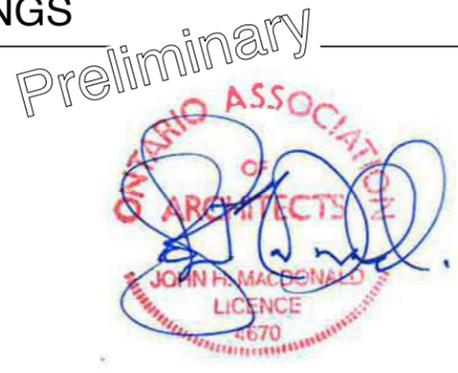


OBC DATA MATRIX: PART 9 - HOUSING AND SMALL BUILDINGS



CONSULTANT: **JOHN MACDONALD ARCHITECT INC.**
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 p: 519-579-1700
 e: info@johnmacdonaldarchitect.ca

CONTACT: **John MacDonald, Architect**
Matthew Muller, Project Leader

PROJECT NAME: **Multi-Residential Renovation**

ADDRESS/LOCATION: **28 & 60 Ellen Street East, and 115 Lancaster Street East**
Kitchener, Ontario, N2H 1M8

DATE: **August 11, 2022**

Seal & Signature

9.00 BUILDING CODE VERSION	O.Reg. 332/12	LAST AMENDMENT	O.Reg. 191/14	OBC REF. [1]					
9.01 PROJECT TYPE	Renovations and addition to an existing multiple dwelling building			[A] 1.1.2.					
9.02 OCCUPANCY CLASSIFICATION	OCCUPANCY	USE		9.10.2.					
	Group C	Residential							
	-	-							
	-	-							
9.03 SUPERIMPOSED MAJOR OCCUPANCIES	No	N/A		9.10.2.3.					
9.04 BUILDING AREA (m2)	DESCRIPTION	EXISTING	NEW	TOTAL	[A] 1.4.1.2.				
	Multiple Dwelling Building	139.40 sq.m.	69.68 sq.m.	209.08 sq.m.					
	TOTAL	139.40 sq.m.	69.68 sq.m.	209.08 sq.m.					
9.05 GROSS AREA (m2)	DESCRIPTION	EXISTING	NEW	TOTAL	[A] 1.4.1.2.				
	Ground Floor	139.40 sq.m.	69.68 sq.m.	209.08 sq.m.					
	2nd Floor	124.36 sq.m.	69.68 sq.m.	194.04 sq.m.					
	3rd Floor	110.57 sq.m.	56.74 sq.m.	167.31 sq.m.					
	TOTAL	374.33 sq.m.	196.1 sq.m.	570.43 sq.m.					
9.06 MEZZANINE AREA (m2)	DESCRIPTION	EXISTING	NEW	TOTAL	9.10.4.1.				
	N/A	none existing	none proposed	0 sq.m.					
	TOTAL	0 sq.m.	0 sq.m.	0 sq.m.					
9.07 BUILDING HEIGHT	STOREYS ABOVE GRADE	3 (three)	(m) ABOVE GRADE	approx. 10 m	[A] 1.4.1.2. & 9.10.4.				
	STOREYS BELOW GRADE	1 (one)							
9.08 NO. OF STREETS/FIRE FIGHTER ACCESS	2 (two), as existing, no change				9.10.20.				
9.09 SPRINKLER SYSTEM	REQUIRED?	No	PROVIDED?	No	DESCRIBE	N/A	9.10.8.2.-4.		
9.10 FIRE ALARM SYSTEM	REQUIRED?	Yes	PROVIDED?	Yes	TYPE	-	9.10.18.		
9.11 WATER SERVICE/SUPPLY ADEQUATE	No. New Service Proposed. See also Civil Documents								
9.12 CONSTRUCTION TYPE	RESTRICTIONS	Combustible Permitted		HEAVY TIMBER CONSTRUCTION			9.10.6.		
	ACTUAL	Combustible		N/A					
9.13 POST-DISASTER BUILDING								[A] 1.1.2.2.(2)	
9.14 OCCUPANT LOAD	FLOOR LEVEL/AREA	OCCUPANCY TYPE	BASED ON	OCCUPANT LOAD			3.1.17.		
	Lower Floor	C	3.1.17.1(1)(b)	see note 1					
	Ground Floor	C	3.1.17.1(1)(b)	see note 1					
	2nd Floor	C	3.1.17.1(1)(b)	see note 1					
	3rd Floor	C	3.1.17.1(1)(b)	see note 1					
9.15 BARRIER-FREE DESIGN	Yes	15% of Total Units to be accessible (12x0.15=1.8=2). Units M1 & M2 accessible					9.5.2.		
9.16 HAZARDOUS SUBSTANCES	No	None that Owner or Consultant are aware of at this time.					9.10.1.3.		
9.17 REQUIRED FIRE RESISTANCE RATINGS	HORIZONTAL ASSEMBLY	F.R.R. (H)		SUPPORTING ASSEMBLY (H)			9.10.8.		
	FLOORS EXCEPT CRAWLSPACE	45		as per 9.10.8.1					
	MEZZANINE	N/A		No mezzanines existing or proposed					
	ROOF	-		Not required for Group C Occupancies					
9.18 SPATIAL SEPARATION	WALL	AREA EBF (m2)	L.D. (m)	% AREA OF U.P.	REQ'D. F.R.R. (H)	CONSTRUCTION TYPE	CLADDING TYPE	9.10.14.	
	North	160m2	varies	to suit L.D.	1.0 hr.	Combustible	Non-Combustible		
	East	-	> 10.0m	100%	N/A	Combustible	Comb. Permitted		See Note 2
	South	-	> 16.0m	100%	N/A	Combustible	Comb. Permitted		See Note 2
	West	-	> 12.0m	100%	N/A	Combustible	Comb. Permitted		See Note 2
9.19 PLUMBING FIXTURE REQUIREMENTS	RATIO OF MALE:FEMALE = 50:50 EXCEPT AS NOTED OTHERWISE							9.31. & 3.7.4.	
	FLOOR LEVEL/ AREA	OCCUPANT LOAD	OBC SENTENCE	FIXTURES REQUIRED	FIXTURES PROVIDED				
	See Note 3	Each Unit	9.31.4.	1 per Unit	1 per Unit				
	-	-	-	-	-				
9.20 ENERGY EFFICIENCY NONRESIDENTIAL	COMPLIANCE OPTION:		Table 3.1.1.11.(IP), for Additionst to Existing Buildings					12.2.1.	
	PROJECT DESIGN CONDITIONS		For Kitchener = 4200 deg. days below 18°C						
	CLIMATIC ZONE		Zone 1					SB12, 3.1.1.1.(1)(a)	
	FENESTRATION	GROSS ABOVE GRADE WALL OR ROOF AREA (m2)		FENESTRATION GROSS AREA (m2)	FENESTRATION RATIO				
	VERTICAL (W+D)	-	262m2	38m2	14.5%				
	SKYLIGHTS	N/A	No skylights proposed		N/A	N/A			
	SPACE HEATING FUEL		Electric air sourced heat pump units						
	HEATING EQUIPMENT EFFICIENCY		To be determined.						
	OTHER CONDITIONS		On-demand electric hot water heaters						
	COMPLIANCE PACKAGE		To be determined.						
9.21 NOTES	1. Occupancy of each unit is based on 2 (two) persons per sleeping room as per OBC3.1.17.1.(1)(b)								
	2. L.D. is measured to centreline of Street. Percentage of Openings based on this distance.								
	3. Plumbing Facilities are provided to each Dwelling Unit in accordance with OBC 9.31.4.								
	4. Approx.. Based on addition exterior wall area only. Area of fenestration ≤40%, therefore okay.								
Ontario Building Code Data Matrix, Part 9 Ontario Association of Architects		1 ALL REFERENCES ARE TO DIV. B OF THE OBC UNLESS PRECEDED BY [A] FOR DIV. A OR [C] FOR DIV. C							

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SPA	Site Plan Approval	Aug. 11 '22	MM
No.	Issued for Purpose	Date	Initial

Scale (for 11x17" printing) Multi-Residential Renovation
 N/A 115 Lancaster Street

Approved _____ Drawing Title
 Checked MM OBC Matrix - Part 9
 Drawn MAM

Project _____
 Dwg. No. **A001**

OBC DATA MATRIX: PART 11 - RENOVATION OF EXISTING BUILDING

Preliminary



CONSULTANT: **JOHN MACDONALD ARCHITECT INC.**
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CONTACT: **John MacDonald, Architect**
Matthew Muller, Project Leader

PROJECT NAME: **Multi-Residential Renovation**

ADDRESS/LOCATION: **28 & 60 Ellen Street East, and 115 Lancaster Street East**
Kitchener, Ontario, N2H 1M8

DATE: **August 11, 2022**

Seal & Signature

11.00 BUILDING CODE VERSION	O.Reg. 332/12	LAST AMENDMENT	O.Reg. 191/14	OBC REF. [1]
11.01 PROJECT TYPE	APPLICABLE PART	DESCRIPTION		
	Part 9	Renovations and addition to an existing multiple dwelling building		
11.02 MAJOR OCCUPANCY CLASSIFICATION	OCCUPANCY	GROUP/DIVISION	DESCRIPTION OF USE	
	EXISTING	Group C	Residential	
	PROPOSED	Group C	Residential	
11.03 SUPERIMPOSED MAJOR OCCUPANCIES	YES / NO?	DESCRIPTION		
	No	N/A		
11.04 BUILDING AREA (m2)	DESCRIPTION	EXISTING	NEW	TOTAL
	Multiple Dwelling Building	139.40 sq.m.	69.68 sq.m.	209.08 sq.m.
	-	-	-	-
	-	-	-	-
	TOTAL	139.40 sq.m.	69.68 sq.m.	209.08 sq.m.
11.05 BUILDING HEIGHT	NO. OF STOREYS ABOVE GRADE	3 (three)	(m) ABOVE GRADE	approx. 10 m
	NO. OF STOREYS BELOW GRADE	1 (one)		-
11.06 # OF STREETS/FIREFIGHTER ACCESS	2 (two), as existing, no change			
11.07 BUILDING SIZE	Small (less than 600 sq.m. / 3 storeys)			
11.08 EXISTING BUILDING CLASSIFICATION	DESCRIPTION	EXISTING	NEW	NOTES
	CHANGE IN MAJOR OCCUPANCY	C	C	no change
	CONSTRUCTION INDEX (C.I.)	2	3 reqd, 4 proposed	see note 1
	HAZARD INDEX (H.I.)	3	3	no change
	IMPORTANCE CATEGORY	Normal	Normal	no change
11.09 RENOVATION TYPE	BASIC / EXTENSIVE RENOVATION?	Extensive Renovation		
11.10 OCCUPANT LOAD	FLOOR LEVEL/AREA (LIST)	OCCUPANCY TYPE	BASED ON	OCCUPANT LOAD
	Lower Floor Area	C, Units B1 & B4	2 per bedroom	B1 = 2, B4 = 2
	Ground Floor Area	C, Units M1 & M2	2 per bedroom	M1 = 4, M2 = 2
	2nd Floor Area	C, Units U1 & U2	2 per bedroom	U1 = 4, U2 = 2
	3rd Floor Area	C, Units A1 & A2	2 per bedroom	A1 = 2, A2 = 2
	TOTAL	Varies	Each Dwelling Unit	Each Dwelling Unit
11.11 PLUMBING FIXTURE REQUIREMENTS	RATIO OF MALE:FEMALE = 50:50 EXCEPT AS NOTED OTHERWISE			
	FLOOR AREAS	OCCUPANT LOAD	OBC REFERENCE	FIXTURES REQUIRED / PROVIDED
	See Note 2	Each Unit	9.31.4.	1 per Unit
11.12 BARRIER-FREE DESIGN	Existing is not accessible. Units M1 and M2 to become accessible units for the development.			
11.13 REDUCTION IN PERFORMANCE LEVEL	STRUCTURAL			
	No reduction in performance level. Extension to be constructed to other Parts.			
	INCREASE IN OCCUPANT LOAD			
	Exist. basement is regularly unoccupied except for use of shared laundry facilities. Renovations proposed new units. Performance of Lower Level is reduced due to increase in occupant load.			
	CHANGE OF MAJOR OCCUPANCY			
	No change in occupancy type, no reduction in performance level.			
	PLUMBING			
	Extension and alteration to existing plumbing system.			
	SEWAGE SYSTEM			
	No sewage system existing or proposed, no reduction in performance level.			
11.14 COMPENSATING CONSTRUCTION	STRUCTURAL			
	Alterations to existing structure to be designed to other Parts			
	INCREASE IN OCCUPANT LOAD			
	Lower Level Floor Slab to be designed to suit occupant load and new use.			
	CHANGE OF MAJOR OCCUPANCY			
	N/A			
	PLUMBING			
	New to Code			
	SEWAGE SYSTEM			
	N/A			
11.15 COMPLIANCE ALTERNATIVES	NUMBER	DESCRIPTION		
We ask that the City Building Department please review and consider the following notes as part of its review of the Site Plan Application, and provide feedback. Please review exist. fire escape with Fire, which is proposed to remain, with supports and guards to be made good.	TBD	To be determined for Permit document & application stage.		
	Note	A fire alarm system is required due to number of sleeping accommodations.		
	Note	Existing fire escape is proposed to remain, for 2nd exit from attic level.		
	Note	Exist. upper level units have 1 exit, and direct access to exterior balconies for their 2nd means of egress. NO change proposed. Exist. porches are proposed to be rebuilt, but due to heritage considerations do not have stairs to grade.		
11.16 NOTES	1. Floors over basement shall be construction as fire separations having a f.r.r. of 45 min. All other Floors shall be construction as fire separations having a f.r.r. of 45 min. As such, although required C.I. is 3, actual construction shall have a C.I. of 4 to exceed minimum requirements.			
	2. Plumbing Facilities are provided to each Dwelling Unit in accordance with OBC 9.31.4.			

Ontario Building Code Data Matrix, Part 11
 Ontario Association of Architects

1. ALL REFERENCES ARE TO DIV. B OF THE OBC UNLESS PRECEDED BY [A] FOR DIV. A OR [C] FOR DIV. C

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SPA Site Plan Approval Aug. 11 '22 MM
 No. Issued for Purpose Date Initial

Scale (for 11x17" printing) Multi-Residential Renovation
 N/A 115 Lancaster Street

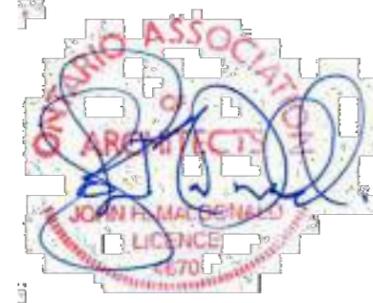
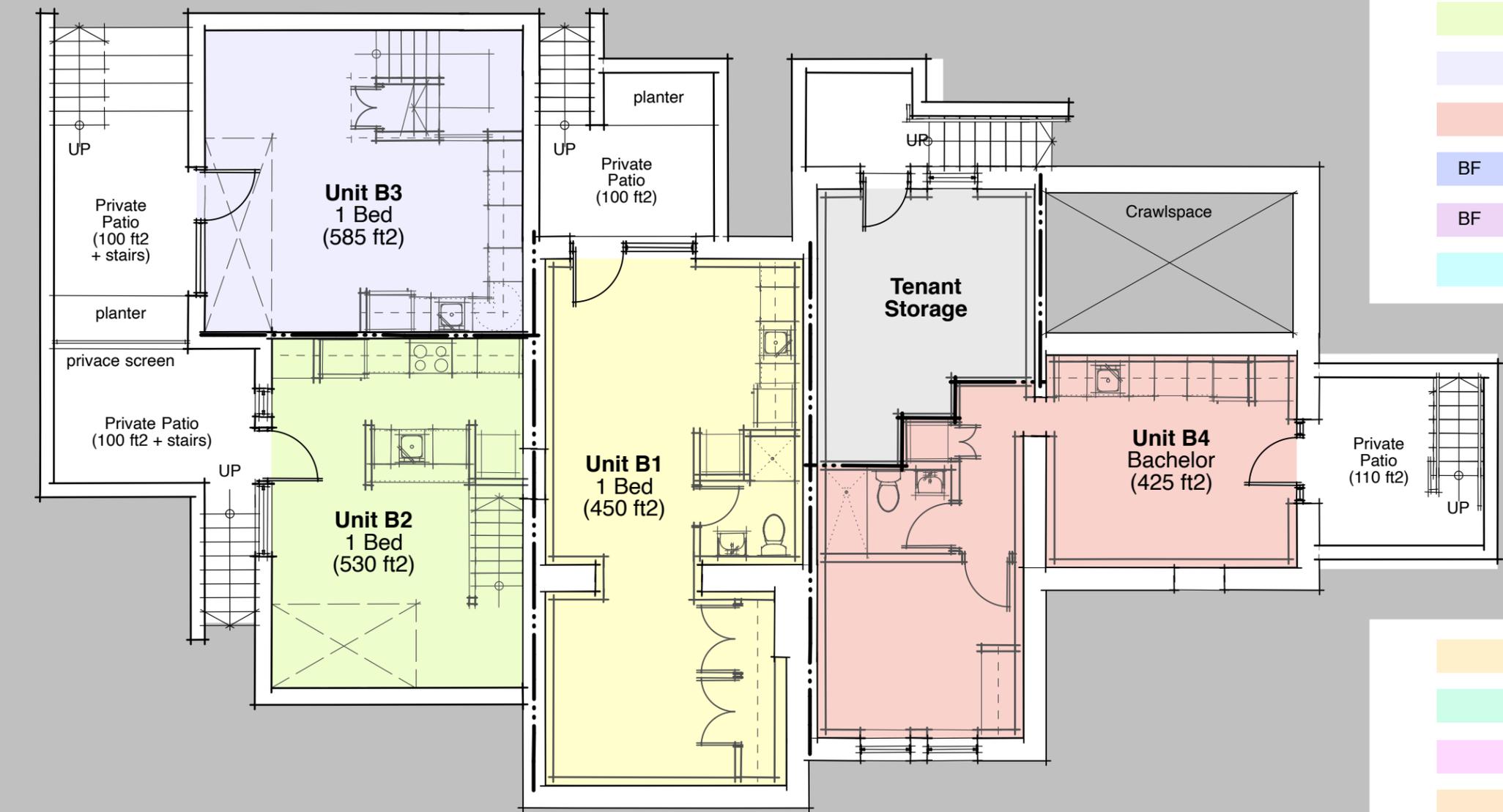
Approved _____ Drawing Title
 Checked MM OBC Matrix - Part 11
 Drawn MAM

Project
 Dwg. No.
A002

Summary of Development:

- Common Elements
- Unit B1 - 1 Bedroom + 1 Bath = 450 ft2 (New)
- Unit B2 - 1 Bedroom + 1 Bath = 530 ft2 (New)
- Unit B3 - 1 Bedroom + 1 Bath = 585 ft2 (New)
- Unit B4 - 1 Bedroom + 1 Bath = 425 ft2 (New)
- BF Unit M1 - 2 Bedroom + 2 Bath = 830 ft2 (Reno)
- BF Unit M2 - 1 Bedroom + 1 Bath = 420 ft2 (Reno)
- Unit U1 - 2 Bedroom + 1 Bath = 595 ft2 (Reno)

- Unit U2 - 1 Bedroom + 1 Bath = 425 ft2 (Reno)
- Unit U3 - 1 Bedroom + 1.5 Bath = 500 ft2 (New)
- Unit U4 - 1 Bedroom + 1 Bath = 570 ft2 (New)
- Unit A1 - 1 Bedroom + 1 Bath = 440 ft2 (Reno)
- Unit A2 - 1 Bedroom + 1 Bath = 550 ft2 (Reno)



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No.	Issued for Purpose	Date	Initial
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SPA			
No.	Issued for Purpose	Date	Initial

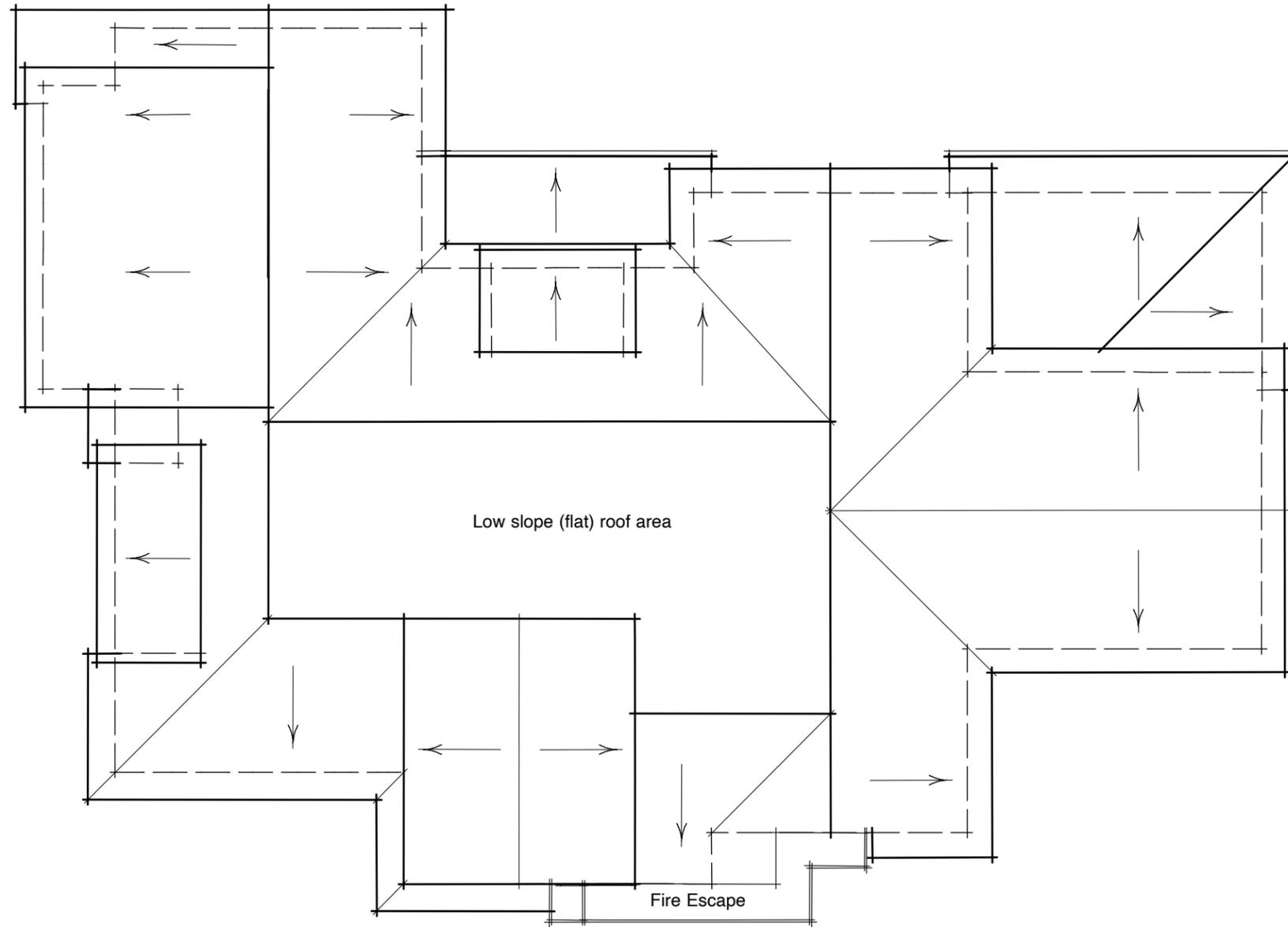
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Multi-Residential Renovation
 115 Lancaster Street

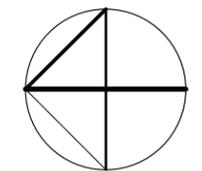
Approved BR
 Checked MM
 Drawn MM

Drawing Title
Basement Floor Plan, Unit Key Plan

Project
 Dwg. No.
A210



Project North



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No.	Issued for Purpose	Date	Initial
1	SPA Site Plan Approval	Aug. 11 '22	MM

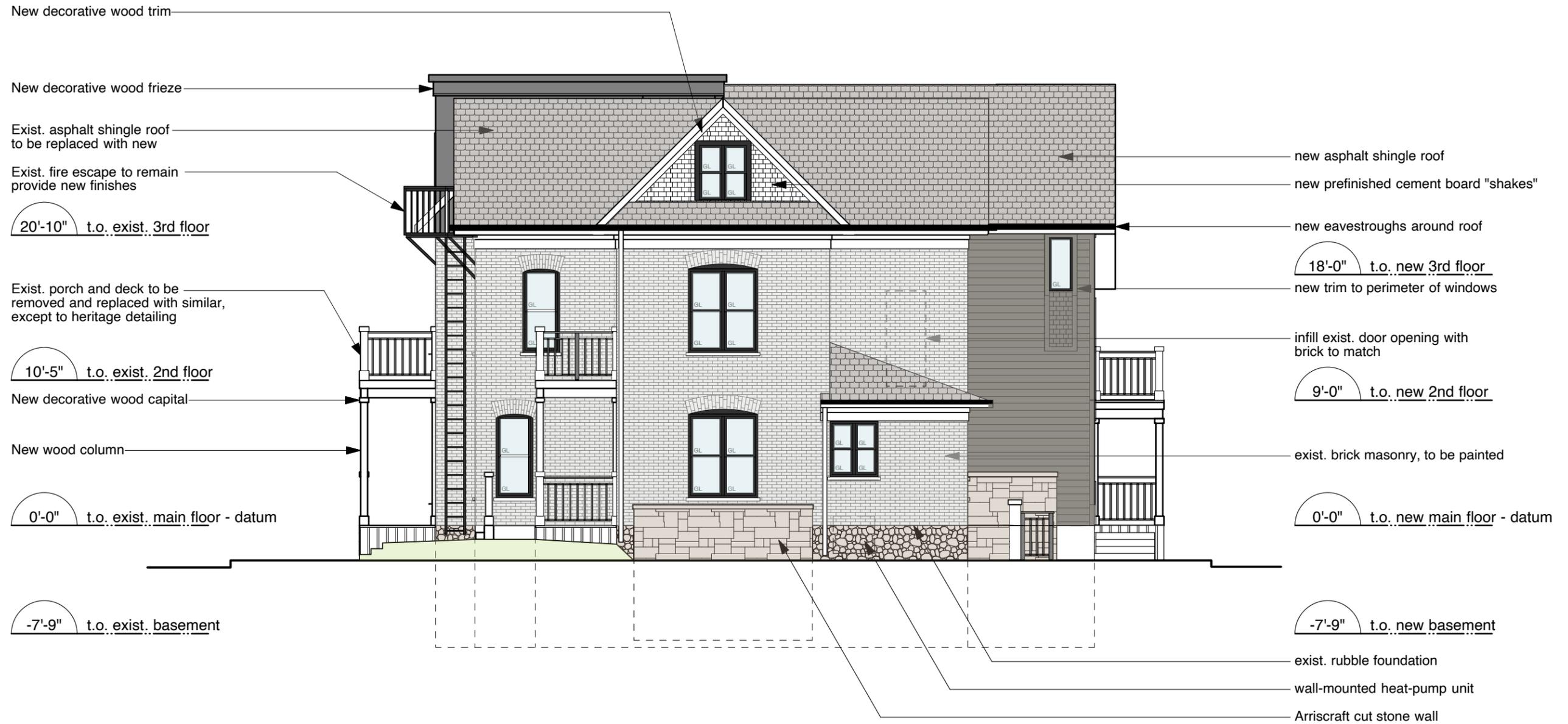
Scale (for 11x17" printing)
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Approved	BR
Checked	MM
Drawn	MM

Multi-Residential Renovation
 115 Lancaster Street

Drawing Title
 Roof Plan

Project
 Dwg. No.
A214



115 Lancaster Street
Kitchener, ON N2L 3P8

**Multi-Residential
Renovations**

Project

Scale (for 11x17" printing)

Drawing Title

Dwg. No.

1/8" to 1'-0"

Proposed South Elevation

A301

Approved
Checked MM
Drawn AY

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SPA No.	Site Plan Approval Issued for Purpose	Date	Initial
	Site Plan Approval	Aug. 11 '22	MM
No.	Revision	Date	Initial



115 Lancaster Street
Kitchener, ON N2L 3P8

**Multi-Residential
Renovations**

Project

Scale (for 11x17" printing)

Drawing Title

Dwg. No.

1/8" to 1'-0"

Proposed East Elevation

A302

Approved
Checked MM
Drawn AY

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115 Lancaster Street
Kitchener, ON N2L 3P8

Multi-Residential
Renovations

Project

Scale (for 11x17" printing)

Drawing Title

Dwg. No.

1/8" to 1'-0"

Proposed North Elevation

A303

Approved
Checked MM
Drawn AY

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No.	Revision	Date	Initial



115 Lancaster Street
Kitchener, ON N2L 3P8

Scale (for 11x17" printing)
1/8" to 1'-0"

Approved _____
Checked MM
Drawn AY

Multi-Residential
Renovations

Drawing Title
Proposed West Elevation

John MacDonald Architect
195 King Street West, Suite 202, Kitchener
info@johnmacdonaldarchitect.ca

Project
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A304
inc
ON N2G 1B1
(519) 579 1700



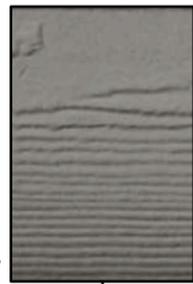
Asphalt Shingles to Roofs:
Certaineed, Landmark Pro
"Weathered Wood"



Prefinished Steel:
- steel roof to dormers; and
- siding and trim to dormers

Agway Metals or similar
"Charcoal"

Dormer Windows "Black"



New Siding to Addition
James Hardie Siding
"Aged Pewter"



New Trim to Addition & Detailing
James Hardie Siding
"Arctic White"

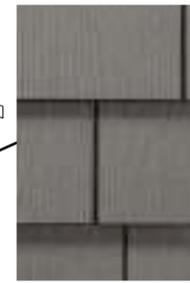


New "Shingles"
- to complete addition;
- to Detailing between
new windows; and
- within gables
of existing building

James Hardie
"Arctic White"

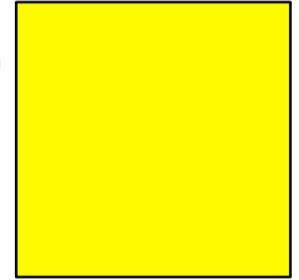


Porch Soffits & Shakes:
Stained Wood similar to Frasier
Wood Siding "Ginger"

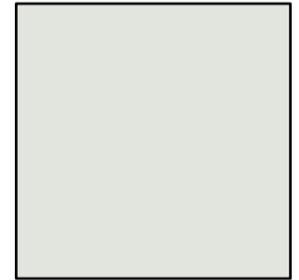


New "Shingles"
- to Detailing between
new windows; and
- within gables
of addition

James Hardie
"Aged Pewter"



Accent Paint to Entrances:
Benjamin Moore
2158-20 "Venetian Gold"



Primary Paint 'PT-1':
Benjamin Moore OC-55
"Paper White"

New asphalt shingles

New fascia trim 'PT2'

New cedar shake siding

New eaves 'Black'

Exist. frieze,
new paint 'PT-2'

Exist. brick masonry,
new paint 'PT-1'

New vinyl windows 'white'

New asphalt shingles

New frieze board,
new paint 'PT-2'

Exist. rubble
foundation to remain

New low
landscape
walls



Masonry to New Landscape Walls:
Arriscraft Building Stone,
Urban LedgeStone
"Collingwood"

Guards to Sunken Patio Areas:
Prefinished
colour "Black"



115 Lancaster Street
Kitchener, ON N2L 3P8

**Multi-Residential
Renovations**

Project

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No.	Revision	Date	Initial

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1/8" to 1'-0"

Approved MB
Checked MM
Drawn -

Drawing Title

Exterior Finishes Elevation

John MacDonald Architect

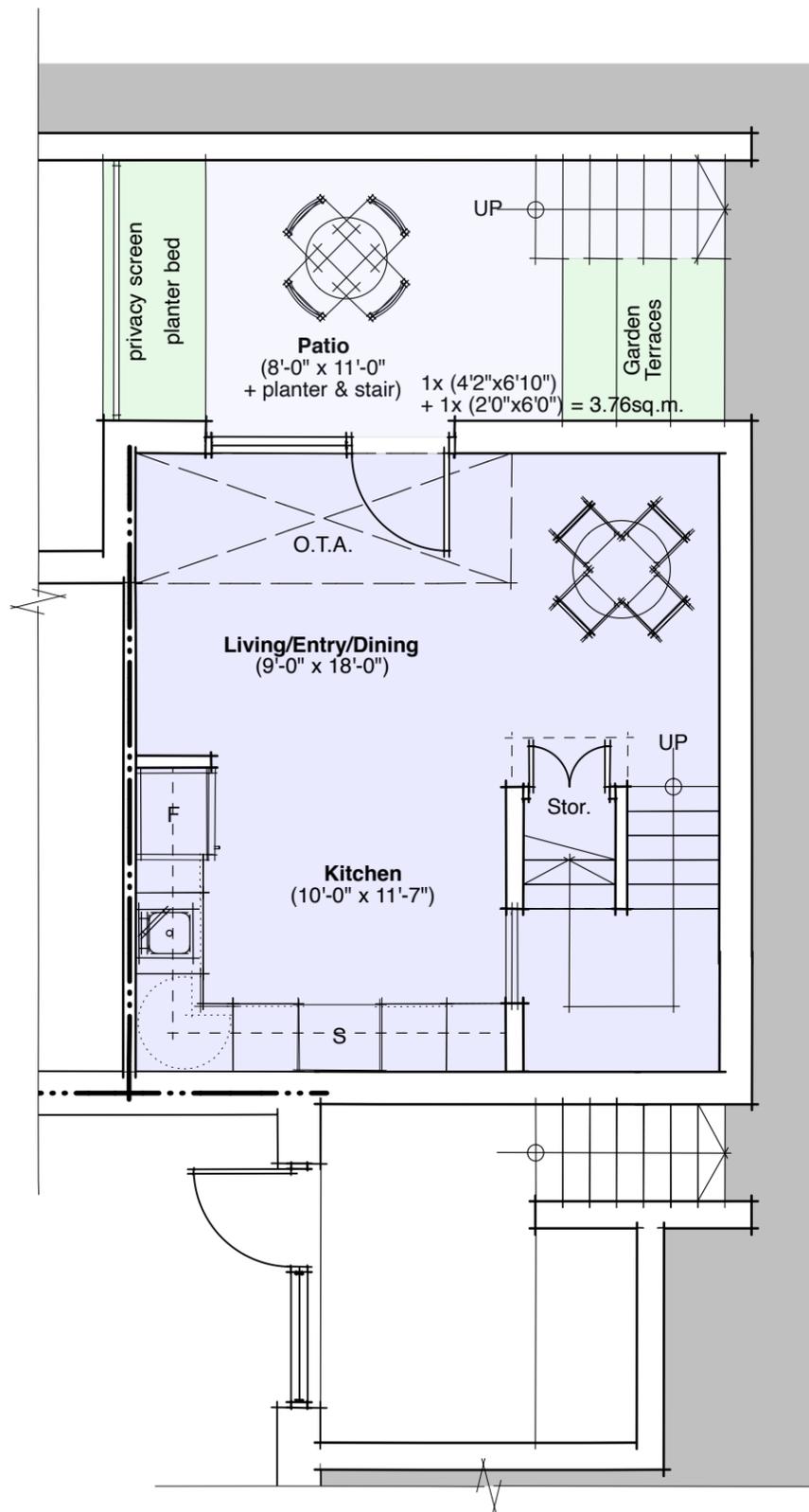
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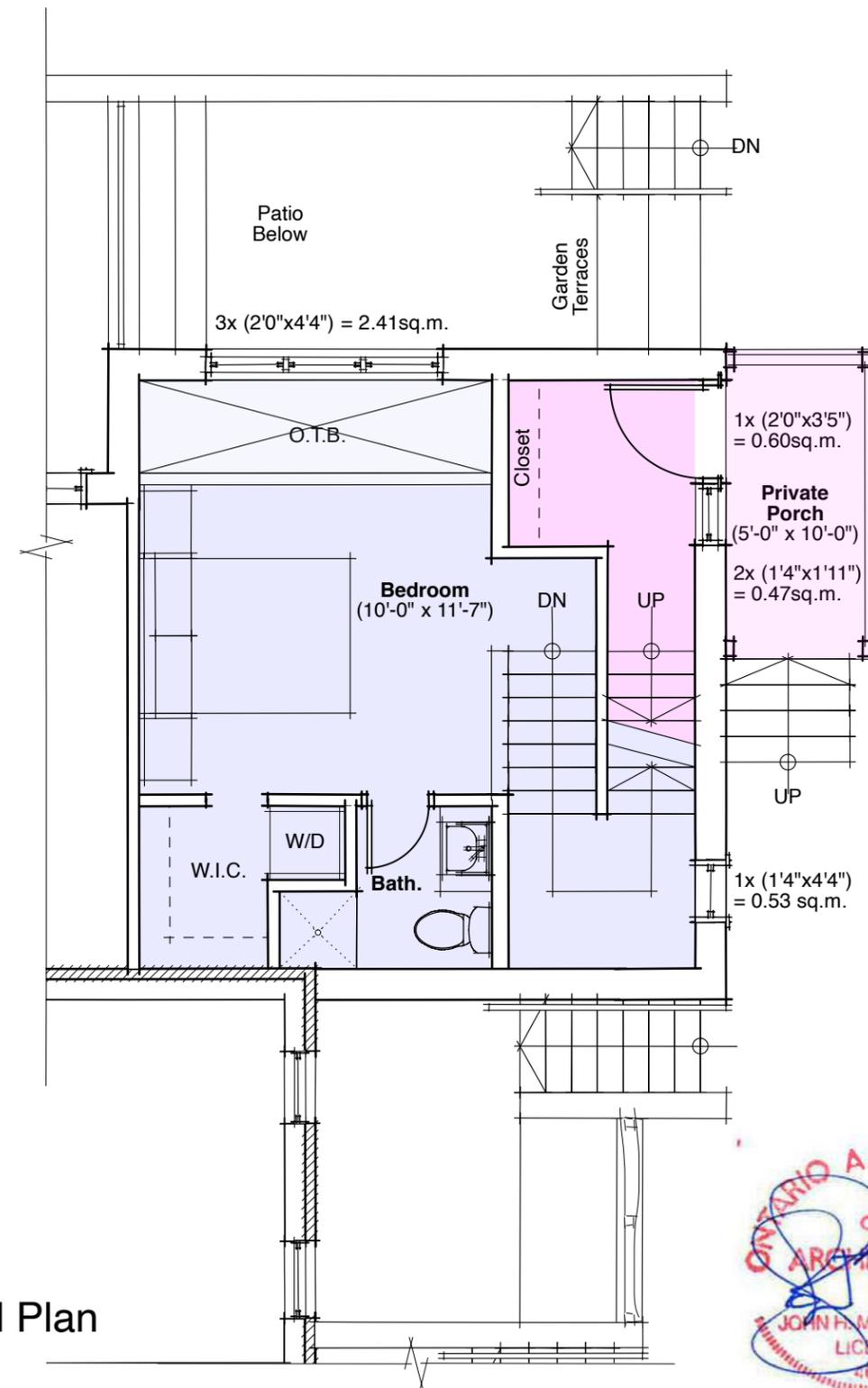
A311

inc

ON N2G 1B1
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Lower Level Plan
Area = 340 ft²



Main Level Plan
Area = 245 ft²

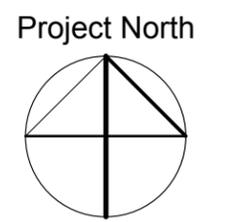
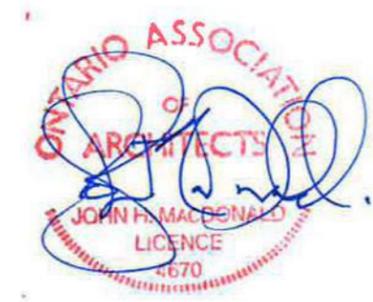
Suite Statistics:

Unit Area: 43.54 sq.m.
Private Patio Area = 7.90 sq.m.
Accessible = no

Minimum Areas of Spaces:
Minimum Area of Combined Living, Kitchen and Dining Spaces = 11 sq.m.
Proposed Area of Combined Living, Kitchen and Dining = 18.42 sq.m.
Minimum Area of Bedrooms = 7 sq.m.
Proposed Area of Bedroom = 10.6 sq.m.

Minimum Window Areas:
Minimum Unobstructed Glass Area (Kitchen): 10% of area served
Minimum Unobstructed Glass Area (Living & Dining Rooms): 10% of area served
Proposed Unobstructed Glass Area (Living/Kitchen/Dining): 20%
3.76 sq.m. / 18.42 sq.m. = 20%, therefore ok

Minimum Unobstructed Glass Area (Bedrooms): 5% of area served
Proposed Unobstructed Glass Area (Bedroom): 27%
+ 2.41 sq.m. / 10.6 sq.m. = 22%
+ 0.53 sq.m. / 10.6 sq.m. = 5%
= 2.94 sq.m. / 10.6 sq.m. = 27%, therefore ok



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1	SPA Site Plan Approval	Aug. 11 '22	MM

Scale (for 11x17" printing)
3/16" to 1'-0"

Approved	BR
Checked	MM
Drawn	MM

Multi-Residential Renovation
115 Lancaster Street

Drawing Title
Unit Plan

Project
Dwg. No.
B3

Suite Statistics:

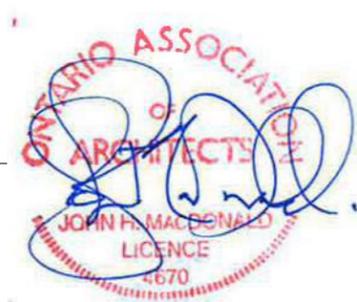
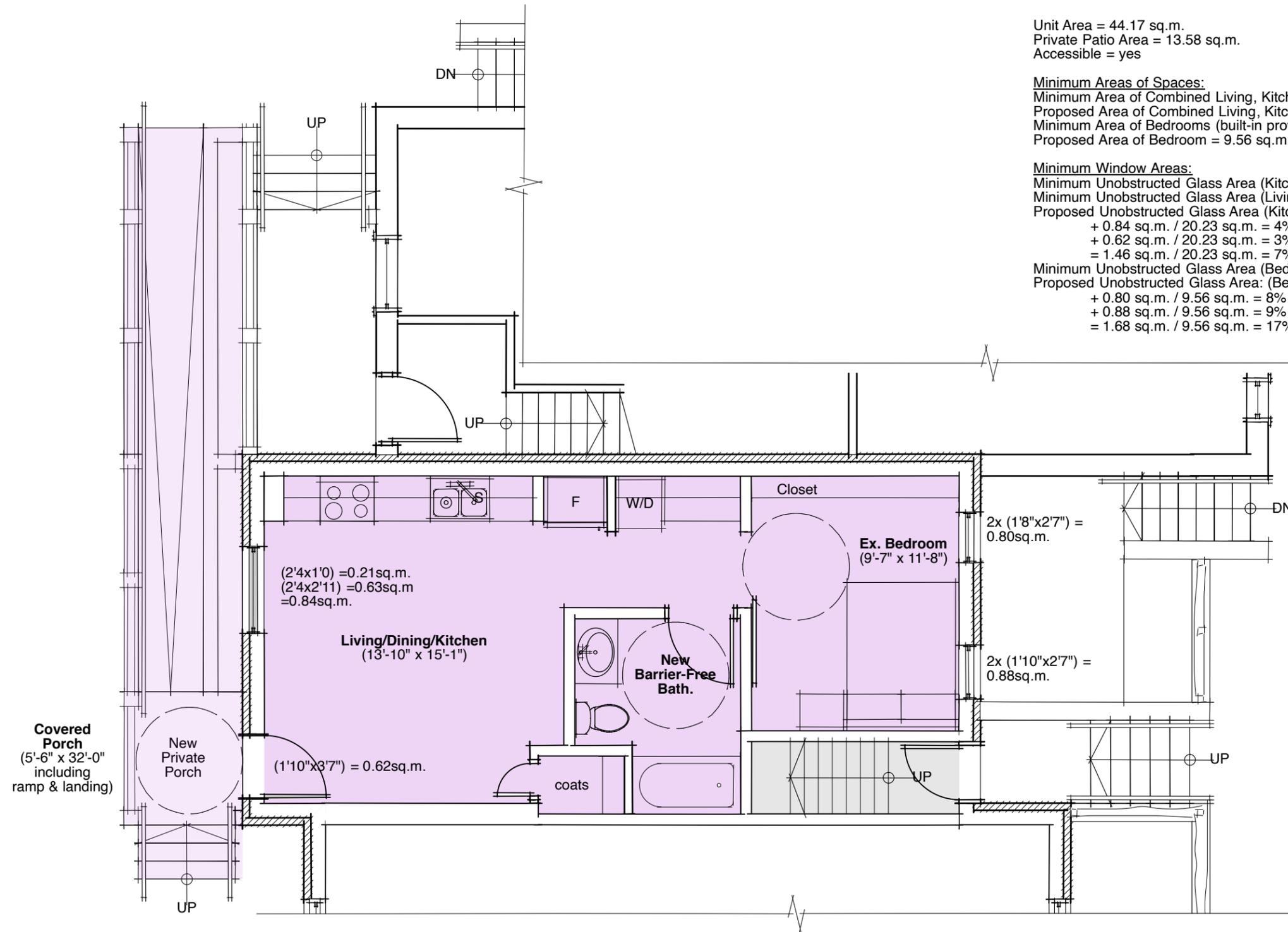
Unit Area = 44.17 sq.m.
 Private Patio Area = 13.58 sq.m.
 Accessible = yes

Minimum Areas of Spaces:

Minimum Area of Combined Living, Kitchen and Dining Spaces = 11 sq.m.
 Proposed Area of Combined Living, Kitchen and Dining = 20 sq.m., therefore ok
 Minimum Area of Bedrooms (built-in provided) = 6 sq.m.
 Proposed Area of Bedroom = 9.56 sq.m., therefore ok

Minimum Window Areas:

Minimum Unobstructed Glass Area (Kitchen) = 10% of area served
 Minimum Unobstructed Glass Area (Living & Dining Rooms) = 10% of area served
 Proposed Unobstructed Glass Area (Kitchen/Living/Dining) = 7% (Existing Heritage Openings)
 + 0.84 sq.m. / 20.23 sq.m. = 4%
 + 0.62 sq.m. / 20.23 sq.m. = 3%
 = 1.46 sq.m. / 20.23 sq.m. = 7%
 Minimum Unobstructed Glass Area (Bedrooms) = 5% of area served
 Proposed Unobstructed Glass Area: (Bedroom) = 17%
 + 0.80 sq.m. / 9.56 sq.m. = 8%
 + 0.88 sq.m. / 9.56 sq.m. = 9%
 = 1.68 sq.m. / 9.56 sq.m. = 17%, therefore ok



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No.	Issued for Purpose	Date	Initial

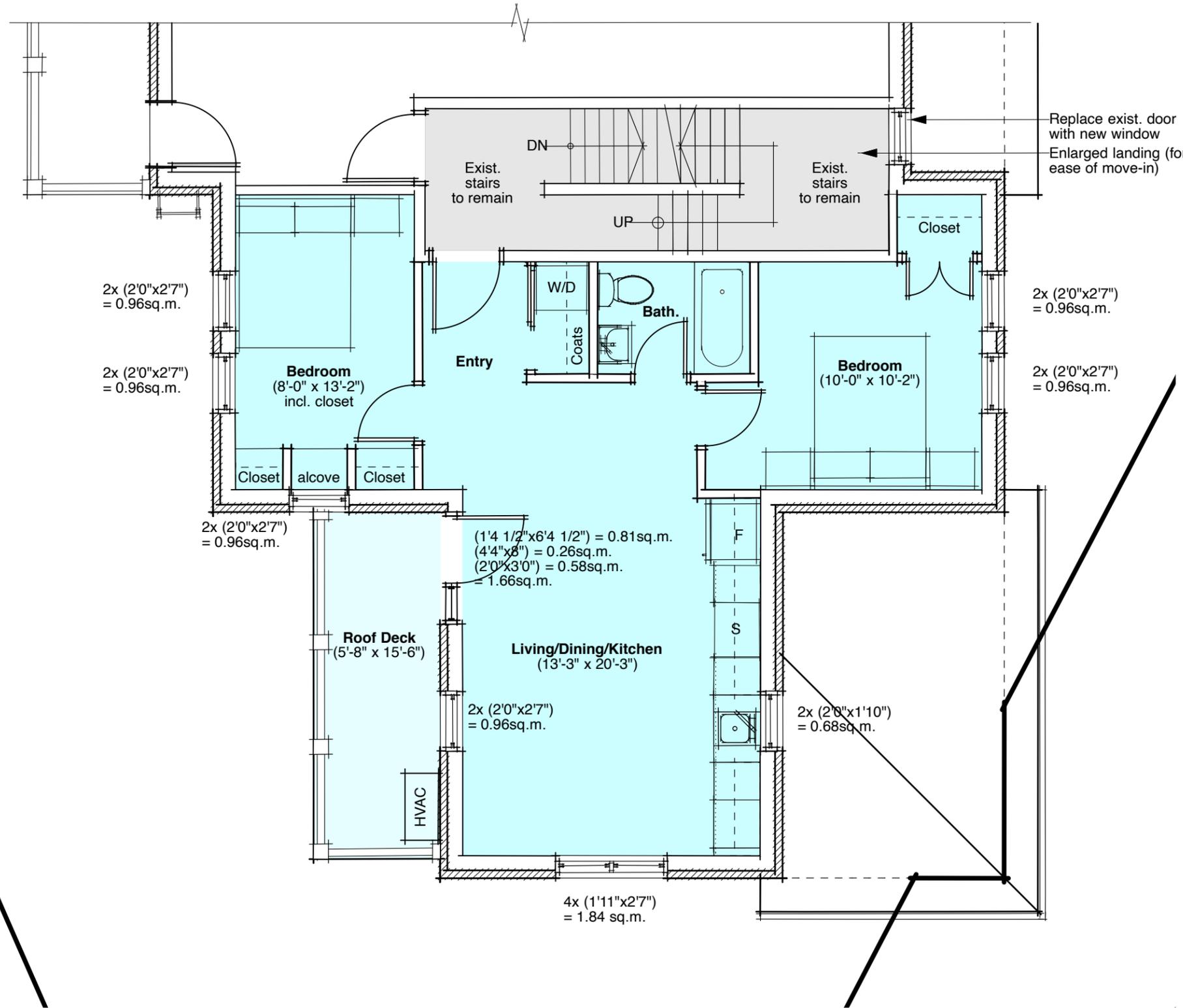
Scale (for 11x17" printing)
 3/16" to 1'-0"

Approved BR
 Checked MM
 Drawn MM

Multi-Residential Renovation
 115 Lancaster Street

Drawing Title
 Unit Plan

Project
 Dwg. No.
 M2



Suite Statistics:

Unit Area = 55.08 sq.m.
 Private Patio Area = 8.85 sq.m.
 Accessible = no

Minimum Areas of Spaces:

Minimum Area of Combined Living, Kitchen and Dining Spaces = 11 sq.m.
 Proposed Area of Combined Living, Kitchen and Dining = 21.40 sq.m., therefore ok
 Minimum Area of Bedrooms (built-in provided) = 6 sq.m.
 Proposed Area of Bedroom no.1 = 8.42 sq.m., therefore ok
 Minimum Area of Bedrooms = 7 sq.m.
 Proposed Area of Bedroom no.2 = 10.50 sq.m., therefore ok

Minimum Window Areas:

Minimum Unobstructed Glass Area (Kitchen) = 10% of area served
 Minimum Unobstructed Glass Area (Living & Dining Rooms) = 10% of area served
 Proposed Unobstructed Glass Area (Living/Kitchen/Dining) = 24%
 + 1.66 sq.m. / 21.40 sq.m. = 7%
 + 0.96 sq.m. / 21.40 sq.m. = 4%
 + 1.84 sq.m. / 21.40 sq.m. = 8%
 + 0.68 sq.m. / 21.40 sq.m. = 3%
 = 5.14 sq.m. / 21.40 = 24%, therefore ok

Minimum Unobstructed Glass Area (Bedrooms): 5% of area served

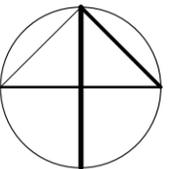
Proposed Unobstructed Glass Area (Bedroom no.1): 34%
 + 0.96 sq.m. / 8.42 sq.m. = 11%
 + 0.96 sq.m. / 8.42 sq.m. = 11%
 + 0.96 sq.m. / 8.42 sq.m. = 11%
 = 2.88 sq.m. / 8.42 sq.m. = 34%, therefore ok

Proposed Unobstructed Glass Area (Bedroom no.2): 22%

+ 0.96 sq.m. / 8.42 sq.m. = 11%
 + 0.96 sq.m. / 8.42 sq.m. = 11%
 = 1.92 sq.m. / 8.42 sq.m. = 22%, therefore ok



Project North



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Scale (for 11x17" printing)
 3/16" to 1'-0"

Approved BR
 Checked MM
 Drawn MM

Multi-Residential Renovation
 115 Lancaster Street

Drawing Title
Unit Plan

Project
 Dwg. No.
U1

Suite Statistics:

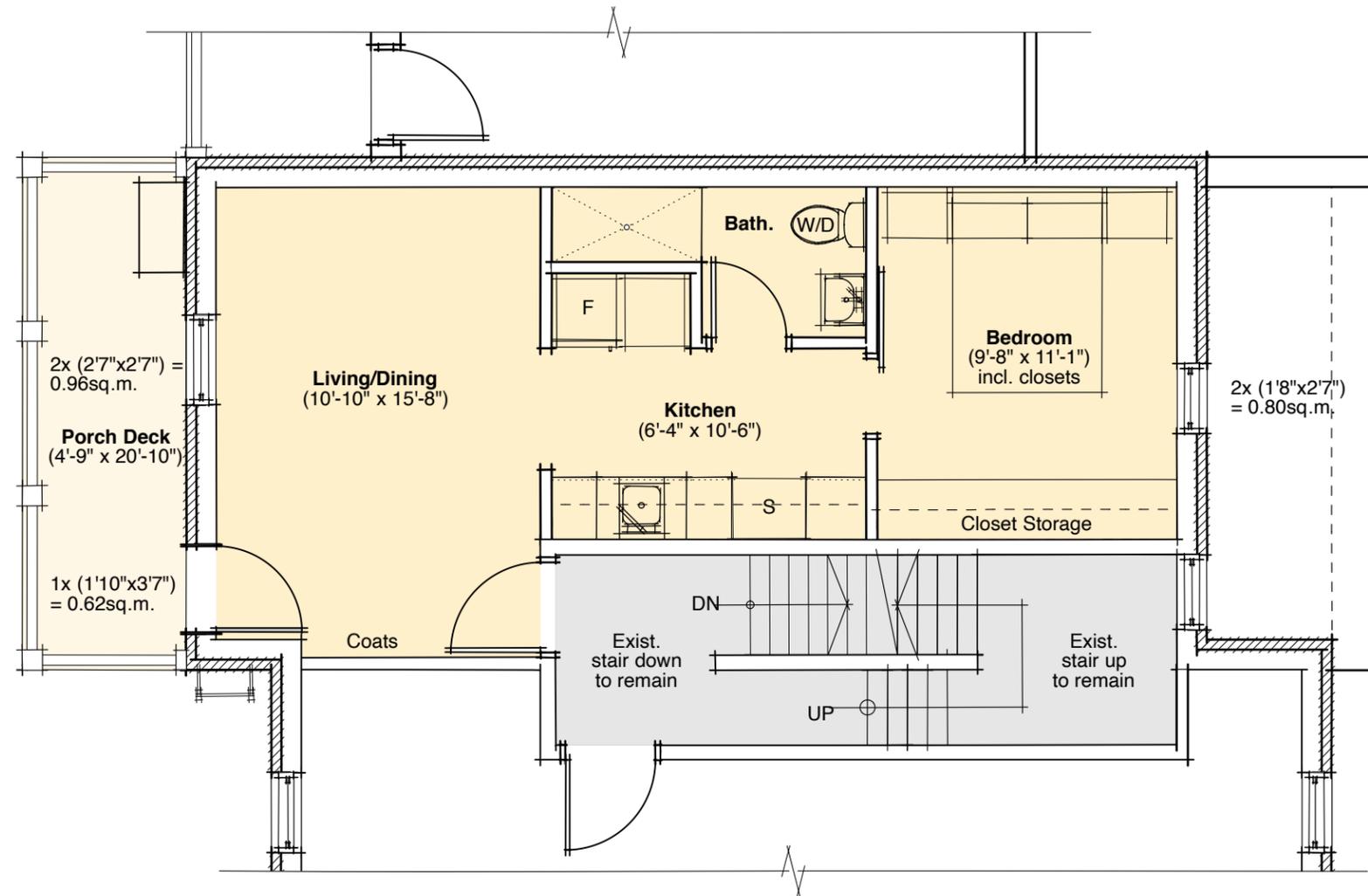
Unit Area = 38.79 sq.m.
 Private Patio Area = 8.70 sq.m.
 Accessible = no

Minimum Areas of Spaces:

Minimum Area of Kitchen = 4.2 sq.m.
 Proposed Area of Kitchen = 4.17 sq.m., therefore ok
 Minimum Area of Living Spaces = 13.5 sq.m.
 Proposed Area of Living Spaces = 15.61 sq.m., therefore ok
 Minimum Area of Bedrooms (built-in provided) = 6 sq.m.
 Proposed Area of Bedroom = 9.05 sq.m., therefore ok

Minimum Window Areas:

Min. Unobstructed Glass Area (Kitchen): 10% of area served
 Min. Unobstructed Glass Area (Living & Dining Room): 10% of area served
 Proposed Unobstructed Glass Area (Kitchen/Living/Dining): 7%
 + 0.96 sq.m. / 19.78 sq.m. = 4%
 + 0.62 sq.m. / 19.78 sq.m. = 3%
 = 1.58 sq.m. / 19.78 sq.m. = 7%
 (All Openings are exist. in heritage facade, to remain)
 Minimum Unobstructed Glass Area (Bedrooms): 5% of area served
 Proposed Unobstructed Glass Area (Bedroom): 8%
 0.80 sq.m. / 9.05 sq.m. = 8%, therefore ok



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Scale (for 11x17" printing)
 3/16" to 1'-0"

Approved BR
 Checked MM
 Drawn MM

Multi-Residential Renovation
 115 Lancaster Street

Drawing Title
 Unit Plan

Project
 Dwg. No.
 U2

Suite Statistics:

Unit Area = 42.07 sq.m.
 Private Patio Area = 7.67 sq.m.
 Accessible = no

Minimum Areas of Spaces:

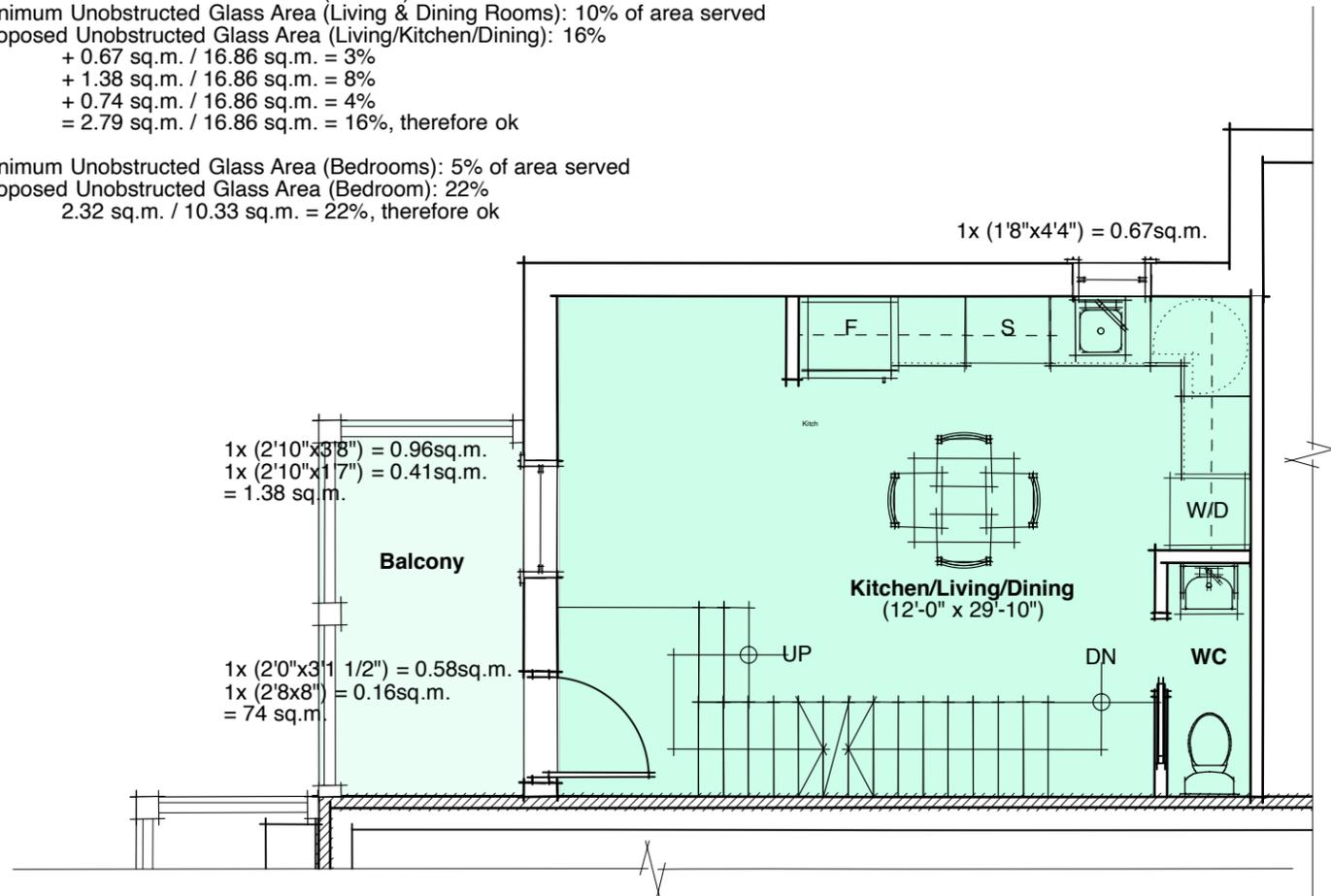
Minimum Area of Combined Living, Kitchen and Dining Spaces = 11 sq.m.
 Proposed Area of Combined Living, Kitchen and Dining = 16.86 sq.m., therefore ok
 Minimum Area of Bedrooms = 7 sq.m.
 Proposed Area of Bedroom = 10.33 sq.m., therefore ok

Minimum Window Areas:

Minimum Unobstructed Glass Area (Kitchen): 10% of area served
 Minimum Unobstructed Glass Area (Living & Dining Rooms): 10% of area served
 Proposed Unobstructed Glass Area (Living/Kitchen/Dining): 16%
 + 0.67 sq.m. / 16.86 sq.m. = 3%
 + 1.38 sq.m. / 16.86 sq.m. = 8%
 + 0.74 sq.m. / 16.86 sq.m. = 4%
 = 2.79 sq.m. / 16.86 sq.m. = 16%, therefore ok

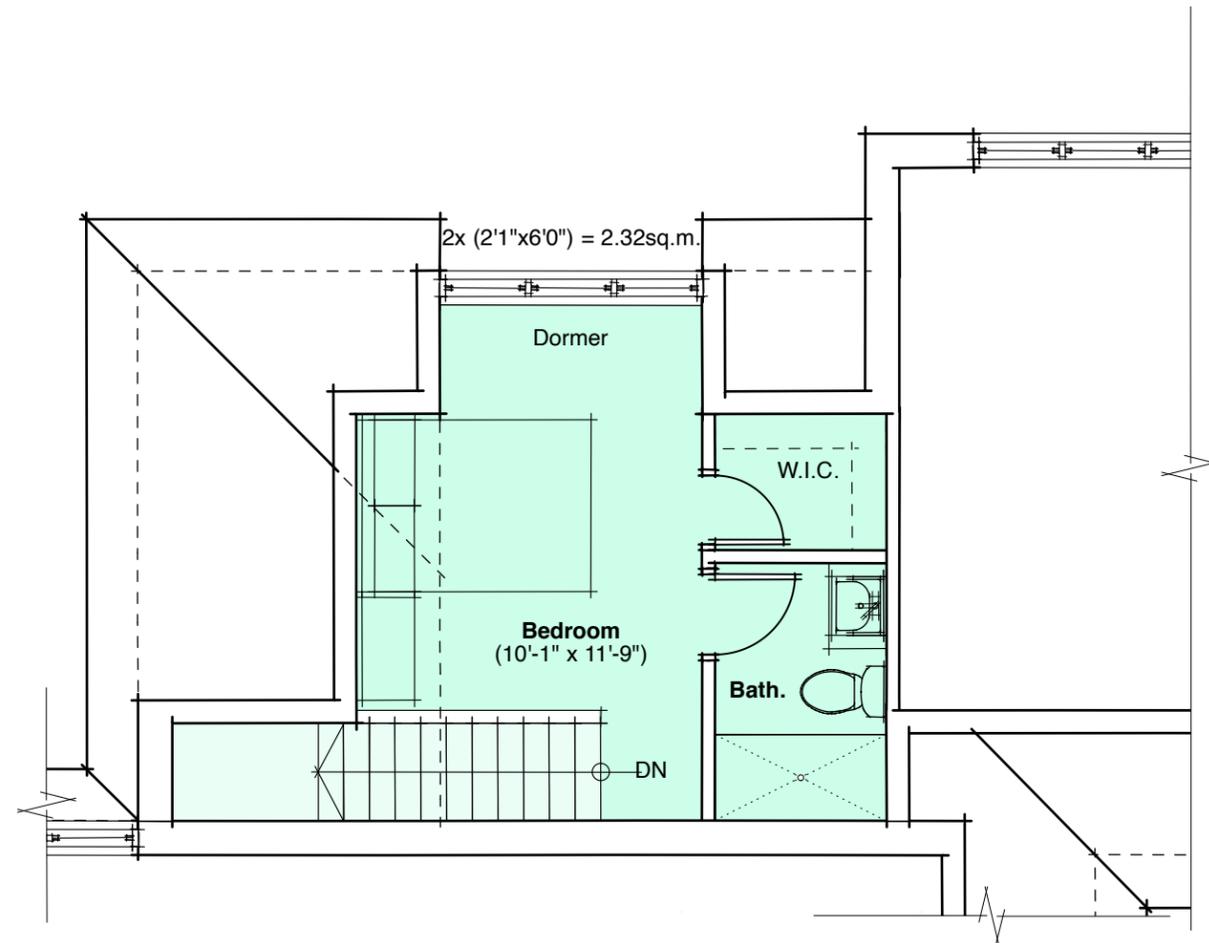
Minimum Unobstructed Glass Area (Bedrooms): 5% of area served

Proposed Unobstructed Glass Area (Bedroom): 22%
 2.32 sq.m. / 10.33 sq.m. = 22%, therefore ok



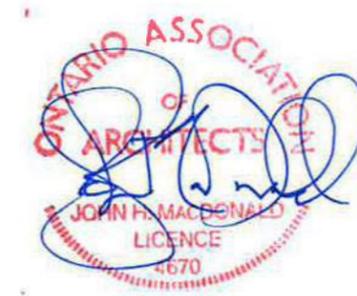
Upper Level Plan

Area = 315 ft2 (+ Balcony = 75 ft2)

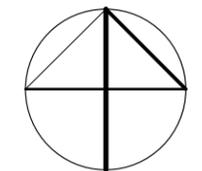


Attic Level Plan

Area = 205 ft2



Project North



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No.	Issued for Purpose	Date	Initial

Scale (for 11x17" printing)
 3/16" to 1'-0"

Approved BR
 Checked MM
 Drawn MM

Multi-Residential Renovation
 115 Lancaster Street

Drawing Title
 Unit Plan

Project
 Dwg. No.
 U3

Suite Statistics:

Unit Area = 45.84 sq.m.
 Private Patio Area =
 Accessible = no

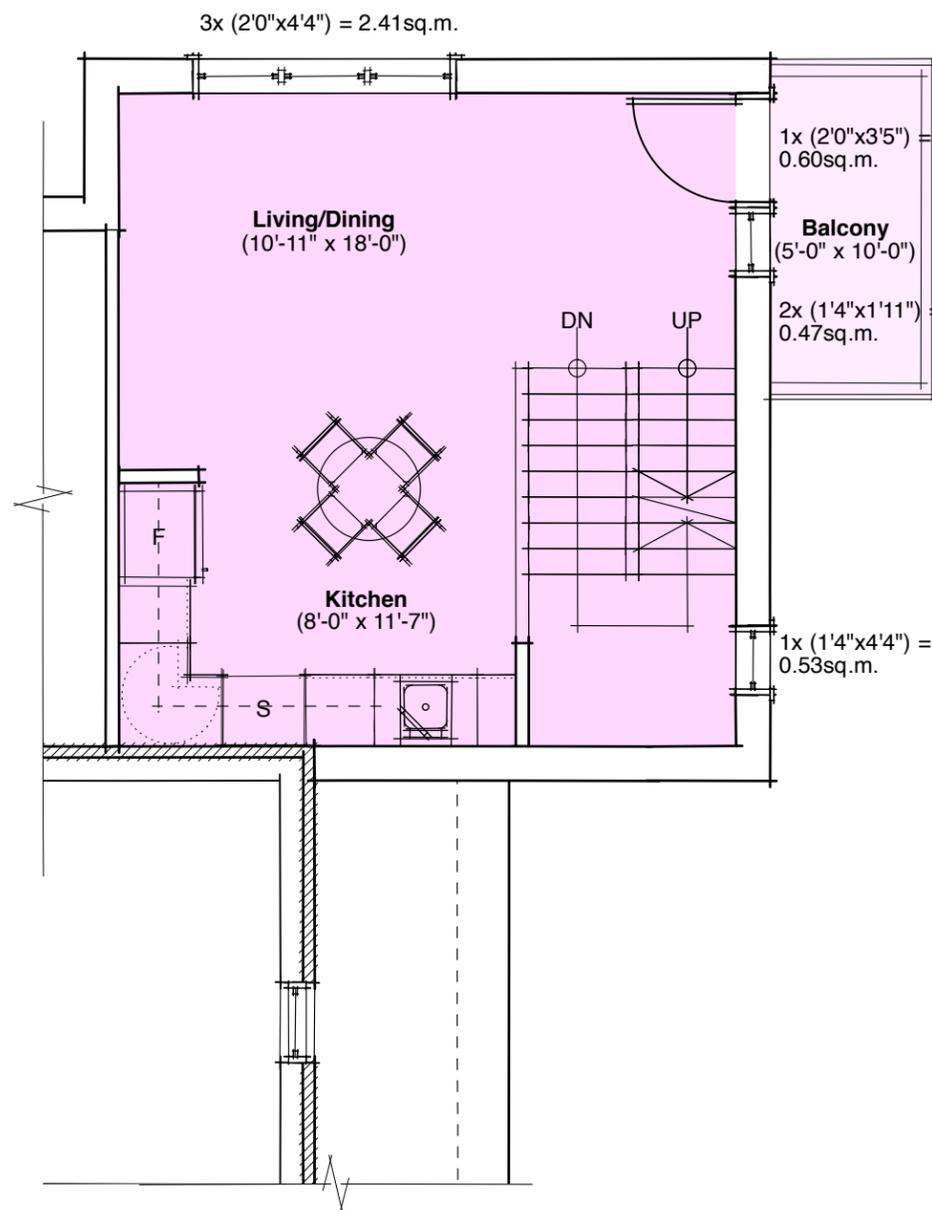
Minimum Areas of Spaces:

Minimum Area of Combined Living, Kitchen and Dining Spaces = 11 sq.m.
 Proposed Area of Combined Living, Kitchen and Dining = 21.81 sq.m., therefore ok
 Minimum Area of Bedrooms = 7 sq.m.
 Proposed Area of Bedroom = 13.74 sq.m., therefore ok

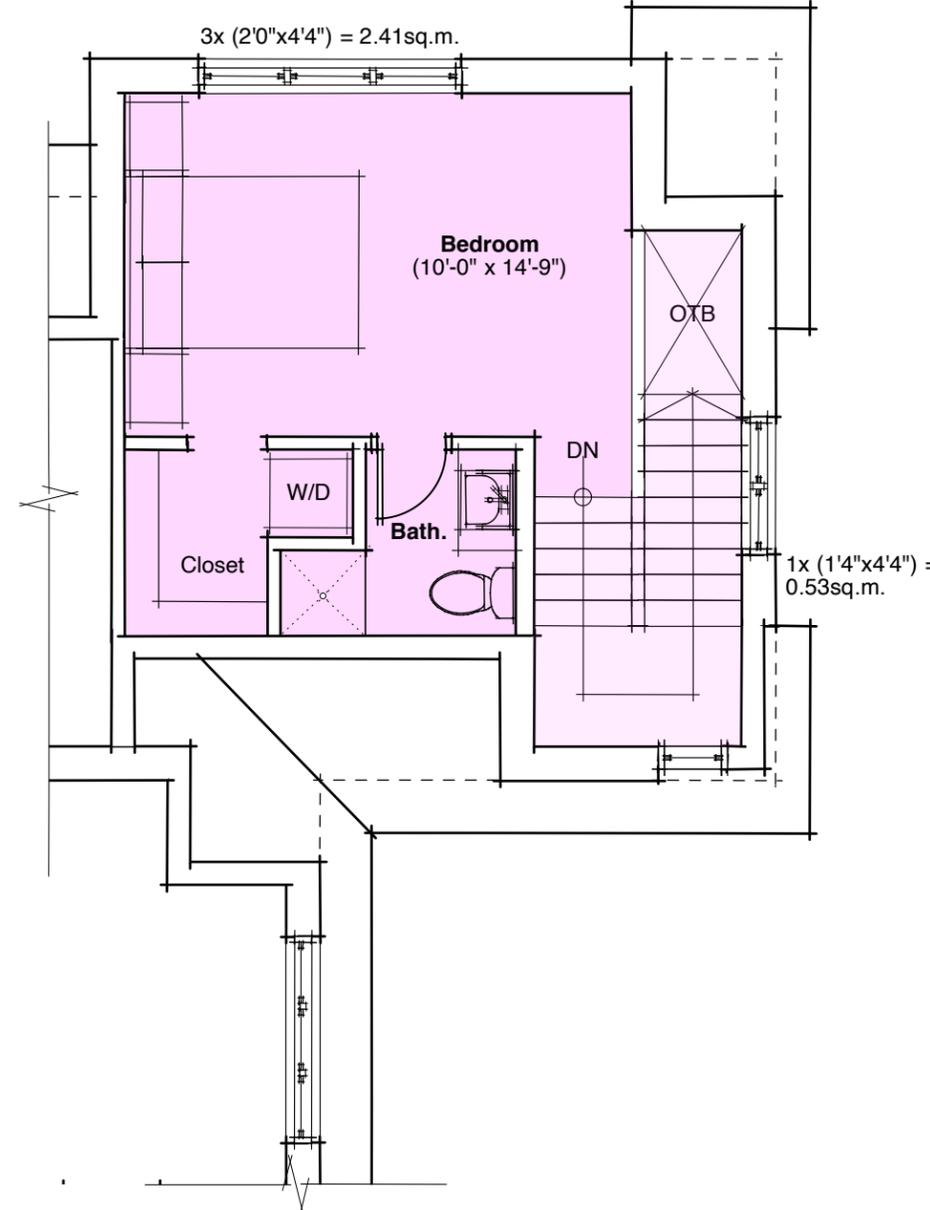
Minimum Window Areas:

Minimum Unobstructed Glass Area (Kitchen) = 10% of area served
 Minimum Unobstructed Glass Area (Living & Dining Rooms) = 10% of area served
 Proposed Unobstructed Glass Area (Living/Kitchen/Dining) = 18%
 + 0.47 sq.m. / 21.81 sq.m. = 2%
 + 0.60 sq.m. / 21.81 sq.m. = 2%
 + 0.53 sq.m. / 21.81 sq.m. = 2%
 + 2.41 sq.m. / 21.81 sq.m. = 10%
 = 4.01 sq.m. / 21.81 = 18%, therefore ok

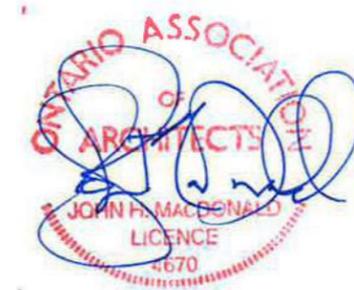
Minimum Unobstructed Glass Area (Bedrooms): 5% of area served
 Proposed Unobstructed Glass Area (Bedroom): 24%
 + 2.41 sq.m. / 13.74 sq.m. = 17%
 + 0.53 sq.m. / 13.74 sq.m. = 3%
 + 0.43 sq.m. / 13.74 sq.m. = 3%
 = 3.37 sq.m. / 13.74 sq.m. = 24 %, therefore ok



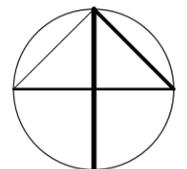
Upper Level Plan
 Area = 300 ft² + 45 ft² Balcony



Attic Level Plan
 Area = 270 ft²



Project North



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No.	Issued for Purpose	Date	Initial

Scale (for 11x17" printing)
 3/16" to 1'-0"

Approved	BR
Checked	MM
Drawn	MM

Multi-Residential Renovation
 115 Lancaster Street

Drawing Title
Unit Plan

Project

Dwg. No.
U4

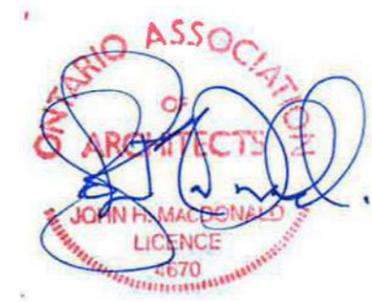
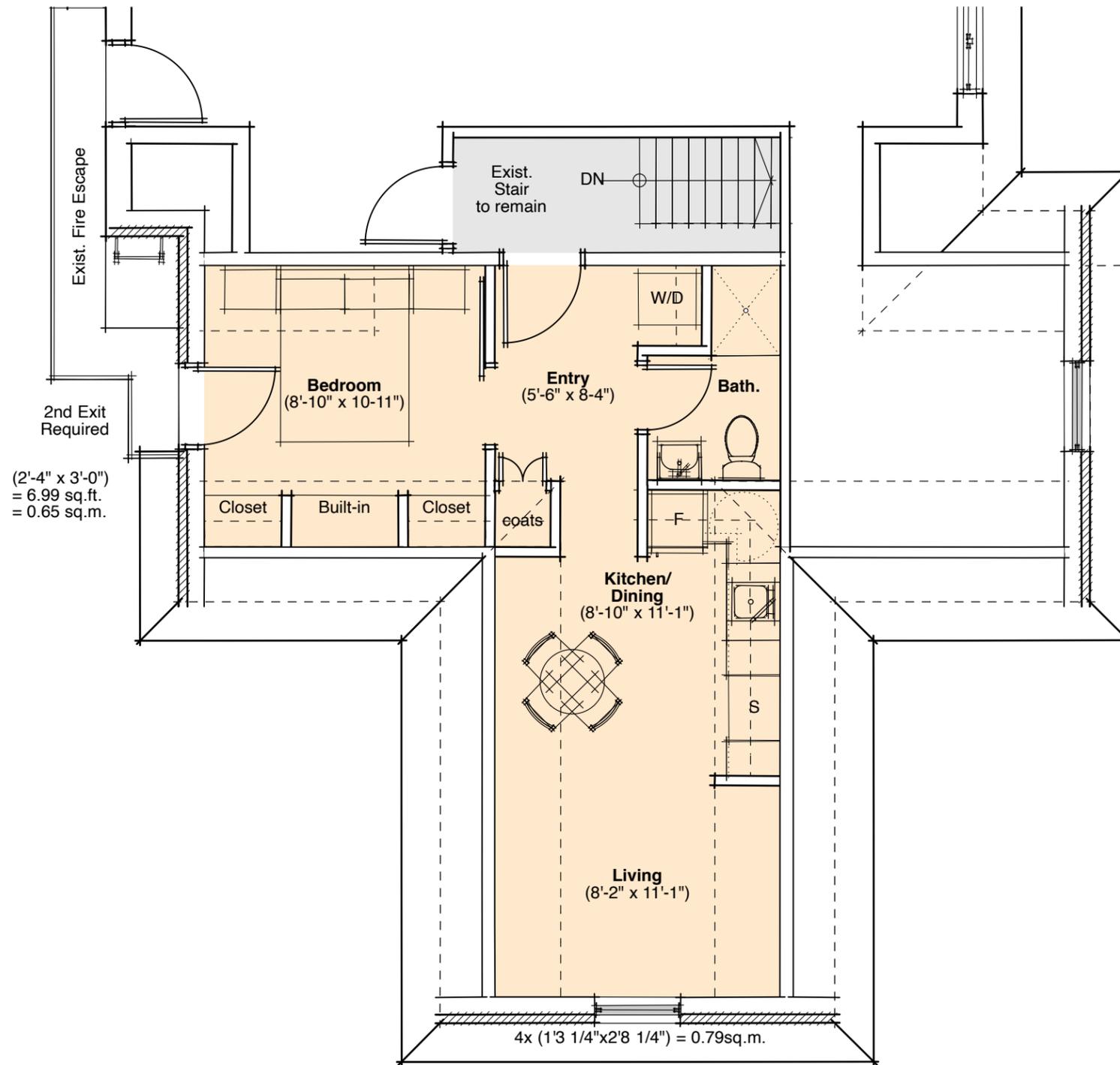
Suite Statistics:

Unit Area: 40.66 sq.m.
 Private Patio Area =
 Accessible = no

Minimum Areas of Spaces:
 Minimum Area of Combined Living, Kitchen and Dining Spaces = 11 sq.m.
 Proposed Area of Combined Living, Kitchen and Dining = 15.85 sq.m.,
 therefore ok
 Minimum Area of Bedroom = 7 sq.m.
 Proposed Area of Bedroom = 9 sq.m., therefore ok

Minimum Window Areas:
 Minimum Unobstructed Glass Area (Kitchen) = 10% of area served
 Minimum Unobstructed Glass Area (Living & Dining Rooms) = 10% of area served
 Proposed Unobstructed Glass Area (Living/Kitchen/Dining) = 4%
 0.79 sq.m. / 15.85 sq.m. = 4%

Minimum Unobstructed Glass Area (Bedrooms) = 5% of area served
 Proposed Unobstructed Glass Area (Bedroom) = 7%, therefore ok
 0.65 sq.m. / 9.0 sq.m. = 7%
 (existing heritage openings to remain???)



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Scale (for 11x17" printing)
 3/16" to 1'-0"

Multi-Residential Renovation
 115 Lancaster Street

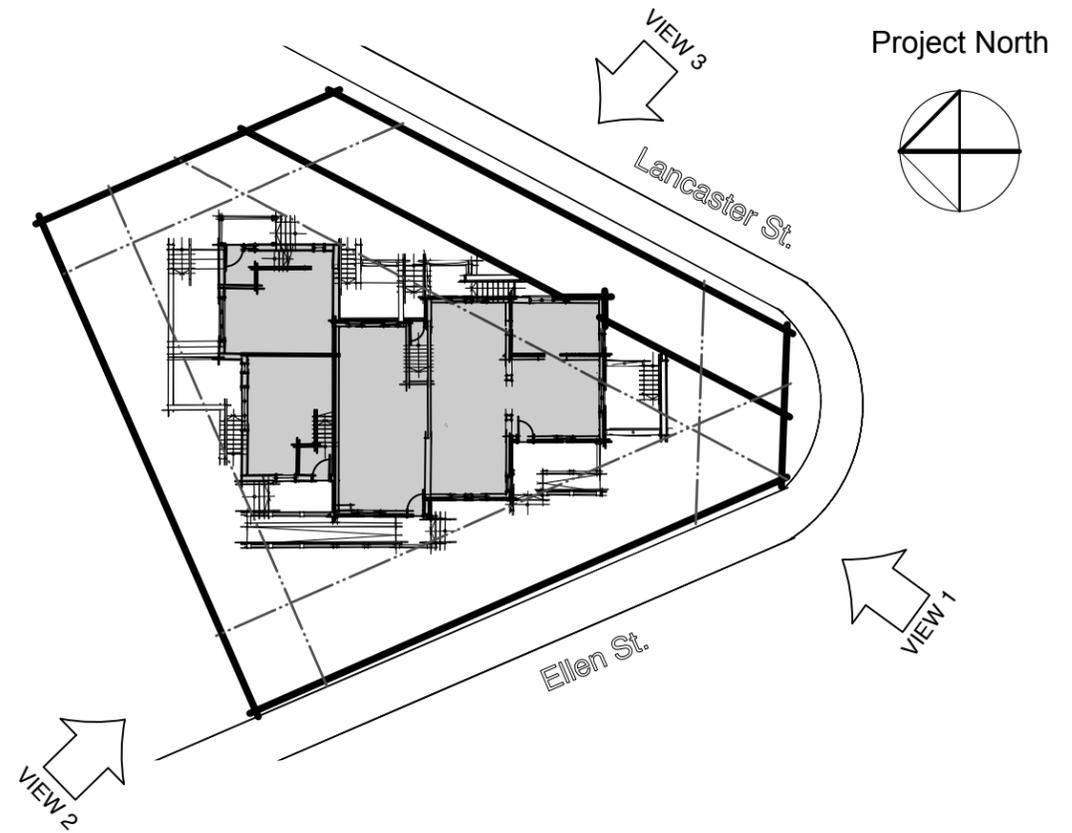
Approved BR
 Checked MM
 Drawn MM

Drawing Title
 Unit Plan

Project
 Dwg. No.
A1



View 3: View from the East from Across Lancaster Street



View 2: View from North Down Ellen Street



View 1: View From South Towards New "Front" Porch

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No.	Issued for Purpose	Date	Initial
6	HIA Report	Mar. 24 '22	MM
3	Site Plan Approval	Aug. 11 '22	MM

No.	Issued for Purpose	Date	Initial
5	Final SD	Oct. 22 '21	MM
3	Final SD	Oct. 30 '20	MM
2	Client Review	Oct. 02 '20	MM
1	Client Meeting	Oct. 01 '20	MM

Scale (for 11x17" printing)
 n.t.s.

Approved
 Checked MM
 Drawn MaM

Multi-Residential Renovation
 115 Lancaster Street

Potential Massing & 3D Views

Project
 Dwg. No.
ASK1



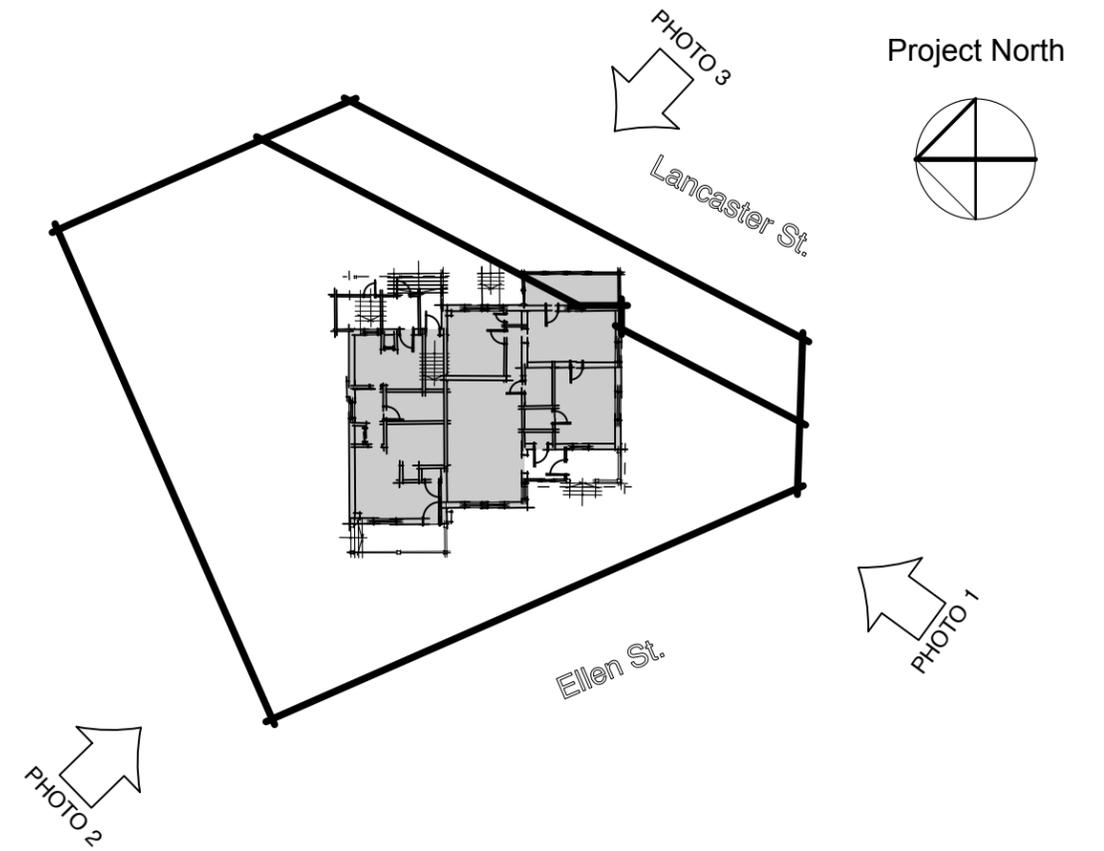
Photo 3: Existing Building from Across Lancaster Street



Photo 2: Existing Building from Down Ellen Street



Photo 1: Existing Building from South



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SPA	Site Plan Approval	Aug. 11 '22	MM
PSA	Pre-Submission App.	Mar. 22 '21	JHM
No.	Issued for Purpose	Date	Initial

Scale (for 11x17" printing)
 n.t.s.

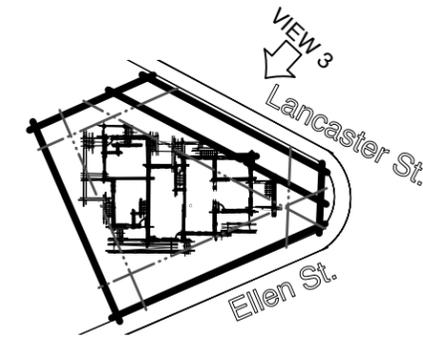
Approved BR
 Checked MM
 Drawn MaM

Multi-Residential Renovation
 115 Lancaster Street

Drawing Title
 Photos of Existing Conditions

Project

Dwg. No.
ASK2



Project North



View 3: View from the East from Across Lancaster Street

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No.	Issued for Purpose	Date	Initial
	SPA Site Plan Approval	Aug. 11 '22	MM

Scale (for 11x17" printing)
 n.t.s.

Approved BR
 Checked MM
 Drawn AY

Multi-Residential Renovation
 115 Lancaster Street

Drawing Title
 3D View - Rendering w/ Finishes

Project

Dwg. No.
ASK3