unit Plan

Project

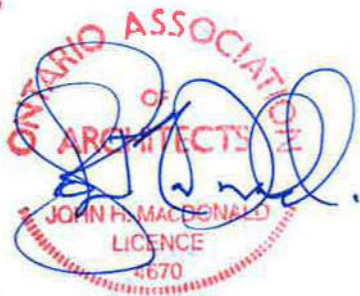
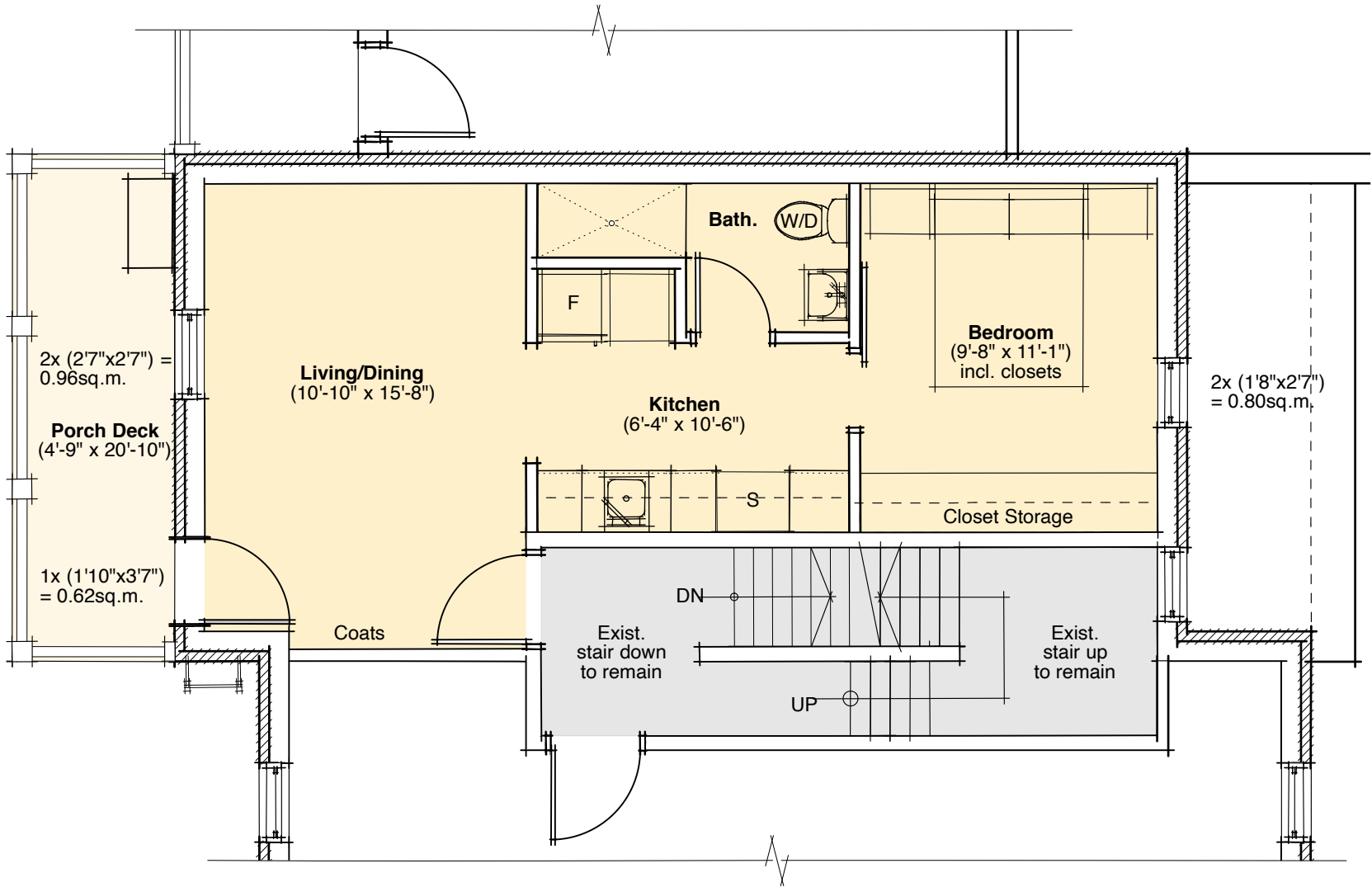
Dwg. No.
U1

Suite Statistics:

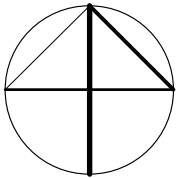
Unit Area = 38.79 sq.m.
Private Patio Area = 8.70 sq.m.
Accessible = no

Minimum Areas of Spaces:
Minimum Area of Kitchen = 4.2 sq.m.
Proposed Area of Kitchen = 4.17 sq.m., therefore ok
Minimum Area of Living Spaces = 13.5 sq.m.
Proposed Area of Living Spaces = 15.61 sq.m., therefore ok
Minimum Area of Bedrooms (built-in provided) = 6 sq.m.
Proposed Area of Bedroom = 9.05 sq.m., therefore ok

Minimum Window Areas:
Min. Unobstructed Glass Area (Kitchen): 10% of area served
Min. Unobstructed Glass Area (Living & Dining Room): 10% of area served
Proposed Unobstructed Glass Area (Kitchen/Living/Dining): 7%
+ 0.96 sq.m. / 19.78 sq.m. = 4%
+ 0.62 sq.m. / 19.78 sq.m. = 3%
= 1.58 sq.m. / 19.78 sq.m. = 7%
(All Openings are exist. in heritage facade, to remain)
Minimum Unobstructed Glass Area (Bedrooms): 5% of area served
Proposed Unobstructed Glass Area (Bedroom): 8%
0.80 sq.m. / 9.05 sq.m. = 8%, therefore ok



Project North



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Revisions				Approvals			
No.	Issued for Purpose	Date	Initial	No.	Issued for Purpose	Date	Initial
				SPA	Site Plan Approval	Aug. 11 '22	MM

Scale (for 11x17" printing)
3/16" to 1'-0"

Approved	BR
Checked	MM
Drawn	MM

Multi-Residential Renovation
115 Lancaster Street

Drawing Title
Unit Plan

Project

Dwg. No.
U2

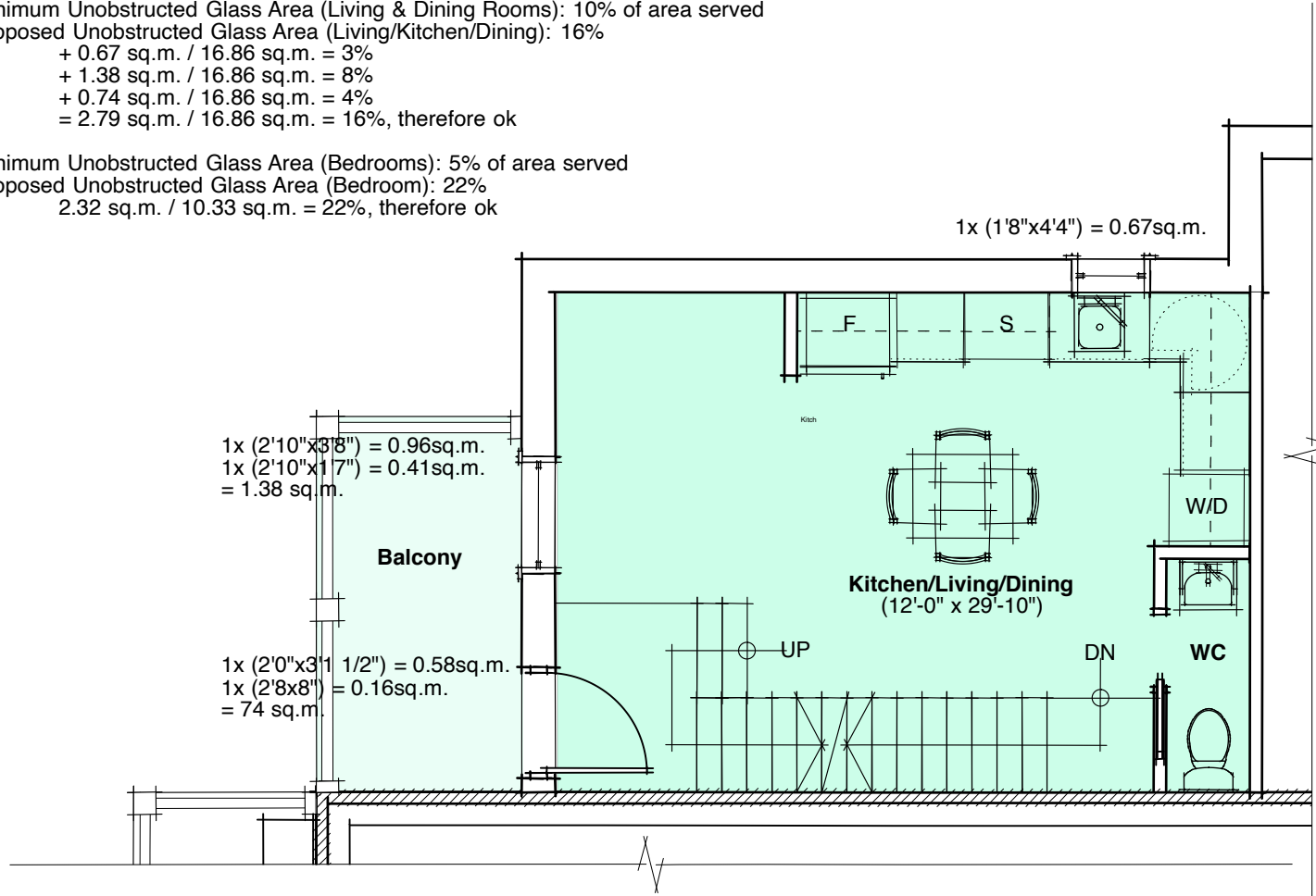
Suite Statistics:

Unit Area = 42.07 sq.m.
Private Patio Area = 7.67 sq.m.
Accessible = no

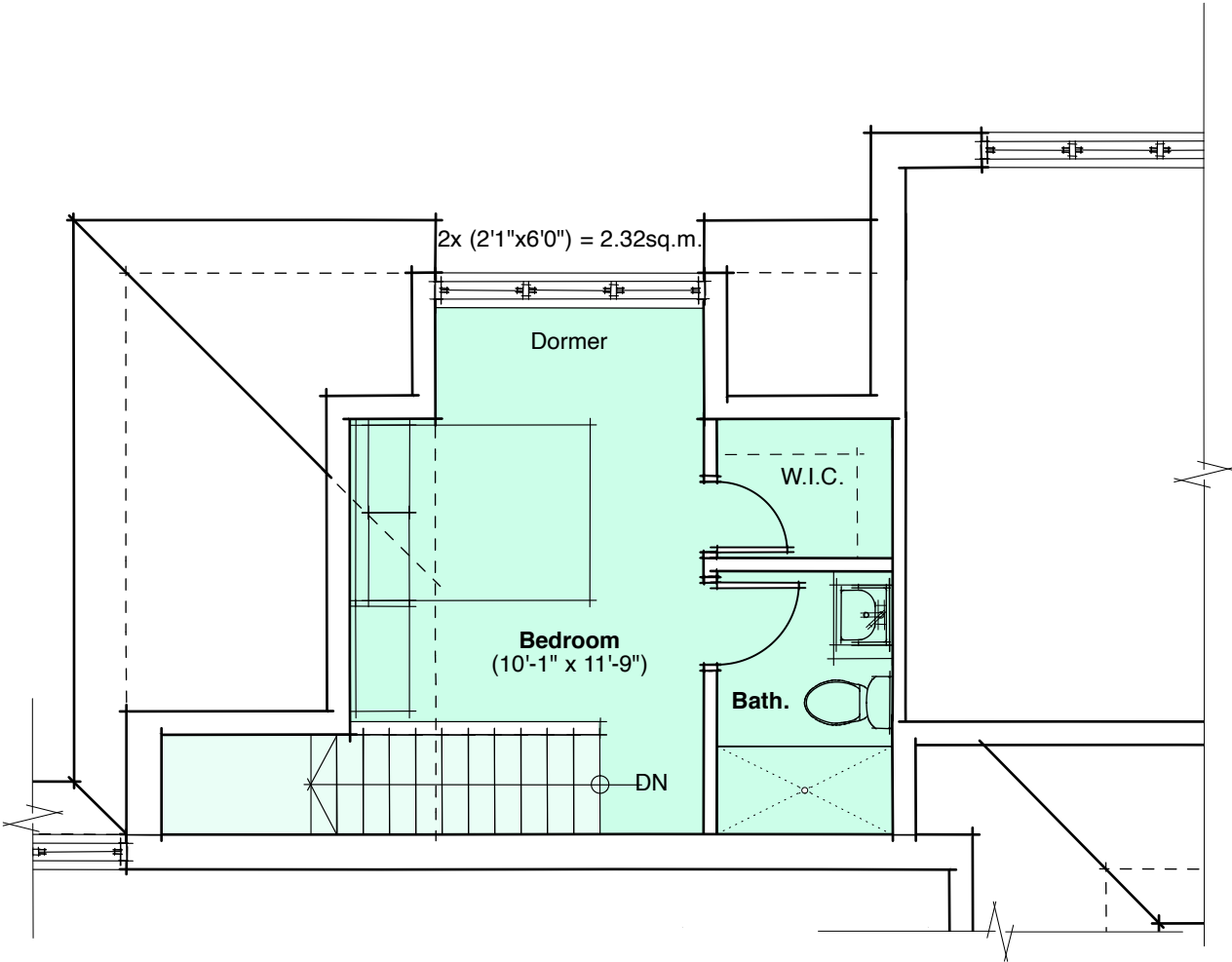
Minimum Areas of Spaces:
Minimum Area of Combined Living, Kitchen and Dining Spaces = 11 sq.m.
Proposed Area of Combined Living, Kitchen and Dining = 16.86 sq.m., therefore ok
Minimum Area of Bedrooms = 7 sq.m.
Proposed Area of Bedroom = 10.33 sq.m., therefore ok

Minimum Window Areas:
Minimum Unobstructed Glass Area (Kitchen): 10% of area served
Minimum Unobstructed Glass Area (Living & Dining Rooms): 10% of area served
Proposed Unobstructed Glass Area (Living/Kitchen/Dining): 16%
+ 0.67 sq.m. / 16.86 sq.m. = 3%
+ 1.38 sq.m. / 16.86 sq.m. = 8%
+ 0.74 sq.m. / 16.86 sq.m. = 4%
= 2.79 sq.m. / 16.86 sq.m. = 16%, therefore ok

Minimum Unobstructed Glass Area (Bedrooms): 5% of area served
Proposed Unobstructed Glass Area (Bedroom): 22%
2.32 sq.m. / 10.33 sq.m. = 22%, therefore ok



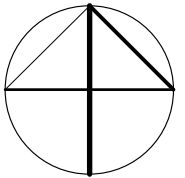
Upper Level Plan
Area = 315 ft2 (+ Balcony = 75 ft2)



Attic Level Plan
Area = 205 ft2



Project North



John MacDonald Architect

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Kitchener, ON, N2G 1B1
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No.	Issued for Purpose	Date	Initial

SPA	Site Plan Approval	Aug. 11 '22	MM
No.	Issued for Purpose	Date	Initial

Scale (for 11x17" printing)
3/16" to 1'-0"

Approved	BR
Checked	MM
Drawn	MM

Multi-Residential Renovation
115 Lancaster Street

Drawing Title
Unit Plan

Project

Dwg. No.
U3

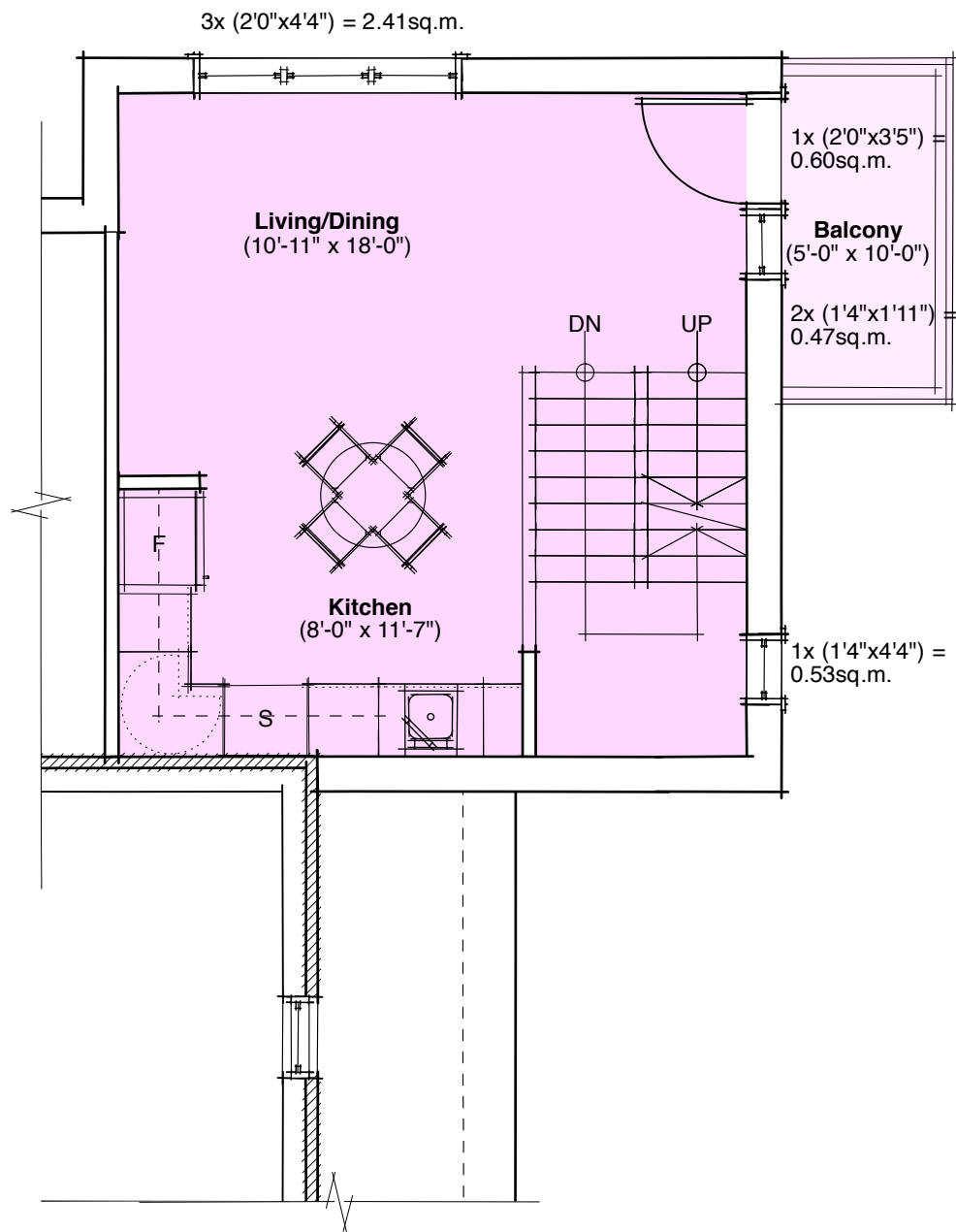
Suite Statistics:

Unit Area = 45.84 sq.m.
Private Patio Area =
Accessible = no

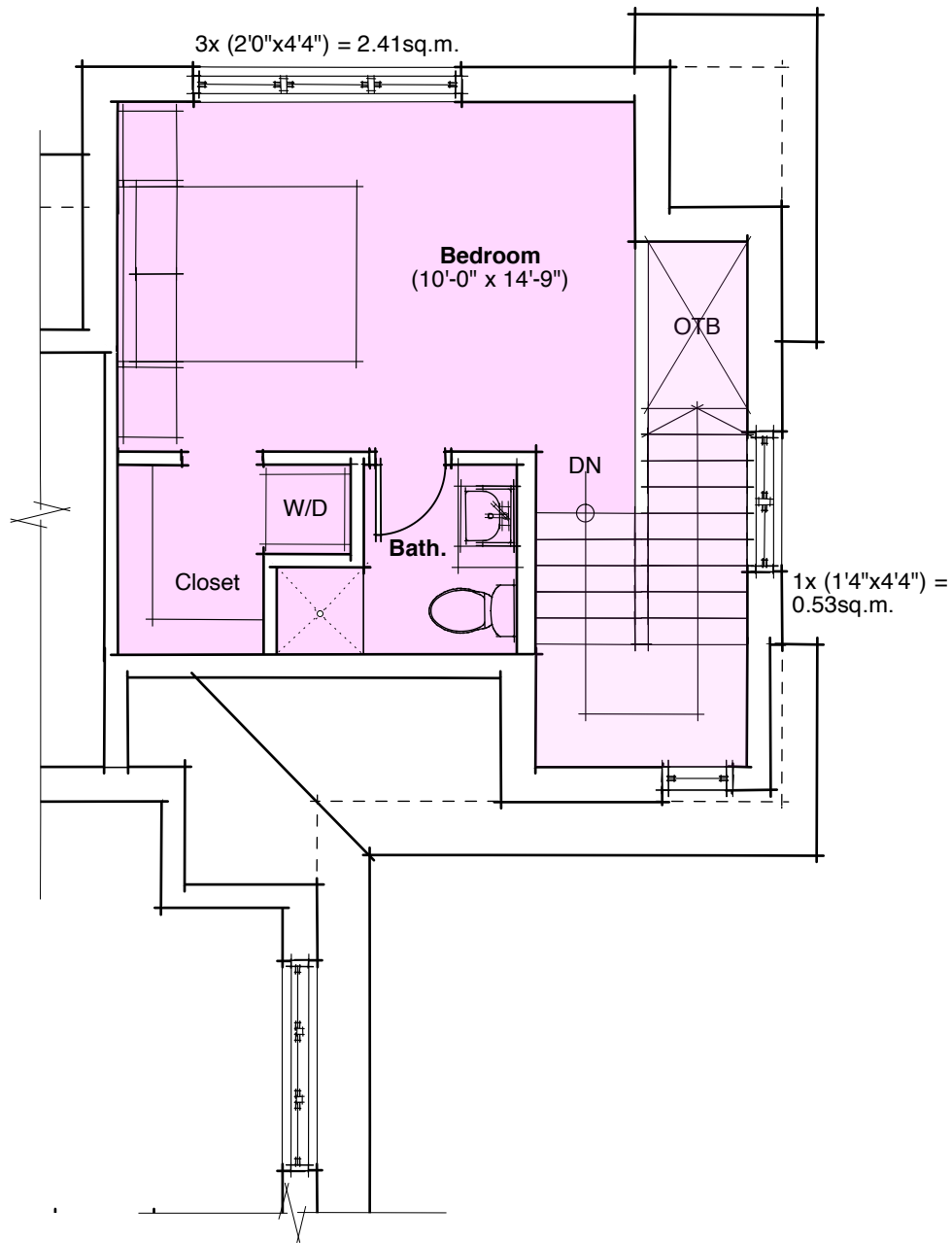
Minimum Areas of Spaces:
Minimum Area of Combined Living, Kitchen and Dining
Spaces = 11 sq.m.
Proposed Area of Combined Living, Kitchen and Dining =
21.81 sq.m., therefore ok
Minimum Area of Bedrooms = 7 sq.m.
Proposed Area of Bedroom = 13.74 sq.m., therefore ok

Minimum Window Areas:
Minimum Unobstructed Glass Area (Kitchen) = 10% of
area served
Minimum Unobstructed Glass Area (Living & Dining
Rooms) = 10% of area served
Proposed Unobstructed Glass Area
(Living/Kitchen/Dining) = 18%
+ 0.47 sq.m. / 21.81 sq.m. = 2%
+ 0.60 sq.m. / 21.81 sq.m. = 2%
+ 0.53 sq.m. / 21.81 sq.m. = 2%
+ 2.41 sq.m. / 21.81 sq.m. = 10%
= 4.01 sq.m. / 21.81 = 18%, therefore ok

Minimum Unobstructed Glass Area (Bedrooms): 5% of
area served
Proposed Unobstructed Glass Area (Bedroom): 24%
+ 2.41 sq.m. / 13.74 sq.m. = 17%
+ 0.53 sq.m. / 13.74 sq.m. = 3%
+ 0.43 sq.m. / 13.74 sq.m. = 3%
= 3.37 sq.m. / 13.74 sq.m. = 24 %, therefore ok



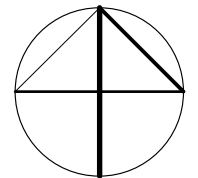
Upper Level Plan
Area = 300 ft2 + 45 ft2 Balcony



Attic Level Plan
Area = 270 ft2



Project North



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No.	Issued for Purpose	Date	Initial

No.	Issued for Purpose	Date	Initial

Scale (for 11x17" printing)
3/16" to 1'-0"

Approved	BR
Checked	MM
Drawn	MM

Multi-Residential Renovation
115 Lancaster Street

Drawing Title
Unit Plan

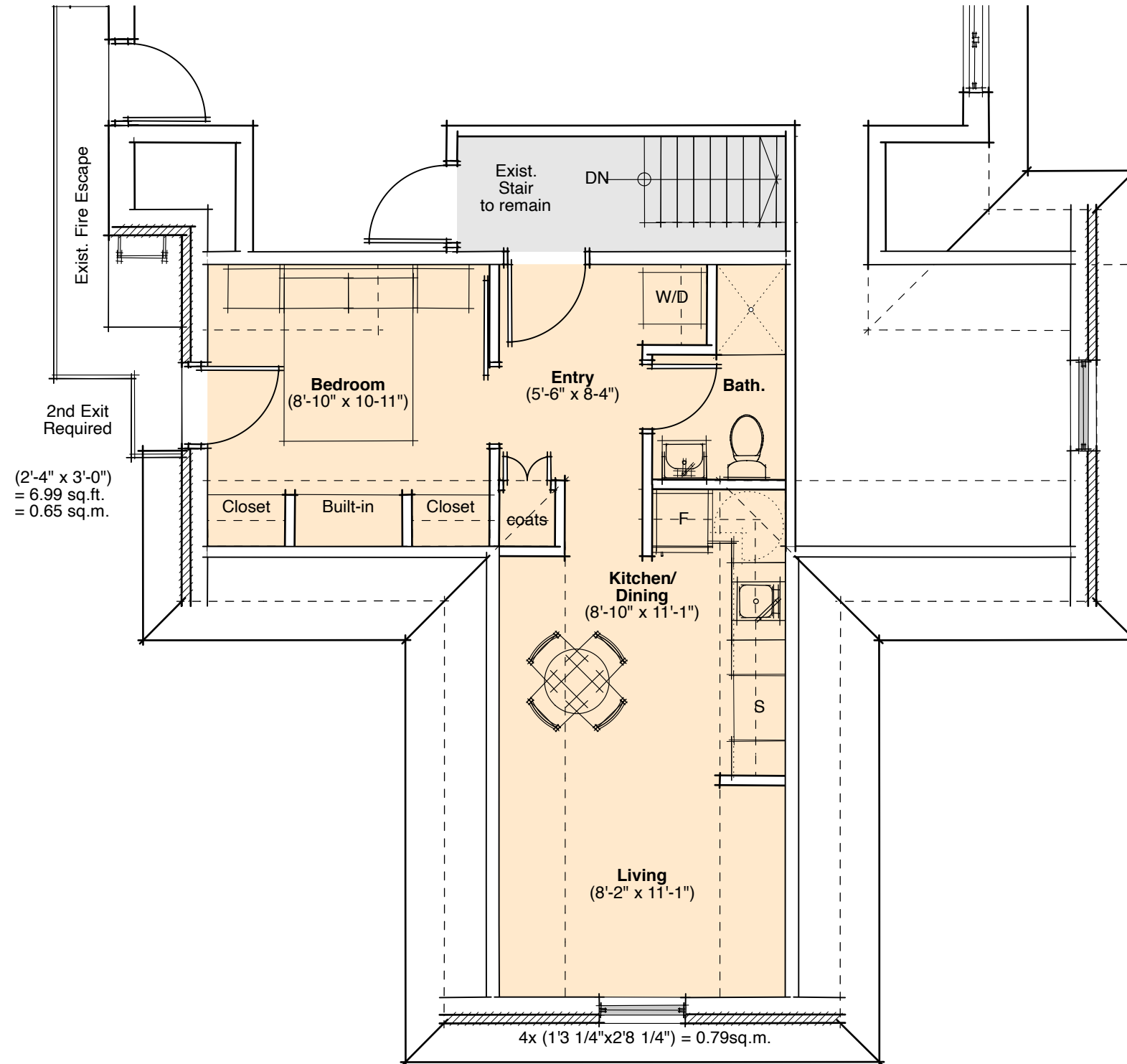
Project

Dwg. No.
U4

Minimum Areas of Spaces:
Minimum Area of Combined Living, Kitchen and Dining Spaces = 11 sq.m.
Proposed Area of Combined Living, Kitchen and Dining = 15.85 sq.m.,
therefore ok
Minimum Area of Bedroom = 7 sq.m.
Proposed Area of Bedroom = 9 sq.m., therefore ok

Minimum Window Areas:
Minimum Unobstructed Glass Area (Kitchen) = 10% of area served
Minimum Unobstructed Glass Area (Living & Dining Rooms) = 10% of area served
Proposed Unobstructed Glass Area (Living/Kitchen/Dining) = 4%
0.79 sq.m. / 15.85 sq.m. = 4%

Minimum Unobstructed Glass Area (Bedrooms) = 5% of area served
Proposed Unobstructed Glass Area (Bedroom) = 7%, therefore ok
0.65 sq.m. / 9.0 sq.m. = 7%
(existing heritage openings to remain???)



No.	Issued for Purpose	Date	Initial
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No.	Issued for Purpose	Date	Initial
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Project
Dwg. No.
A1

Suite Statistics:

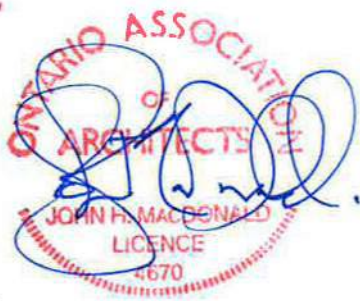
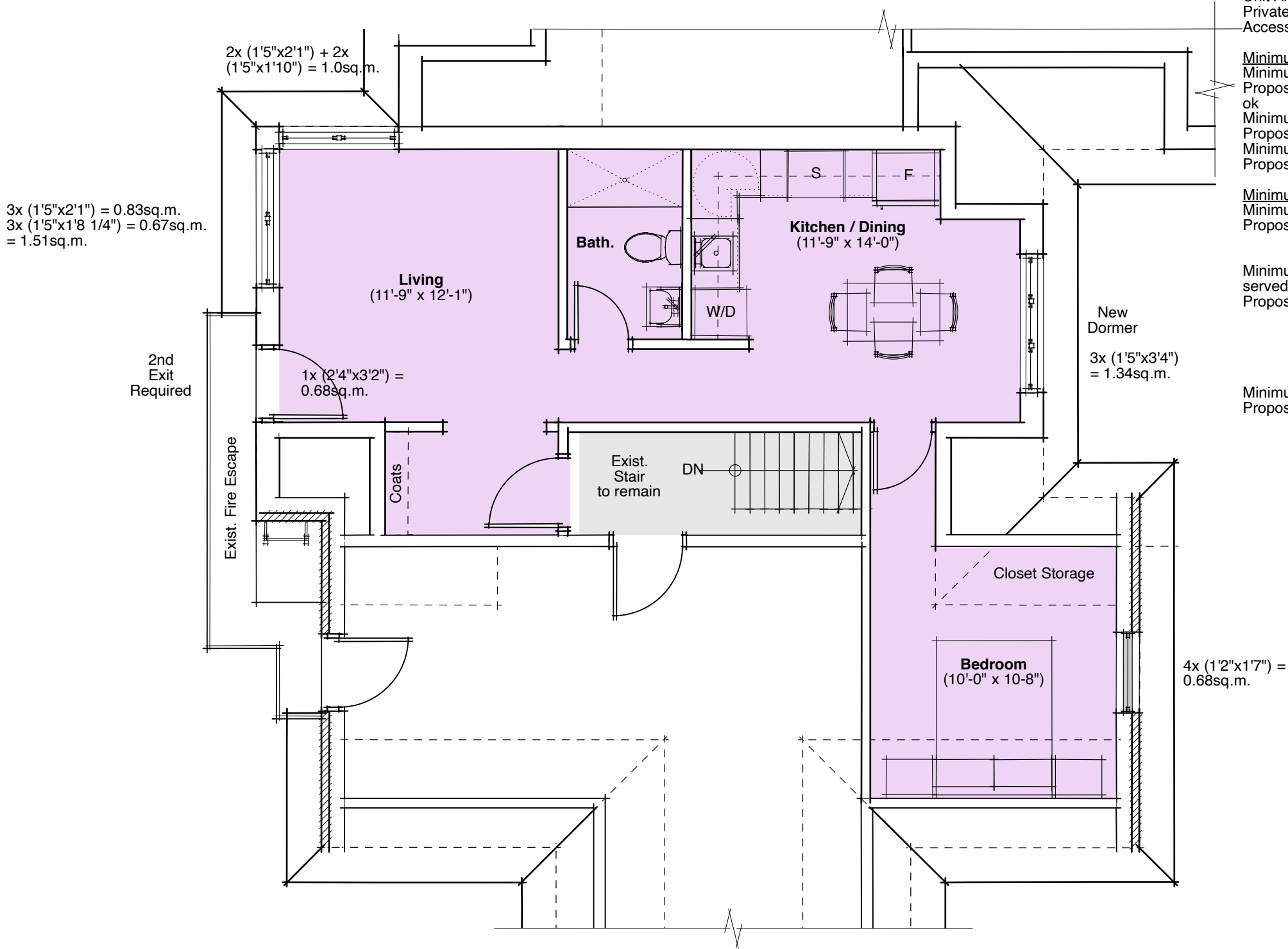
Unit Area: 49.88 sq.m.
Private Patio Area =
Accessible = no

Minimum Areas of Spaces:
Minimum Area of Kitchen and Dining Spaces = 4.2 sq.m.
Proposed Area of Combined Kitchen and Dining = 10.26 sq.m., therefore ok
Minimum Area of Living = 13.5 sq.m.
Proposed Area of Living = 16.14 sq.m., therefore ok
Minimum Area of Bedrooms = 7 sq.m.
Proposed Area of Bedroom = 8.96 sq.m., therefore ok

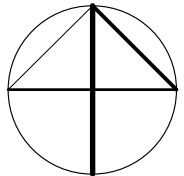
Minimum Window Areas:
Minimum Unobstructed Glass Area (Kitchen) = 10% of area served
Proposed Unobstructed Glass Area (Kitchen/Dining) = 13%
1.34 sq.m. / 10.26 sq.m. = 13%, therefore ok

Minimum Unobstructed Glass Area (Living & Dining Rooms) = 10% of area served
Proposed Unobstructed Glass Area (Living) = 23%
+ 1.00 sq.m. / 13.5 sq.m. = 7%
+ 1.51 sq.m. / 13.5 sq.m. = 11%
+ 0.68 sq.m. / 13.5 sq.m. = 5%
= 3.19 sq.m. / 13.5 sq.m. = 23%, therefore ok

Minimum Unobstructed Glass Area (Bedroom) = 5% of area served
Proposed Unobstructed Glass Area (Bedroom) = 7%
0.68 sq.m. / 8.96 sq.m. = 7%, therefore ok



Project North



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No.	Issued for Purpose	Date	Initial	No.	Issued for Purpose	Date	Initial
				SPA	Site Plan Approval	Aug. 11 '22	MM

Scale (for 11x17" printing)
3/16" to 1'-0"

Approved	BR
Checked	MM
Drawn	MM

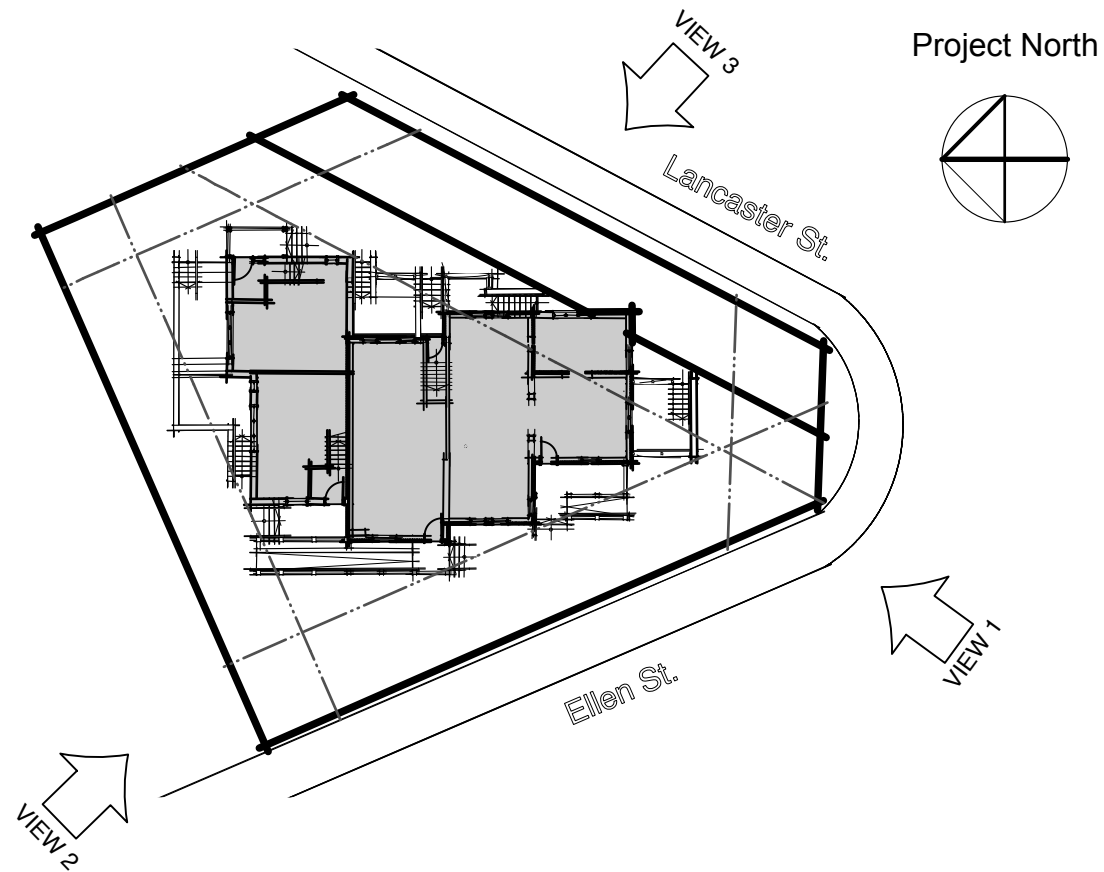
Multi-Residential Renovation
115 Lancaster Street

Drawing Title
Unit Plan

Project
Dwg. No.
A2



View 3: View from the East from Across Lancaster Street



View 2: View from North Down Ellen Street



View 1: View From South Towards New "Front" Porch

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SPA	Site Plan Approval	Aug. 11 '22	MM
6	HIA Report	Mar. 24 '22	MM
No.	Issued for Purpose	Date	Initial

5	Final SD	Oct. 22 '21	MM
PSA	Pre-Submission App.	Mar. 22 '21	JHM
3	Final SD	Oct. 30 '20	MM
2	Client Review	Oct. 02 '20	MM
1	Client Meeting	Oct. 01 '20	MM
No.	Issued for Purpose	Date	Initial

Scale	(for 11x17" printing)
n.t.s.	
Approved	
Checked	MM
Drawn	MaM

Multi-Residential Renovation
 115 Lancaster Street

Drawing Title
 Potential Massing & 3D Views

Project
 Dwg. No.
ASK1



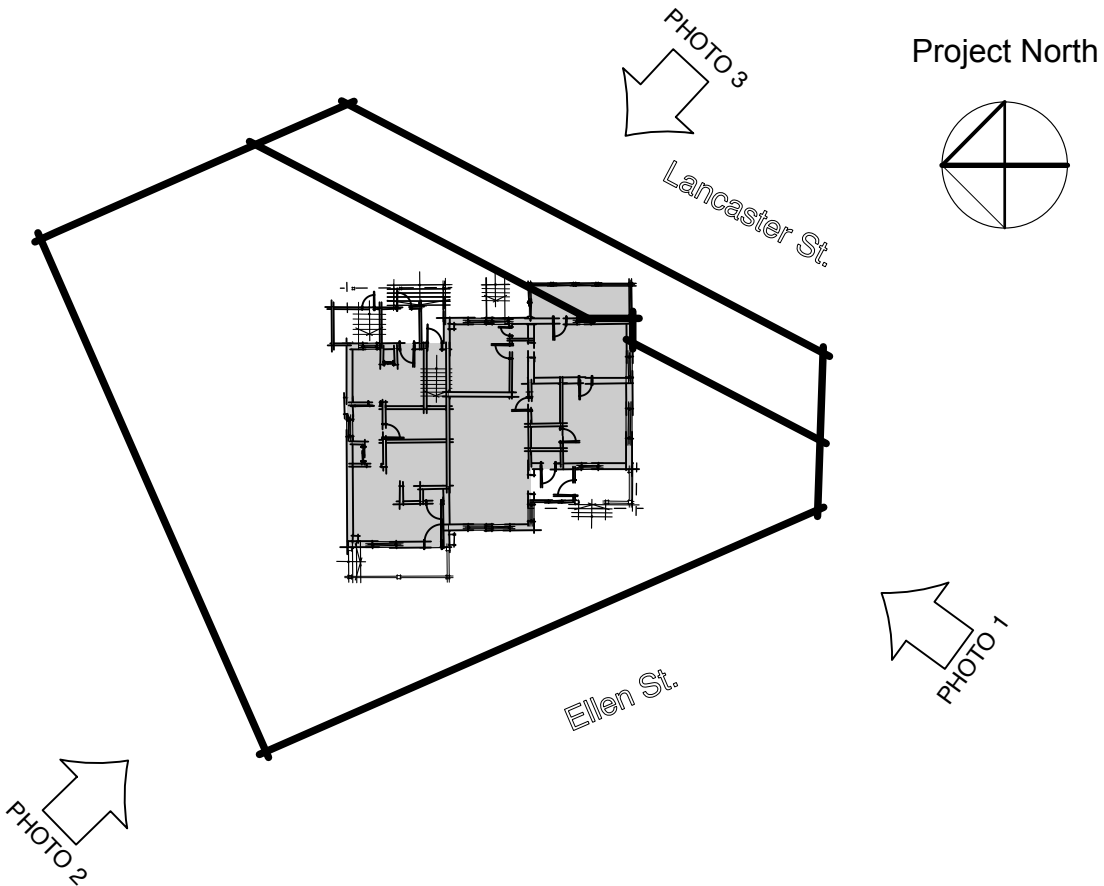
Photo 3: Existing Building from Across Lancaster Street



Photo 2: Existing Building from Down Ellen Street



Photo 1: Existing Building from South



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No.	Issued for Purpose	Date	Initial

No.	Issued for Purpose	Date	Initial
SPA	Site Plan Approval	Aug. 11 '22	MM
PSA	Pre-Submission App.	Mar. 22 '21	JHM

Scale (for 11x17" printing)
n.t.s.

Approved BR
Checked MM
Drawn MaM

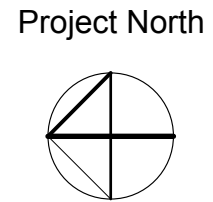
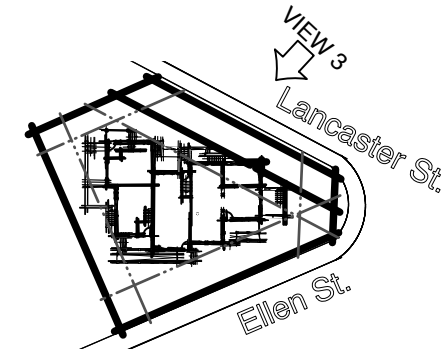
Multi-Residential Renovation
115 Lancaster Street

Drawing Title
Photos of Existing Conditions

Project

Dwg. No.

ASK2



View 3: View from the East from Across Lancaster Street

John MacDonald Architect

195 King Street West, Suite 202
Kitchener, ON, N2G 1B1
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No.	Issued for Purpose	Date	Initial	No.	Issued for Purpose	Date	Initial
				SPA	Site Plan Approval	Aug. 11 '22	MM

Scale (for 11x17" printing)
n.t.s.

Approved BR
Checked MM
Drawn AY

Multi-Residential Renovation
115 Lancaster Street

Drawing Title
3D View - Rendering w/ Finishes

Project

Dwg. No.
ASK3