

REPORT TO: Heritage Kitchener

DATE OF MEETING: January 3, 2023

SUBMITTED BY: Garrett Stevenson, Interim Planning Director, 519-741-2200 ext. 7070

PREPARED BY: Jessica Vieira, Heritage Planner, 519-741-2200 ext. 7041

WARD(S) INVOLVED: Ward 4

DATE OF REPORT: December 13, 2022

REPORT NO.: DSD-2023-017

SUBJECT: Heritage Permit Application HPA-2022-V-033
1246 Doon Village Road
Demolition and Replacement of Front Sunroom

RECOMMENDATION:

That pursuant to Section 42 of the Ontario Heritage Act, Heritage Permit Application HPA-2022-V-032 to permit the demolition and reconstruction of a front sunroom at the property municipally addressed as 1246 Doon Village Road, BE APPROVED in accordance with the supplementary information submitted with the application and subject to the following conditions:

1. That final building permit drawings be reviewed and heritage clearance provided by Heritage Planning staff prior to the issuance of a building permit.

REPORT HIGHLIGHTS:

- The purpose of this report is to present the proposal of demolishing and reconstructing the existing sunroom on the front façade of the property municipally addressed as 1246 Doon Village Road, as detailed in Heritage Permit Application HPA-2022-V-032 and in **Attachment A** and **Attachment B**.
- The key finding of this report is that the proposed work will not negatively impact the cultural heritage value or interest of the property or surrounding area, as it maintains the original appearance of the sunroom and uses appropriate material as well as complies with the policies and guidelines of the Upper Doon Heritage Conservation District.
- There are no financial implications associated with this report.
- Community engagement included posting this report and associated agenda in advance of the meeting and consultation with the Heritage Kitchener Committee.
- This report supports the delivery of core services.

BACKGROUND:

The Development Services Department is in receipt of Heritage Permit Application 2022-V-033, which seeks permission to demolish an existing front sunroom and construct a new front sunroom on the property municipally addressed as 1246 Doon Village Road, located within the Upper Doon Heritage Conservation District (UDHCD).



Figure 1: Location Map of Subject Property

REPORT:

The subject property is located on the north side of Doon Village Road, between the Doon South Drive intersection and Wilfong Drive intersection. It is designated under Part V of the *Ontario Heritage Act* and is classified as an A Building within the Upper Doon Heritage Conservation District Plan (UDHCD Plan)



Figure 2: Front Elevation of Subject Property

The UDHCD Plan describes the building on the subject property as being modest scale and constructed of brick and wood, with the front-gable facing the street. Built c. 1890 the structure was originally used as a general store with living quarters situated above the ground floor, until 1983-1984 when it was converted into a single detached dwelling. Notable features of the building include the attic hoist, the small paned interior sash, and the original or early chimney.

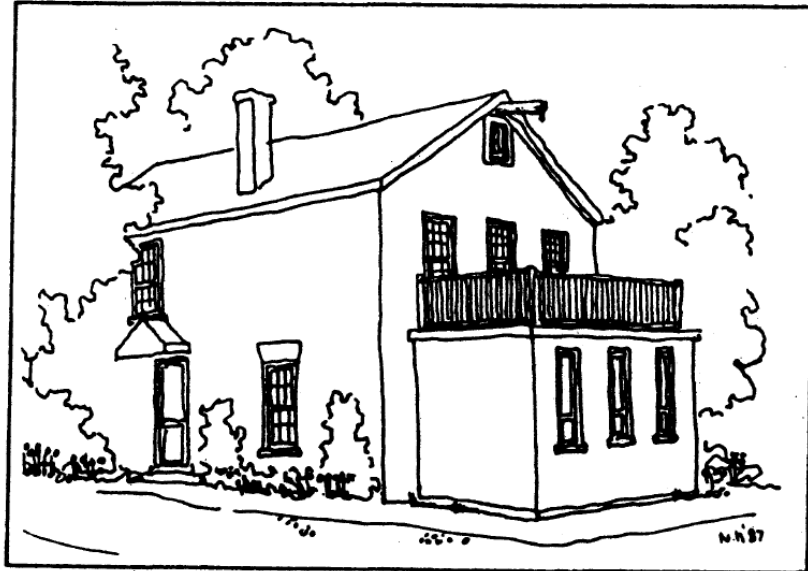


Figure 3: Drawing of Original Home From Upper Doon HCD Plan

Proposed Work

Removal of Existing Front Sunroom

The existing front sunroom of the home is presently in poor condition due to age and weather cycles. There is visible deterioration in the sides as well as water leakage and concerns about structural instability. The deterioration has already led to the removal of the railings and posts on balcony above the sunroom. As such, demolition of the existing front sunroom is proposed.

The policy of the UDHCD which pertains to the demolition of historic A buildings references the demolition of entire structures. The proposed work involves the demolition of only a portion of the building to allow for its reconstruction, which is required to address the issues identified previously.



Figure 4-5: Deterioration of the Existing Sunroom

Construction of New Front Sunroom

Heritage Permit Application HPA-2022-V-033 seeks permission to construct a new front sunroom in place of the old. The new sunroom is to have the same footprint as the existing, being 5.8 metres (18 feet 11 inches) in length and 2.3 metres (7 feet 5 inches) in depth. The exterior cladding will be wood board and batten and the railing and posts of the amenity space above will be wood. The window openings are to be the same size and the new wood windows will also be single-hung and similar to the original in appearance. There are no proposed deviations from the design of the original sunroom.

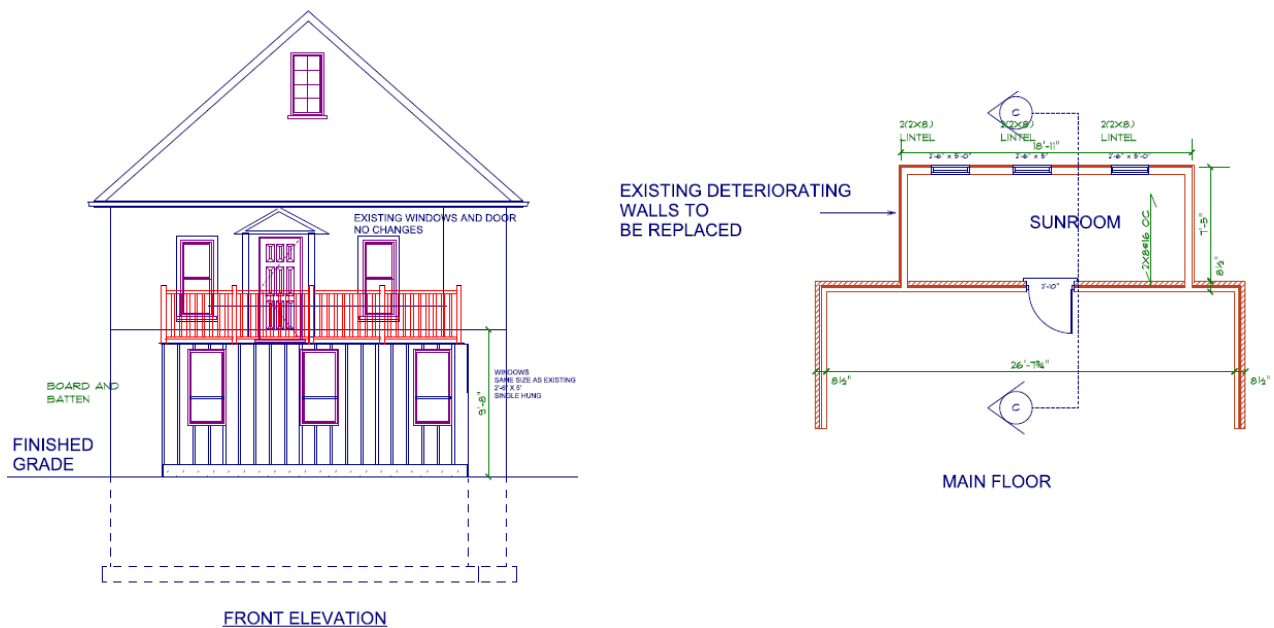


Figure 6-7: Construction Drawings of the Proposed New Sunroom

Heritage Planning Comments

In reviewing the merits of the application, heritage planning staff note the following:

- The subject property municipally addresses as 1246 Doon Village Road is designated under Part V of the *Ontario Heritage Act*, is located within the Upper Doon Heritage Conservation District, and is classified as a district significance A Building;
- The proposal is for the removal of a sunroom and construction of a new sunroom on the front of the subject dwelling;
- The proposed work is in compliance with the following UDHCD Plan policies;
 - *Roof: Original roof shapes, materials, and details should be conserved. Where missing, roofs should be rebuilt to the original or to compliment those of the period.*
 - As with the original roof of the sunroom, the new sunroom roof will be flat and will accommodate exterior amenity space. The posts and railings of this second-storey amenity space will be comprised of wood and will be vertical to maintain the original appearance and to accommodate building code requirements.
 - *Windows: Original windows should be conserved. Where missing, windows should be rebuilt to the original or to complement those of the period*
 - Due to deterioration, it is not feasible for the existing original windows to be conserved. The new windows will be as similar to the original as possible in terms of size, design, style, and materials used.
 - *Materials: Original building fabric should be conserved. Where renewed, materials appropriate and typical of the Heritage District shall be used with an emphasis on natural fabrics such as brick, stone, and wood as opposed to metals and plastic.*
 - Due to deterioration, it is not feasible to conserve the fabric of the existing sunroom. The new sunroom is proposed to be constructed using wood, which is an appropriate material for the area.
- The proposed work will not adversely impact the heritage attributes or character of either the subject property, adjacent properties, or surrounding area.

STRATEGIC PLAN ALIGNMENT:

This report supports the delivery of core services.

FINANCIAL IMPLICATIONS:

Capital Budget – The recommendation has no impact on the Capital Budget.

Operating Budget – The recommendation has no impact on the Operating Budget.

COMMUNITY ENGAGEMENT:

INFORM – This report has been posted to the City's website with the agenda in advance of the Council / Committee meeting.

CONSULT – The Heritage Kitchener Committee will be consulted regarding the subject Heritage Permit Application.

PREVIOUS REPORTS/AUTHORITIES:

- *Ontario Heritage Act*
- *Upper Doon Heritage Conservation Plan*

APPROVED BY: Garrett Stevenson, Interim Director, Planning

ATTACHMENTS:

Attachment A – Heritage Permit Application HPA-2022-V-033 Form

Attachment B – Heritage Permit Application HPA-2022-V-033 Drawings

Attachment C – Heritage Permit Application HPA-2022-V-033 Supporting Document