

DRAFT REPORT:

Heritage Impact Assessment Update

149-151 Ontario Street North,
Kitchener, Ontario



**LHC | Heritage
Planning and
Archaeology**

837 Princess Street, Suite 400
Kingston, ON
K7L 1G8

Phone: 613-507-7817
Toll Free: 1-833-210-7817
E-mail: info@lhcheritage.com

6 December 2022

Project # LHC0281

LHC

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Report prepared for:

149-151 Ontario Street, Kitchener
LMC Limited Partnership
c/o Masri O Inc. Architects
609 Kumpf Drive, Suite 101
Waterloo, Ontario
N2V 1K8

Report prepared by:

Colin Yu, MA CAHP
Jordan Greene, BA
Amy Barnes, MA CAHP (no longer with LHC)
Zach Hamm, MA (no longer with LHC)

Reviewed by:

Christienne Uchiyama, MA, CAHP

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REPORT LIMITATIONS

The qualifications of the heritage consultants who authored this report are provided in Appendix A: Project Personnel. This report reflects the professional opinion of the authors and the requirements of their membership in various professional and licensing bodies. All comments regarding the condition of any buildings on the Property are based on a superficial visual inspection and are not a structural engineering assessment of the buildings unless directly quoted from an engineering report. The findings of this report do not address any structural or physical condition related issues associated with any buildings on the Property or the condition of any heritage attributes.

The review of policy and legislation was limited to that information directly related to cultural heritage management and is not a comprehensive planning review. Additionally, soundscapes, cultural identity, and sense of place analyses were not integrated into this report.

Archaeological potential has not been assessed as part of this HIA.

EXECUTIVE SUMMARY

The Executive Summary only provides key points from the report. The reader should examine the complete report including background, results as well as limitations.

LHC was retained in November 2021 by Reema Masri of Masri O Inc. Architects on behalf of LMC Limited Partnership (**the “Property Owner”**) to undertake an updated Heritage Impact Assessment (**HIA**) for the development of the properties comprising 21 Weber Street North and 149-151 Ontario Street North in the City of Kitchener (**the “City”**), in the Regional Municipality of Waterloo (**the “Region”**).

An HIA was previously prepared by LHC in 2019. The HIA included an evaluation of the cultural heritage value or interest of both properties and determined that, while the property at 21 Weber Street North does not satisfy the criteria for determining cultural heritage value or interest, the property at 149-151 Ontario Street North meets criteria 1.i. and 2. ii. of *O. Reg. 9/06* for its design and physical value, and historical and associative value.

The development proposal evaluated in the 2019 HIA sought to remove portions of the c. 1876 semi-detached brick residence (including the rear addition, east elevation, the east side of the roof and upper portions of the chimney). Subsequent to the HIA, the earlier proposal was determined to not be feasible within the context of the project and a new proposed design will result in further removals, with the retention of the façade and partial side elevations.

The proponent is proposing to build a 27-storey mixed use apartment with four commercial units and 206 residential units.

This updated HIA is being prepared to outline heritage planning constraints, assess potential adverse impacts on the cultural heritage value and heritage attributes of the properties and surrounding area, and identify mitigation measures and alternatives to avoid or lessen impacts. This HIA was undertaken in accordance with the recommended methodology outlined within the Ministry of Citizenship and Multiculturalism's (**MCM**) *Ontario Heritage Toolkit* and the City of Kitchener's *Heritage Impact Assessment Terms of Reference*.

This updated HIA resulted in the following findings and recommendations:

- Potential project-related adverse impacts were identified for the Property and its heritage attributes.
- Given that full retention of the c. 1876 semi-detached brick residence has been determined not to be feasible, partial demolition/selective deconstruction and integration is the preferred option. This alternative sees the retention of the façade, south elevation and partial north elevation.

The following mitigative measures are recommended to lessen adverse impacts:

- To the extent possible, existing wooden window and door cases should be retained and repaired. In order to support the efficiency of the windows, new inserts and/or storm windows could be installed.
- The front doors and their transoms should be repaired and retained.

- Design of the new concrete porch/bench seating should be compatible with and subordinate to the existing façade. Choice of material and design of any attachments should be informed by a qualified heritage professional.
- To the extent possible portions of the building that are removed should be salvaged for reuse in the other areas of the new development or elsewhere. It is understood that some of the buff brick will be retained – on site – for reuse within the lobby. Per OP Policy 12.C.1.32, the City of Kitchener (the City) may require all or any part of the demolished cultural heritage resource to be given to the City for re-use, archival, display or commemorative purposes, at no cost to the City.
- It is recommended that a documentation package be prepared for the Property prior to any deconstruction activities including measured elevations and a record set of photographs to compare pre- and post-construction conditions. Photographs generally depicting the removals, should also be included in the documentation.
- An updated Conservation Plan – prepared by a qualified heritage professional - may be required by the City of Kitchener. In order to inform a more detailed Conservation Plan, a comprehensive condition survey of the existing building should be undertaken. The Conservation Plan should include guidance for any immediate interventions required prior to removals and construction, guidance for stabilization during removals and construction, and guidance for repairs and long-term maintenance following construction of the new development.
- All removals/demolition of the existing structure should be carried out under the direction of a professional engineer with demonstrated experience working with heritage buildings.

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1.0 INTRODUCTION TO THE PROPERTY

LHC was retained in November 2021 by Reema Masri of Masri O Inc. Architects on behalf of LMC Limited Partnership (**the “Property Owner”**) to undertake an updated Heritage Impact Assessment (**HIA**) for the development of the properties comprising 21 Weber Street North and 149-151 Ontario Street North in the City of Kitchener (**the “City”**), in the Regional Municipality of Waterloo (**the “Region”**).

The proponent is proposing to build a 27-storey mixed-used apartment building with four commercial units and 206 residential units. An HIA was previously completed for the Property in 2019 by LHC and at the time the property at 149-151 Ontario Street North (**the “Property”**) was determined to demonstrate Cultural Heritage Value or Interest (**CHVI**). A Statement of Cultural Heritage Value or Interest (**SCHVI**) and list of heritage attributes is provided in Section 6.1.4

This updated HIA is being prepared to outline heritage planning constraints, assess potential adverse impacts on the cultural heritage value and heritage attributes of the Property and surrounding area, and identify mitigation measures and alternatives to avoid or lessen impacts.

This HIA was undertaken in accordance with the recommended methodology outlined within the Ministry of Citizenship and Multiculturalism’s (**MCM**) *Ontario Heritage Toolkit* and the City of Kitchener’s *Heritage Impact Assessment Terms of Reference*.

1.1 Property Owner

The Property is owned by LMC Limited Partnership (melissac@lmcproperties.ca).

1.2 Property Description

The Property, known municipally as 149-151 Ontario Street North, is located in Ward 10, in the City of Kitchener, in the Region of Waterloo, Ontario. The legal description is Part Lot 11, Plan 401. The Property is located on the east side of Ontario Street North, south of Weber Street West, west of Queen Street North, north of Duke Street West, and west of Young Street (Figure 1). This section of Ontario Street North is a two-way street which runs generally in a north-south direction. The Property is in the Urban Growth Centre of the City of Kitchener. Within the Urban Growth Centre, the Property has a specific land use designation in the City Centre District (Figure 2).

149-151 Ontario Street North generally follows a square plan and is approximately 597.7m² (0.06ha / 0.15 acres) in size.¹ There is a two-storey, semi-detached brick building which fronts Ontario Street North. The building has a one-storey rear wing and a one-and-a-half-storey rear wing. Overall, the building follows an L-shaped plan and is narrowly set back from Ontario Street North. There are two very small patches of landscaping along the façade and the remaining property is covered with paved gravel.

The property is zoned D-4 Office District Zone. See Table 4 for the definition and permitted uses associated with D-4 Zoning.

¹ Information taken from City of Kitchener Interactive Map, 2017.

1.3 Properties Heritage Status

149-151 Ontario Street is *listed* as a non-designated property of cultural heritage value or interest on the *Municipal Heritage Register*; the property was added 27 April 2009.² A Statement of Significance (**SOS**) was created for 149-151 Ontario Street North at the time. The SOS notes that the building was built c. 1876 and originally used as a residential property. The document titled *Statement of Significance 149-151 Ontario Street North* includes a description of the Property, a statement of heritage value or interest, heritage attributes, photographs, and the City of Kitchener Cultural Heritage Evaluation Form. The statement of heritage value or interest and heritage attributes states, verbatim:

Heritage Value or Interest

149-151 Ontario Street North is recognized for its design, physical, and historical value.

The building is a hybrid architectural styles with influences from Georgian and Italianate architecture. The building is in good condition with many intact original elements including: buff brick; a symmetrical plan with two bay windows; side gable roof; brackets; brick quoining; 1/1 and 2/2 windows with dripstones; window sills; front doors with transoms; and two end chimneys.

Although the building is presently used for commercial uses its original use was residential in the form of a semi-detached building. The building is the last remaining example of a residential building on Ontario Street and is a unique example of a working class residence.

Heritage Attributes:

The heritage value of 149-151 Ontario Street North resides in the following heritage attributes:

All elements related to the construction architectural style, including:

- Buff brick construction;
- Symmetrical plan with two bay windows;
- Roof and roofline;
- Side gable roof;
- Wood brackets
- Brick quoining;
- Window and window openings;
- 1/1 and 2/2 windows with dripstones;
- Door and door openings;
- Front doors with transoms; and
- Brick chimney

² The *City of Kitchener Municipal Heritage Register* was last updated 24 October 2017.

LHC previously completed an HIA for the Property in 2019 and generally agrees with the SOS. An evaluation of the Property against *O. Reg. 9/06* determined the Property meets two criteria and a SCHVI was prepared (see Section 6.1.4).

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KEY MAP



Legend

● Property

NOTE(S)
1. All locations are approximate.

REFERENCE(S)
1. Service Layer Credits: Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), (c) OpenStreetMap contributors, and the GIS User Community
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TITLE Location Plan	
CLIENT Masri O Inc. Architects	
PROJECT Heritage Impact Assessment Update 149-151 Ontario Street North, Kitchener, Ontario	
PROJECT NO. LHC0281	
CONSULTANT	YYYY-MM-DD 2022-01-06
	PREPARED LHC
	DESIGNED JG
	FIGURE # 1




Legend

151 Ontario Street

NOTE(S)
1. All locations are approximate.

REFERENCE(S)
1. Service Layer Credits: Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community
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TITLE Current Conditions		
CLIENT Masri O Inc. Architects		
PROJECT Heritage Impact Assessment Update 149-151 Ontario Street North, Kitchener, Ontario		PROJECT NO. LHC0281
CONSULTANT	YYYY-MM-DD	2022-01-06
	PREPARED	LHC
	DESIGNED	JG
	FIGURE #	2

2.0 STUDY APPROACH

LHC follows a three-step approach to understanding and planning for cultural heritage resources based on the understanding, planning and intervening guidance from the Canada's Historic Places *Standards and Guidelines for the Conservation of Historic Places in Canada* and MCM's *Ontario Heritage Tool Kit*.³ Understanding the cultural heritage resource involves:

- Understanding the significance of the cultural heritage resource (known and potential) through research, consultation, and evaluation—when necessary.
- Understanding the setting, context, and condition of the cultural heritage resource through research, site visit and analysis.
- Understanding the heritage planning regulatory framework around the cultural heritage resource.

The impact assessment is guided by the *Ontario Heritage Tool Kit, Heritage Resources in the Land Use Planning Process, Information Sheet #5, Heritage Impact Assessments and Conservation Plans*. A description of the proposed development or site alteration, measurement of development or site impact and consideration of alternatives, mitigation and conservation methods are included as part of planning for the cultural heritage resource.⁴ The HIA includes recommendations for design and heritage conservation to guide interventions to the Properties.

2.1 City of Kitchener Heritage Impact Assessment Terms of Reference (2018)

The City's HIA ToR require an assessment to determine potential impacts to cultural heritage resources by proposed development. An HIA prepared for the City:

...shall include an inventory of all cultural heritage resources within the planning application area. The study results in a report which identifies all known cultural heritage resources, evaluates the significance of the resources, and makes recommendations toward mitigative measures that would minimize negative impacts to those resources.

Requirements of an HIA submitted to the City include the following:

Table 1: City of Kitchener's Heritage Impact Assessment Terms of Reference Requirements

Requirement	Location
Present owner contact information for properties proposed for development and/or site alteration.	Found in Section 1.1 of this HIA.
A detailed site history to include a listing of owners from the Land Registry Office, and a history of the site use(s).	Found in Section 4.0 of this HIA.
A written description of the buildings, structures and landscape features on the subject properties including: building elements, building materials, architectural and interior finishes, natural heritage elements, and	Found in Section 5.0 of this HIA.

³ Canada's Historic Places, "Standards and Guidelines for the Conservation of Historic Places in Canada", 2010, 3; MHSTCI, "Heritage Property Evaluation" Ontario Heritage Tool Kit, 2006, 18.

⁴ MHSTCI, "Heritage Resources in the Land Use Planning Process" Ontario Heritage Tool Kit, 2006

Requirement	Location
landscaping. The description will also include a chronological history of the buildings' development, such as additions and demolitions.	
The report shall include a clear statement of the conclusions regarding the cultural heritage value and interest of the subject property as well as a bullet point list of heritage attributes. If applicable, the statement shall also address the value and significance of adjacent protected heritage property.	Found in Section 6.0 of this HIA
Documentation of the subject properties to include: current photographs of each elevation of the buildings, photographs of identified heritage attributes and a site plan drawn at an appropriate scale to understand the context of the buildings and site details. Documentation shall also include where available, current floor plans, and historical photos, drawings or other available and relevant archival material.	Found in Section 5.0 of this HIA.
<p>An outline of the proposed development, its context, and how it will impact the properties (subject property and if applicable adjacent protected heritage properties) including buildings, structures, and site details including landscaping. In particular, the potential visual and physical impact of the proposed development on the identified heritage attributes of the properties, shall be assessed.</p> <p>The Heritage Impact Assessment must consider potential negative impacts as identified in the Ministry of Tourism, Culture and Sport's Ontario Heritage Tool Kit. Negative impacts may include but are not limited to: alterations that are not sympathetic or compatible with the cultural heritage resource; demolition of all or part of a cultural heritage resource; etc. The outline should also address the influence and potential impact of the development on the setting and character of the subject properties and adjacent protected heritage property.</p>	Found in Section 7.0 and 8.0 of this HIA.
Options shall be provided that explain how the significant cultural heritage resources may be conserved. Methods of mitigation may include, but are not limited to, preservation/conservation in situ, adaptive re-use, integration of all or part of the heritage resource, relocation. Each mitigative measure should create a sympathetic context for the heritage resource.	Found in Section 9.0 of this HIA.
A summary of applicable heritage conservation principles and how they will be used must be included. Conservation	Found in Section 9.0 of this HIA.

Requirement	Location
principles may be found in online publications such as: the Standards and Guidelines for the Conservation of Historic Places in Canada (Parks Canada); Eight Guiding Principles in the Conservation of Built Heritage Properties (Ontario Ministry of Tourism, Culture and Sport); and, the Ontario Heritage Tool Kit (Ontario Ministry of Tourism, Culture and Sport).	
Proposed repairs, alterations and demolitions must be justified and explained as to any loss of cultural heritage value and impact on the streetscape/neighbourhood context.	Found in Section 9.0 of this HIA.
Recommendations shall be as specific as possible, describing and illustrating locations, elevations, materials, landscaping, etc.	Found in Section 9.0 of this HIA.
The qualifications and background of the person(s) completing the Heritage Impact Assessment shall be included in the report. The author(s) must demonstrate a level of professional understanding and competence in the heritage conservation field of study.	Found in Appendix A of this HIA.
The report will also include a reference for any literature cited, and a list of people contacted during the study and referenced in the report.	Found in Section 11.0 of this HIA
<p>The summary statement should provide a full description of:</p> <ul style="list-style-type: none"> • The significance and heritage attributes of the subject properties. • The identification of any impact the proposed development will have on the heritage attributes of the subject properties, including adjacent protected heritage property. • An explanation of what conservation or mitigative measures, or alternative development, or site alteration approaches are recommended. • Clarification as to why specific conservation or mitigative measures, or alternative development or site alteration approaches are not appropriate. 	Found in Section 10.0 of this HIA.
The consultant must write a recommendation as to whether the subject properties are worthy of listing or designation under the Ontario Heritage Act. Should the consultant not support heritage designation then it must be	Found in Section 6.0 of this HIA.

Requirement	Location
<p>clearly stated as to why the subject property does not meet the criteria as stated in Regulation 9/06.</p> <p>The following questions must be answered in the mandatory recommendation of the report:</p> <ol style="list-style-type: none"> 1. Do the properties meet the criteria for listing on the Municipal Heritage Register as a Non-Designated Property of Cultural Heritage Value or Interest? 2. Do the properties meet the criteria for heritage designation under Ontario Regulation 9/06 of the Ontario Heritage Act? Why or why not? 3. If the subject properties do not meet the criteria for heritage listing or designation then it must be clearly stated as to why they do not. 4. Regardless of the failure to meet criteria for heritage listing or designation, do the properties warrant conservation as per the definition in the Provincial Policy Statement? Why or why not? 	

2.2 Legislative/Policy Review

The HIA includes a review of provincial legislation, plans and cultural heritage guidance, and relevant municipal policy and plans. This review outlines the cultural heritage legislative and policy framework that applies to the Property. The impact assessment considers the proposed project against this framework.

2.3 Historic Research

Historical research was undertaken to outline the history and development of the Property and its broader community context. Primary historic material, including air photos and mapping, were obtained from:

- Library and Archives Canada;
- Department of National Defence;
- Ancestry;
- Waterloo Open Data;
- University of Waterloo's Geospatial Centre's Historical Map Collection; and,
- Kitchener Public Library.

Secondary research was compiled from sources such as: historical atlases, local histories, architectural reference texts, available online sources, and previous assessments. All sources and persons contacted in the preparation of this report are listed as footnotes and in the report's reference list.

2.4 Site Visit

As part of the 2019 HIA, site visits were undertaken by LHC staff on 7 November 2018 and 11 July 2019. In order to update existing conditions, a site visit was undertaken on 11 November 2021 by Christienne Uchiyama. The primary objective of the site visits was to document and gain an understanding of the Property and their surrounding context. The site visits included a documentation of the surrounding area, and exterior views of the structures. Interiors were accessed during the 2018 and 2019 site visits, however, not during the November 2021 site visit. A fire occurred on the second floor of the building on 7 April 2022. Although the fire does not appear to have resulted in significant structural damage, portions of the second floor – including part of the roof—were damaged. The property has not been visited by LHC since the fire and our understanding of existing conditions are based on photographs provided by the proponent.

2.5 Impact Assessment

The MCM's *Information Sheet #5: Heritage Impact Assessments and Conservation Plans*⁵ outlines seven potential negative impacts to be considered with any proposed development or property alteration. The impacts include, but are not limited to:

- 1) **Destruction** of any part of any significant heritage attribute or features;
- 2) **Alteration** that is not sympathetic or is incompatible, with the historic fabric and appearance;
- 3) **Shadows** created that alter the appearance of a heritage attribute or change the viability of a natural feature or planting, such as a garden;
- 4) **Isolation** of a heritage attribute from its surrounding environment, context, or a significant relationship;
- 5) **Direct or indirect obstruction** of significant views or vistas within, from, or built and natural features;
- 6) **A change in land use** such as rezoning a battlefield from open space to residential use, allowing new development or site alteration to fill in the formerly open spaces; and
- 7) **Land disturbances** such as a change in grade that alters soils, drainage patterns that adversely affect an archaeological resource.

The HIA includes a consideration of direct and indirect adverse impacts on adjacent properties with known or potential cultural heritage value or interest in Section 8.0.

⁵ MCM "Heritage Impact Assessments and Conservation Plans, Info Sheet #5" in *Heritage Resources in the Land Use Planning Process: Cultural Heritage and Archaeology Policies of the Ontario Provincial Policy Statement, 2005* (Queen's Printer for Ontario, 2006)

3.0 POLICY FRAMEWORK

3.1 Provincial Planning Context

In Ontario, cultural heritage is considered a matter of provincial interest and cultural heritage resources are managed under Provincial legislation, policy, regulations, and guidelines. Cultural heritage is established as a key provincial interest directly through the provisions of the *Planning Act*, the *OHA*, and the *PPS*. Other provincial legislation deals with cultural heritage indirectly or in specific cases. These various acts and the policies under these acts indicate broad support for the protection of cultural heritage by the Province. They also provide a legal framework through which minimum standards for heritage evaluation are established. What follows is an analysis of the applicable legislation and policy regarding the identification and evaluation of cultural heritage.

3.1.1 The Planning Act, R.S.O. 1990, c.P.13

The Planning Act is the primary document for municipal and provincial land use planning in Ontario. This Act sets the context for provincial interest in heritage. It states under Part I (2, d):

The Minister, the council of a municipality, a local board, a planning board and the Municipal Board, in carrying out their responsibilities under this Act, shall have regard to, among other matters, matters of provincial interest such as...the conservation of features of significant architectural, cultural, historical, archaeological or scientific interest.⁶

Under Section 1 of *The Planning Act*:

A decision of the council of a municipality, a local board, a planning board, a minister of the Crown and a ministry, board, commission or agency of the government, including the Tribunal, in respect of the exercise of any authority that affects a planning matter...shall be consistent with [the *PPS*].⁷

Details about provincial interest as it relates to land use planning and development in the province are outlined in the *PPS* which makes the consideration of cultural heritage equal to all other considerations concerning planning and development within the province.

3.1.2 Provincial Policy Statement (2020)

The *PPS* provides further direction for municipalities regarding provincial requirements and sets the policy foundation for regulating the development and use of land in Ontario. Land use planning decisions made by municipalities, planning boards, the Province, or a commission or agency of the government must be consistent with the *PPS*. The Province deems cultural heritage and archaeological resources to provide important environmental, economic, and social benefits, and *PPS* directly addresses cultural heritage in Section 1.7.1e and Section 2.6.

Section 1.7 of the *PPS* regards long-term economic prosperity and promotes cultural heritage as a tool for economic prosperity. The relevant subsection states that long-term economic prosperity should be supported by:

⁶ Province of Ontario, "Planning Act, R.S.O. 1990, c. P.13," December 8, 2020, <https://www.ontario.ca/laws/statute/90p13>, Part I (2, d).

⁷ Province of Ontario, "Planning Act," Part I S.5.

1.7.1e encouraging a sense of place, by promoting well-designed built form and cultural planning, and by conserving features that help define character, including built heritage resources and cultural heritage landscapes.

Section 2.6 of the *PPS* articulates provincial policy regarding cultural heritage and archaeology. Subsection's state:

2.6.1 Significant built heritage resources and significant cultural heritage landscapes shall be conserved.

2.6.2 Development and site alteration shall not be permitted on lands containing archaeological resources or areas of archaeological potential unless significant archaeological resources have been conserved.

2.6.3 Planning authorities shall not permit development and site alteration on adjacent lands to protected heritage property except where the proposed development and site alteration has been evaluated and it has been demonstrated that the heritage attributes of the protected heritage property will be conserved.

2.6.4 Planning authorities should consider and promote archaeological management plans and cultural plans in conserving cultural heritage and archaeological resources.

2.6.5 Planning authorities shall engage with Indigenous communities and consider their interests when identifying, protecting and managing cultural heritage and archaeological resources.⁸

The definition of significance in the *PPS* states that criteria for determining significance for cultural heritage resources are determined by the Province under the authority of the *OHA*.⁹ The *PPS* makes the consideration of cultural heritage equal to all other considerations and recognizes that there are complex interrelationships among environmental, economic and social factors in land use planning. It is intended to be read in its entirety and relevant policies applied in each situation.

A HIA may be required by a municipality in response to Section 2.6.1 and 2.6.3 to conserve built heritage resources, cultural heritage landscapes, and the heritage attributes of a protected heritage property.

3.1.3 Ontario Heritage Act, R.S.O. 1990, c.O.18

The *OHA* and associated regulations establish the protection of cultural heritage resources as a key consideration in the land-use planning process, set minimum standards for the evaluation of heritage resources in the province, and give municipalities power to identify and conserve individual properties, districts, or landscapes of cultural heritage value or interest.¹⁰

Part I (2) of the *OHA* enables the Minister to determine policies, priorities, and programs for the conservation, protection, and preservation of the heritage of Ontario. The *OHA* and associated

⁸ Province of Ontario, "Provincial Policy Statement," 2020, 29.

⁹ Province of Ontario, "Provincial Policy Statement," 2020, 51.

¹⁰ Province of Ontario, "Ontario Heritage Act, R.S.O. 1990, c. O.18," last modified April 19, 2021, <https://www.ontario.ca/laws/statute/90o18>

regulations establish the protection of cultural heritage resources as a key consideration in the land-use planning process, set minimum standards for the evaluation of heritage resources in the province, and give municipalities power to identify and conserve individual properties, districts, or landscapes of cultural heritage value or interest.¹¹ *O. Reg. 9/06* and *Ontario Regulation 10/06 (O. Reg. 10/06)* outline criteria for determining cultural heritage value or interest and criteria for determining cultural heritage value or interest of provincial significance.

Individual heritage properties are designated by municipalities under Section 29, Part IV of the *OHA*. A municipality may list a property on a municipal heritage register under Section 27, Part IV of the *OHA*. A municipality may designate heritage conservation districts under Section 41, Part V of the *OHA*. An *OHA* designation applies to real property rather than individual structures.

Sections 33 and 34 Part IV and Section 42 Part V of the *OHA* require owners of designated heritage properties to obtain a permit or approval in writing from a municipality/municipal council to alter, demolish or remove a structure from a designated heritage property. These sections also enable a municipality to require an applicant to provide information or material that council considers it may need to decide which may include a HIA.

Under Section 27(3), a property owner must not demolish or remove a building or structure unless they give council at least 60 days notice in writing. Under Section 27(5) council may require plans and other information to be submitted with this notice which may include a HIA.

3.1.4 Places to Grow Act, 2005, S.O. 2005

The *Places to Grow Act* guides growth in the province and was consolidated 1 June 2021. It is intended:

- a) to enable decisions about growth to be made in ways that sustain a robust economy, build strong communities and promote a healthy environment and a culture of conservation;
- b) to promote a rational and balanced approach to decisions about growth that builds on community priorities, strengths and opportunities and makes efficient use of infrastructure;
- c) to enable planning for growth in a manner that reflects a broad geographical perspective and is integrated across natural and municipal boundaries;
- d) to ensure that a long-term vision and long-term goals guide decision-making about growth and provide for the co-ordination of growth policies among all levels of government.¹²

This act is administered by the Ministry of Infrastructure and enables decision making across municipal and regional boundaries for more efficient governance in the Greater Golden Horseshoe area.

¹¹ Province of Ontario, "Ontario Heritage Act," 2021

¹² Province of Ontario, "Places to Grow Act, 2005, S.O. 2005, c. 13," last modified April 19, 2021, <https://www.ontario.ca/laws/statute/05p13>, 1.

3.1.5 A Place to Grow: Growth Plan for the Greater Golden Horseshoe (2020)

The Properties are located within the area regulated by *A Place to Grow: Growth Plan for the Greater Golden Horseshoe* (**the Growth Plan**) which came into effect on 16 May 2019 and was consolidated on 28 August 2020.

In Section 1.2.1, the *Growth Plan* states that its policies are based on key principles, which includes:

Conserve and promote cultural heritage resources to support the social, economic, and cultural well-being of all communities, including First Nations and Métis communities.¹³

Section 4.1 Context, in the *Growth Plan* describes the area it covers as containing:

...a broad array of important hydrologic and natural heritage features and areas, a vibrant and diverse agricultural land base, irreplaceable cultural heritage resources, and valuable renewable and non-renewable resources.¹⁴

It describes cultural heritage resources as:

The *GGH* also contains important cultural heritage resources that contribute to a sense of identity, support a vibrant tourism industry, and attract investment based on cultural amenities. Accommodating growth can put pressure on these resources through development and site alteration. It is necessary to plan in a way that protects and maximizes the benefits of these resources that make our communities unique and attractive places to live.¹⁵

Policies specific to cultural heritage resources are outlined in Section 4.2.7, as follows:

1. Cultural heritage resources will be conserved in order to foster a sense of place and benefit communities, particularly in strategic growth areas;
2. Municipalities will work with stakeholders, as well as First Nations and Métis communities, in developing and implementing official plan policies and strategies for the identification, wise use and management of cultural heritage resources; and,
3. Municipalities are encouraged to prepare archaeological management plans and municipal cultural plans and consider them in their decision-making.¹⁶

Amendment 1 to *A Place to Grow* aligns the definitions of *A Place to Grow* with PPS 2020.

3.1.6 Municipal Act, 2001, S.O. 2001, c.25

The *Municipal Act* was consolidated on 19 April 2021 and enables municipalities to be responsible and accountable governments with their jurisdiction.¹⁷ The *Municipal Act* authorizes

¹³ Province of Ontario, "A Place to Grow: Growth Plan for the Greater Golden Horseshoe," last modified 2020, <https://files.ontario.ca/mmah-place-to-grow-office-consolidation-en-2020-08-28.pdf>, 6.

¹⁴ Province of Ontario, "A Place to Grow: Growth Plan for the Greater Golden Horseshoe," 2020, 39.

¹⁵ Province of Ontario, "A Place to Grow: Growth Plan for the Greater Golden Horseshoe," 2020, 39.

¹⁶ Province of Ontario, "A Place to Grow: Growth Plan for the Greater Golden Horseshoe," 2020, 47.

¹⁷ Province of Ontario, "Municipal Act, 2001, S.O. 2001, c.25," last modified April 19, 2021, <https://www.ontario.ca/laws/statute/01m25>.

powers and duties for providing good government and is administered by the Ministry of Municipal Affairs and Housing.

Amongst the many powers enabled by the *Municipal Act* is the power to create By-laws within the municipalities sphere of jurisdiction.¹⁸ Under Section 11 (3) lower and upper tier municipalities are given the power to pass by-laws on matters including culture and heritage.¹⁹ Enabling municipalities to adopt a by-law or a resolution by Council to protect heritage, which may include requirements for an HIA.

3.1.7 Provincial Planning Context Summary

In summary, cultural heritage resources are considered an essential part of the land use planning process with their own unique considerations. As the province, these policies and guidelines must be considered by the local planning context. In general, the province requires significant cultural heritage resources to be conserved.

Multiple layers of municipal legislation enable a municipality to require an HIA for alterations, demolition or removal of a building or structure from a listed or designated heritage property. These requirements support the conservation of cultural heritage resources in Ontario following provincial policy direction.

3.2 Regional Planning Context

3.2.1 Regional Municipality of Waterloo Official Plan (2015)

The *Regional Municipality of Waterloo Official Plan (ROP)* was approved with modifications by the Ontario Municipal Board on 18 June 2015 and is currently under review.²⁰ The *ROP* sets out policies to guide growth and land use within the Region in keeping with provincial policy.

Chapter 3 addresses cultural heritage policies, writing that:

These resources provide an important means of defining and confirming a regional identity, enhancing the quality of life of the community, supporting social development and promoting economic prosperity. The Region is committed to the conservation of its cultural heritage. This responsibility is shared with the Federal and Provincial governments, Area Municipalities, other government agencies, the private sector, property owners and the community.²¹

Policies related to the Identification of Cultural Heritage Resources, Cultural Heritage Landscapes, Archaeology, Heritage Planning Advisory Committees, Cultural Heritage Impact Assessment, Conservation, Promotion and Research, and Scenic Roads are outlined by the *ROP*. Policies most relevant to the Properties and proposed development have been included below in Table 2.

Table 2: Regional Municipality of Waterloo Relevant Official Plan Policies

¹⁸ Province of Ontario, "Municipal Act," 2021, 11.

¹⁹ Province of Ontario, "Municipal Act," 2021, 11(3).

²⁰ Regional Municipality of Waterloo, "Regional Municipality of Waterloo Official Plan," last modified June 18, 2015, <https://www.regionofwaterloo.ca/en/regional-government/land-use-planning.aspx> cover.

²¹ Regional Municipality of Waterloo, "Regional Municipality of Waterloo Official Plan," 2015, 48.

Policy	Policy Text
	Identification of Cultural Heritage Resources
3.G.1	The Region and Area Municipalities will ensure that <i>cultural heritage resources</i> are <i>conserved</i> using the provisions of the <u>Heritage Act</u> , the <u>Planning Act</u> , the <u>Environmental Assessment Act</u> , the <u>Cemeteries Act</u> and the <u>Municipal Act</u> .
3.G.3	<p>Area Municipalities will identify cultural heritage resources by establishing and maintaining a register of properties that are of cultural heritage value or interest. Area Municipalities will include on their register properties designated under Part IV, V or VI of the Heritage Act, and will consider including, but not be limited to, the following additional cultural heritage resources of cultural heritage value or interest:</p> <ul style="list-style-type: none"> a) properties that have heritage conservation easements or covenants registered against title; b) cultural heritage resources of Regional interest; and c) cultural heritage resources identified by the Grand River Conservation Authority and the Federal or Provincial governments.
	Cultural Heritage Landscapes
3.G.5	<p>The Region will prepare and update a Regional Implementation Guideline for Cultural Heritage Landscape Conservation. This guideline will outline the framework for identifying Cultural Heritage Landscapes, including Cultural Heritage Landscapes of Regional interest, and for documenting each individual landscape through a Cultural Heritage Conservation Landscape Plan that includes:</p> <ul style="list-style-type: none"> (a) a statement of significance; (b) a listing of the cultural heritage resources and attributes being conserved within the Cultural Heritage Landscape through the use of existing planning tools, such as Heritage Act designations, listings on the Municipal Register, official plan policies, secondary plans and zoning bylaws; and (c) recommendations for additional conservation measures.
3.G.6	Area Municipalities will designate Cultural Heritage Landscapes in their official plans and establish associated policies to conserve these areas. The purpose of this designation is to conserve groupings of cultural heritage resources that together have greater heritage significance than their constituent elements or parts.
3.G.7	The Region will assist Area Municipalities with the preparation of Cultural Heritage Landscape Conservation Plans for Cultural Heritage Landscapes of Regional interest.
	Archaeology
3.G.8	The Region will prepare and update a Regional Archaeological Master Plan, an associated Regional Archaeological Implementation Guideline, and maps identifying

Policy	Policy Text
	<i>archaeological resources</i> and <i>areas of archaeological potential</i> . The Master Plan will provide detailed information on the variables used to determine areas of <i>archaeological potential</i> and define the archaeological review process.
3.G.9	During the review of <i>development applications</i> and/or <i>site plans</i> , the Region and/or Area Municipalities will require the owner/applicant to submit an archaeological assessment conducted by a licensed archaeologist in accordance with the provisions of the Regional Archaeological Implementation Guideline following the Ministry of Tourism and Culture's Standards and Guidelines, to the satisfaction of the Province, where <i>archaeological resources</i> and/or <i>areas of archaeological potential</i> have been identified in the Archaeological Master Plan.
3.G.10	Where an <i>archaeological assessment</i> identifies a <i>significant archaeological resource</i> , the Region or Area Municipality will require the owner/applicant to conserve the <i>significant archaeological resource</i> by: <ul style="list-style-type: none"> a) ensuring the site remains undeveloped and, wherever appropriate, designated as open space by the Area Municipality; or b) removing the <i>significant archaeological resource</i> from the site by a licensed archaeologist, prior to site grading or construction.
	Cultural Heritage Impact Assessment
3.G.13	Area Municipalities will establish policies in their official plans to require the submission of a <i>Cultural Heritage Impact Assessment</i> in support of a proposed <i>development</i> that includes or is adjacent to a designated property, or includes a non-designated resource of cultural heritage value or interest listed on the Municipal Heritage Register.
3.G.14	Where a <i>Cultural Heritage Impact Assessment</i> required under Policy 3.G.13 relates to a <i>cultural heritage resource</i> of Regional interest, the Area Municipality will ensure that a copy of the assessment is circulated to the Region for review. In this situation, the <i>Cultural Heritage Impact Assessment</i> submitted by the owner/applicant will be completed to the satisfaction of both the Region and the Area Municipality.
3.G.15	Where a <i>development application</i> includes, or is adjacent to, a <i>cultural heritage resource</i> of Regional interest which is not listed on a Municipal Heritage Register, the owner/applicant will be required to submit a <i>Cultural Heritage Impact Assessment</i> to the satisfaction of the Region.
3.G.16	The Region will undertake a <i>Cultural Heritage Impact Assessment</i> and consult with the affected Area Municipality and the Regional Heritage Planning Advisory Committee prior to planning, designing or altering Regional buildings or <i>infrastructure</i> that may affect a <i>cultural heritage resource</i> listed on the region-wide inventory described in Policy 3.G.4. The <i>Cultural Heritage Impact Assessment</i> will be reviewed and approved in accordance with the policies in this Plan.
3.G.17	Cultural Heritage Impact Assessment will include, but not be limited to the following:

Policy	Policy Text
	<ul style="list-style-type: none"> a) historical research, site analysis and evaluation; b) identification of the significance and heritage attributes of the cultural heritage resource; c) description of the proposed development or site alteration; d) assessment of development or site alteration impacts; e) consideration of alternatives, mitigation and conservation methods; f) schedule and reporting structure for implementation and monitoring; and g) a summary statement and conservation recommendations.
3.G.18	<p>Where a <i>Cultural Heritage Impact Assessment</i> required in this Plan relates to a <i>cultural heritage resource</i> of Regional interest, the conservation recommendations will, wherever feasible, aim to <i>conserve cultural heritage resources</i> intact by:</p> <ul style="list-style-type: none"> a) recognizing and incorporating heritage resources and their surrounding context into the proposed development in a manner that does not compromise or destroy the heritage resource; b) protecting and stabilizing built heritage resources that may be underutilized, derelict, or vacant; and c) designing development to be physically and visually compatible with, and distinguishable from, the heritage resource.
3.G.19	<p>Where it is not feasible to conserve a <i>cultural heritage resource</i> intact in accordance with Policy 3.G.18, the conservation recommendations will:</p> <ul style="list-style-type: none"> a) promote the reuse or adaptive reuse of the resource, building, or building elements to preserve the resource and the handiwork of past artisans; and b) require the owner/applicant to provide measured drawings, a land use history, photographs and other available documentation of the cultural heritage resource in its surrounding context.
3.G.20	<p>Cultural Heritage Impact Assessments may be scoped or waived by the Region or the Area Municipality as applicable.</p>

3.2.2 Region of Waterloo Arts, Culture, and Heritage Master Plan (2002)

The *Region of Waterloo Arts, Culture, and Heritage Master Plan (Master Plan)* includes recommendations and implementation strategies for identification, protection, promotion, and investment cultural resources in the region. The *Master Plan* was created as:

Arts, culture, and heritage initiatives make a significant contribution to the well-being and quality of life of the residents of Waterloo Region. They reflect and enhance the community's unique identity and diversity, contribute to economic vitality, and shape future growth. Accordingly, the Region of Waterloo, alone or in partnership, will identify, protect, promote, and invest in existing resources;

implement strategies to support existing and additional arts, culture, and heritage initiatives; and ensure their long-term prosperity and sustainability.²²

The goals of the *Master Plan* are to achieve the following:²³

1. Community Identity and Character

Develop a stronger cultural heritage identity for the region, one that celebrates its diversity, the character of its multiple towns and cities and the differing traditions of their founders; its natural features; and the richness of its arts, culture and heritage assets.

2. Education and Awareness

Build a stronger foundation for arts, culture, and heritage within the community.

3. Coordination and Partnership Formation

Encourage a greater degree of collaboration across all sectors and disciplines.

4. Resources

Support opportunities for the development and sustainability of existing arts, culture, and heritage organizations.

5. Accessibility

Maximize accessibility to arts, culture, and heritage opportunities and information.

The *Master Plan* provides guidance and direction for the region for protecting, identifying, and enhancing cultural heritage aspects for communities, and in serving as a primary document to help develop new policies and implementation strategies.

3.2.3 Regional Planning Context Summary

The Region has acknowledged the identification and conservation of cultural heritage resources is an important element of the land use planning process. Cultural heritage resources are viewed as important drivers for the Region's cultural and economic growth. The Region requires the completion of an HIA for proposed work on a listed property and assessment of archaeological potential. If the property is of Regional interest, a copy of the HIA must be submitted to the Region for review.

²² Region of Waterloo, "Arts, Culture and Heritage Master Plan," last modified October 2002, <https://www.regionofwaterloo.ca/en/exploring-the-region/resources/Documents/artsmasterplan.pdf>, I.

²³ Region of Waterloo, "Arts, Culture and Heritage Master Plan," last modified October 2002, IV.

3.3 Local Planning Context

3.3.1 City of Kitchener Official Plan (2014)

The *City of Kitchener Official Plan (OP)* was approved with modifications by the Region on 19 November 2014 and was consolidated to 2019.²⁴ The *OP* guides growth, land use, and environmental protection for the City to 2031.²⁵

Section 12 addresses cultural heritage policies which are of historical, cultural, social, economic, environmental, and educational value to the City.²⁶ Policies relevant to the Property and proposed development have been included below in Table 3.

Table 3: City of Kitchener Relevant Official Plan Policies

Policy	Policy Text
	Objectives
12.1.1.	To <i>conserve</i> the <i>city's cultural heritage resources</i> through their identification, protection, use and/or management in such a way that their heritage values, attributes and integrity are retained.
12.1.2.	To ensure that all <i>development</i> or <i>redevelopment</i> and <i>site alteration</i> is sensitive to and respects <i>cultural heritage resources</i> and that <i>cultural heritage resources</i> are <i>conserved</i> .
12.1.3.	To increase public awareness and appreciation for <i>cultural heritage resources</i> through educational, promotional and incentive programs.
12.1.4.	To lead the community by example with the identification, protection, use and/or management of <i>cultural heritage resources</i> owned and/or leased by the <i>City</i> .
	Policies
12.C.1.1.	The <i>City</i> will ensure that <i>cultural heritage resources</i> are <i>conserved</i> using the provisions of the <u>Ontario Heritage Act</u> , the <u>Planning Act</u> , the <u>Environmental Assessment Act</u> , the <u>Funeral, Burial and Cremation Services Act</u> and the <u>Municipal Act</u> .
12.C.1.3.	The <i>City</i> will develop, prioritize and maintain a list of <i>cultural heritage resources</i> which will include the following: <ul style="list-style-type: none"> a) properties listed as non-designated properties of cultural heritage value or interest on the <i>Municipal Heritage Register</i>; b) properties designated under Part IV and V of the <u>Ontario Heritage Act</u>; c) <i>cultural heritage landscapes</i>; and,

²⁴ City of Kitchener, "City of Kitchener Official Plan," last modified October 29, 2019, https://www.kitchener.ca/en/resourcesGeneral/Documents/DSD_PLAN_City_of_Kitchener_Official_Plan_2014.pdf, cover.

²⁵ City of Kitchener, "City of Kitchener Official Plan," 2019, 1-1.

²⁶ City of Kitchener, "City of Kitchener Official Plan," 2019, 12-1.

Policy	Policy Text
	<p>d) <i>heritage corridors</i>.</p> <p>The list may also include <i>cultural heritage resources</i> identified in <i>Federal, Provincial and Regional</i> inventories and properties listed on the Heritage Kitchener Inventory of Historic Buildings until such time as these properties are re-evaluated and considered for listing on the <i>Municipal Heritage Register</i>.</p>
12.C.1.4.	The <i>City</i> acknowledges that not all of the <i>city's cultural heritage resources</i> have been identified as a <i>cultural heritage resource</i> as in Policy 12.C.1.3. Accordingly, a property does not have to be listed or designated to be considered as having cultural heritage value or interest.
12.C.1.5.	Through the processing of applications submitted under the <u>Planning Act</u> , resources of potential cultural heritage value or interest will be identified, evaluated and considered for listing as a non-designated property of cultural heritage value or interest on the <i>Municipal Heritage Register</i> and/or designation under the <u>Ontario Heritage Act</u> .
12.C.1.7.	Properties that are of cultural heritage value or interest will be considered for designation under the <u>Ontario Heritage Act</u> . The cultural heritage value or interest associated with the <i>cultural heritage resource</i> will be evaluated based on the regulation in the <u>Ontario Heritage Act</u> which provides criteria for determining cultural heritage value or interest.
	Archaeology
12.C.1.17.	During the review of <i>development applications</i> or applications for <i>site alteration</i> , The <i>City</i> and/or the <i>Region</i> will require an owner/applicant to submit an archaeological assessment conducted by a licensed archaeologist in accordance with any applicable Regional or Provincial Standards and Guidelines, to the satisfaction of the <i>Province</i> , where <i>archaeological resources</i> and/or areas of archaeological potential have been identified in the Regional Archaeological Master Plan.
12.C.1.18.	<p>Where an archaeological assessment identifies a <i>significant archaeological resource</i>, the <i>City</i> and/or the <i>Region</i> and the <i>Province</i> will require the owner/applicant to <i>conserve</i> the <i>significant archaeological resource</i> in accordance with Ministry approvals by:</p> <ul style="list-style-type: none"> a) ensuring the site remains undeveloped and, wherever appropriate, designated as open space by the <i>City</i>; or, b) removing the <i>significant archaeological resource</i> from the site by a licensed archaeologist, prior to site grading or construction.
	Conservation Measures
12.C.1.19.	In addition to listing and designating properties under the <u>Ontario Heritage Act</u> , the <i>City</i> may use and adopt further measures to encourage the protection, maintenance and conservation of the <i>city's cultural heritage resources</i> including

Policy	Policy Text
	built heritage and significant <i>cultural heritage landscapes</i> and implement Cultural Heritage Resource Conservation Measures Policies in this Plan. These may include, but are not limited to covenants and easements pursuant to the <u>Ontario Heritage Act</u> ; by-laws and agreements pursuant to the <u>Planning Act</u> (<i>Zoning By-law</i> , demolition control, site plan control, <i>community improvement</i> provisions, provisions in a subdivision agreement); and by-laws and agreements pursuant to the <u>Municipal Act</u> (<i>Property Standards By-law</i> , tree by-law, sign by-law).
12.C.1.20.	The <i>City</i> will make decisions with respect to <i>cultural heritage resources</i> that are consistent with the policies of the Provincial Policy Statement, which require the <i>conservation</i> of <i>significant cultural heritage resources</i> . In addition, such decisions will be consistent with the <u>Parks Canada Standards and Guidelines for the Conservation of Historic Places in Canada</u> .
12.C.1.21.	All <i>development, redevelopment</i> and <i>site alteration</i> permitted by the land use designations and other policies of this Plan will <i>conserve</i> Kitchener's <i>significant cultural heritage resources</i> . The <i>conservation</i> of <i>significant cultural heritage resources</i> will be a requirement and/or condition in the processing and approval of applications submitted under the <u>Planning Act</u> .
12.C.1.22.	The <i>City</i> may require financial securities from the owner/applicant of an application submitted under the Planning Act, including applications for consent, site plan, draft plan of vacant land condominium and draft plan of subdivision, to ensure the <i>conservation</i> of the <i>city's cultural heritage resources</i> both during and after the <i>development</i> process.
Heritage Impact Assessments and Heritage Conservation Plans	
12.C.1.23.	The <i>City</i> will require the submission of a <i>Heritage Impact Assessment</i> and/or a <i>Heritage Conservation Plan</i> for <i>development, redevelopment</i> and <i>site alteration</i> that has the potential to impact a <i>cultural heritage resource</i> and is proposed: <ul style="list-style-type: none"> a) on or <i>adjacent</i> to a <i>protected heritage property</i>; b) on or <i>adjacent</i> to a <i>heritage corridor</i> in accordance with Policies 13.C.4.6 through 13.C.4.18 inclusive; c) on properties listed as non-designated properties of cultural heritage value or interest on the <i>Municipal Heritage Register</i>; d) on properties listed on the Heritage Kitchener Inventory of Historic Buildings; and/or, e) on or <i>adjacent</i> to an identified <i>cultural heritage landscape</i>.
12.C.1.24.	Where a <i>Heritage Impact Assessment</i> required under Policy 12.C.1.23 relates to a <i>cultural heritage resource</i> of Regional interest, the <i>City</i> will ensure that a copy of the assessment is circulated to the <i>Region</i> for review prior to final consideration by the <i>City</i> .

Policy	Policy Text
12.C.1.25.	A <i>Heritage Impact Assessment</i> and <i>Heritage Conservation Plan</i> required by the <i>City</i> must be prepared by a <i>qualified person</i> in accordance with the minimum requirements as outlined in the <i>City of Kitchener's Terms of Reference for Heritage Impact Assessments and Heritage Conservation Plans</i> .
12.C.1.26.	The contents of a <i>Heritage Impact Assessment</i> will be outlined in a Terms of Reference. In general, the contents of a <i>Heritage Impact Assessment</i> will include, but not be limited to, the following: <ul style="list-style-type: none"> a) historical research, site analysis and evaluation; b) identification of the significance and <i>heritage attributes</i> of the <i>cultural heritage resource</i>; c) description of the proposed development or <i>site alteration</i>; d) assessment of development or <i>site alteration</i> impact or potential <i>adverse impacts</i>; e) consideration of alternatives, mitigation and conservation methods; f) implementation and monitoring; and, g) summary statement and conservation recommendations.
12.C.1.27.	Any conclusions and recommendations of the <i>Heritage Impact Assessment</i> and <i>Heritage Conservation Plan</i> approved by the <i>City</i> will be incorporated as mitigative and/or <i>conservation</i> measures into the plans for <i>development</i> or <i>redevelopment</i> and into the requirements and conditions of approval of any application submitted under the Planning Act.
12.C.1.28.	<i>Heritage Impact Assessments</i> and <i>Heritage Conservation Plans</i> required by the <i>City</i> may be scoped or waived by the <i>City</i> , as deemed appropriate.
Demolition/Damage of Cultural Heritage Resources	
12.C.1.32.	Where a <i>cultural heritage resource</i> is proposed to be demolished, the <i>City</i> may require all or any part of the demolished <i>cultural heritage resource</i> to be given to the <i>City</i> for re-use, archival, display or commemorative purposes, at no cost to the <i>City</i> .
12.C.1.33.	In the event that demolition, salvage, dismantling, relocation or irrevocable damage to a <i>significant cultural heritage resource</i> is proposed and permitted, the owner/applicant will be required to prepare and submit a thorough archival documentation, to the satisfaction of the <i>City</i> , prior to the issuance of an approval and/or permit.
12.C.1.34.	Where archival documentation is required to support the demolition, salvage, dismantling, relocation or irrevocable damage to a <i>significant cultural heritage resource</i> , such documentation must be prepared by a <i>qualified person</i> and must include the following:

Policy	Policy Text
	a) architectural measured drawings; b) a land use history; and, c) photographs, maps and other available material about the <i>cultural heritage resource</i> in its surrounding context. Archival documentation may be scoped or waived by the <i>City</i> , as deemed appropriate.
12.C.1.35.	In the event that demolition is proposed to a non-designated property of cultural heritage value or interest listed on the <i>Municipal Heritage Register</i> , the owner/applicant will be required to provide written notice to the <i>City</i> of the intent to demolish, 60 days prior to the date demolition is proposed. The significance of the <i>cultural heritage resource</i> will be evaluated and Council may use the 60 days to pursue designation of the <i>cultural heritage resource</i> under the <u>Ontario Heritage Act</u> .
12.C.1.36.	The <i>City</i> may give due consideration to designate under the <u>Ontario Heritage Act</u> any <i>cultural heritage resource</i> if that resource is threatened with demolition, significant alterations or other potentially <i>adverse impacts</i> .
	Design/Integration
12.C.1.46.	The <i>City</i> will prepare guidelines as part of the <i>Urban Design Manual</i> to address the <i>conservation</i> of <i>cultural heritage resources</i> in the <i>city</i> and to recognize the importance of the context in which the <i>cultural heritage resources</i> are located.
12.C.1.47.	The <i>City</i> may require architectural design guidelines to guide <i>development, redevelopment</i> and <i>site alteration</i> on, <i>adjacent</i> to, or in close proximity to properties designated under the <u>Ontario Heritage Act</u> or other <i>cultural heritage resources</i> .
12.C.1.48.	Signage on <i>protected heritage properties</i> will be <i>compatible</i> and complementary to the <i>heritage attributes</i> of the <i>protected heritage property</i> and in accordance with and consistent with good <i>conservation practice</i> .

3.3.2 City of Kitchener Zoning By-law 85-1 and 2019-051 (2019)

The City currently reviewing its zoning and has two zoning by-laws *Zoning By-law 85-1* and *Zoning By-law 2019-051*. *Zoning By-law 85-1* is consolidated to 29 March 2004 and applies to all properties in the City.²⁷ *Zoning By-law 2019-051* was approved by City Council on 29 April 2019 and is currently under appeal.²⁸ It is stage 1 of the City's zoning review and includes the

²⁷ City of Kitchener, "City of Kitchener Zoning By-law 85-1," last modified March 29, 2004, <https://app2.kitchener.ca/appdocs/Zonebylaw/PublishedCurrentText/Sections//Section%201%20-%20General%20Scope.pdf>, 1.

²⁸ City of Kitchener, "City of Kitchener Zoning By-law 2019-051," last modified April 29, 2019, https://www.kitchener.ca/en/resourcesGeneral/Documents/DSD_PLAN_CROZBY_Consolidated_Zoning_Bylaw_Council_Approved.pdf.

...framework of the document, definitions, general regulations, parking requirements and every zoning section with the exception of residential and urban growth centre (downtown).²⁹

The Property is not yet subject to *Zoning By-law 2019-051* and are currently subject to *Zoning By-law 85-1*. The Property is zoned D-4 Office District Zone, which supports the following uses and regulation as shown in Table 4. This zoning does not have accompanying cultural heritage regulations.

Table 4: Zoning By-law 85-1 D-4 Permitted Uses³⁰

Permitted Use	Permitted Use	Permitted Use
Commercial Parking Facility	Commercial Recreation	Conference or Convention Facility
Convenience Retail	Day Care Facility	Dwelling Unit
Educational Establishment	Health Clinic	Health Office
Home Business (By-law 94-1, S.8)	Hotel	Laboratory
Lodging House	Multiple Dwelling	Office
Personal Services	Printing Establishment	Private Club or Lodge and Union Hall
Private Home Day Care	Religious Institution	Residential Care Facility
Restaurant	Sale, Rental or Service of Business Machines and Office Supplies	Security or Janitorial Services
Studio	Tourist Home	

²⁹ City of Kitchener, "Zoning bylaw," Development and construction, last modified 2021, accessed May 4, 2021, <https://www.kitchener.ca/en/development-and-construction/zoning-bylaw.aspx>.

³⁰ City of Kitchener, "Section 16," Zoning By-law 85-1, last modified October 7, 2013, <https://app2.kitchener.ca/appdocs/Zonebylaw/PublishedCurrentText/Table%20of%20Contents.pdf>

3.3.3 Civic Centre Neighbourhood Heritage Conservation District

The CCNHCD Plan identifies and outlines the cultural heritage value or interest assigned to the landscape within the HCD boundary (Figure 3 and Figure 4). The CCNHCD Heritage Character Statement has been considered as part of this HIA. Applicable policies found with the Plan have also been considered as part of this HIA and are identified in Section 8.2 of this HIA. Discussion on the general architectural design guidelines outlined with the CCNHCD Plan were reviewed in detail and considered as part of the impact assessment (Section 8.2 of this HIA). The CCNHCD Heritage Character Statement follows:

HERITAGE CHARACTER STATEMENT

The Heritage Character Statement identifies and outlines the cultural heritage value or interest associated with the District as a whole. The statement identifies the significant historical, architectural and contextual value recognized within the district. The Heritage Character Statement reads:

HISTORIC CONTEXT

The proposed Civic Centre Heritage Conservation District is an important historic residential neighbourhood that can be linked to several key periods in the development of the City of Kitchener. In tandem with the recently designated Victoria Park neighbourhood, Civic Centre helps to tell the story of Kitchener's phenomenal growth at the turn of the 19th century and of the development of its extensive industrial sector. Almost two-thirds of the existing houses were built between 1880 and 1917 and in most cases were occupied by owners, managers or workers for some of the key industries that defined the community at the turn of the century. The Lang and Breithaupt families for example, whose enterprises and extensive public service did so much to promote and develop the city, are represented by surviving homes in the district. Other businessmen, industrialists and public servants including the village's first reeve, Dr. Scott, Mayors Eden and Greb, and Engineer and County Clerk Herbert Bowman also came to the neighbourhood.

Surrounding a central area of larger homes is a large number of well-preserved storey-and-a-half houses built by tradesmen and skilled workers from the factories in the core and along the west side of Victoria opposite the district. As well, three of the city's oldest congregations are represented by well-preserved, landmark buildings in the neighbourhood. Importantly the district remained an attractive place to live right into the present. Well-designed Neo-classical and Tudor revivals can be found throughout the district as well as a 1930s apartment on Weber and several highrises from the 1960s and later. While a significant portion of the former Centre Ward's late 19th century residences between Queen and Frederick have been lost to the expansion of public services and the building of Centre in the Square, most of what made the area a desirable place to live both in the 19th century and today remains.

ARCHITECTURAL CHARACTER

The Civic Centre neighbourhood is one of Kitchener's older neighbourhoods and retains a large number of original buildings that are well crafted and maintained. Architectural styles and influences are consistent with the more popular styles of the period in which

they were constructed, including Queen Anne, Georgian and Italianate styles. Of particular note in the neighbourhood are a substantial number of dwellings termed 'Berlin or Kitchener Vernacular' which reflected a local interpretation incorporating traces of decorative Queen Anne elements in the wood trim, gables, eaves and fascias. A variant on this style, referred to as the Attic Gable style, is also a local interpretation frequently found in the Civic Centre Neighbourhood which boasts a highly articulated and decorative triple gable roof line.

Throughout the neighbourhood, there is a visual consistency to the architecture, delivered through the repetition of such features as front porches including some very fine two storey examples, decorative gables, projecting bays, and recurring window forms and details. In addition to the residential building stock, there are a number of other prominent and well-preserved buildings including three churches and two early commercial buildings. While the majority of the neighbourhood was constructed for, and remains as residential, conversions to commercial and office uses have occurred but with little negative impact on the quality of the streetscape. Despite some redevelopment and associated loss of original structures, overall the Civic Centre Neighbourhood presents a high quality cross-section of architecture from the late 19th and early 20th century with many buildings associated with key business and community leaders of the time.

STREETSCAPE HERITAGE CHARACTER

With streets framed by mature trees creating a beautiful shaded canopy throughout most of the neighbourhood, the Civic Centre Neighbourhood offers a comfortable and friendly pedestrian environment in the interior of the community. The number of mature trees is remarkable and conveys very strongly the heritage character of the neighbourhood. With linear streets, generally consistent building setbacks, and combined effect of public and private trees along the boulevards, there is a strong rhythm to most of the streetscapes. Laneways threading through the area reflect more traditional patterns of movement and development, and, in Hermie Place create a unique ambiance where houses front directly onto the lane much like a small cottage community.

Yards are well maintained with gardens and foundation plantings, trees and other landscape features including fences, hedges and pillars to delineate private space. Hibner Park, Kitchener's second oldest park is also situated in the Civic Centre neighbourhood. Although small, it is an elegant and historic reminder of one of the mayors of Kitchener and offers a link to the past.

Overall, the Civic Centre Neighbourhood is rich with historical, architectural and landscape treasures that contribute to the heritage character of the community. Changes to built form and the resulting streetscape have occurred in more recent years, resulting in the loss of some heritage resources. The demand for future change is likely to accelerate given the area's proximity to downtown and initiatives in the immediate vicinity. By designating the area as the Civic Centre Heritage Conservation District, valuable heritage resources can be both preserved and interpreted while still allowing for the necessary and appropriate evolution of the neighbourhood in a manner that links the past, present and future.

KEY HERITAGE ATTRIBUTES

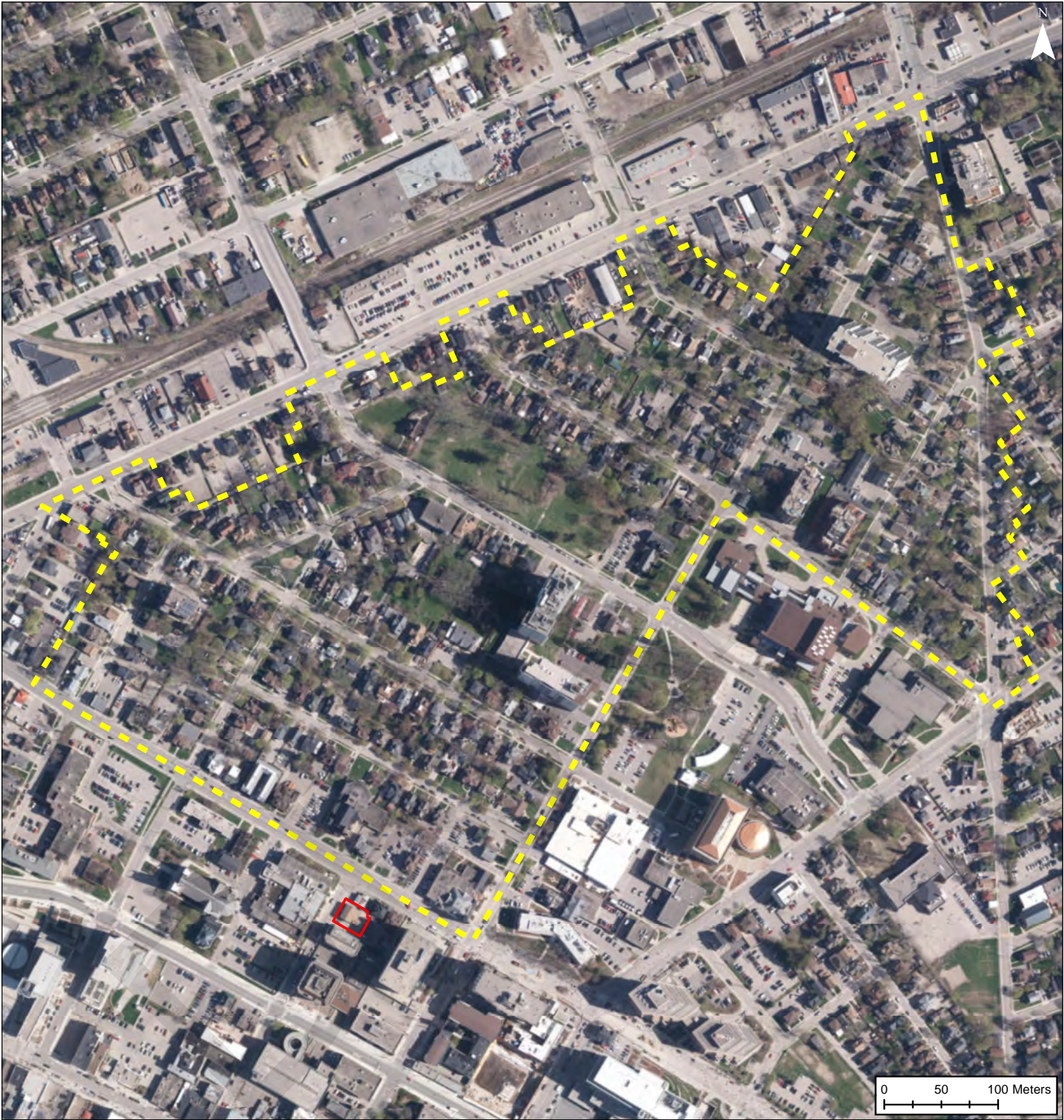
In summary,³¹ the Civic Centre Neighbourhood's heritage attributes are found within its architecture, streetscape and historical associations as outlined in the heritage character statement and more fully described and illustrated in the Civic Centre Neighbourhood Heritage Conservation District Study. Key heritage attributes include the following:

- Its association with important business and community leaders during a key era of development in Kitchener;
- A wealth of well maintained, finely detailed buildings from the late 1800s and early 1900s that are largely intact;
- A number of unique buildings, including churches and commercial buildings, which provide distinctive landmarks within and at the edges of the District;
- A significant range of recognizable architectural styles and features including attic gable roofs, decorative trim, brick construction, porches and other details, associated with the era in which they were developed;
- The presence of an attractive and consistent streetscape linked by mature trees, grassed boulevards and laneways;
- Hibner Park, Kitchener's second oldest city park, as a green jewel in the centre of the District.
- These attributes are important to the District and the City as a whole and deserve appropriate preservation and management.



3.3.4 Local Planning Context Summary

The City considers cultural heritage resources to be of value to the community and values them in the land use planning process. Through its *OP* policies, the City has committed to identifying and conserving cultural heritage resources including archaeological resources. An HIA is required when a proposed development is on or adjacent to a recognized heritage property. The City has adopted *Standards and Guidelines for the Conservation of Historic Places in Canada* and will reference them when assessing proposed developments.

³¹ The Key Heritage Attributes exhibited by the CCNHCD are described in greater detail in Section 2.4 of the HCD Plan.




Legend

-  151 Ontario Street North
-  City of Kitchener Civic Centre Neighbourhood HCD

NOTE(S)
1. All locations are approximate.

REFERENCE(S)
1. Contains information licensed under the Open Government Licence - The Corporation of the City of Kitchener.
2. Service Layer Credits: Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community
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TITLE Civic Centre Neighbourhood HCD Boundary Adjacent to the Properties		
CLIENT Masri O Inc. Architects		
PROJECT Heritage Impact Assessment Update 149-151 Ontario Street North, Kitchener, Ontario		PROJECT NO. LHC0281
CONSULTANT	YYYY-MM-DD	2022-01-06
	PREPARED	LHC
	DESIGNED	JG
	FIGURE #	3

4.0 RESEARCH AND ANALYSIS

4.1 Early Indigenous History

4.1.1 Paleo Period (9500-8000 BCE)

The cultural history of southern Ontario began around 11,000 years ago following the retreat of the Wisconsin glacier.³² During this archaeological period, known as the Paleo period (9500-8000 BCE), the climate was like the present-day sub-arctic and vegetation was dominated by spruce and pine forests.³³ The initial occupants of the province had distinctive stone tools. They were nomadic big-game hunters (i.e., caribou, mastodon, and mammoth) who lived in small groups and travelled over vast areas, possibly migrating hundreds of kilometres in a single year.³⁴

4.1.2 Archaic Period (8000-1000 BCE)

During the Archaic archaeological period (8000-1000 BCE), the occupants of southern Ontario continued their migratory lifestyles, although living in larger groups and transitioning towards a preference for smaller territories of land – possibly remaining within specific watersheds. People refined their stone tools during this period and developed polished or ground stone tool technologies. Evidence of long-distance trade has been found on archaeological sites from the Middle and Later Archaic times including items such as copper from Lake Superior, and marine shells from the Gulf of Mexico.³⁵

4.1.3 Woodland Period (1000 BCE – CE 1650)

The Woodland period in southern Ontario (1000 BCE – CE 1650) represents a marked change in subsistence patterns, burial customs, and tool technologies, as well as the introduction of pottery making. The Woodland period is sub-divided into the Early Woodland (1000–400 BCE), Middle Woodland (400 BCE – CE 500) and Late Woodland (CE 500 - 1650).³⁶ The Early Woodland is defined by the introduction of clay pots which allowed for preservation and easier cooking.³⁷ During the Early and Middle Woodland, communities grew and were organized at a band level. Peoples continued to follow subsistence patterns focused on foraging and hunting.

Woodland populations transitioned from a foraging subsistence strategy towards a preference for agricultural village-based communities around during the Late Woodland. During this period people began cultivating maize in southern Ontario. The Late Woodland period is divided into three distinct stages: Early (CE 1000–1300); Middle (CE 1300–1400); and Late (CE 1400–1650).³⁸ The Late Woodland is generally characterised by an increased reliance on cultivation of domesticated crop plants, such as corn, squash, and beans, and a development of palisaded village sites which included more and larger longhouses. By the 1500s, Iroquoian communities

³² Christopher Ellis and D. Brian Deller, "Paleo-Indians," in *The Archaeology of Southern Ontario to A.D. 1650*, ed. Christopher Ellis and Neal Ferris (London, ON: Ontario Archaeological Society, London Chapter, 1990), 37.

³³ EMCWTF, "Chapter 3: The First Nations," in *Greening Our Watersheds: Revitalization Strategies for Etobicoke and Mimico Creeks* (Toronto: TRCA, 2002). <http://www.trca.on.ca/dotAsset/37523.pdf>.

³⁴ EMCWTF, "Chapter 3: The First Nations," (Toronto: TRCA, 2002).

³⁵ EMCWTF, "Chapter 3: The First Nations," (Toronto: TRCA, 2002).

³⁶ EMCWTF, "Chapter 3: The First Nations," (Toronto: TRCA, 2002).

³⁷ EMCWTF, "Chapter 3: The First Nations," (Toronto: TRCA, 2002).

³⁸ EMCWTF, "Chapter 3: The First Nations," (Toronto: TRCA, 2002).

in southern Ontario – and more widely across northeastern North America –organized themselves politically into tribal confederacies. Communities south of Lake Ontario at this time included the Haudenosaunee Confederacy, made up of the Mohawks, Oneidas, Cayugas, Senecas, Onondagas, and Tuscarora, and groups including the Anishinaabe and Neutral (Attiwandaron).³⁹

4.2 Seventeenth- and Eighteenth-Century Historic Context

French explorers and missionaries began arriving in southern Ontario during the first half of the 17th century, bringing with them diseases for which the Indigenous peoples had no immunity. Also contributing to the collapse and eventual dispersal of the Huron, Petun, and Attiwandaron, was the movement of the Haudenosaunee Confederacy from south of Lake Ontario. Between 1649 and 1655, the Haudenosaunee Confederacy waged military warfare on the Huron, Petun, and Attiwandaron, pushing them out of their villages and the general area.⁴⁰

As the Haudenosaunee Confederacy moved across a large hunting territory in southern Ontario, they began to threaten communities further from Lake Ontario, specifically the Anishinaabe. The Anishinaabe had occasionally engaged in military conflict with the Haudenosaunee Confederacy over territories rich in resources and furs, as well as access to fur trade routes; but in the early 1690s, the Ojibway, Odawa and Patawatomí, allied as the Three Fires, initiated a series of offensive attacks on the Haudenosaunee Confederacy, eventually forcing them back to the south of Lake Ontario.⁴¹

Most of the Haudenosaunee Confederacy allied with the British during the American Revolution (1765 – 1783) with the promise that their land would be protected.⁴² This promise was not kept, and Haudenosaunee Confederacy territory was ceded to the United States through the Treaty of Paris in 1783.⁴³ In compensation, Captain General Fedrick Haldimand granted the Haudenosaunee Confederacy 950,000 acres through the Haldimand Proclamation dated 25 October 1784 (Figure 5 and Figure 6).⁴⁴ The land grant has been in debate ever since and has been steadily reduced to 46,000 acres today.⁴⁵

³⁹ Six Nations Elected Council, "Community Profile," Six Nations of the Grand River, last modified 2013, accessed May 7, 2021, <http://www.sixnations.ca/CommunityProfile.htm>; University of Waterloo, "Land acknowledgment," Faculty Association, accessed May 7, 2021, <https://uwaterloo.ca/faculty-association/about/land-acknowledgement>; Six Nations Tourism, "History," accessed May 7, 2021, <https://www.sixnationstourism.ca/history/>.

⁴⁰ Mississaugas of the Credit First Nation, "The History of the Mississaugas of the New Credit First Nation," Mississaugas of the New Credit First Nation, last modified 2018, <http://mncfn.ca/wp-content/uploads/2018/04/The-History-of-MNCFN-FINAL.pdf>.

⁴¹ Mississaugas of the Credit First Nation, "History", 3-4.

⁴² Cody Groat, "Six Nations of the Grand River," The Canadian Encyclopedia, accessed May 7, 2021, <https://www.thecanadianencyclopedia.ca/en/article/six-nations-of-the-grand-river>.

⁴³ Cody Groat, "Six Nations of the Grand River," The Canadian Encyclopedia, accessed May 7, 2021.

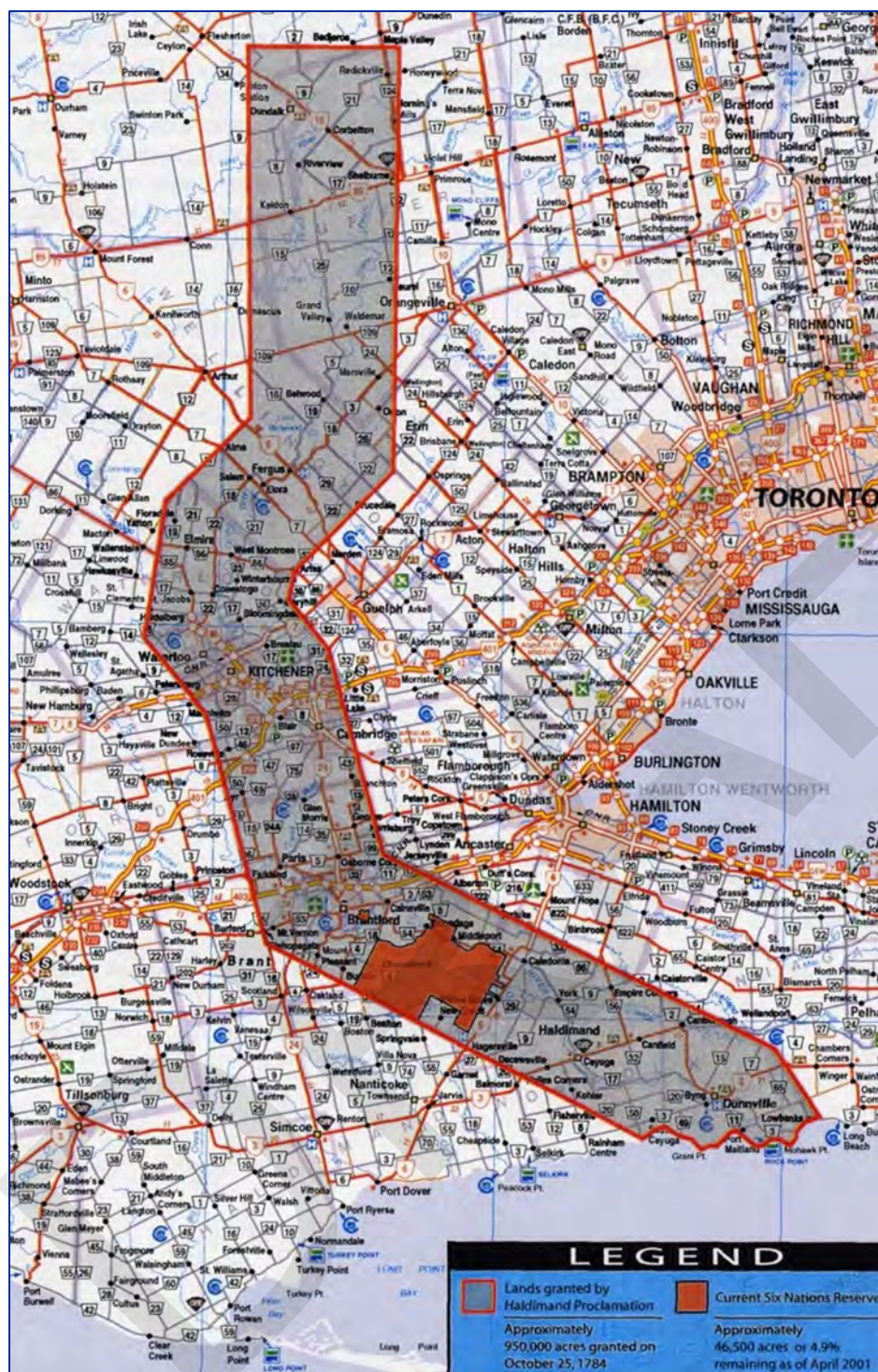
⁴⁴ Six Nations of the Grand River Development Corporation, "History of Six Nations," accessed May 7, 2021, <https://sndevcorp.ca/history-of-six-nations/>.

⁴⁵ Six Nations Elected Council, "Community Profile," Six Nations of the Grand River, last modified 2013.



Figure 5: Surveyor Thomas Ridout's map of the Haldimand Proclamation in 1821⁴⁶

⁴⁶ Library and Archives Canada, "Plan shewing the Lands granted to the Six Nation Indians, situated on each side of the Grand River, or Ouse, commencing on Lake Erie, containing about 674,910 Acres. Thos. Ridout Surveyor General, survey Gen. Office York 2nd February 1821. [cartographic material]," 1821, Item ID Number 4129506. Library and Archives Canada: Ottawa, Ontario.

Figure 6: Haldimand Tract⁴⁷

⁴⁷ Six Nations, "The Haldimand Treaty of 1784," Lands and Resources, last modified 2008, accessed May 7, 2021, <http://www.sixnations.ca/LandsResources/HaldProc.htm>.

4.3 Region of Waterloo

The Haldimand Proclamation was divided into six blocks by the Government of Upper Canada and sold to fund an annuity to the Six Nations people.⁴⁸ Block Two was sold to land speculator Colonel Richard Beasley in 1796 covering an area of 94,012 acres.⁴⁹ Beasley began to subdivide the land and sell plots to Pennsylvania Mennonites fleeing after the American Revolution, this portion numbering 63,000 acres and called the German Company Tract.⁵⁰ The German Company Tract was surveyed by government surveyor Augustus Jones in 1805.⁵¹ The survey resulted in a closed Pennsylvania Mennonite community that did not include clergy, Crown, or Loyalist reserves and which was divided into equal 448-acre lots without lot and concession numbers.⁵²

The German Company Tract was incorporated into Wellington District in 1816 and renamed Waterloo Township.⁵³ The Township grew quickly as it began a centre of German settlement in Upper Canada.⁵⁴ Boundaries were redrawn following the *Baldwin Municipal Act* of 1849 and the *Hinks Act* of 1852 creating the United Counties of Wellington, Waterloo, and Grey in 1849.⁵⁵ Waterloo County became independent in 1853 with Berlin as its seat.⁵⁶ The Region of Waterloo was established in 1973.⁵⁷

4.4 City of Kitchener

A community began to form in the German Company Tract at what would become Kitchener, then known as Berlin, beginning with the settlement of a group of Pennsylvania Mennonites in 1807 including early families like the Schneiders and Ebys.⁵⁸ The Village of Berlin was established in the 1850s with most of its population of 700 working in agriculture.⁵⁹ A station on the Grand Trunk Railway was established at Berlin in 1856, linking the village to the rest of North America.⁶⁰ This coupled with access to inexpensive power from Niagara Falls lead to Berlin's industrial growth and nickname of "Busy Berlin" with a population of nearly 4,000 by 1890.⁶¹ Berlin received city status in 1912 and operated as a multi-lingual city, mixing German and English.⁶²

⁴⁸ Kenneth McLaughlin, "Kitchener-Waterloo," The Canadian Encyclopedia, last modified February 24, 2017, accessed May 7, 2021, <https://www.thecanadianencyclopedia.ca/en/article/kitchener-waterloo>.

⁴⁹ Waterloo Region Museum, "History of Waterloo Township," accessed May 7, 2021, <https://www.waterlooregionmuseum.ca/en/collections-and-research/waterloo-township.aspx#note1>.

⁵⁰ Ezra Elby, *A biographical history of Waterloo township and other townships of the county*, Volume 1, (Berlin, ON: Ezra Elby, 1895), 1 and 26.

⁵¹ John English and Kenneth McLaughlin, *Kitchener: An Illustrated History*, (Toronto: Robin Bross Studio, 1996), 19-20.

⁵² English and McLaughlin, 19.

⁵³ McLaughlin, "Kitchener-Waterloo," The Canadian Encyclopedia, last modified February 24, 2017.

⁵⁴ McLaughlin, "Kitchener-Waterloo," The Canadian Encyclopedia, last modified February 24, 2017.

⁵⁵ McLaughlin, "Kitchener-Waterloo," The Canadian Encyclopedia, last modified February 24, 2017.

⁵⁶ McLaughlin, "Kitchener-Waterloo," The Canadian Encyclopedia, last modified February 24, 2017.

⁵⁷ McLaughlin, "Kitchener-Waterloo," The Canadian Encyclopedia, last modified February 24, 2017.

⁵⁸ Bill Moyer, *Kitchener: Yesterday Revisited An Illustrated History*, (Burlington, ON: Windsor Publications Canada Ltd., 1979), 1.

⁵⁹ McLaughlin, "Kitchener-Waterloo," The Canadian Encyclopedia, last modified February 24, 2017; Rych Mills, *Kitchener (Berlin) 1880 – 1960*, (Charleston, SC: Arcadia Publishing, 2002), 7.

⁶⁰ Mills, 7.

⁶¹ McLaughlin "Kitchener-Waterloo" The Canadian Encyclopedia, last modified February 24, 2017; Mills, 7

⁶² McLaughlin "Kitchener-Waterloo" The Canadian Encyclopedia, last modified February 24, 2017; Mills, 7

World War One brought change to Berlin with the city facing prejudice as Canada fought Germany.⁶³ Berlin voted to change its name to Kitchener in 1916 in response.⁶⁴ Despite slowed growth during the war years, Kitchener grew from 20,000 in 1920 to 30,000 in 1930 leading to a housing and industry boom following the Great Depression.⁶⁵ The city continued to grow through the 1900s, becoming Canada's fastest growing city in 1965.⁶⁶ Kitchener experienced economic turmoil in the 1990s as the recession closed many long standing industries and lead to a restricting of the city's economy and workforce.⁶⁷ Into the 2000s, the City has pushed for the reconstruction of Kitchener with increased post-secondary education and reuse of heritage properties.⁶⁸

4.5 Property History

1850-1900

1853-1854 Map of Part of the Town of Berlin, Capital of the County of Waterloo shows the downtown being laid out (Figure 11). The map shows the beginning of commercial and civic institutions lining present day King Street. Additionally, the presence of a hotel, factory, post office, courthouse and jail and Town Hall and noted on this map.

The *Map of parts of the Town of Berlin in the County of Waterloo* (Plan 401) was created in May 1859 (Figure 11). The map shows the division of blocks into small lots and specially outline Lot 11 in which the Property is located. At this time the lot is associated with "Jantz."

The *1861 Tremaine Map of Waterloo Township* does not provide further detail about the Property or surrounding area specifically; however, it does provide an understanding of the surrounding streets and roadways (Figure 11). The Property is located within the large black area which is the main Town centre with a concentration of built structures.

The *1875 Birds Eye View* provides an artist rendering of the Property and the surrounding area (Figure 11). Although the map is an interpretation of the area, it does suggest that there was a concentration of buildings around the Property.

The *1894, Revised 1904, Fire Insurance Plan* highlights the extent of development on this block (Figure 12). The block showcases two large buildings (labelled Public Library and St. Matthews Lutheran Church) along Queen Street, while the rest of the block appears to be residential dwellings of various sizes, configurations, and placements along the streetscape. At this time, present-day 149-151 Ontario Street North (listed as 164-166 Foundry Street) is noted in detail.

The two units are separate but share a centralized interior wall. The one-storey rear wing associated with 151 Ontario Street North and the one-and-a-half-storey rear wing associated with 149 Ontario Street North are present.

⁶³ Mills, 7.

⁶⁴ Moyer, 56.

⁶⁵ Mills, 8.

⁶⁶ Moyer, 83.

⁶⁷ City of Kitchener, *Century Celebration: Kitchener marks 100 years as a city*, (Kitchener, ON: City of Kitchener, 2012), 97.

⁶⁸ City of Kitchener, *Century Celebration: Kitchener marks 100 years as a city*, 108-109

1900-1950

The 1908, revised 1925, *Fire Insurance Plan* shows minimal change to the block (Figure 12). The Public Library and St. Matthews Lutheran Church remains along Queen Street, as well as the residential dwellings. 149-151 Ontario Street North is noted in detail (the Property appears to have been known as 83-85 Ontario Street at one point). The coloured image confirms the structure was built using brick.

The 1908, revised 1946, *Fire Insurance Plan* shows minimal changes to the block (Figure 12). The dwelling located on the corner of Duke Street and Queen Street has been converted into commercial use and is now labelled as an Electrical Workshop Supermotor and Lighting. 149-151 Ontario Street North remained unchanged.

1950-2000

Through the second half of the 20th century the surrounding landscape underwent dramatic changes. This significantly altered the use, massing, scale and height of the block. Two prominent changes were the demolition of the Carnegie Public Library⁶⁹ (built 1904) (Figure 7) located on the corner of Queen Street North and Weber Street West and the demolition of the large Hartman Krug⁷⁰ residence (built 1896) at 117 Ontario Street North (Figure 8).

The 1908 (rev 1925) Fire Insurance Plan shows the First English Lutheran Church, which was located adjacent to the Library on Queen Street North (Figure 12).⁷¹ The church was used from 1914 until 1939 when the congregation moved to a new church located at King Street and Green Street. During the Second World War this building was used by the Red Cross, and eventually sold to the Kitchener Public library; the building was demolished in 1958.⁷² Subsequently all the buildings in this figure were demolished to make way for 'Commerce House'.

Figure 9 is a street view photo of 10 Duke Street which is located at the corner of Duke Street and Queen Street North. This building was built in 1949 and based on 1947 Fire Insurance Plans replaced a commercial structure which was noted as Electrical Workshop: Super Motor & Plumbing Co.

In 1969, most of the block was rebuilt for the Corporation Square. You can see that the majority of the block, except for the upper corner of the image, has been demolished, flattened, and cleared. 149-151 Ontario Street North is visible in the background (Figure 10). Figure 13 shows the development of the lot from an aerial perspective. All the structures were present until 1969 when they were demolished and rebuilt with the current extant structures including the RBC building and a smaller mid-rise commercial structure on at southeast corner.

⁶⁹ The library was replaced in 1962 by the existing library located at 85 Queen Street North.

⁷⁰ H. Krug was a prominent business man and founder H. Krug Furniture Co. Ltd. (aka Krug Inc.) and owner of Doon Twines Ltd. (later called Canada Cordage). The grand 30 room house was demolished c. 1964, along with the adjacent residence which was once owned by William (Daddy) Simpson, who was another kingpin of the 19th century furniture industry. The properties are now the site of a six storey and ten story building known as Corporation Square (30 Duke Street West and 141 Ontario Street North).

⁷¹ Fear, Jon. Flash from the Past: St. Mark's Lutheran Church marks 100 years. *The Record*. August 23, 2013. Retrieved from, <https://www.therecord.com/living-story/4047236-flash-from-the-past-st-mark-s-lutheran-church-marks-100-years/>

⁷² Ibid.



Figure 7: Photo of the Carnegie Library located on the corner of Queen Street North and Weber Street West. The building was demolished c. 1962 (KPL, P010257).



Figure 8: Hartman Krug residence located at 117 Ontario Street North. The property was demolished c.1964 (The Record, 2010)



Figure 9: 10 Duke Street found at the corner of Duke Street and Queen Street, built 1949 (Davis, 2017)



Figure 10: 1969 photo of construction crew clearing the site to build the Corporation Square. Note 149-151 Ontario Street North in the background (The Record, 2010)

4.5.1 149-151 Ontario Street North

The 1859 Weber Survey Map (Plan 401)⁷³ shows the Property— at the time is associated with the Jantz family. No historical information was found which connected the Property with the family name Jantz at this time. The City of Kitchener municipal heritage inventory sheet and Statement of Significance for 149-151 Ontario Street North note that the structure was built c. 1876 and the original owner is listed as Wilhelmina Louisa Bauman.⁷⁴ Land title abstracts confirm that Wilhelmina Louisa Bauman owned Lot 11 in 1881.

Wilhelmina Louisa Bauman (née Stumpf) was born c. 1842 to parents William Stumpf (b. 1810, Kitchener) and Nancy (née Gaukel) (b. 1810 Pennsylvania, USA).⁷⁵ She married Daniel Lewis Bauman on 22 October 1867 in Berlin⁷⁶ and together they had nine children including: Ira, Fredrick, Walter, Ivan, Charles, Jeremiah, Alfred, Byren, and Clara.⁷⁷

Wilhelmina Bauman sold the entire Lot (noted as 0.27-acres in size) to Jacob Merner Staebler on 18 July 1881.⁷⁸ J.M. Staebler (b. Aug 16, 1846, d. 7 May 1906) was a self-taught man who could read and write in German and English despite not attending school.⁷⁹ During his ownership of 149-151 Ontario Street North, his residence was on Queen Street South.⁸⁰ J.M. Staebler was married three time and had five children. He was mayor of Berlin in 1891.⁸¹

According to the 1893 City Directory, J.M. Staebler lived at 95 Queen Street South⁸² and worked at 35 King Street. Presumably, the lots and the extant structures on the Property was occupied by tenants at this time. Upon Staebler's death in 1906 his widow and third wife, Anne May, divided and sold Lot 11.⁸³ At this time of the sale, 149-151 Ontario Street North was known as 83-85 Foundry Street.

On 9 August 1906, the Trusts and Guarantee Company Ltd., administrator of Staebler Estate, sold the Property (0.147 acres) to George Harrison for \$3000.00.⁸⁴ George Harrison sold the Property to Alfred C. Bender on 30 June 1925 for \$8,500.00.⁸⁵ The deed for this transaction has a stamp on it which says 'A.C. Bender, Real Estate and Conveyancing, 11 Queen Street South'. A.C. Bender sold the Property to Melvina Wildfong on 4 January 1929 for \$8,800.00⁸⁶, who on

⁷³ LRO Waterloo #58. Plan 401. Map of parts of the Town of Berlin in the County of Waterloo.

⁷⁴ Some historical textual materials sign the name as Bowman; this is how the name is spelled on the Land Title abstracts.

⁷⁵ Waterloo Generations. Wilhelmine Louisa Bowman. Person ID I8119. Retrieved from, <http://generations.regionofwaterloo.ca/getperson.php?personID=I8119&tree=generations>

⁷⁶ Archives of Ontario; Toronto, Ontario, Canada; *County Marriage Registers, 1858-June 1869*; Reel: 17
⁷⁷ Year: 1881; Census Place: *Waterloo, Waterloo North, Ontario*; Roll: C_13265; Page: 14; Family No: 60

⁷⁸ LRO#58. Deed of Land. Instrument Number 4809 & Land title Abstracts for Lot 11, Plan 401, Town of Berlin.

⁷⁹ Waterloo Generations. Mayor Jacob Merner Staebler. Person I37544.

⁸⁰ Ibid.

⁸¹ Ibid.

⁸² Built 1878.

⁸³ It appears the lot, or parts of it, were divided into what today is known as 21 Weber Street West, 17 Weber Street West, and 149-151 Ontario Street North.

⁸⁴ LRO# 58. Deed of Land. *Land title Abstracts for Lot 11, Plan 401*, Town of Berlin. Instrument No. 20505.

⁸⁵ Ibid. Instrument No. 54885.

⁸⁶ Ibid. Instrument No. 61902.

28 March 1947 sold an undivided half interest to Eli and Alice Weber.⁸⁷ When Melvina died on 3 November 1951, the Property was bequeathed to Alice Weber.⁸⁸ On 7 November 1960, Majorie Hoerle, Audrey Thibideau, and Muriel (Pearl) Cormier, acting as executors for Alice Weber, granted the Property to Morgan H Allcraft.⁸⁹ What happened next is unclear; however, there appears to have been a dispute over ownership of the Property which was settled at the Supreme Court of Ontario. The finding shows that by way of a Certificate of final order for Foreclosure Majorie Hoerle, Audrey Thibideau, Muriel Cormier, (plaintiffs) granted the Property to Morgan H. Allcraft and Bernhardt Insurance Services Limited, Edward Sirkel; Trelco Ltd.; and the Shirlite MFG. Co. Ltd. on 9 March 1966.⁹⁰ The following year, Bernhardt Insurance Services Ltd. granted the Property to William Archibald Bernhardt.⁹¹

William Albert Archibald Bernhardt was born 26 December 1904 to parents William George Bernhardt (b. 1869, d. 1924) and Maude May MacDonald (b. 1882, d. 1938).⁹² The Property appears to have stayed in the Bernhardt family until 30 June 1990 when it was transferred to 816601 Ontario Ltd.⁹³ It appears a small portion of the Property was sold to Frederick J. Shue Inc. William Cline, and Carole Grossman. The remainder of the Property was sold to Guy Property Inc. on 21 August 2015, who in turn sold it to Kiah Group Inc. on 3 October 2018.⁹⁴ Currently, the present owner is LMC Limited Partnership.

Despite the record of ownership listed above, it does not appear that any of these owners occupied the residence at any time. 151 Ontario Street was owned by Bernhardt Insurance Services Ltd. from 1966 until at least 2014 and used as an office for the company.

City Directories from 1893 until 2014 indicate that 149 Ontario Street was used as a short-term rental by dozens of occupants. A snapshot of entries over the years shows us that residents resided there for only a few years at a time. Some of the occupants' professions included: teamster [1907], high school teacher [1911], machinist [1919], clerk [1919], stock keeper for Bell Telephone [1923], tailor [1923], stock keeper [1923], care taker [1928], shipper [1935] global furniture worker [1939], taxi driver [1947], carpenter [1955], clerk [1963], assembler at Electrohome [1973], and waiter [1974].⁹⁵ The City Directories also highlight that around 1983 there are upwards of nine apartments associated with 149 Ontario Street North. It is possible that at this time the interior was adapted into its current configuration to accommodate this many dwelling units.

Currently, the building unoccupied. Early in the morning on 7 April 2022 a fire broke out on the second floor of the building, resulting in damage to the roof, interior walls and floors.

⁸⁷ Ibid. Instrument No. 93372.

⁸⁸ Ibid. Instrument No. 211956.

⁸⁹ Ibid. Instrument No. 211956.

⁹⁰ Ibid. Instrument No. 211956.

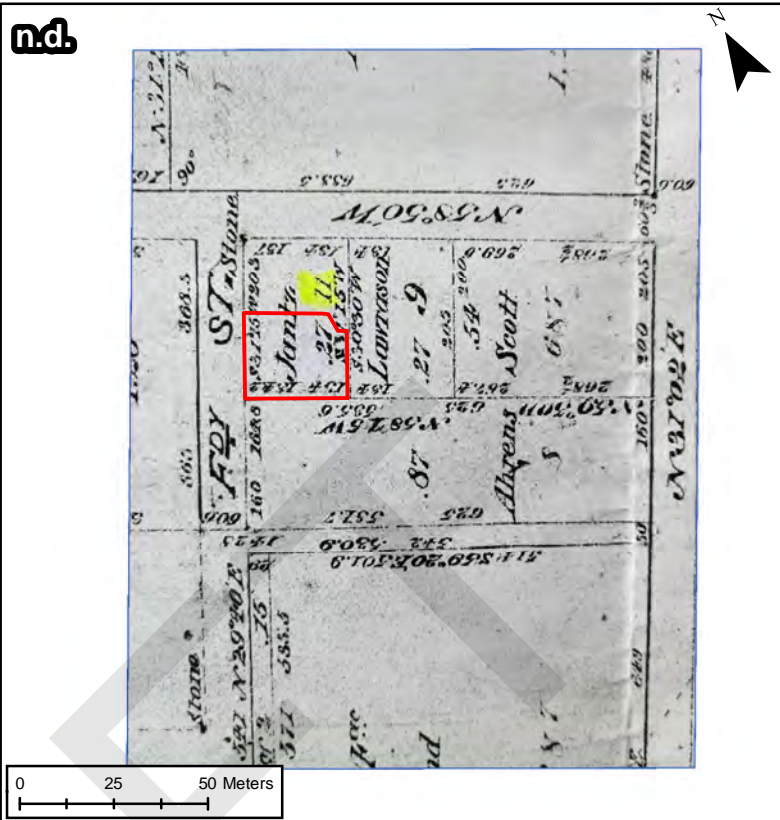
⁹¹ Ibid. Instrument No. 339924.

⁹² Waterloo Generations. *William Albert Archibald 'Archie' Bernhardt*. Person ID I351637. Retrieved from, <http://generations.regionofwaterloo.ca/getperson.php?personID=I351637&tree=generations>

⁹³ LRO# 58. Deed of Land. *Land title Abstracts for Lot 11, Plan 401*, Town of Berlin Instrument No. 1175440.

⁹⁴ LRO#58. Service Ontario. Parcel Register for Property Identifier. Pin: 22316-0061 (LT) Reg. Number WR901932.

⁹⁵ Vernon's City Directories from 1983-2014.



<div>Legend</div> <div><div></div>151 Ontario Street North</div>	<div>TITLE</div> <div>Historic Maps Showing the Property</div>			
<div>NOTE(S)</div> <div>1. All locations are approximate.</div>	<div>CLIENT</div> <div>Masri O Inc. Architects</div>			
<div>REFERENCE(S)</div> <div>1. Schofield, M.C., "Map of part of the Town of Berlin, Capital of the County of Waterloo C.W." (https://uwaterloo.ca/library/geospatial/collections/maps-and-atlases/waterloo-region-historical-maps: accessed January 7, 2022) Kmz file, scale 1:6,336, University of Waterloo Geospatial Centre, 1853. 2. LRO#58, "Map of parts of the Town of Berlin in the County of Waterloo", Plan 401, n.d 3. Tremaine, Geo. R. & G.M. "Tremaine's Map of the County of Waterloo Canada West" (https://maps.library.utoronto.ca/hgis/countymaps/waterloo/Waterloo_merge.jpg; accessed January 7, 2022) digitized map, scale 1:39,600, Toronto, 1861. 4. Brosius, H. "Berlin" (https://uwaterloo.ca/library/geospatial/collections/maps-and-atlases/waterloo-region-historical-maps: accessed January 7, 2022), KMZ file, University of Waterloo Geospatial Centre, 1875. Portions of this document include intellectual property of Esri and its licensors and are used under license. Copyright (c) Esri and its licensors. All rights reserved.</div>	<div>PROJECT</div> <div>Heritage Impact Assessment Update 149-151 Ontario Street North, Kitchener, Ontario</div> <div>PROJECT NO. LHC0281</div>			
	<div>CONSULTANT</div> <div><div>LHC</div></div>	<div>YYYY-MM-DD</div> <div>2022-01-10</div>		
		<div>PREPARED</div> <div>LHC</div>		
		<div>DESIGNED</div> <div>JG</div>		
		<div>FIGURE #</div> <div>11</div>		

1894 rev. 1904

1908 rev. 1925

1908 rev. 1946

Legend

151 Ontario Street North

TITLE

Fire Insurance Plans Showing the Property

CLIENT

Masri O Inc. Architects

PROJECT

Heritage Impact Assessment Update
149-151 Ontario Street North, Kitchener, Ontario

PROJECT NO. LHC0281

NOTE(S)

1. All locations are approximate.

REFERENCE(S)

1. Kitchener Public Library, "1894 Revised 1904 Fire Insurance Plan", Plate 5, Microfiche, accessed through the Grace Schmidt Room, 1904.
 2. Kitchener Public Library, "1908 Revised 1925 Fire Insurance Plan", Plate 5, Microfiche, accessed through the Grace Schmidt Room, 1925.
 3. Kitchener Public Library, "1908 Revised 1946 Fire Insurance Plan", Plate 5, Microfiche, accessed through the Grace Schmidt Room, 1946.
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CONSULTANT



YYYY-MM-DD 2022-01-06

PREPARED LHC

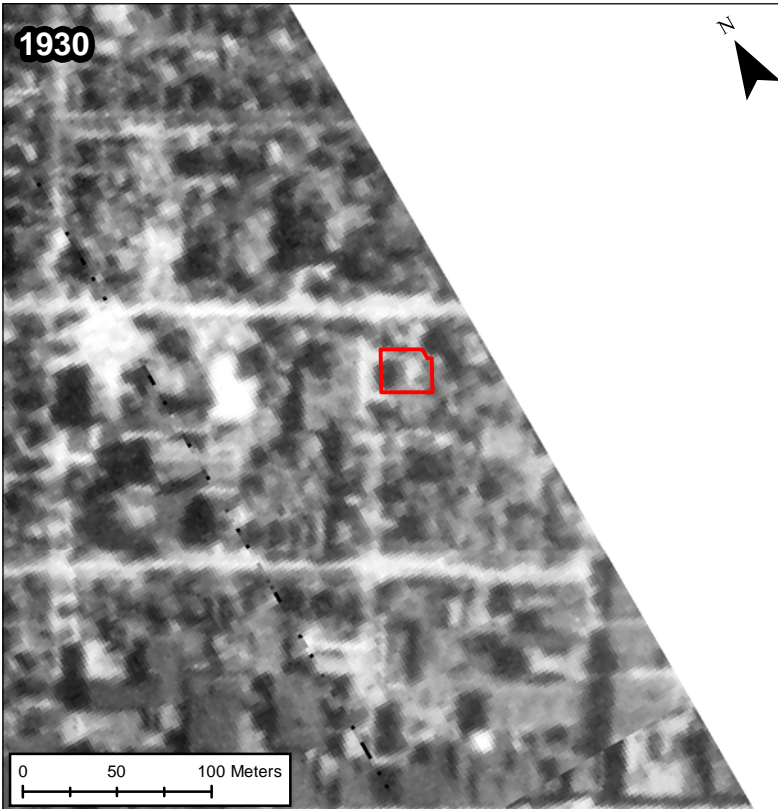
DESIGNED JG


FIGURE # 12

0 20 40 Meters

0 20 40 Meters

0 20 40 Meters



Legend <div style="border: 2px solid red; width: 40px; height: 20px; display: inline-block; margin-right: 10px;"></div> 151 Ontario Street North	
NOTE(S) 1. All locations are approximate.	
REFERENCE(S) 1. University of Waterloo Geospatial Centre, "1930 Photo" (https://lib.uwaterloo.ca/locations/umdp/project/IM30.html : accessed January 10, 2022) Digital Histoical Air Photos of Kitchener-Waterloo, 1930. 2. University of Waterloo Geospatial Centre, "1945 Photo" (https://lib.uwaterloo.ca/locations/umdp/project/IM30.html : accessed January 10, 2022) Digital Histoical Air Photos of Kitchener-Waterloo, 1945. 3. University of Waterloo Geospatial Centre, "1955 Photo" (https://lib.uwaterloo.ca/locations/umdp/project/IM30.html : accessed January 10, 2022) Digital Histoical Air Photos of Kitchener-Waterloo, 1955. 4. University of Waterloo Geospatial Centre, "1963 Photo" (https://lib.uwaterloo.ca/locations/umdp/project/IM30.html : accessed January 10, 2022) Digital Histoical Air Photos of Kitchener-Waterloo, 1963. Portions of this document include intellectual property of Esri and its licensors and are used under license. Copyright (c) Esri and its licensors. All rights reserved.	
TITLE Historic Air Photos Showing the Property	
CLIENT Masri O Inc. Architects	
PROJECT Heritage Impact Assessment Update 149-151 Ontario Street North, Kitchener, Ontario	
PROJECT NO. LHC0281	
CONSULTANT 	YYYY-MM-DD 2022-01-10
	PREPARED LHC
	DESIGNED JG
	FIGURE # 13

5.0 ASSESSMENT OF EXISTING CONDITIONS

5.1 Exterior

The structure located at 149-151 Ontario Street North is a two-storey, semi-detached building which contains three separate residential units (Figure 14 and Figure 15). According to Fire Insurance Plans, the building was historically separated into two units and divided down the center. As early as 1894, there was a one-storey rear addition on the north half of the building and a one-and-a-half storey addition on the southern half of the building (Figure 16 and Figure 17). The building follows an L-shaped plan with long façade fronting onto Ontario Street North.

The entire building is clad in buff brick in a stretcher bond. The brick appears to be fairly uniform in colour on the main section of the building while the rear wings have subtle variations of colours (red and yellow hues). There is more intricate brickwork on the main section of the building which includes, brick quoining, brick voussoirs with drip molds on the window openings and entranceways, brick voussoirs on the bay windows, and angled or bevelled brick forming a dripline which extends outwards above the foundation. The main portion of the building is built on a stone foundation which has been covered with parging. This appears to be consistent for the rear wing as well.

There are four entrances to the building. Two are located on the façade and were originally used as the main entrances to each of the respective units (Unit 1 and Unit 2). They have single wooden doors with segmentally arched openings and brick voussoirs with drip molds. Each door has one large pane of glass, a slot for letters, and newer hardware. Each door has a segmentally arched transom. One transom is made with clear glass (151 Ontario Street North) and the other has red decorative print which appears to be a decal (149 Ontario Street North). The entrances are accessed by wooden stairs.

There is a single door entrance located at the rear of the building (east elevation) which is accessed by a wooden ramp (Figure 16 and Figure 17). The last entrance is located along the south-east corner of the building and provides access to Unit 3. It is accessed by wooden stairs (Figure 18). Both doors located on the rear wing are new.

The main section of the building has a medium pitched gable roof with overhanging eaves on the façade and rear elevation only. The roofline is flush on the north and south elevations. The eaves have vinyl covered soffits and the façade has five paired moulded wooden brackets rhythmically placed along the roofline (Figure 19). The roof is clad in asphalt shingles and there are two single stacked brick exterior chimneys located centrally on the side elevations. The southeast corner of the rear wing has an asphalt gable roof with a single gable style dormer. The northeast portion of the rear wing is attached to the main building by a shed style roofline. The roof of the rear wing has narrow overhanging eaves with a plain frieze.

The façade is symmetrical in design with two large bay windows located on the lower level with narrow paired windows directly above. Each bay window has a hipped shingled roof and includes three segmentally arched windows opening with brick voussoirs and lug sills. All the other window openings located on the main building are segmentally arched with brick voussoirs with drip molds and lug sills (Figure 19). All the glazing associated with the main building are new vinyl windows. All the window openings located on the rear wing have

rectangular window openings and lug sills. The basement windows are square with brick voussoirs.⁹⁶

The building is most influenced by the Italianate architectural style which was popular in Ontario between 1860-1890.⁹⁷ Features which represent the Italianate architectural style include: paired eave brackets; tall segmentally arched paired windows; quoins; brick voussoirs with drip molds; and wide overhanging eaves. Some modest Georgian architectural style influence includes: the paired chimneys; side gable roof and overall symmetrical design.

Aside from new windows, there do not appear to have been major alterations or additions to the building.



Figure 14: Front (west) façade of building

⁹⁶ The basement window on the south-east corner of the rear wing does not have brick voussoirs. It is unclear why this is the only window which does not follow the design pattern.

⁹⁷ Mikel, Robert. 2004. p. 65.



Figure 15: View of front and side elevations, looking south



Figure 16: View of rear elevation, looking west



Figure 17: Rear elevation, looking northwest



Figure 18: View of side elevation, looking north



Figure 19: Image showing, bay window and voussoirs, brick voussoirs with drip molds, quoining and brackets

5.2 Interior

The interior floor plan has been modified from its original configuration in order to create three separate units (Figure 20). Unit 1 is a one-bedroom unit which occupies the north half of the main level and can be accessed through the north façade doorway, and through the a secondary door located in the laundry room at the rear. Unit 2 occupies the entire upper level of both the main building and the rear wing. This is a five-bedroom unit which is accessed through the main entrance on the façade or through the a secondary door located in the laundry room at the rear. Unit 3 is located on the south side of the main level and is accessed through stairway on the south elevation.

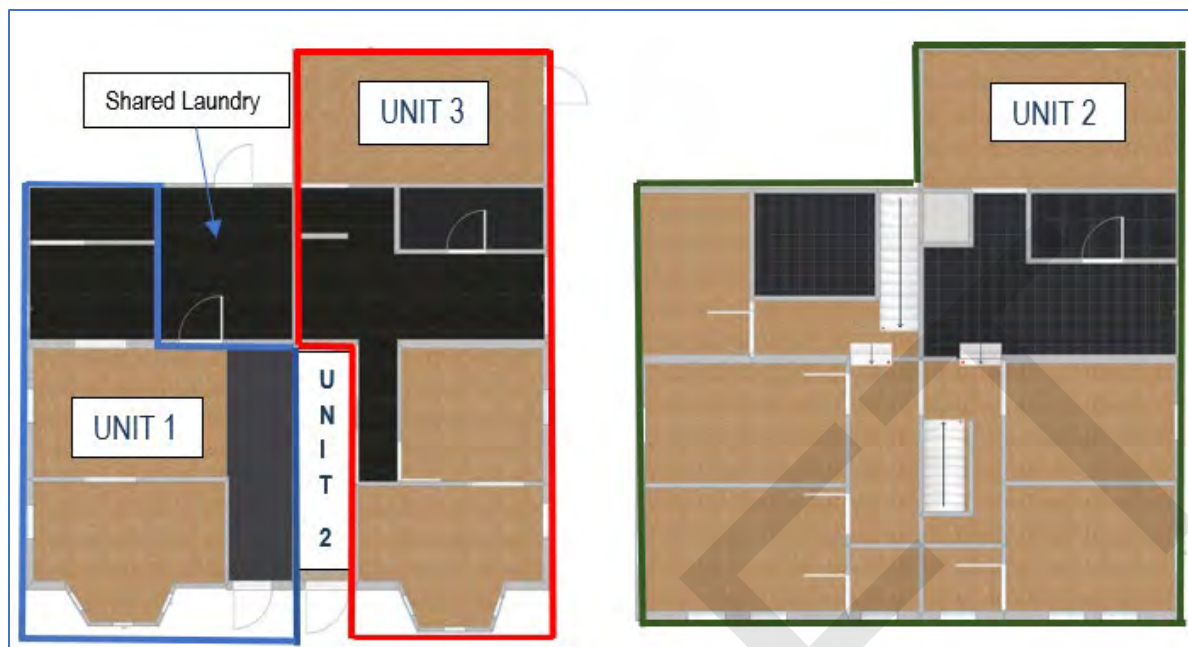


Figure 20: Layout of units (not to scale). Unit 1 is outlined in blue. Unit 2 is outlined in red. Unit three is outlined in green and occupied the entire upper level of the building

Unit 1- One Bedroom

Unit 1 is a one-bedroom apartment with the main entrance is located on the west elevation (Figure 21). The single wooden door has a segmentally arched transom with a single clear pane of glass. The unit has 3.6m ceilings. Moving through the front entrance towards the rear is a large area which contains the kitchen and living room (Figure 22). The kitchen has drop tiled ceiling with a laminate floor (Figure 23). The living room has a drop titled ceiling and carpet flooring (Figure 24).

The main bedroom is located in the north-west section of the unit (Figure 25). Along the west elevation is a bay window with three window openings and an additional window is located on the north elevation. All the windows have moulded wooden trim and a wooden sill. The bedroom has a carpeted floor, wooden baseboards, and a drop tile ceiling. A closet has been created out of drywall in the north-east corner of the bedroom.

In the north-east corner of the unit are two small rooms used as a bathroom; one room has the shower and the other room has a toilet and sink (Figure 26). The bathroom has tiled floors, wooden baseboards and a window on the north elevation which as moulded wooden trim and a wooden sill.

All the hardware appears to be new.



Figure 21: Floor layout of Unit 1 (not to scale)

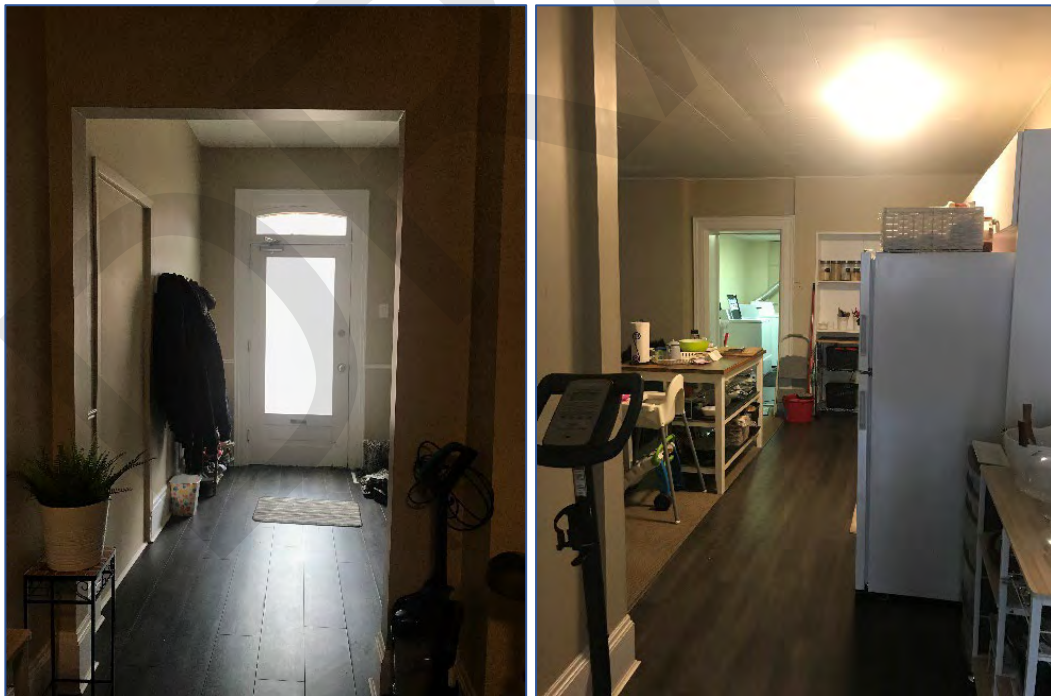


Figure 22: View of floor layout (left), kitchen from front entrance (right)



Figure 23: View of kitchen

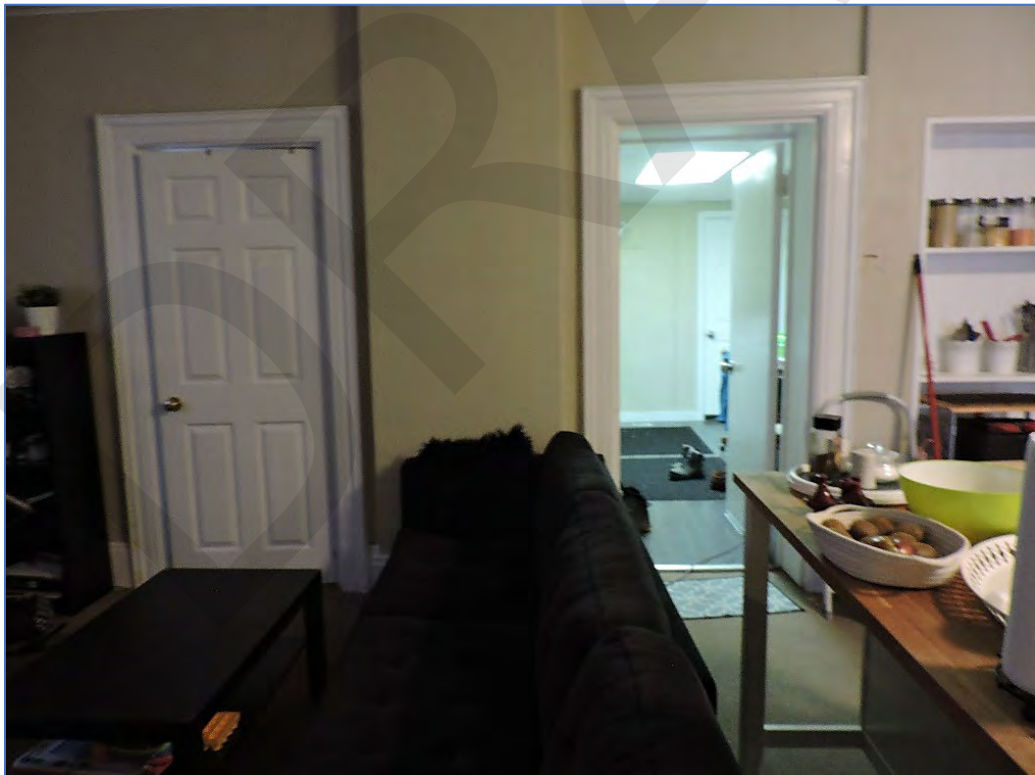


Figure 24: View of living room



Figure 25: View of main bedroom

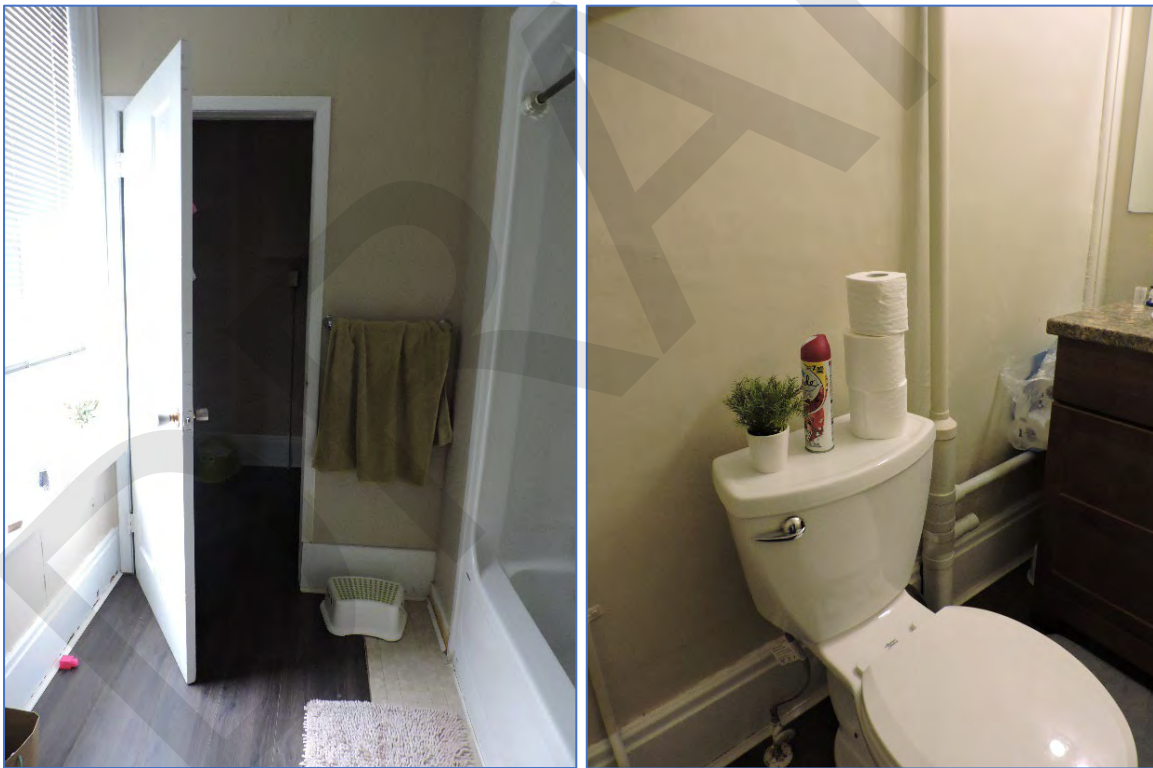


Figure 26: View of bathroom

Unit 2- Five Bedroom

Unit 2 is a five-bedroom apartment. The main entrance is located on the west elevation (Figure 27). The single wooden door has a segmentally arched transom with red floral pattern design; the transom design is a decal (Figure 28). Upon entering the unit there is a doorway on south side which has been filled in as part of the interior alterations. The entrance has 3.6m high ceilings and wooden baseboards. The floor is covered with laminate flooring. The wooden staircase leads straight to the upper level. The handrail, baluster, stringers, rise and newel are made of wood. The newel has a decorative top and the balustrade has a modest moulded shaft (Figure 29). The tread of the stair is covered in carpet.

At the top of the stairs a section of the original division wall has been removed creating a large opening and connecting the two halves (Figure 30). At some point the second staircase was removed and filled in.

Bedroom 1 has three windows (two on west elevation and one south elevation), a carpeted floor and a drop ceiling (Figure 31). Wooden baseboard present and there is a small closet, with one window, located in the north-west corner of the bedroom. The window openings are surrounded by moulded wood trim and sills and the door opening is surrounding with moulded wood trim. The living room follows a similar form with wooden baseboards, carpet flooring, a single window on the south elevation, which is surrounded with wooden trim and a wooden sill. The living room has 3.6m high ceilings with a stucco ceiling finish (Figure 32).

Towards the rear of Unit 2, on the south side, is a thick transition and two steps down into the kitchen. The kitchen is part of the rear wing. The kitchen has sloped ceilings, wooden baseboards, laminate flooring and a single small rectangular window surrounded by wooden trim (Figure 33 and Figure 34). Further towards the rear (east) there is a bathroom with laminate flooring. At the very rear is Bedroom 5 (Figure 35). This bedroom has carpet flooring, a stucco ceiling, and two windows on the east elevation. The window opening and the door opening appear to be surrounded by a plain wood trim.

On the north side of the upper level are three bedrooms and a bathroom. The hallway appears wider than the other side as the original staircase has been removed (Figure 36). A wall has been added to the hallways. Bedroom 2 is located on the northwest corner of the main building. Bedroom 2 has 3.6m ceilings, carpet flooring, a stucco finish ceiling and wooden baseboards (Figure 37). There are four windows associated with the room: three on the west elevation and one on the north elevation. All the window openings are surrounded by moulded wood trim and wooden sills.

Bedroom 3 follows a similar pattern to the others with stucco ceilings, carpeted flooring, wooden baseboards, and a small closet found in the north-west corner of the room (Figure 38).⁹⁸ The room has one window located on the north elevation. The window opening is surrounded by moulded wood trim and wooden sills.

Heading to the rear of the building one passes through a thick transition way and step down into a small hallway (Figure 39). To the south is a staircase which leads down a level to the laundry room (Figure 40). To the north is a small bathroom, with laminate flooring and a slanted ceiling. This is followed by Bedroom 4 located on the northeast corner (Figure 42). Bedroom 4 has

⁹⁸ Pictures are limited due to the tenant being in the room at the time.

carpet floors, no closet, slanted roof line, and plain wood trim, and one window located on the north elevation. The window is surrounded by moulded wood trim with a wooden sill.

In general, all the hardware in this unit is newer. There are also variations of metal grates found throughout the Unit.

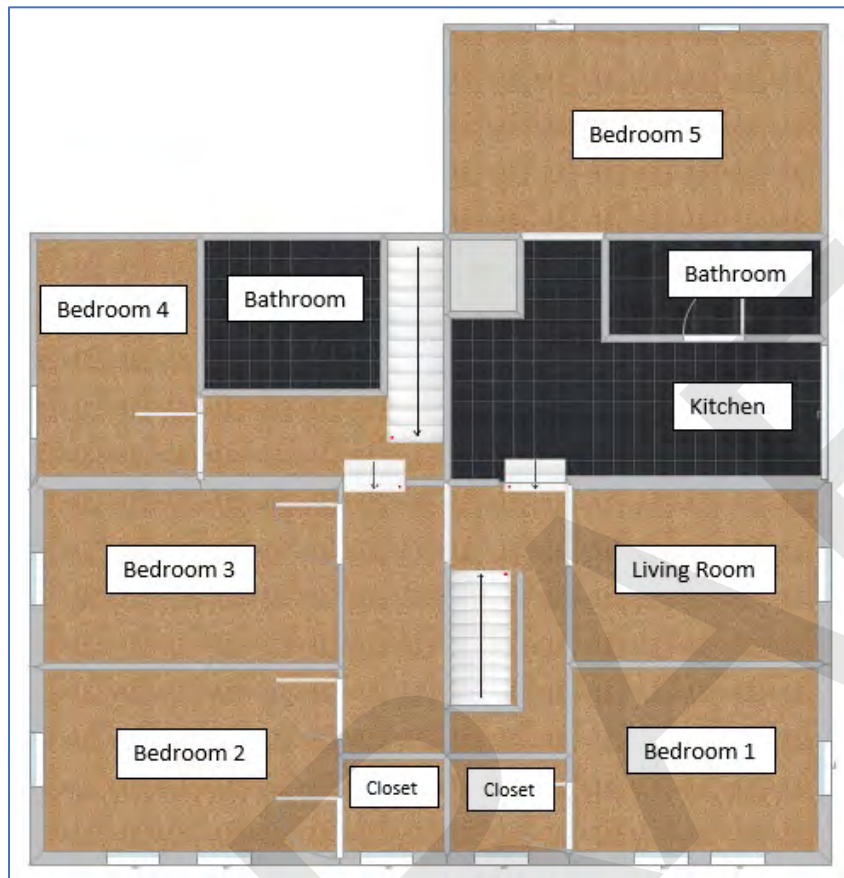


Figure 27: Floor layout of Unit 2 (not to scale). This unit occupies the entire upper level of 149-151 Ontario Street North



Figure 28: View of Unit 2 Front door with transom from interior (left)



Figure 29: View of stairs and hallways



Figure 30: View of transition ways, showing the living room and kitchen and main transition from one half of the apartment to the other



Figure 31: View of Bedroom 1

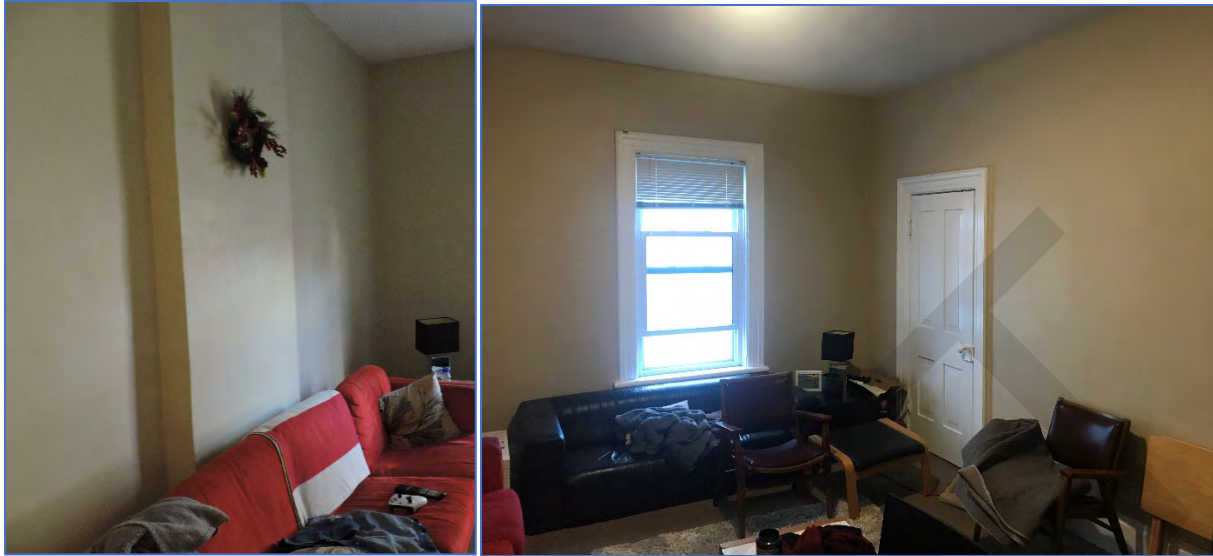


Figure 32: View of living Room



Figure 33: View south of kitchen in Unit 2



Figure 34: View west of Kitchen



Figure 35: View of southwest corner of Bedroom 5

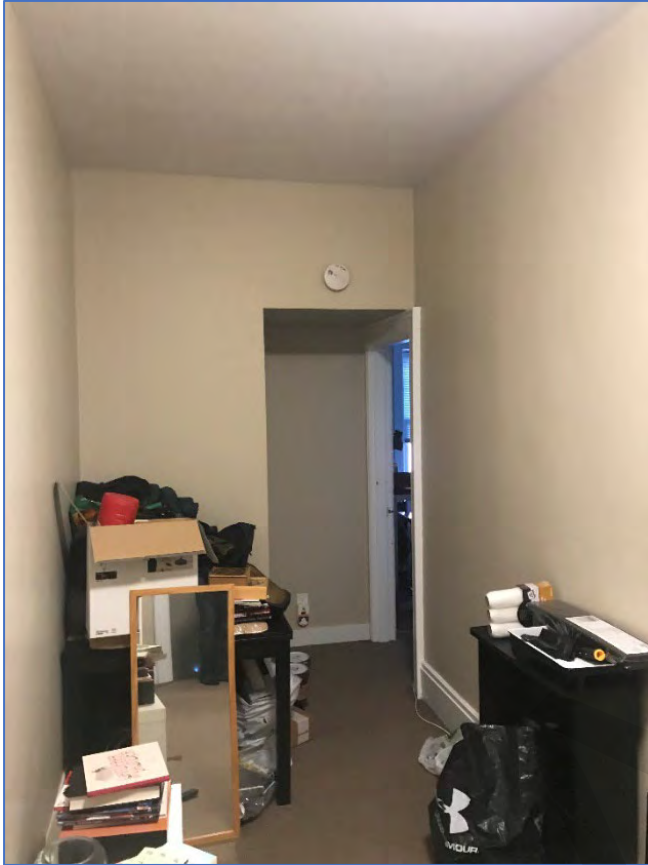


Figure 36: View of hallway located on the north half of the apartment which provides access to Bedroom 2 and 3



Figure 37: View of Bedroom 2 and closet



Figure 38: View of Bedroom 3



Figure 39: View of transition way to rear portion (south) side of building

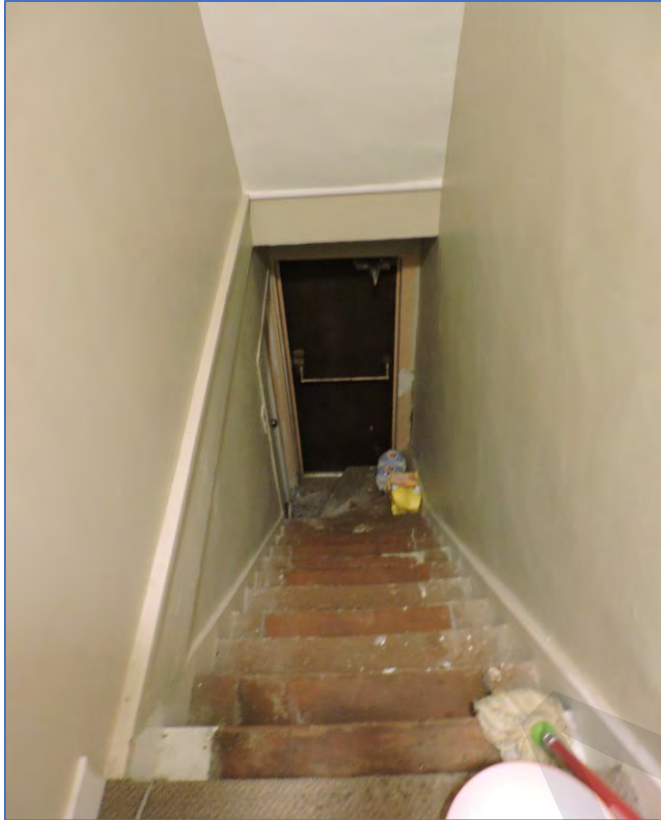


Figure 40: View of staircase leading from Unit 2, leading down to laundry room

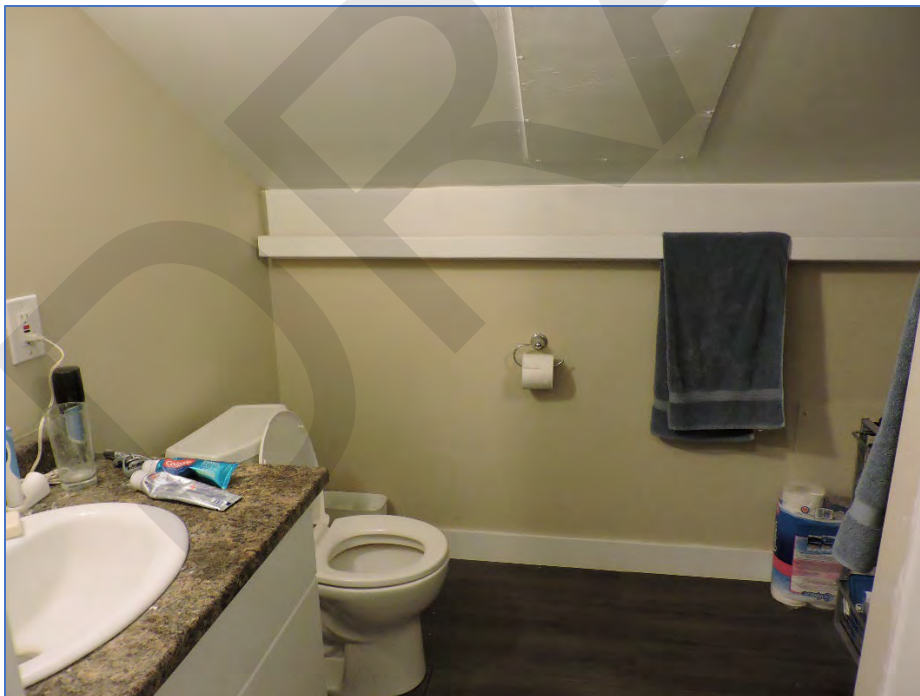


Figure 41: View of bathroom in Unit 2



Figure 42: View of Bedroom 4

Unit 3- One bedroom

The main entrance is located in the south-east elevation and accessed by exterior stairs. Upon entering the unit the entrance is being used for storage and laundry (Figure 44 and Figure 45). This room has two newer narrow windows along the east elevation. The window openings are surrounded by moulded wooden trim with a wooden sill. There are large wooden baseboards and laminate flooring, similar to the rest of the units.

The kitchen has laminate flooring, simple wood plank baseboards and a single large rectangular window on the south elevation. This window is surrounded by wood trim. To the south-east of the kitchen is a bathroom which has tile flooring (Figure 46 and Figure 47).

The hallway leads to a large square bedroom with a single window located on the south elevation (Figure 48). The window openings are surrounded by moulded wooden trim with a wooden sill. There are four windows associated with the living room, three in the bay window, and one on the west elevation (Figure 49). There are newer simple wooden baseboards and carpet, similar to the rest of the units. An opening on the northern elevation has been closed in (Figure 49).

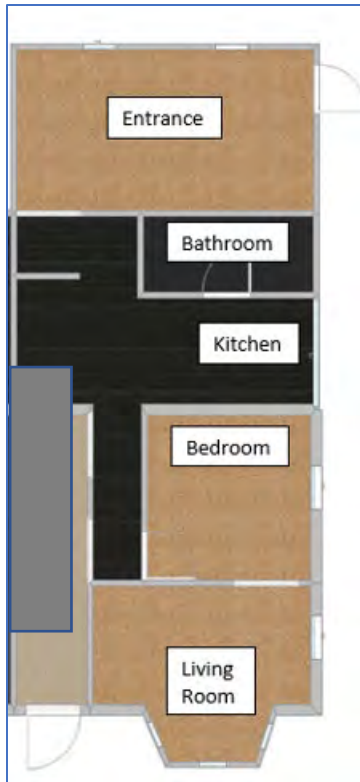


Figure 43: Floor layout of Unit 3 (not to scale). Note the grey area is associated with Unit 2



Figure 44: View of entrance to Unit 3



Figure 45: View of entrance to Unit 3



Figure 46: View of kitchen area



Figure 47: View of kitchen looking towards hallway



Figure 48: View of bedroom in Unit 3

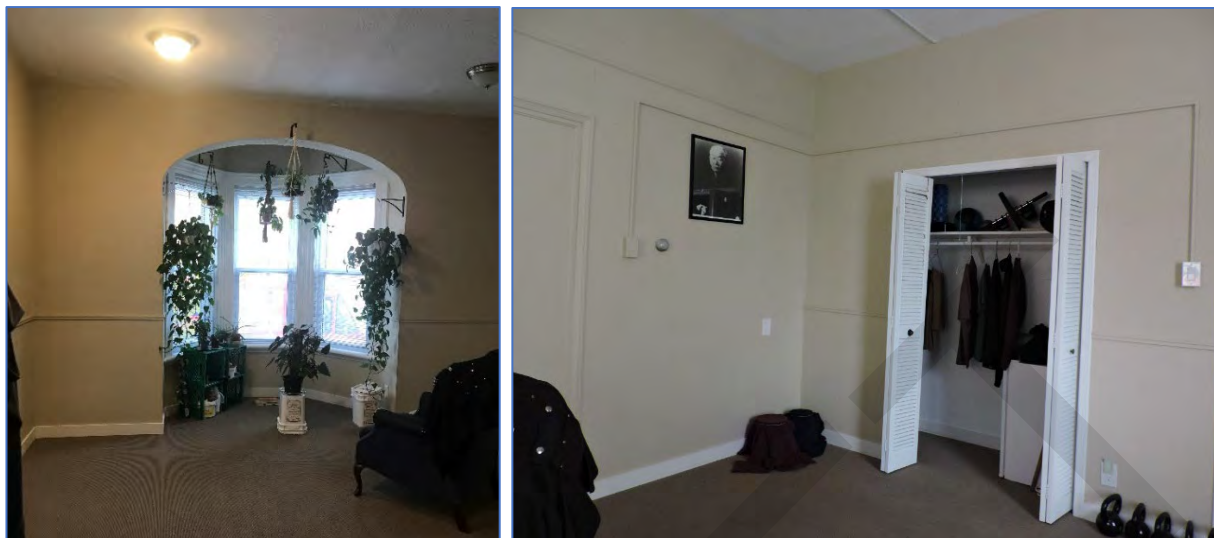


Figure 49: View of living room looking north towards bay window (left) and toward northeast corner (right)

Laundry Room and Basement

At the rear of the Property is a shared laundry room (Figure 50). In addition the exterior entrance, the room can be access from the interior of Unit 1 and Unit 2. The room has a drop ceiling and laminate flooring. The walls are covered with a vertical wood plank.

The basement is accessed through the laundry room (Figure 51). The basement is divide into two rooms. The most easterly room has concrete flooring and the walls are made with brick. There are many areas which have been covered with parging and areas that were whitewashed at one time (Figure 52). The other room has brick laid on the floor and the walls are both field stone and heavy mortar and brick (Figure 53). The HVAC equipment is located in basement and there are metal and wooden support beams located throughout (Figure 54). There is a small opening in the westerly brick wall which provides visual access to a small crawl space located under the main poriton of the house (Figure 55).



Figure 50: View of laundry



Figure 51: Floor layout of the basement (not to scale).



Figure 52: View of rear portion of the basement. Note the brick covered with whitewash and parging



Figure 53: View of foundation wall showing mix of brick and stone walls with brick flooring



Figure 54: View of the brick flooring, HVAC equipment



Figure 55: View of basement crawl space

5.3 Structural Report

Tacoma Engineers completed a structural report on 17 December 2021. The report provides the following description of the structure.

The existing building is constructed with a combination of built-up masonry and wood framing. It would be typical for the exterior walls of the building to be constructed with multi-wythe masonry, although the lack of visible lock coursing at regular vertical spacing may indicate a masonry veneer over wood-framed walls.

It is expected that the roof is framed with regularly spaced wood rafters and ceiling joists, and that the floors are framed with regularly spaced wood joists supported on intermediate bearing walls. Foundations are exposed on the interior and were found to be constructed with a combination of clay brick and fieldstone. Interior foundation walls are constructed with multi-wythe masonry, which supports the assumption that the exterior walls previously described in this section are built as multi-wythe assemblies.

Finishes are installed throughout the building and preclude a direct visual review of the primary building structure, with the exception of the basement foundation walls. All areas of the building appear to be in good condition, with no signs of significant structural deterioration or movement.⁹⁹

Further recommendations were provided by Tacoma Engineers and include:

- The roof of each canted bay window appears to be constructed with asphalt shingles. These shingles are often inappropriate for a roof with such a flat slope. The roofing should be replaced with a low slope roofing product.
- Many mortar joints on the Ontario Street elevation have been repaired with a modern sealant. This is not compatible with the historic materials and should be replaced with a compatible lime base mortar. It is recommended that 100% of the mortar joints be repointed, to give the façade a consistent visual appearance.
- The exposed stone foundation walls have been parged with cement. The composition of this cement is unknown, but it is suspected that repairs of the underlying mortar joints will be required.
- The wood steps and deck are deteriorated and will likely need to be replaced during the proposed redevelopment.
- The construction activities surrounded with retaining the façade and constructing the proposed high-rise tower are anticipated to cause some cracking to the mass masonry façade. While efforts will be made to limit these as much as possible, repairs will be necessary to completely restore the façade once the construction is complete.

5.4 Fire Damage

Early in the morning on 7 April 2022 a fire broke out on the second floor of the building, resulting in damage to the roof, interior walls and floors (see Figure 56 to Figure 59).

⁹⁹ Tacoma Engineers, Structural Report Conservation Plan, 17 December 2021



Figure 56: Fire Damage, second floor interior wall (provided by Masri O Architects)



Figure 57: Fire Damage, roof from interior, second floor (provided by Masri O Architects)



Figure 58: Fire Damage, exterior, side (south) elevation (provided by Masri O Architects)



Figure 59: Fire Damage, exterior, front elevation (provided by Masri O Architects)

5.5 Surrounding Context

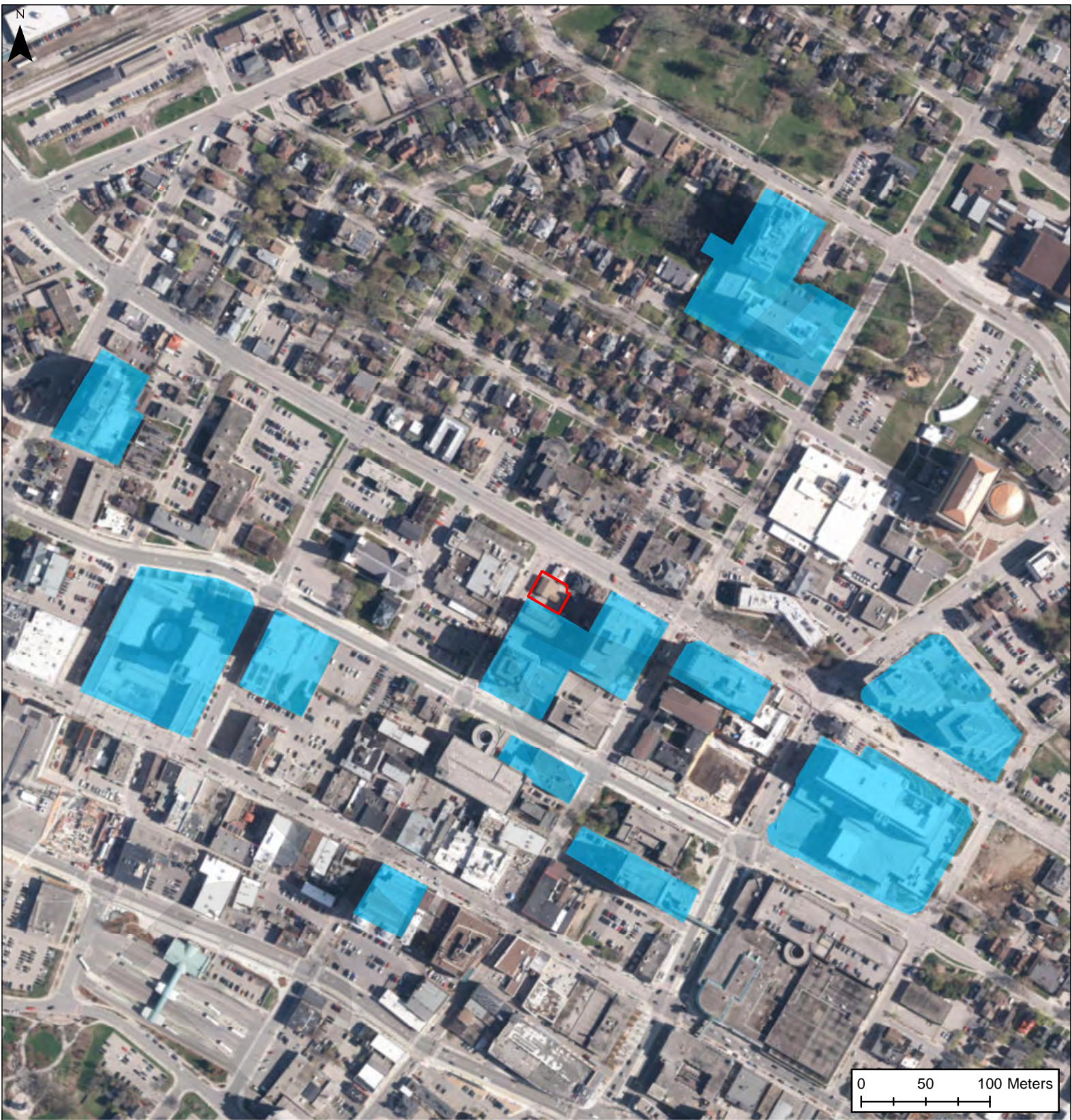
149-151 Ontario Street North is located in the City Centre District. The City Centre District is the commercial core centred around King Street. King Street is located two blocks south. According to the *OP*, the “area has historically developed as a pedestrian-oriented environment characterized by ground floor commercial uses in narrow store fronts, providing frequent entrances for pedestrians”.

The Property occupies a corner lot. To the west is the rear of a large four-storey building. On the north side of this section of Weber Street West, the streetscape is inconsistent in height, massing, rhythm, and use.

Within an approximately 500-meter radius of the Property are over a dozen large-scale buildings which range in height from six to 19 storeys. These buildings are used in a residential, public, and/or commercial capacity (Figure 56). Including:¹⁰⁰

- **50 Queen Street North: 11 storey Commercial Centre (Commerce House).**
- 57 Queen Street North: 18 storey Building: Residential Condos (The Regency).
- **141 Ontario Street North: 6 storeys, appears all Commercial (Ontario Tower).**
- **30 Duke Street West: 10 storey Commercial Centre (Duke Tower).**
- 11 Margaret Avenue: 18 storey residential apartments (Queen-Margaret Apartments)
- 100 Queen Street North: 18 Storey residential apartments (Queen-Margaret Apartments).
- 101 Fredrick St: 11 storeys commercial building.
- 40 Weber Street East: 9 storey commercial building.
- 85 Fredrick Street: 8 storeys, public institution (Waterloo Regional Court House).
- 53 Water Street North: 16 storey residential apartments (Alexandrian Rental Suites).
- 22 Fredrick Street: 11 storey commercial building (Financial Horizons Group).
- 85 Duke Street West- 19 Storey residential condos
- 220 King Street West- Mixed use commercial and public building. (Kitchener City Hall)
- 55 King Street West- tiered 12 storey commercial building.
- 30 Queen Street North- 6 storey parking garage.

¹⁰⁰ Bolded entries are located on the same block as the Property.



<div>Legend</div> <div><div></div> 151 Ontario Street North</div> <div><div></div> Large-Scale Buildings</div>		<div>TITLE</div> <div>Location of Large-Scale Buildings, Ranging in Height From Six to 19 Storeys, Surrounding the Subject Properties</div>	
		<div>CLIENT</div> <div>Masri O Inc. Architects</div>	
		<div>PROJECT</div> <div>Heritage Impact Assessment Update 149-151 Ontario Street North, Kitchener, Ontario</div>	
		<div>PROJECT NO. LHC0281</div>	
<div>NOTE(S)</div> <div>1. All locations are approximate.</div>		<div>CONSULTANT</div> <div>YYYY-MM-DD2022-01-06</div>	
<div>REFERENCE(S)</div> <div>1. Service Layer Credits: Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community Portions of this document include intellectual property of Esri and its licensors and are used under license. Copyright (c) Esri and its licensors. All rights reserved.</div>		<div>LHC</div> <div>PREPARED</div> <div>LHC</div>	
		<div>DESIGNED</div> <div>JG</div>	
		<div>FIGURE #</div> <div>60</div>	

5.6 Adjacent Heritage Properties

The City defines adjacent as:

...lands, buildings and/or structures that are contiguous or that are directly opposite to other lands, buildings and/or structures, separated only by a laneway, municipal road or other right-of-way.

Using this definition, the Property is adjacent to the Civic Centre Neighbourhood Heritage Conservation District (CCNHCD). All properties within the CCNHCD are designated Part V Section 41 of the *OHA*, additionally, some properties, in addition to Part V designations, are designated Part IV Section 29 of the *OHA*.

6.0 EVALUATION

6.1.1 Ontario Regulation 9/06 Evaluation

The Property was previously evaluated by LHC in 2019 against *O. Reg. 9/06* under the *OHA* using research and analysis presented in Section 4.0 and 5.0. During the 2021 site visit, it was determined no significant changes have been made to the Property since the previous site visits, performed in 2018 and 2019, therefore this updated HIA agrees with the 2019 evaluation. The results of the evaluation are presented in Table 5

Table 5: *Ontario Regulation 9/06 Evaluation for 149-151 Ontario Street South*

Criteria	Criteria Met	Justification
1. The property has design value or physical value because it,		
i. is a rare, unique, representative, or early example of a style, type, expression, material, or construction method,	Yes	The semi-detached buff brick building was built c. 1876 and is an early example of a vernacular building showing Italianate and Georgian influences. Many of the original Italianate-influenced features remain intact including paired eave brackets, tall segmentally arched paired window openings, quoins, brick voussoirs with drip molds, and wide overhanging eaves. The limited Georgian architectural influences are found in the paired chimneys ends, gable roof and overall symmetrical plan.
ii. displays a high degree of craftsmanship or artistic merit, or	No	The building does not display a high degree of craftsmanship or artistic merit. It was built using common methods and techniques for that time period.
iii. demonstrates a high degree of technical or scientific achievement.	No	The building does not display a high degree of technical or scientific achievement. It was built using common building techniques for its time period and location.
2. The property has historical or associative value because it,		
i. has direct associations with a theme, event, belief, person, activity, organization, or institution that is significant to a community,	Yes	The Property does not have a direct connection with a specific event, person, activity, organization or institution that is significant to a community. The Property is associated with the theme of industrialization in Kitchener throughout the

Criteria	Criteria Met	Justification
		late 19 th and 20 th century and the presence of multi-tenant dwellings. Many of the tenants associated with the Property worked in nearby industries which were important to the development of Kitchener and the downtown commercial core.
ii. yields, or has the potential to yield, information that contributes to an understanding of a community or culture, or	No	The Property does not appear to yield, or have the potential to yield, information that contributes to an understanding of a community. The Property has been covered with asphalt.
iii. demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.	No	The builder is unknown.
3. The property has contextual value because it,		
i. is important in defining, maintaining, or supporting the character of an area,	No	The Property is not important in defining, maintaining or supporting the character of the area. The surrounding context and its legibility as a residential house and/or as a small-scale commercial space has been lost. This section of Ontario Street North, and the majority of the surrounding block, are dominated by medium and large-scale commercial buildings. As a result of these changes the Property is more associated with the commercial core, in both zoning and location, than with residential use.
ii. is physical, functionally, visually, or historically linked to its surroundings, or	No	The Property is not physically, functionally or historically linked to its surroundings. The adjacent and surrounding residential dwellings which once lined the east side of Ontario Street North were all lost in the mid 20 th century.
iii. is a landmark.	No	The property is not a landmark.

6.1.2 Additional Considerations

In order to understand the uniqueness and representative value of the physical features of 149-151 Ontario Street North as well as thematic associations outlined in the existing SOS, a comparative analysis of buildings of similar, style, materials, age of construction and massing within the CCNHCD was explored. Information was extracted from observations from the site visits and information outlined in the CCNHCD Plan and CCNHCD Study Inventory Summary. The comparative analysis demonstrates that there are at least a dozen buildings categorized as illustrating Italianate influences (Figure 57 through Figure 59) and at least eighteen categorized as Georgian architectural styles. Furthermore, the CCNHCD Plan identifies that Italianate and Georgian architectural styles are amongst the more represented styles in the Districts.

Within the CCNHCD there are more than 50 building noted as being built between c. 1870-1890. The CCNHCD Plan notes that “Almost two-thirds of the existing houses were built between 1880 and 1917 and in most cases were occupied by owners, managers or workers for some of the key industries that defined the community at the turn of the century”.¹⁰¹

Dozens of buff brick buildings were observed throughout the district and many buildings have variations of brick voussoirs with drip molds, bay windows, overhanging eaves, segmentally arched windows, doors with transoms and quoins. The CCNHCD notes that

Throughout the neighbourhood, there is a visual consistency to the architecture, delivered through the repetition of such features as front porches including some very fine two storey examples, decorative gables, projecting bays, and recurring window forms and details.¹⁰²

Lastly, there are at least eight semi-detached buildings which range from modest working-class residences to more ornate and decorative residences; three of semi-detached residences were built c. 1885 in the Italianate architectural style. Appendix D provides photographic documentation of some example buildings of similar age and style.

The comparative analysis is not intended to diminish the cultural heritage value or interest identified in the O. Reg 9/06 evaluation (Section 6.1.1.), but rather, to understand the degree to which the building and its physical features may be considered ‘unique’ as written in the SOS [SCHVI]. The comparative analysis shows that the Property’s heritage attributes can be observed on numerous buildings throughout the nearby district. It also highlights that although there are multiple semi-detached buildings in the district, the scale and design of 149-151 Ontario Street North is not represented. An updated draft SOS [SCHVI] has been included below.

¹⁰¹ CCNHCD Plan. P. 2.4.

¹⁰² CCNHCD Plan. P. 2.4.



Figure 61: Two examples of buildings with Italianate features located within CCNHCD. Note the overhanging eaves with wood brackets, segmentally arched windows openings



Figure 62: Example of buff brick buildings found within the CCNHCD



Figure 63: Examples of architectural elements found with the CCNHCD including overhanging eaves, wood brackets, buff brick, quoins, bay windows, voussoirs with drip molds and brick chimneys

6.1.3 Summary of Evaluation

The Property needs to meet one criterion to be considered for designation under section 29 of the *OHA*. The Property meets criteria 1.i., and 2.i. identified in O. Reg. 9/06 of the *OHA* and would be eligible for designation.

The authors findings generally align with those outlined in the existing SOS [SCHVI] (Section 1.3). The SOS [SCHVI] and heritage attributes have been modified to reflect the authors findings and augmented with additional details as needed. Heritage attributes which are no longer present have been removed.

6.1.4 Statement of Significance

The cultural heritage value or interest of the Property resides in the c. 1876 semi-detached brick building and its use as a residential dwelling for working-class tenant throughout the late 19th and 20th century.

6.1.4.1 Description of Property

149-151 Ontario Street North is a two-storey 19th century brick building. The building is an early example of a vernacular building with influences from Georgian and Italianate architecture. The building is situated on a 0.15-acre parcel of land located on the east side of Ontario Street North between Duke Street West and Weber Street West in the City Commercial Core planning area of the City of Kitchener within the Region of Waterloo. The principal resource that contributes to the heritage value is the building. The legal description is Plan 401 Part Lot 11.

6.1.4.2 Statement of Cultural Heritage Value or Interest

149-151 Ontario Street North is recognized for its design/physical, and historical/associative value.

The Property at 149-151 Ontario Street North demonstrates design or physical value as an early example of a late 19th century, semi-detached, vernacular brick building with both Italianate and modest Georgian influences. The building has many intact original elements including buff brick, a symmetrical plan with two bay windows, side gable roof, brackets, brick quoining, brick voussoirs with drip molds, window sills, front doors with transoms, and two end chimneys.

The Property has historical and associative value because it is the last remaining example of a residential building in this section of Ontario Street North and is an example of a working-class residence.

6.1.4.3 Heritage Attributes

The heritage attributes supporting the cultural heritage value of the Property are represented in the c. 1876 two-storey, semi-detached brick building. They include:

- Buff brick construction
- Symmetrical plan with two bay windows
- Side gable roof and overhanging eaves
- Wood brackets
- Brick quoining
- Segmentally arched window openings
- Brick voussoirs with drip mold
- Front doors with transoms, and
- Two brick chimneys.

7.0 DESCRIPTION OF THE PROPOSED DEVELOPMENT

The proposed new building comprises a 27-storey mixed use apartment building (Figure 64 to Figure 69). The apartment building will occupy 849.91m² of the lot with a gross floor area of 15,914m². The height of the structure will be 93.2m and it will front Weber Street; however, there will be other points of entry along Ontario Street (Figure 64 and Figure 65).

The apartment complex will accommodate four commercial units and 206 residential units. The basement will have a theatre, electrical, mechanical and maintenance rooms, lockers, and bike storage (Figure 66). The ground and second floors will incorporate the existing exterior walls (west and south) into the podium (Figure 67). Along the front of the existing building will be an open two-floor lobby space. The accessible entrance to the new building will be via a glass vestibule at the north end of the existing façade. Previous iterations of the design saw the retention of a portion of the north façade; however, the entirety of the wall is required to be removed to accommodate sufficient space for the accessible vestibule and staircases. The tower will be supported, above the retained portion of the building, on large columns along Ontario Street and along the laneway south of the building.

The ground floor will have large floor to ceiling windows, except for the integrated portion of the west elevation of the current brick structure. The third floor is proposed to have amenities, a commercial/office space and an outdoor terrace. Along Weber Street, the third floor will have an amenity space, enclosed in glass. Current renderings show residential units will generally have large windows and glass balconies (Figure 69 and Figure 70).

The front façade and south elevation of the two-storey buff brick building will be retained and integrated into the 27-storey apartment (Figure 71 to Figure 74). The south elevation – including the chimney – will be visible from along Ontario Street. The existing roof (badly damaged in the April 2022 fire) will be removed and replaced with a glazed roof with the same slope as the existing (Figure 71). The mail room door is proposed to make use of an existing window, in order to take advantage of the existing structural opening, thus avoiding the need for a new structural opening and maintaining the symmetry of openings on the south elevation (Figure 73).

In order to improve the energy efficiency of the extant windows, the wooden window cases along the remaining walls will be retained (to the extent possible) and will be reinforced through repairs and either replacement of the current modern vinyl inserts or through the addition of storm windows on the interior walls. The two entrance doors openings located on the west elevation will be retained, but will no longer provide regular access to the building. The roof of each bay window will be replaced with a metal roof; however, the slope and pitch will be retained. The existing wooden steps leading to the main entrances (west elevation) will be removed and replaced with new concrete steps that will also function as seating.

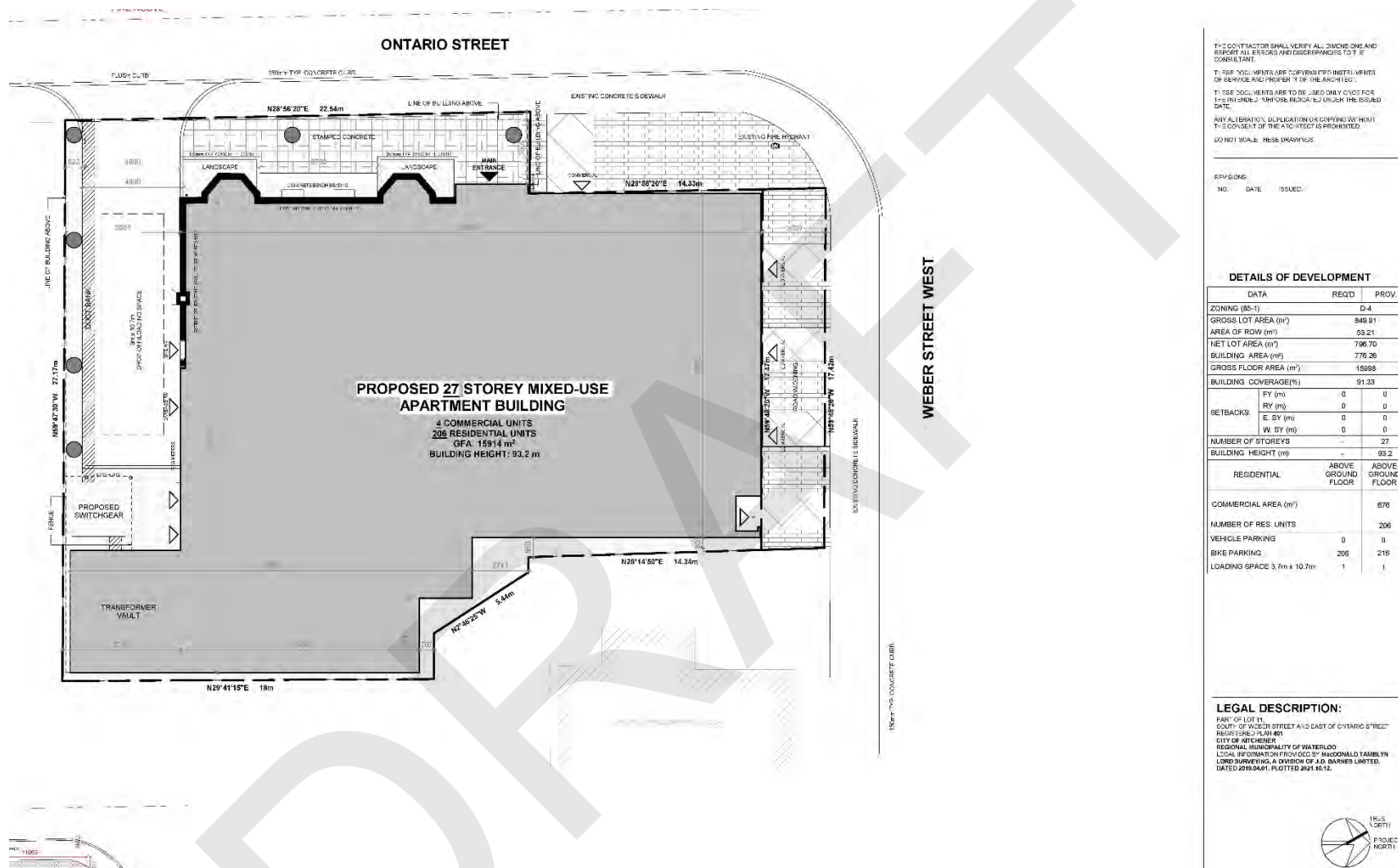


Figure 64: Proposed site plan



Figure 65: Elevations

Figure 66: Basement floor plan of proposed development

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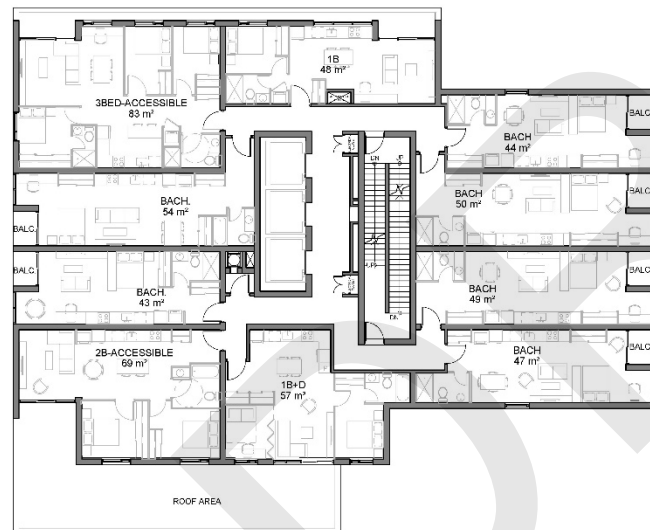
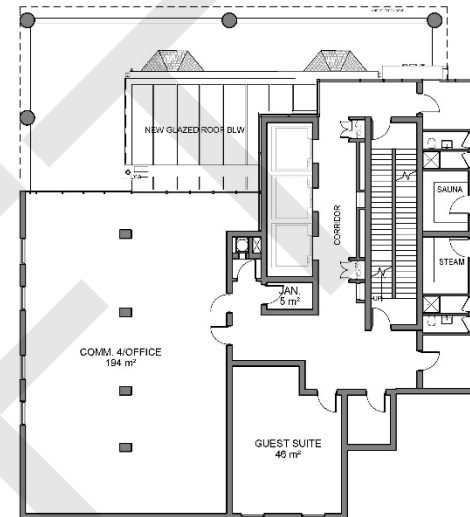
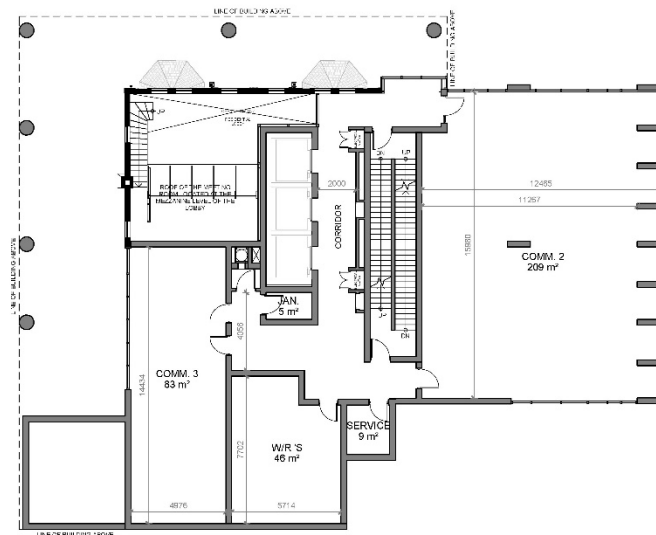


Figure 68: Second to eight floors, floor plan of proposed development



Figure 69: Full rendering of proposed development

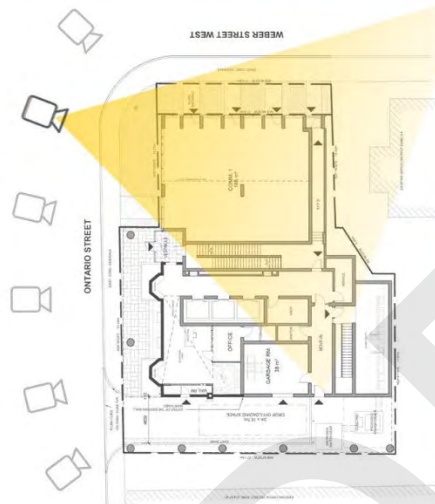


Figure 70: Rendering of integration of west elevation of 149-151 Ontario Street North into proposed development



Figure 71: View of retained facade and south elevation from street level

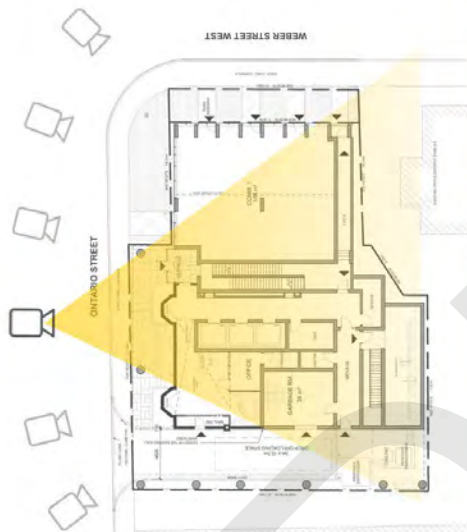


Figure 72: View of retained facade from street level



3
.A3.1 **SOUTH ELEVATION**
SCALE: 1 : 250

Figure 73: View of retained south elevation (option to use existing opening for mail room door)

8.0 IMPACT OF DEVELOPMENT ON HERITAGE ATTRIBUTES

The MHSTCI's *Info Sheet #5 Heritage Impact Assessments and Conservation Plans* outlines seven potential negative impacts to be considered with any proposed development or site alteration. The impacts include:

1. **Destruction** of any part of any significant heritage attribute or features;
2. **Alteration** that is not sympathetic or is incompatible, with the historic fabric and appearance;
3. **Shadows** created that alter the appearance of a heritage attribute or change the viability of a natural feature or planting, such as a garden;
4. **Isolation** of a heritage attribute from its surrounding environment, context, or a significant relationship;
5. **Direct or indirect obstruction** of significant views or vistas within, from, or built and natural features;
6. **A change in land use** such as rezoning a battlefield from open space to residential use, allowing new development or site alteration to fill in the formerly open spaces; and
7. **Land disturbances** such as a change in grade that alters soils, drainage patterns that adversely affect an archaeological resource.

In general, obstruction of views was considered as it relates to the support columns and general views of the façade from Ontario and Weber Streets. Although the columns will be visible along the front and south elevation, they are required to support the tower above. Earlier iterations of the design contemplated cantilevering the tower above the building and these were determined not to be feasible as design progressed. As demonstrated in Figure 71, the façade will remain visible from Weber Street when approaching from the east and the new building will not obstruct any significant attributes.

8.1 Potential Impacts to 149-151 Ontario Street North

Table 6: Impact assessment of the heritage attributes of 149-151 Ontario Street North

Heritage Attributes	Potential Impact	Type of Impact	Discussion
Buff brick construction	Portions	Destruction	<p>The development proposal seeks to retain the front (west) façade and south elevation. The rear addition, and the east and north elevations will be removed.</p> <p>The front façade will be retained and integrated into the basement, ground and second floor of the 27-storey apartment.</p>
Symmetrical plan with two bay windows	No	N/A	The development proposal seeks to retain and integrate the west and south elevation of the building. With appropriate mitigation measures in

Heritage Attributes	Potential Impact	Type of Impact	Discussion
			<p>place to ensure conservation of the façade, the symmetrical plan and two bay windows are not expected to be adversely affected by the development (see Figure 71 and Figure 72).</p> <p>The replacement of the existing wooden porch with a new concrete porch is not anticipated to result in an adverse impact as the porch -itself – is not a heritage attribute; however, it is recommended that the selection of concrete and design of any attachments be informed by a qualified heritage professional. The design of the steps and any railings should be informed by the existing façade and its materials. The new porch should be compatible with and subordinate to the existing façade.</p> <p>Replacement of the roof of each bay window with a metal roof is not anticipated to result in an adverse impact, if carefully planned, given that the slope and pitch will be retained. Selection of the roofing colour should be complimentary to the windows and doors on the façade.</p>
Side gable roof and overhanging eaves	Yes	Destruction	<p>The development proposal seeks to remove the roof.</p> <p>The proposed new glazed roof will retain the same pitch and slope of the current roof. The overhang of the new roof will exceed the existing overhang; however, with the use of glazing is not anticipated to result in an adverse impact with respect to shadows or obstruction of views of related heritage attributes.</p> <p>Furthermore, the April 2022 fire resulted in significant damage to the</p>

Heritage Attributes	Potential Impact	Type of Impact	Discussion
			roof likely requiring replacement of significant portions.
Wood brackets	No	N/A	Through careful design of the new glazed roof and appropriate mitigation measures during construction, the existing wooden brackets can be retained and will be visible (Figure 68).
Brick quoining	Portions	Destruction	<p>The development proposal seeks to retain and integrate the west elevation of the building.</p> <p>The proposed development will retain the west and south elevation and the quoins located at the northwest and southwest corners of the structure and be integrated into the 27-storey apartment building.</p> <p>The remaining quoins will be removed resulting in the partial loss of this attribute.</p>
Segmentally arched window openings	Portions	Destruction	<p>The development proposal seeks to retain and integrate the west and south elevations of the building.</p> <p>Window openings on the north and rear elevations will be removed.</p> <p>Alteration of one of the south elevation windows to accommodate the mail room door, will alter the base of this opening, but will not affect the segmental arch or the header.</p> <p>Adverse impacts of this alteration can be minimized if carefully implemented with appropriate conservation measures.</p>
Brick voussoirs with drip mould	Portions	Destruction and alteration	<p>The development proposal seeks to retain and integrate the west and south elevations of the building.</p> <p>Voussoirs on the north and rear elevations will be removed.</p>

Heritage Attributes	Potential Impact	Type of Impact	Discussion
			Alteration of one of the south elevation windows to accommodate the mail room door, will alter the base of this opening, but will not affect the segmental arch or the header. Adverse impacts of this alteration can be minimized if carefully implemented with appropriate conservation measures.
Front doors with transoms	Potential	Alteration	The development proposal seeks to retain and integrate the west elevation of the building. The two door openings on the west elevation be retained, but are not anticipated to function as regular entrances.
Brick chimney	Portions	Destruction	The development proposal seeks to retain the south elevation, including the brick chimney. The chimney on the north elevation will be removed. Through careful detailed design and with the implementation of appropriate conservation/stabilization measures, this heritage attribute will be conserved on the south elevation.

8.2 Civic Centre Neighbourhood Heritage Conservation District Impacts

The CCNHCD Plan has numerous design guidelines which have been created to ensure that new development with the district is respectful of the overall character of the neighbourhood. While the proposed development does not fall within the CCNHCD boundary and, as such, the guidelines do not apply. The Property is adjacent to the CCNHCD and the policies and guideline have nonetheless been considered as they relate to potential impacts on those adjacent properties and the Weber Street West streetscape. A discussion is outlined in Table 7.

Table 7: Assessment of CCNHCD Guidelines against proposed development

Policy	Discussion
3.3.5.2 Weber Street Area Weber Street contains nearly half of the oldest buildings in the Civic Centre Neighbourhood, making it one of the most important streets in the District from	The following policies address the Weber Street West area. It is understood that this section of

Policy	Discussion
<p>an architectural and historic perspective. The size and scale of heritage buildings on Weber Street is generally larger than the rest of the District, and includes two churches, small scale apartments (3 – 4 storeys) and a number of other larger residences that have been converted to multiple residential units or office/commercial uses. The Municipal Plan designates most of the street as High Density Commercial Residential, with the designation extending slightly in some areas. The following policies are to apply to the whole of Weber Street within the District as well as to those sections of the High Density Commercial Residential designation that extend into the District on College and Young Streets.</p>	<p>Weber Street contains buildings which are generally larger (3-4 storeys), and it is designated high Density Commercial Residential. The proposed development is outside of the CCNHCD and therefore the following policies do not apply, however, they have been reviewed and considered.</p>
<p><i>Policies:</i> (a) The protection and retention of existing heritage buildings and their architectural features is strongly encouraged.</p>	<p>The proposed development will retain the west and south elevations of the two-storey structure.</p>
<p>(b) Maintain residential streetscape character through the use of appropriate built form, materials, roof pitches, architectural design and details particularly at the interface between Weber Street and the interior of the neighbourhood;</p>	<p>The proposed development retains the west and south elevations and partial north elevation, retaining character of the Property along the streetscape.</p>
<p>(c) Adaptive reuse of existing buildings should be given priority over redevelopment. Flexibility in Municipal Plan policies and zoning regulations is encouraged where necessary to accommodate appropriate adaptive reuse options.</p>	<p>N/A</p>
<p>(d) Where redevelopment is proposed on vacant or underutilized sites, new development shall be sensitive to and compatible with adjacent heritage resources on the street with respect to height, massing, built form and materials.</p>	<p>The proposed development is outside of the HCD, but is in keeping with the general height of nearby structures outside of the district, many of which are greater than 10-storeys in height.</p>
<p>(e) Any buildings proposed over 5 storeys in height may be required to undertake shadow studies where they abut existing residential uses, to demonstrate that they will not unreasonably impact on access to sunlight in rear yard amenity areas.</p>	<p>N/A</p>

Policy		Discussion
	(f) Design guidelines provided in Section 6.9.2 of this Plan will be used to review and evaluate proposals for major alterations, additions or new buildings to ensure that new development is compatible with the adjacent context.	The policies outline in 6.9.4 pertain to Weber Street and have been considered below.
Guideline		Discussion
6.6 NEW BUILDINGS - RESIDENTIAL In addition to the large vacant tract of land on Margaret Avenue, there are a few locations in the residential core area of the Civic Centre Neighbourhood Heritage Conservation District where new buildings are likely to be constructed. New or replacement buildings may be constructed in some cases as a result of fire or structural instability. In such situations, new buildings must be designed to be compatible with the heritage characteristics of the Civic Centre Neighbourhood to help retain the overall visual context of the area		The following guidelines have been considered against the proposed development.
Recommended Practices and Design Guidelines		
Match setback, footprint, size and massing patterns of the neighbourhood, particularly to the immediately adjacent neighbors.		The setback is in keeping with the adjacent buildings. The size, massing and footprint are similar to other adjacent and nearby larger structures that front onto Weber Street West, opposite the CCNHCD.
Setbacks of new development should be consistent with adjacent buildings. Where setbacks are not generally uniform, the new building should be aligned with the building that is most similar to the predominant setback on the street.		The setback is consistent with the adjacent buildings located along Weber Street, outside of the HCD.
New buildings and entrances must be oriented to the street and are encouraged to have architectural interest to contribute to the visual appeal of the neighbourhood.		There are several entrances to the new apartment and are located along Ontario Street North and Weber Street West.
Respond to unique conditions or location, such as corner properties, by providing architectural interest and details on both street facing facades.		The Property is located at the southeast corner of Ontario Street North and Weber Street West. Renderings of the proposed

Guideline	Discussion
	development include large floor to ceiling windows, amenity space on the 2 nd and 3 rd floors with glazed walls, and the integration of 149-151 Ontario Street North façade into the apartment building.
Use roof shapes and major design elements that are complementary to surrounding buildings and heritage patterns.	<p>The proposed development will have a flat roof, which is in keeping with the flat roofs of the nearby buildings.</p> <p>The roof over 149-151 Ontario Street North will retain its pitch and slope, which are complementary to residential properties nearby. The use of angled canopy above the second floor along Weber Street, provides a visual break between the base and tower and creates a more pedestrian scale along Weber Street and Ontario Street.</p>
Size, shape, proportion, number and placement of windows and doors should reflect common building patterns and styles of other buildings in the immediate area.	<p>The window size, shape, and placement are similar to other comparable towers outside of the HCD in the vicinity.</p> <p>The large floor to ceiling glass windows on the first to second floors use of angled glazing above the second floor along Weber Street, provides a visual break between the base and tower and creates a more pedestrian scale along Weber Street and Ontario Street.</p>
Use materials and colours that represent the texture and palette of the Civic Centre Neighbourhood.	Current renderings show the colours tend to be grey and light buff. This colour is consistent with the buff and red brick commonly found within the CCNHCD. The glazing on lower floors is also complementary with the materials of buildings within the HCD.
Where appropriate, incorporate in a contemporary way some of the traditional details that are standard	The façade of 149-151 Ontario Street North will be integrated into

Guideline	Discussion
elements in the principal facades of properties in the Civic Centre Neighbourhood. Such details as transoms and sidelights at doors and windows, covered porches, divided light windows and decorative details to articulate plain and flat surfaces, add character that complements the original appearance of the neighbourhood and add value to the individual property.	<p>the building. The blend of traditional and contemporary styles seeks to complement the character of the CCNHCD, while not trying to replicate a historic building design.</p> <p>The careful removal and salvage of portions of the extant building to be removed may provide an opportunity for the reuse of materials and design elements in other areas of the lower floors.</p>
Front drive garages are strongly discouraged. Garages should be located in the rear yard whenever possible and will be subject to the design guidelines of the HCD Plan.	N/A
6.9.4 Weber Street	
Any infill development on Weber Street should maintain a strong relationship to the street at the lower levels (2 to 4 storeys) with respect to built form and use.	<p>The lower floors of the 27-storey apartment will integrate the west elevation of 149-151 Ontario Street North into the final design. The buff brick exterior, windows and doors, and other heritage attributes will be mostly retained and form a strong relationship to the street and neighbourhood.</p> <p>The use of angled canopy above the second floor along Weber Street, provides a visual break between the base and tower and creates a more pedestrian scale along Weber Street and Ontario Street.</p>
Setbacks of new development should be consistent with adjacent buildings. Where significantly different setbacks exist on either side, the new building should be aligned with the building that is most similar to the predominant setback on the street.	All the buildings along this section of Weber Street have narrow setbacks from the street. The proposed setback is in keeping with the adjacent properties. It also responds to the existing area reserved for road widening.
Building facades at the street level should incorporate architectural detail, similar materials and colours, and consistency with the vertical and horizontal	Current renderings show the colours tend to be muted with grey and light buff. This colouring is consistent with

Guideline	Discussion
proportions or rhythm of adjacent / nearby buildings on the street to establish a cohesive streetscape.	the buff and red brick commonly found within the CCNHCD. The use of glazing on lower floors is complementary with the materials of buildings within the HCD, creating a more cohesive streetscape.
New development shall have entrances oriented to the street.	There are several entrances to the new building and are located along Ontario Street North and Weber Street West.
Size, placement and proportion of window and door openings for new buildings or additions should be generally consistent with those on other buildings along the street.	<p>The window size, shape, and placement are similar to the symmetrical placement of those found on historic structures.</p> <p>The large floor to ceiling glass windows on the first to second floors are not reflective of the historic nature of nearby structures.</p>
Any new buildings taller than 3 to 4 storeys should incorporate some form of height transition or stepbacks to minimize the perception of height and shadow impacts to pedestrians on the street and provide more visual continuity. Stepbacks should be a minimum of 2 metres to provide for useable outdoor terraces for the upper levels.	The façade of 149-151 Ontario Street North will be retained and the use of angled glazing above the second floor along Weber Street, provides a visual break between the base and tower helps create a sense of visual continuity along the streetscape along Weber Street and Ontario Street.
Any buildings taller than 5 storeys abutting a residential property to the rear should be constructed within a 45-degree angular plane where feasible, starting from the rear property line, to minimize visual impacts on adjacent property owners	N/A
To minimize impacts on properties to the rear of or flanking Weber Street, a rear yard setback of 15 metres should be maintained for new buildings as well as additions where feasible.	N/A
Locate loading, garbage and other service elements (HVAC, metres, etc.) away from the front façade so they do not have a negative visual impact on the street or new building / addition.	Services are not proposed to be located along the façade and are setback and obscured from the street.

8.3 Summary of Potential Impacts

Potential impacts related to the proposed development were explored in Table 6. Potential adverse impacts were identified for several heritage attributes for 149-151 Ontario Street North. Alternatives and mitigation measures to lessen or avoid these potential impacts are outlined in the following section. The Property is not located within the CCNHCD. Although, as outlined in Table 7, the development proposal is not compliant with the CCNHCD guidelines, the proposal mitigates visual impacts on the HCD through use of materials and design of the transition between the lower floors and the tower.

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9.0 CONSIDERED MITIGATION AND CONSERVATION STRATEGIES

9.1 Considered Options

The following range of possible development alternatives was explored. All options have been considered in relation to the applicable planning framework outlined in Section 3.0. The options have considered existing conditions. The preferred option is identified.

9.1.1 Option 1: On-site Retention in Current Use

This option would leave the Property as is and the existing buildings would remain *in situ*. The Property is currently vacant; however, it was most recently used as a residential building.

The 'do nothing' option would not result in any direct impacts on the heritage attributes of the Property or adjacent heritage properties as there would be no changes to the Property. The structure would still require continual maintenance. In the context of proposed redevelopment of this site, retention *in situ* is not a viable option.

9.1.2 Option 2: On-site Retention in Alternate Use

This option would leave the existing buildings *in situ*; however, the structure would be used in a different way. Based on the observed existing conditions, the condition of the structure would support a variety of uses. This option would not result in any direct impacts on the heritage attributes of the Property or adjacent heritage properties as there would be no changes to the Properties.

An alternate use could result in direct impacts to the Property as renovations are undertaken to allow for the reuse. The Property has already undergone interior renovations related to a change in use from residential to commercial. In the context of proposed redevelopment of this site, retention *in situ* is not a viable option.

9.1.3 Option 3: Relocation Within the Parcel

This option would see the relocation of the existing structure, in its entirety, within the parcel. However, in the context of the proposed development which will comprise the entirety of the parcel, relocation is not a viable option.

9.1.4 Option 4: Retention of entire structure and Integration into Proposed Development

This option would see the integration of the building at 149-151 Ontario Street North into the proposed new 27-storey apartment. A previous development proposal for this property pursued this option and it was determined to not be feasible within the context of development of a residential tower on this site.

9.2 Option 5: Partial Demolition/Selective Deconstruction and Integration into Proposed Development

This option would see the partial removal of the structure on the Property, retaining the façade (west elevation) south elevation and partial north elevation to be integrated into the newly developed 27-storey mixed use apartment. Given that the feasibility of full retention has been pursued and found not to be viable, this is the preferred alternative, as it allows for the development of the property and the partial conservation of its heritage attributes. Visually, this

alternative will have a similar effect on the streetscape to the previous iteration that considered the retention of the building.

This alternative will result in adverse impacts to all or portions of several of the Property's heritage attributes including: its brick construction, quoins, window and door openings, and roof.

A conservation strategy to lessen these adverse impacts is provided in Section 9.3.

9.2.1 Option 6: Demolish Existing Structure and Redevelop

This option would seek to demolish the existing buildings while being designed to avoid impacts on the adjacent heritage properties.

Based on the foregoing research and analysis, 149-151 Ontario Street meets *O. Reg. 9/06* criteria. Its removal would result in an adverse impact on the cultural heritage value or interest or heritage attributes of the Property.

Removal of the structure is not the preferred option as it will result in the total loss of all heritage attributes of the Property.

9.3 Preferred Option

Given that Options 1, 2, 3, and 4 are not viable within the context of redevelopment, Option 5: Partial Demolition/Selective Deconstruction and Integration into Proposed Development is the preferred option because it partially conserves the Property's heritage attributes and avoids the potential for negative impacts on the Property and adjacent heritage properties. Some heritage attributes will require selective deconstruction while the façade will be retained.

9.4 Conservation Strategy

As described above, Option 5: Partial Demolition/Selective Deconstruction and Integration into Proposed Development will result in adverse impacts on several of the Property's heritage attributes (see Table 6). Although the proposed design retains the front (west) façade, south elevation and partial returns on the north, the proposal will result in the following impacts:

- partial loss of buff brick construction (rear addition, east, and partial north elevation) and brick quoins (with the exception of the façade)
- loss of the segmentally arched window openings and voussoirs on the north and rear elevations;
- loss of the brick chimney on the north elevation; and,
- full loss of the side gable roof and overhanging eaves.

Design of the new concrete porch should be compatible with and subordinate to the existing façade. Choice of specific material and design of attachments should be informed by a qualified heritage professional.

Per OP Policy 12.C.1.33 and 12.C.1.34, it is recommended that a documentation package be prepared for the Property prior to any deconstruction activities. Although this HIA contains much of the required content outlined in Policy 12.C.1.34 (i.e., a land use history, photographs, maps, and current floor plans, and other available material about the cultural heritage resource in its surrounding context), it is recommended that measured elevations be prepared as well as a record set of photographs to compare pre- and post-construction conditions. Photographs

generally depicting the removals, should also be included in the documentation, as they may provide additional information on the construction of this and similar buildings. Salvage is recommended for the portions of the building being demolished. It is understood that some of the buff bricks may be retained for use in the lobby. There is also a potential for the salvage of materials for repairs to the elevations being retained. Per OP Policy 12.C.1.32, the City of Kitchener (the City) may also require all or any part of the demolished cultural heritage resource to be given to the City for re-use, archival, display or commemorative purposes, at no cost to the City.

Further, a Conservation Plan – prepared by a qualified heritage professional - may be required by the City of Kitchener. In order to inform a more detailed Conservation Plan, a comprehensive condition survey of the existing building should be undertaken. The Conservation Plan should include guidance for any immediate interventions required prior to removals and construction, guidance for stabilization during removals and construction, and guidance for repairs and long-term maintenance following construction of the new development.

All removals/demolition of the existing structure should be carried out under the direction of a professional engineer with demonstrated experience working with heritage buildings.

In order to inform the conservation strategy, Tacoma Engineers provided the following recommendations in their 17 December 2021 Structural Report:

1. Identify all significant window and door openings. Openings should be provided with removable wood-framed and plywood coverings to provide protection against potential damage due to construction work. Coverings should not be fastened to historic finishes.
2. Carry out a detailed soils investigation of the site. This information should be used to ensure that the proposed foundation system for the new building does not impact the existing building.
3. Foundation systems that include driven piles, excavation of rock, or other high-impact activities should be avoided wherever possible.
4. The existing foundations appear to extend to between 4'-0" and 6'-0" below existing grade. It is expected that the foundations for the new building will extend to below this elevation. Detailing of possible underpinning should form part of the new construction drawings and should account for potential instability of the masonry foundation walls during this process.
5. Construction projects carried out in urban centres often require tiebacks and other shoring methods to support excavation limits. In the event that the excavations require this support, care should be taken to ensure that any tiebacks that extend towards Ontario Street, and therefore below the existing building, do not undermine or otherwise negatively impact the foundations of the existing building.
6. Dewatering activities that may be required during the construction of the new foundations should be undertaken with care. Alterations to pore water pressure can result in unintended settlement of surrounding buildings. Analysis of this issue can be addressed in the geotechnical investigation.
7. It is anticipated that only the Ontario Street façade will be retained as part of the proposed development. Demolition of the existing building should be carried out

carefully, and under the direction of a professional engineer. It is important to understand the connection between the facade and the original building in order to ensure that the building is properly isolated prior to removals.

8. As previously indicated, it is intended that the retained façade will be incorporated into the new development. This will result in connections between the new structural system (steel, concrete, or other standard modern building system) and the existing mass masonry structure. All connections should be detailed such that differential movements between structures is accommodated without negative impacts that could result from unintended loading. The magnitude of the anticipated differential movement can be estimated using the findings of the geotechnical report in coordination with the overall construction detailing.
9. It should be noted that connections to historic masonry structures should consider the recommendations of the Standards and Guidelines for the Conservation of Historic Places in Canada, wherein consideration should be given to types of anchors, material compatibility for both metals and masonry materials, and an overall preference for minimum intervention.

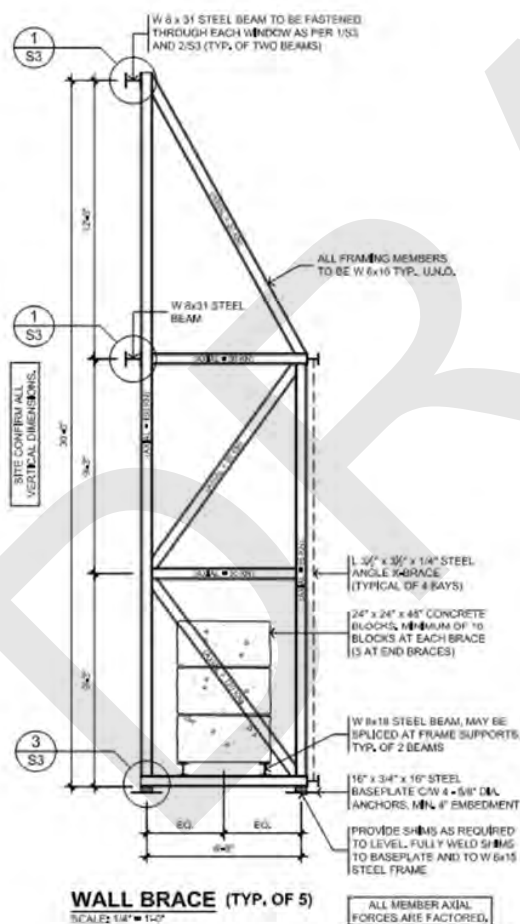


Figure 1 - Schematic Facade Retention Tower

Figure 74: Façade retention tower (Tacoma Engineers 2021)

10.0 CONCLUSION AND RECOMMENDATIONS

LHC was retained in September 2021 by Masri O Inc. Architects on behalf of LMC Limited Partnership to undertake an updated HIA for the redevelopment of 21 Weber Street North and 149-151 Ontario Street North, in the City of Kitchener.

The proponent is proposing to build a 27-storey mixed-used apartment building with four commercial units and 206 residential units. An HIA was previously completed for the Property in 2019 by LHC and at the time 149-151 Ontario Street North was determined to demonstrate cultural heritage value or interest. A Statement of Cultural Heritage Value or Interest and list of heritage attributes for the Property is provided in Section 6.1.4.

The purpose of this updated HIA was to perform an updated review of heritage planning constraints, to assess potential adverse impacts of the new proposal on the cultural heritage value and heritage attributes of the Property and surrounding area, and to identify mitigation measures and alternatives to avoid or lessen impacts.

Given that retention of the building has been explored and found not to be viable, partial demolition/selective deconstruction and integration was identified as the preferred alternative. This alternative sees the façade (west elevation) and partial north and south returns retained and integrated into the new development. Although this will conserve a number of heritage attributes, including the Property's symmetrical façade and bay windows, it will also result in the following impacts:

- partial loss of buff brick construction (rear addition, east, partial north elevation) and brick quoins (with the exception of the façade)
- loss of the segmentally arched window openings and voussoirs on the north and rear elevations;
- loss of the brick chimney on the north elevation; and,
- full loss of the side gable roof and overhanging eaves.

The following mitigative measures are recommended to lessen adverse impacts:

- To the extent possible, existing wooden window and door cases should be retained and repaired. In order to support the efficiency of the windows, new inserts and/or storm windows could be installed.
- The front doors and their transoms should be repaired and retained to the extent possible.
- Design of the new concrete porch should be compatible with and subordinate to the existing façade. Choice of material and design of any attachments should be informed by a qualified heritage professional.
- To the extent possible portions of the building that are removed should be salvaged for reuse in the other areas of the new development or elsewhere. It is understood that some of the buff brick will be retained – on site – for reuse within the lobby. Per OP Policy 12.C.1.32, the City of Kitchener (the City) may require all or any part of the demolished cultural heritage resource to be given to the City for re-use, archival, display or commemorative purposes, at no cost to the City.

- It is recommended that a documentation package be prepared for the Property prior to any deconstruction activities including measured elevations and a record set of photographs to compare pre- and post-construction conditions. Photographs generally depicting the removals, should also be included in the documentation.
- An updated Conservation Plan – prepared by a qualified heritage professional - may be required by the City of Kitchener. In order to inform a more detailed Conservation Plan, a comprehensive condition survey of the existing building should be undertaken. The Conservation Plan should include guidance for any immediate interventions required prior to removals and construction, guidance for stabilization during removals and construction, and guidance for repairs and long-term maintenance following construction of the new development.
- All removals/demolition of the existing structure should be carried out under the direction of a professional engineer with demonstrated experience working with heritage buildings.

SIGNATURES

Please contact the undersigned should you require any clarification or if additional information is identified that might have an influence on the findings of this report.

Christienne Uchiyama, MA, CAHP
Principal, Manager Heritage Consulting Services
LHC

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APPENDIX A : PROJECT PERSONNEL

Christienne Uchiyama, MA CAHP – Principal, LHC

Christienne Uchiyama MA CAHP is Principal and Manager - Heritage Consulting Services with LHC. She is a Heritage Consultant and Professional Archaeologist (P376) with two decades of experience working on heritage aspects of planning and development projects. She is currently Past President of the Board of Directors of the Canadian Association of Heritage Professionals and received her MA in Heritage Conservation from Carleton University School of Canadian Studies. Her thesis examined the identification and assessment of impacts on cultural heritage resources in the context of Environmental Assessment.

Since 2003 Chris has provided archaeological and heritage conservation advice, support, and expertise as a member of numerous multi-disciplinary project teams for projects across Ontario and New Brunswick, including such major projects as: all phases of archaeological assessment at the Canadian War Museum site at LeBreton Flats, Ottawa; renewable energy projects; natural gas pipeline routes; railway lines; hydro powerline corridors; and highway/road realignments. She has completed more than 100 cultural heritage technical reports for development proposals at all levels of government, including cultural heritage evaluation reports, heritage impact assessments, and archaeological licence reports. Her specialties include the development of Cultural Heritage Evaluation Reports, under both O. Reg. 9/06 and 10/06, and Heritage Impact Assessments.

Colin Yu, MA – Cultural Heritage Specialist and Archaeologist

Colin Yu is a Cultural Heritage Specialist and Archaeologist with LHC. He holds a BSc with a specialist in Anthropology from the University of Toronto and a M.A. in Heritage and Archaeology from the University of Leicester. He has a special interest in identifying socioeconomic factors of 19th century Euro-Canadian settlers through quantitative and qualitative ceramic analysis.

Colin has worked in the heritage industry for over eight years, starting out as an archaeological field technician in 2013. He currently holds an active research license (R1104) with the Ministry of Heritage, Sport, Tourism, and Culture Industries (MHSTCI). He is a professional member of the Canadian Association of Heritage Professionals (CAHP) and a member of the Board of Directors of its Ontario Chapter, the Ontario Association of Heritage Professionals (OAHF).

At LHC Colin has worked on numerous projects dealing with all aspects of Ontario's cultural heritage. He has completed over thirty cultural heritage technical reports for development proposals and include Cultural Heritage Evaluation Reports, Heritage Impact Statements, Environmental Assessments, and Archaeological Assessments. Colin has worked on a wide range of cultural heritage resources including; cultural landscapes, institutions, commercial and residential sites as well as infrastructure such as bridges, dams, and highways.

He specializes in built heritage, historic research, and identifying cultural heritage value and/or interest through O. Reg. 9/06 under the *Ontario Heritage Act*.

Jordan Greene, BA – Mapping Technician

Jordan Greene is a mapping technician with LHC. She holds a Bachelor of Arts in Geography with a Certificate in Geographic Information Science and a Certificate in Urban Planning Studies

from Queen's University. The experience gained through the completion of the Certificate in Geographic Information Science allowed Jordan to volunteer as a research assistant contributing to the study of the extent of the suburban population in America with Dr. David Gordon. Prior to her work at LHC, Jordan spent the final two years of her undergraduate degree working in managerial positions at the student-run Printing and Copy Centre as an Assistant and Head Manager. Jordan has had an interest in heritage throughout her life and is excited to build on her existing professional and GIS experience as a part of the LHC team.

The following individuals were involved in the preparation of the 2019 HIA and are no longer with LHC.

Amy Barnes, M.A. CAHP, Project Manager and Senior Cultural Heritage Specialist – no longer with LHC

Amy Barnes, M.A. CAHP, has been working in the heritage field since 2009. She holds a M.A. in Heritage Conservation from the School of Canadian Studies at Carleton University in Ottawa, Ontario and is a full member with the Canadian Association of Heritage Professionals. Ms. Barnes has successfully completed the International Association of Public Participation (IAP2) Foundations in Public Participation and the IAP2 Planning and Techniques for Effective Public Participation courses. Ms. Barnes has worked in the Heritage Planning Departments at the City of Kingston and the Municipality of North Grenville where her duties involved public consultation, records management and work on a variety of heritage-related planning issues. Ms. Barnes has worked on numerous Heritage Impact Assessments and dozens of Cultural Heritage Evaluation Reports throughout Ontario and has completed large scale heritage inventories for built heritage and cultural heritage landscapes. Ms. Barnes has been an active member of the Cambridge Municipal Heritage Advisory Committee since 2009. Ms. Barnes has presented at numerous conferences and speaking engagements on heritage related topics. Ms. Barnes has a great deal of experience researching and presenting historical information to a variety of audiences including both professionals and engaged citizens. Ms. Barnes has worked both independently and as part of a large multidisciplinary team. Ms. Barnes has worked in both the private and public sector on heritage projects that vary in size and scale.

Zack Hamm, MA - Junior Cultural Heritage Specialist – no longer with LHC

Mr. Hamm is a Junior Cultural Heritage Specialist with LHC. He began his academic background studying ancient civilizations and working in Mediterranean and Ontario Cultural Resource management. He graduated from the University of Windsor's Master of Arts in History with a focus on Canadian modernity in 2015. Zack has become deeply interested in local, regional, and national Canadian and First Nations histories, and has more recently turned his passions and interests into a career in heritage. Since joining LHC in 2017, Zack has been involved in a number of projects including archaeological assessments and heritage impact assessments.

APPENDIX B: GLOSSARY

Definitions are based on the *Ontario Heritage Act*, (**OHA**), the *Provincial Policy Statement* (**PPS**), *Regional Municipality of Waterloo Official Plan* (**ROP**), and the *City of Kitchener Official Plan* (**OP**).

Adjacent Lands means those lands contiguous to a protected heritage property or as otherwise defined in the municipal official plan. (**PPS**).

Adjacent means lands, buildings and/or structures that are contiguous or that are directly opposite to other lands, buildings and/or structures, separated only by a laneway, municipal road or other right-of-way. (**OP**).

Alter means to change in any manner and includes to restore, renovate, repair, or disturb and “alteration” has a corresponding meaning (“transformer”, “transformation”) (**OHA**).

Archaeological assessment means the combined background research and field study of a property evaluated as moderate to high on Archaeological Potential Maps approved by the *Province* that identify the presence of and interpretation of the *archaeological resources* on the property and make recommendations for the mitigation of the impacts on the resources. Archaeological assessments must be undertaken by a Provincially-licensed archaeologist, in accordance with reporting guidelines established by the Provincial Government and must address the entire area of the *development application*. (**ROP**).

Archaeological potential means the likelihood to contain *archaeological resources*. Criteria for determining archaeological potential are established by the *Province*, but municipal approaches which achieve the same objectives may also be used. Archaeological potential is confirmed through archaeological fieldwork undertaken in accordance with the Ontario Heritage Act. (**ROP**).

Archaeological resources include artifacts, archaeological sites and marine archaeological sites. The identification and evaluation of such resources are based upon archaeological fieldwork undertaken in accordance with the Ontario Heritage Act. (**ROP**).

Archaeological Resources includes artifacts, archaeological sites and marine archaeological sites, as defined under the Ontario Heritage Act. The identification and evaluation of such resources are based upon archaeological fieldwork undertaken in accordance with the Ontario Heritage Act. (**OP**).

Built heritage resources means one or more *significant* buildings, structures, monuments, installations or remains associated with architectural, cultural, social, political, economic or military history and identified as being important to the community. These resources may be identified through designation or *heritage conservation* easement under the Ontario Heritage Act, or listed by local, regional, provincial or federal jurisdictions. (**ROP**).

Built Heritage Resource means a building, structure, monument, installation or any manufactured remnant that contributes to a property’s cultural heritage value or interest as identified by a community. Built heritage resources are generally located on property that has been designated under Parts IV or V of the Ontario Heritage Act, or listed by included on local, *Regional, Provincial and/or Federal* registers. (**OP**).

Community Character refers to identifiable pockets of the urban fabric with distinctive physical attributes. These attributes include but are not limited to development patterns, scale of the built environment, architectural vernacular of existing buildings and structures, *cultural heritage resources* and *community infrastructure*. Community character is a reflection of community image, identity and *sense of place* and may also reflect cultural and social values. Cultivating community character is intended to foster community pride. (OP).

Conserve/conserved means the identification, protection, use and/or management of cultural heritage and *archaeological resources* in such a way that their heritage values, attributes and integrity are retained. This may be addressed through a conservation plan or heritage impact assessment. (ROP).

Conserve/Conserved/Conservation means the identification, protection, management and use of *built heritage resources*, *cultural heritage landscapes* and *archaeological resources* in a manner that ensures their cultural heritage value or interest is retained under Ontario Heritage Act. This may be achieved by the implementation of recommendations set out in a *heritage conservation plan*, archeological assessment, and/or *heritage impact assessment*. Mitigative measures and/or alternative development approaches can be included in these plans and assessments. (OP).

Compatibility/Compatible means land uses and building forms that are mutually tolerant and capable of existing together in harmony within an area without causing unacceptable *adverse effects*, *adverse environmental impacts* or *adverse impacts*. Compatibility or compatible should not be narrowly interpreted to mean “the same as” or even as “being similar to”. (OP).

Contiguous means lands that are situated in sufficiently close proximity such that *development* or *site alteration* could reasonably be expected to produce one or more of the following impacts: alterations to existing hydrological or hydrogeological regimes; clearing of existing vegetation; erosion and sedimentation; or producing a substantial disruption of existing natural *linkages* or the habitat of a significant species. (ROP).

Culture/Cultural is the whole complex of distinctive spiritual, material, intellectual and emotional features that characterize a society or social group. It includes not only *arts* and letters, but also modes of life, the fundamental rights of the human being, value systems, traditions and beliefs. (OP).

Cultural Heritage Impact Assessment means a study to determine if *cultural heritage resources* will be negatively impacted by a proposed *development* or *site alteration*. It can also demonstrate how the *cultural heritage resource* will be *conserved* in the context of redevelopment or *site alteration*. Mitigative or avoidance measures or alternative *development* approaches may also be recommended. (ROP).

Cultural heritage landscape means a defined geographical area of heritage significance which has been modified by human activities and is valued by a community. It involves a grouping(s) of individual heritage features such as structures, spaces, archaeological sites and natural elements, which together form a *significant* type of heritage form, distinctive from that of its constituent elements or parts. (ROP).

Cultural Heritage Landscape means a defined geographical area that may have been modified by human activity and is identified as having cultural heritage value or interest by a

community. The area may involve features such as structures, spaces, archaeological sites or natural elements that are valued together for their interrelationship, meaning or association. Examples may include, but are not limited to, *heritage conservation districts* designated under the Ontario Heritage Act; villages, parks, gardens, battlefields, mainstreets and neighbourhoods, cemeteries, trailways, viewsheds, natural areas and industrial complexes of heritage significance; and areas recognized by federal or international designation authorities. (OP).

Cultural heritage resources are the physical remains and the intangible cultural traditions of past human activities. These include, but are not limited to:

- buildings (residential, commercial, institutional, industrial and agricultural);
- cultural heritage landscapes (designed, organic/evolved);
- structures (water tower; bridge, fence and dam);
- monuments (cenotaph, statue and cairn);
- archaeological resources;
- cemeteries;
- scenic roads;
- vistas/viewsheds;
- culturally significant natural features (tree and landform);
- movable objects (archival records and artifacts); and
- cultural traditions (language, stories, music, dance, food, celebrations, art and crafts). (ROP).

Cultural Heritage Resources means includes buildings, structures and properties designated under the Ontario Heritage Act or listed on the *Municipal Heritage Register*, properties on the Heritage Kitchener Inventory of Historic Buildings, *built heritage resources* and *cultural heritage landscapes* as defined in the Provincial Policy Statement. (OP).

Development means the creation of a new lot, a change in land use, or the construction of buildings and structures, requiring approval under the Planning Act. (ROP).

Development means the creation of a new lot, a change in land use, the construction of buildings and structures or an addition or alteration to a building or structure that substantially increases the size or usability of the site, requiring approval under the Planning Act, but does not include:

- a) activities that create or maintain *infrastructure* authorized under an *environmental assessment* process; and,
- b) works subject to the Drainage Act. (OP).

Heritage Attributes means the principal features or elements that contribute to a protected heritage property's cultural heritage value or interest, and may include the property's built, constructed, or manufactured elements, as well as natural landforms, vegetation, water features, and its visual setting (e.g. significant views or vistas to or from a protected heritage property). (PPS).

Heritage Corridors means streets or *multi-use pathways* which because of their unique structural, topographic and visual characteristics, as well as abutting vegetation, built environment and cultural landscape, historical significance or location within a *Heritage Conservation District* are recognized as a *cultural heritage resource* and are intended to be *conserved*. (OP).

Heritage Attributes means the principle features or elements that contribute to a *cultural heritage resource's* cultural heritage value or interest, and may include the property's built or manufactured elements, as well as natural landforms, vegetation, water features, and its visual setting (including significant *views or vistas* to or from a *cultural heritage resource*. (OP).

Heritage Conservation District means a geographic area primarily made up of a group of buildings, streets and open spaces which collectively contribute to the cultural heritage value or interest of the area. (OP).

Heritage Conservation District Plan means a document that provides policies and guidelines to assist in the protection and enhancement of the cultural heritage values of the district. The document includes a statement of objectives, a statement of the district's cultural heritage value or interest, a description of the district's *heritage attributes*, policies, guidelines and procedures for achieving stated objectives and managing future change, and a description of external alterations or classes of external alterations that are of minor nature that an owner can carry out without obtaining a permit. (OP).

Heritage Conservation Plan means a document that details how a *cultural heritage resource* can be conserved. The conservation plan may be supplemental to a *heritage impact assessment*, but is typically a separate document. The recommendations of the plan should include descriptions of repairs, stabilization and preservation activities as well as long term conservation, monitoring and maintenance measures. (OP).

Heritage Impact Assessment means a document comprising text and graphic material including plans, drawings, photographs that contains the results of historical research, field work, survey, analysis, and description(s) of *cultural heritage resources* together with a description of the process and procedures in deriving potential effects and mitigation measures as required by official plan policies and any other applicable or pertinent guidelines. A heritage impact assessment may include an archaeological assessment where appropriate. (OP).

Identify/Identified (in regard to cultural heritage landscapes) means designate for the purposes of the Regional Official Plan. (OP).

Municipal Heritage Register means a register maintained by the City of Kitchener, in accordance with the Ontario Heritage Act, which includes *protected heritage properties* and properties listed as a non-designated property of cultural heritage value or interest. (OP).

Property means real property and includes all buildings and structures thereon. (OHA).

Protected Heritage Property means property designated under Parts IV, V or VI of the Ontario Heritage Act; heritage conservation easement under Parts II or IV of the Ontario Heritage Act; property identified by *the Province* and prescribed public bodies as provincial heritage property under the Standards and Guidelines for Conservation of Provincial Heritage Properties; property protected under federal legislation, and UNESCO World Heritage Sites. (OP).

Qualified Person for the purposes of cultural heritage resources, means an individual including a professional engineer, architect, archaeologist, etc., having relevant, recent experience in the conservation of cultural heritage resources. (*OP*).

Significant means in regard to cultural heritage and archaeology, resources that have been determined to have cultural heritage value or interest. Processes and criteria for determining cultural heritage value or interest are established by the Province under the authority of the Ontario Heritage Act. (*PPS*).

DRAFT

APPENDIX C: CITY DIRECTORY FOR 149-151 ONTARIO STREET NORTH

DRAFT

Appendix C

City Directory Listings for
149-151 Ontario Street East

Appendix C: City Directory Listings for 149-151 Ontario Street

Sources:

1893-1918: Vernon's *Berlin, Waterloo, and Bridgeport Street and Alphabetical Business and Miscellaneous Directory*. Henry Vernon and Sons, Publisher. Hamilton.

1919-2014: Vernon's *City of Kitchener and Town of Waterloo Street and Alphabetical Business and Miscellaneous*. Vernon and Sons Publishing. Hamilton.

YEAR(S)	LISTINGS
1901-1903	No street numbers are provided. Those identified on the street include: Rev W.A. Bradley H. Kruff 27 G.H. Whiting 29 Mrs. John S. Shantz 31 A. Von Neubronn 33 W.J. Arnott M.D.
1907-1908	(149) 83 Foundry Street N: Albert Kaufman wks tmstr [Works Teamster] (151) 85 Foundry Street N: B.U. Clemens wks rubber factory
1908-1909	(149) 83 Foundry Street N: Albert Kaufman wkrs deliverer (151) 85 Foundry Street N: B.U. Clemens
1911-1912	(149) 83 Foundry Street N: Waltr [Walter] W Williams. Works as a Teacher: high school (151) 85 Foundry Street N: B.U. Clemens
1912-1913	(149) 83 Foundry Street N: Walter W Williams (151) 85 Foundry Street N: B.U. Clemens
1919	(149) 83 Foundry Street N – Conrad Biehl, works as mach [Machinist]/ Melissa Biehl, works as Clk W G & R [Clerk] (151) 85 Foundry Street N: Gus Wendt (163 Ontario Street N: Ontario Street N) 87 Foundry Street N Dr. H.M. Lackner
1921-1924	149 Ontario Street N: George Filsinger, works as a tailor 151 Ontario Street N: John Hoflinch, works as a stock keeper for Bell telephone 163 Ontario Street N: Ontario Street N Dr. H.M. Lackner
1925	149 Ontario Street N: Vacant 151 Ontario Street N: John Hoflich, works as a Chf clk [clerk] for Bell Tel Co. 163 Ontario Street N: Ontario Street N Ontario Street N Dr. H.M. Lackner
1926	149 Ontario Street N: Weins, D. (Tenant) 151 Ontario Street N: John Hoflich (Tenant) 163 Ontario Street N: Ontario Street N Ontario Street N Dr. H.M. Lackner, Owner
1927	149 Ontario Street N: Weins, D. (Tenant) 149 Ontario Street N: Dietrich Jr. wks Kaufman Rbr Co.

YEAR(S)	LISTINGS
	149 Ontario Street N: Jacob Fenner (Tenant) 151 Ontario Street N: Vacant 163 Ontario Street N: Ontario Street N Ontario Street N Dr. H.M. Lackner, Owner
1928	149 Ontario Street N: – Dietrich family lived there including: Dietrich (wife Marie) works Dom Button Co Agnes works Can Goodrich Co. Dietrich Jr. works Kaufman Rbr [Rubber] Co, Marguerite, works Can Goodrich Co. 151 Ontario Street N: J.J. Weigand. (Tenant) and his wife Phoebe. J. Weigard works as a caretaker at Bank of Montreal. 163 Ontario Street N: Lackner, H. Owner
1929	149 Ontario Street N: Hy, Penner 151 Ontario Street N: J.J. Wiegand 163 Ontario Street N: Lackner, H.M. Dr.* (denotes member of the family owns the property)
1930	149 Ontario Street N: Hy Penner 151 Ontario Street N: Mrs. Phoebe Wiegand 163 Ontario Street N: Lackner, H.M. Dr.* (denotes member of the family owns the property)
1931	149 Ontario Street N: Hy Penner 149 Ontario Street N: John Drobina 149 Ontario Street N: Jos [Joseph] Schnobel 151 Ontario Street N: J.J. Wiegand 163 Ontario Street N: Lackner, H.M. Dr.* (denotes member of the family owns the property)
1932	149 Ontario Street N: Peter Penner 149 Ontario Street N: H.J. Penner 149 Ontario Street N: J. Drobina 151 Ontario Street N: Mrs. Phoebe Wiegand 163 Ontario Street N: Lackner, H.M. Dr.* (denotes member of the family owns the property)
1933	149 Ontario Street N: Peter Penner 149 Ontario Street N: H.J. Penner 149 Ontario Street N: J. Drobina 151 Ontario Street N: Mrs. Phoebe Wiegand 151 Ontario Street N: Edwd [Edward] Ludwig 163 Ontario Street N: Lackner, H.M. Dr.* (denotes member of the family owns the property)
1934	149 Ontario Street N: Bettendorf, Philip 149 Ontario Street N: Licher, Ma 149 Ontario Street N: Gengler, Nicholas 151 Ontario Street N: Cook, M., Mrs.

YEAR(S)	LISTINGS
	151 Ontario Street N: Ludwig, Edwd. 163 Ontario Street N: Lackner, H.M. Dr.* (denotes member of the family owns the property)
1935	149 Ontario Street N: Bettendorf, Philip 149 Ontario Street N: Licher, Ma 149 Ontario Street N: Gengler, Nicholas 149 Ontario Street N: Messemer, Jacob 151 Ontario Street N: Boldt, B.B. 151 Ontario Street N: Loewen, Peter 163 Ontario Street N: Lackner, H.M. Dr.* (denotes member of the family owns the property)
1936	149 Ontario Street N: Radscheidt, Willy 149 Ontario Street N: Stengel, Jacob 149 Ontario Street N: Goetz, Mathw [Matthew] 151 Ontario Street N: Boldt, B.B. 151 Ontario Street N: Loewen, Peter 163 Ontario Street N: Lackner, H.M. Dr.* (denotes member of the family owns the property)
1937	No Entry
1938	149 Ontario Street N: Peters, Peter (wife Helena) 149 Ontario Street N: Struke, John 151 Ontario Street N: Boldt, B.B. 151 Ontario Street N: Loewen, Peter 163 Ontario Street N: Vacant
1939	149 Ontario Street N: Peters, Peter (wife Helena) 149 Ontario Street N: Peters, Jacob, works at Globe Furn [Furniture] 149 Ontario Street N: Winsor, Louisa, Mrs. 151 Ontario Street N: Boldt, B.B. 151 Ontario Street N: Cornelsen, Albt 163 Ontario Street N: Lackner, H.A.
1940	149 Ontario Street N: Peters, Peter (wife Helena) 149 Ontario Street N: Peters, Jacob 149 Ontario Street N: Partridge, E.C. 149 Ontario Street N: Delion, Alfred 149 Ontario Street N: Winsor, Louisa, Mrs. 151 Ontario Street N: Boldt, B.B. 151 Ontario Street N: Cornelsen, Albt 163 Ontario Street N: Lackner, H.A.

YEAR(S)	LISTINGS
1941	149 Ontario Street N: Peters, Peter 149 Ontario Street N: Partridge, E.C. 149 Ontario Street N: Delion, Alfred 151 Ontario Street N: Boldt, B.B. 151 Ontario Street N: Cornelsen, Albt 163 Ontario Street N: Lackner, H.A.
1942	149 Ontario Street N: Peters, Peter 149 Ontario Street N: Partridge, E.C. 151 Ontario Street N: Adams, Hugh A. 163 Ontario Street N: Ferguson, E.W., Mrs.
1943	149 Ontario Street N: Peters, Peter 149 Ontario Street N: Dirksen, Frank 151 Ontario Street N: Adams, Hugh A. 151 Ontario Street N: Bertrand L., Mrs. 163 Ontario Street N: Malcom, W.K.
1944	149 Ontario Street N: Peters, Peter 149 Ontario Street N: Dirksen, Frank 151 Ontario Street N: Daub, Donald 151 Ontario Street N: Adams, Hugh A. 151 Ontario Street N: Bertrand L., Mrs. 163 Ontario Street N: Malcom, W.K.
1945	149 Ontario Street N: Peters, Peter 149 Ontario Street N: Dirksen, Frank 151 Ontario Street N: Schneider, L. 151 Ontario Street N: Adams, Hugh A. 163 Ontario Street N: Malcom, W.K.
1946	149 Ontario Street N: Jacob, Adams 149 Ontario Street N: Peters, Peter 151 Ontario Street N: Schneider, L. 151 Ontario Street N: Adams, Hugh A. (Dom Tire) 163 Ontario Street N: Malcom, W.K.
1947-1948	149 Ontario Street N: Jacob, Adams 149 Ontario Street N: Peters, Peter 151 Ontario Street N: Adams, H.A. Works as a Ctge [Cartage] 151 Ontario Street N: Adam, R. N, Works as a taxi 163 Ontario Street N: Malcom, W.K.
1949	149 Ontario Street N: Jacob, Adams 149 Ontario Street N: Peters, Peter 151 Ontario Street N: Adams, H.A. & Sons 151 Ontario Street N: Stroh, D., Mrs.

YEAR(S)	LISTINGS
	163 Ontario Street N: Vacant
1951-1954	149 Ontario Street N: Jacob, Adams 149 Ontario Street N: Peters, Peter 151 Ontario Street N: Adams, H.A. & Sons 151 Ontario Street N: Stroh, D., Mrs. 163 Ontario Street N: Grant, J.A. Sr.
1955	149 Ontario Street N: Janke, Edward* (*indicates the property is owned by some member of the family) 149 Ontario Street N: Shilda, Hans. Works as a carp [carpenter] 149 Ontario Street N: Schonebeger, Frank 149 Ontario Street N: Jankowski, L. 151 Ontario Street N: Stroh, D., Mrs. 151 Ontario Street N: Steppler, Wm 163 Ontario Street N: J.A. Grant
1956	149 Ontario Street N: Janke, Edward* (*indicates the property is owned by some member of the family) 149 Ontario Street N: Shilda, Hans. Works as a carp [carpenter] 149 Ontario Street N: Schonebeger, Frank 151 Ontario Street N: Gruneberg, S. 163 Ontario Street N: J.A. Grant
1957	149 Ontario Street N: Schonebeger, Frank 151 Ontario Street N: Gruneberg, S. 151 Ontario Street N: Kabutz, Hans 163 Ontario Street N: J.A. Grant works as a Shpr [shopkeeper] Schneider
1958	149 Ontario Street N: Schwalz, Horst 151 Ontario Street N: Gruneberg, S. 151 Ontario Street N: Lunz, Gunter
1959	149 Ontario Street N: Schwalz, Horst 151 Ontario Street N: Gruneberg, S. 151 Ontario Street N: Ott, David
1960	149 Ontario Street N: Iza, Donald 151 Ontario Street N: C.R. Hudson
1961	149 Ontario Street N: McKenzie George 151 Ontario Street N: No entry for this address
1962	149 Ontario Street N: Harry Copan 149 Ontario Street N: Weber, George 151 Ontario Street N: No entry for this address

YEAR(S)	LISTINGS
1963	149 Ontario Street N: Wright, Robt 149 Ontario Street N: Weber, George, works as a clerk at the Imperial Cigar Store 151 Ontario Street N: No entry for this address
1964	149 Ontario Street N: Pelletier, Jack 149 Ontario Street N: Root, Norman 149 Ontario Street N: Mothersell, Melville 149 Ontario Street N: Weber, G.H. 151 Ontario Street N: No entry for this address
1965	149 Ontario Street N: Pelletier, Jack 149 Ontario Street N: Demanchant, B. 149 Ontario Street N: Egerdeen, L. 149 Ontario Street N: Payne, Donald 149 Ontario Street N: Mothersell, Melville 149 Ontario Street N: Weber, G.H. 149 Ontario Street N: Thompson, Colen 151 Ontario Street N: No entry for this address
1966	149 Ontario Street N: Adam, Jos 149 Ontario Street N: Pelletier, Jack 149 Ontario Street N: McLennan, F. 149 Ontario Street N: Mills, Wm 149 Ontario Street N: Weber, G.H. 149 Ontario Street N: Ritchie, Michl 151 Ontario Street N: Bernhardt Insurance Services Ltd.
1967	149 Ontario Street N: Adam, Jos 149 Ontario Street N: Gauley, Robert 149 Ontario Street N: Dopp, J.F. 149 Ontario Street N: Sly, Dennis 149 Ontario Street N: Weber, G.H. 149 Ontario Street N: Gouliere, Betty 151 Ontario Street N: Bernhardt Insurance Services Ltd.
1968	E S parking lot 149 Ontario Street N: Adam, Jos 149 Ontario Street N: Miller, Robert 149 Ontario Street N: Kinzie, Peter 149 Ontario Street N: Sly, Dennis 149 Ontario Street N: Weber, G.H. 149 Ontario Street N: Doyle, Patrick 149 Ontario Street N: Kennedy, John 151 Ontario Street N: Bernhardt Insurance Services Ltd.

YEAR(S)	LISTINGS
1969	E S parking lot 149 Ontario Street N: Adam, Jos 149 Ontario Street N: Forthuber, Peter 149 Ontario Street N: Kinzie, Peter 149 Ontario Street N: Snow, J., Mrs. 149 Ontario Street N: Weber, G.H. 149 Ontario Street N: Doyle, Patrick 149 Ontario Street N: Frank Cormier 151 Ontario Street N: Bernhardt Insurance Services Ltd.
1970	149 Ontario Street N: Jones, Gladys (Apt 1) 149 Ontario Street N: Morton, Ernie 149 Ontario Street N: Guy, Danl 149 Ontario Street N: Brown, Ronald 149 Ontario Street N: Glenn, Chas 149 Ontario Street N: Weber, G.H. 149 Ontario Street N: Truchon, J. 149 Ontario Street N: Deforge, Donald 151 Ontario Street N: Bernhardt Insurance Services Ltd.
1971	149 Ontario Street N: Jones, Gladys (Apt 1) 149 Ontario Street N: Morton, Ernie 149 Ontario Street N: Guy, Danl 149 Ontario Street N: Brown, Ronald 149 Ontario Street N: Glenn, Chas 149 Ontario Street N: Weber, G.H. 149 Ontario Street N: Truchon, J. 149 Ontario Street N: Deforge, Donald 151 Ontario Street N: Bernhardt Insurance Services Ltd.
1972	149 Ontario Street N: Jones, Gladys (Apt 1) 149 Ontario Street N: Kitnzies, Peter 149 Ontario Street N: St. Clair, Ross 149 Ontario Street N: Scott, J. 149 Ontario Street N: Nightingale, B. 149 Ontario Street N: Weber, G.H. 149 Ontario Street N: Novak, J. 149 Ontario Street N: Gottschalk, D. 151 Ontario Street N: Bernhardt Insurance Services Ltd.
1973	149 Ontario Street N: Jones, Gladys (Apt 1) 149 Ontario Street N: Miller, Brian 149 Ontario Street N: Lenox, Chas 149 Ontario Street N: Salter, G., works as an asmbler [assembler] at Electrohome 149 Ontario Street N: Craft, Victor

YEAR(S)	LISTINGS
	149 Ontario Street N: Brennen, B. 149 Ontario Street N: Anderson, L. 149 Ontario Street N: Vacant 151 Ontario Street N: Bernhardt Insurance Services Ltd.
1974	149 Ontario Street N: Jones, Gladys (Apt 1) 149 Ontario Street N: Alexander, J. (Apt 7) works as a waiter at the Grand Union Hotel 149 Ontario Street N: Jasper, J. (Apt 8) 149 Ontario Street N: Salter, G. (Apt 5) works as an assembler [assembler] at Electrohome 149 Ontario Street N: Vacant 149 Ontario Street N: Rohrback, Ernest (Apt 10) 149 Ontario Street N: Vacant 149 Ontario Street N: Jacques, B. (Apt 6), works as a cabinet maker for Columbia cabinets 151 Ontario Street N: Bernhardt Insurance Services Ltd.
1975-1976	149 Ontario Street N: Vacant 151 Ontario Street N: Bernhardt Insurance Services Ltd.
1977-1978	149 Ontario Street N: Scott D. 151 Ontario Street N: Bernhardt Insurance Services Ltd.
1979	149 Ontario Street N: Goldring N. 151 Ontario Street N: Bernhardt Insurance Services Ltd.
1980	149 Ontario Street N: Goldring N. 149 Ontario Street N: Wiegand D. 151 Ontario Street N: Bernhardt Insurance Services Ltd.
1981	149 Ontario Street N: Aschmore U. 151 Ontario Street N: Bernhardt Insurance Services Ltd.
1982	149 Ontario Street N: Villemaire D. 151 Ontario Street N: Bernhardt Insurance Services Ltd.
1983	Apartments: 149 Ontario Street N: 1: Vacant 149 Ontario Street N: 2: Louberg M. 149 Ontario Street N: 3: No return 149 Ontario Street N: 4: Hart L. 149 Ontario Street N: 5: Duong L. 149 Ontario Street N: 6: Lang R. 149 Ontario Street N: 7: Nurcombe G. 149 Ontario Street N: 8: Fraser W. 149 Ontario Street N: 9: Robb N. 151 Ontario Street N: Bernhardt Insurance Services Ltd.

YEAR(S)	LISTINGS
1984	Apartments: 149 Ontario Street N: 12: Bernhardt Insurance Services Ltd. 149 Ontario Street N: 3: Storage 149 Ontario Street N: 4: Hart L. 149 Ontario Street N: 5: Louberg M. 149 Ontario Street N: 6: Lang R. 149 Ontario Street N: 7: Nurcombe G. 149 Ontario Street N: 8: Fraser W. 149 Ontario Street N: 9: Robb N. 151 Ontario Street N: Bernhardt Insurance Services Ltd.
1985	Apartments: 149 Ontario Street N: 12: Bernhardt Insurance Services Ltd. 149 Ontario Street N: 3: Storage 149 Ontario Street N: 4: Hart L. 149 Ontario Street N: 5: Campbell R. 149 Ontario Street N: 6: Lang R. 149 Ontario Street N: 7: Nurcombe G. 149 Ontario Street N: 8: Fraser W. 149 Ontario Street N: 9: Robb N. 151 Ontario Street N: Bernhardt Insurance Services Ltd.
1986	Apartments: 149 Ontario Street N: 12: Bernhardt Insurance Services Ltd. 149 Ontario Street N: 3: Storage 149 Ontario Street N: 4: Hart L. 149 Ontario Street N: 5: Feeney D. 149 Ontario Street N: 6: Lang R. 149 Ontario Street N: 7: Nurcombe G. 149 Ontario Street N: 8: Fraser W. 149 Ontario Street N: 9: Robb N. 151 Ontario Street N: Bernhardt Insurance Services Ltd.
1987	Apartments: 149 Ontario Street N: 12: Bernhardt Insurance Services Ltd. 149 Ontario Street N: 4: Hart L. 149 Ontario Street N: 5: Feeney D. 149 Ontario Street N: 6: Lang R. 149 Ontario Street N: 7: Nurcombe G. 149 Ontario Street N: 8: Fraser W. 149 Ontario Street N: 9: Robb N. 151 Ontario Street N: Bernhardt Insurance Services Ltd.
1988	Apartments: 149 Ontario Street N: 12: Bernhardt Insurance Services Ltd.

YEAR(S)	LISTINGS
	149 Ontario Street N: 4: Hart L. 149 Ontario Street N: 5: Hart L. 149 Ontario Street N: 6: Lang R. 149 Ontario Street N: 7: No Return 149 Ontario Street N: 8: Fraser W. 149 Ontario Street N: 9: Robb N. 151 Ontario Street N: Bernhardt Insurance Services Ltd.
1989	Apartments: 149 Ontario Street N: 12: Bernhardt Insurance Services Ltd. 149 Ontario Street N: 4: No Return 149 Ontario Street N: 5: No Return 149 Ontario Street N: 6: Lang R 149 Ontario Street N: 7: No Return 149 Ontario Street N: 8: No Return 149 Ontario Street N: 9: Fraser W. 151 Ontario Street N: Bernhardt Insurance Services Ltd.
1990	149 Ontario Street N: 1: Vacant 149 Ontario Street N: 2: No return 151 Ontario Street N: Bernhardt Insurance Services Ltd.
1993-2014	149 Ontario Street N: Vacant 151 Ontario Street N: Bernhardt Insurance Services Ltd.

APPENDIX D: COMPARATIVE EXAMPLES

DRAFT

Appendix I: Comparative Analysis

Example of Semi-Detached Buildings with the CCNHCD



Photo 1: 67/69 Athens Street West, built c. 1905



Photo 2: 86/88 College Street West, built c. 1900

Appendix I: Comparative Analysis



Photo 3: 57/59/61 Ellen Street West, triplex built c. 1880



Photo 4: 171 Victoria Street North, built in an Italianate style in c. 1885

Appendix I: Comparative Analysis



Photo 5: 50-52 Weber Street West, built c. 1875 (Google Maps, 2018).



Photo 6: 56 Weber Street West built c. 1889 (Google Maps, 2017).

Appendix I: Comparative Analysis



Photo 7: 58-60 Weber Street West, built c. 1885



Photo 8: 64 Weber Street West built. c. 1885