



HERITAGE PERMIT APPLICATION & SUBMISSION REQUIREMENTS

Planning Division – 200 King Street West, 6th Floor
P.O. Box 1118, Kitchener ON N2G 4G7
519-741-2426; planning@kitchener.ca

STAFF USE ONLY

Date Received:	Accepted By:	Application Number:
		HPA-

PART B: HERITAGE PERMIT APPLICATION FORM

1. NATURE OF APPLICATION

- ☒ Exterior
 ☐ Interior
 ☐ Signage
☒ Demolition
 ☐ New Construction
 ☐ Alteration
 ☐ Relocation

2. SUBJECT PROPERTY

Municipal Address: 17 Ahrens St W., Kitchener, Ontario

Legal Description (if know):

Building/Structure Type: ☒ Residential ☐ Commercial ☐ Industrial ☐ Institutional

Heritage Designation: ☐ Part IV (Individual) ☒ Part V (Heritage Conservation District)

Is the property subject to a Heritage Easement or Agreement? ☐ Yes ☐ No

3. PROPERTY OWNER

Name: Adam Joncas and Catherine Kovacich

Address:

City/Province/Postal Code: Kitchener, Ontario, N2H4B6

Phone:

Email:

4. AGENT (if applicable)

Name:

Company:

Address:

City/Province/Postal Code:

Phone:

Email:

5. WRITTEN DESCRIPTION

Provide a written description of the project including any conservation methods proposed. Provide such detail as materials to be used, measurements, paint colours, decorative details, whether any original building fabric is to be removed or replaced, etc. Use additional pages as required. Please refer to the City of Kitchener Heritage Permit Application Submission Guidelines for further direction.

See attached

6. REVIEW OF CITY OF KITCHENER HERITAGE PERMIT APPLICATION SUBMISSION GUIDELINES

Describe why it is necessary to undertake the proposed work:

See attached

Describe how the proposal is consistent with the Part IV individual designating by-law or the Part V Heritage Conservation District Plan:

See attached

Describe how the proposal is consistent with Parks Canada's *Standards and Guidelines for the Conservation of Historic Places in Canada* (www.historicplaces.ca/en/pages/standards-normes.aspx):

See attached

7. PROPOSED WORKS

a) Expected start date: June, 2023 Expected completion date: July, 2023

b) Have you discussed this work with Heritage Planning Staff? ☒ Yes ☐ No

- If yes, who did you speak to? Jessica Vieira

c) Have you discussed this work with Building Division Staff? ☐ Yes ☒ No

- If yes, who did you speak to? _____

d) Have you applied for a Building Permit for this work? ☐ Yes ☒ No

e) Other related Building or Planning applications: Application number _____

8. ACKNOWLEDGEMENT

The undersigned acknowledges that all of the statements contained in documents filed in support of this application shall be deemed part of this application. The undersigned acknowledges that receipt of this application by the City of Kitchener - Planning Division does not guarantee it to be a 'complete' application. The undersigned acknowledges that the Council of the City of Kitchener shall determine whether the information submitted forms a complete application. Further review of the application will be undertaken and the owner or agent may be contacted to provide additional information and/or resolve any discrepancies or issues with the application as submitted. Once the application is deemed to be fully complete, the application will be processed and, if necessary, scheduled for the next available Heritage Kitchener committee and Council meeting. Submission of this application constitutes consent for authorized municipal staff to enter upon the subject property for the purpose of conducting site visits, including taking photographs, which are necessary for the evaluation of this application. The undersigned acknowledges that where an agent has been identified, the municipality is authorized but not required to contact this person in lieu of the owner and this person is authorized to act on behalf of the owner for all matters respecting the application. The undersigned agrees that the proposed work shall be done in accordance with this application and understands that the approval of this application under the *Ontario Heritage Act* shall not be a waiver of any of the provisions of any by-law of the City of Kitchener or legislation including but not limited to the requirements of the Building Code and the Zoning By-law. The undersigned acknowledges that in the event this application is approved, any departure from the conditions imposed by the Council of the City of Kitchener or from the plans or specifications approved by the Council of the City of Kitchener is prohibited and could result in a fine being imposed or imprisonment as provided for under the *Ontario Heritage Act*.

Signature of Owner/Agent: Adam Joncas Date: February 23, 2023

Signature of Owner/Agent: Catherine Kovacich Date: February 23, 2023

9. AUTHORIZATION

If this application is being made by an agent on behalf of the property owner, the following authorization must be completed:

I / We, _____, owner of the land that is subject of this application,
hereby authorize _____ to act on my / our behalf in this regard.

Signature of Owner/Agent: _____ Date: _____

Signature of Owner/Agent: _____ Date: _____

The personal information on this form is collected under the legal authority of Section 33(2), Section 42(2), and Section 42(2.2) of the Ontario Heritage Act. The information will be used for the purposes of administering the Heritage Permit Application and ensuring appropriate service of notice of receipt under Section 33(3) and Section 42(3) of the Ontario Heritage Act. If you have any questions about this collection of personal information, please contact the Manager of Corporate Records, Legislated Services Division, City of Kitchener (519-741-2769).

STAFF USE ONLY

Application Number: _____

Application Received: _____

Application Complete: _____

Notice of Receipt: _____

Notice of Decision: _____

90-Day Expiry Date: _____

PROCESS:☐ Heritage Planning Staff: _____☐ Heritage Kitchener: _____☐ Council: _____

Front Porch Description

17 Ahrens St W is a simple, largely plain, White-Painted house, listed as a "C" in the Civic Heritage Conservation District. One of the wonderful features is a front porch that spans the width of the house. Over time the wood porch has been repaired and repainted many times. For example, the rotten bottom of the porch posts have been cut out and patched with new wood 10+ years ago. Unfortunately, time and mother nature have taken its toll on the porch and it is now beyond repair.

Front Porch Current State

Wood decking has rotted through
Bottom of the posts are rotting and resting on the rotting deck
Railings have rotted and are falling apart
Steps have rotted and are no longer safe
Wood throughout the porch is rotting
Animals have made a home between the ceiling and the roof of the porch

Front Porch Proposal

We are proposing to remove the existing rotting porch and rebuild it using a similar design. The footprint of the front porch will remain the same. We are planning on reproducing the unique features of the porch (e.g. sunrise features in the front and sides, design of the railings and posts). We will be using wood throughout the porch except for the decking, stairs and skirting where we plan on using Azek. This material has the same look as wood but will last much longer with minimal upkeep and will not require annual painting.

Front Door and Window Replacement

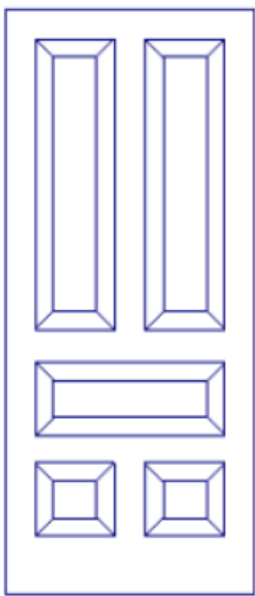
While performing the work for the front porch we also plan on replacing the front door and two windows on each side of the door. The current front door is wood with a wood storm door on the outside that is painted black. The windows are both wood but the frames have been painted black.

Front Door and Window Current State

The storm door and front door have been adjusted and repaired over time. The storm door is cracked and falling apart. The interior wood door does not fit the frame very well and is not energy efficient. The large window to the left of the door is single pane and not properly sealed as frost forms on the inside of the window in the winter. The smaller window on the right side of the door has a storm window sealed in front of the original window.

Front Door and Window Proposal

Replace the existing door with a painted steel insulated door. The look will be similar to our neighbors across the street. The panel design will be similar to the interior doors. The windows will be replaced with modern, energy efficient material and there should not be any noticeable difference from the street view.























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3 Colby Court, Unit #2
Waterloo, ON N2V 1Y9

P 519.884.0340
www.duaneerb.com

CONTRACT PROPOSAL

Page | 1 of 1

October 20, 2021

TO: **Catherine Kovacich**
17 Ahrens Street West
Kitchener, ON N2H 4B6

Our firm price to complete Porch Renovations
as per attached specifications and drawings.
(Including HST of \$11,934.39)

\$103,737.39

Due to the volatility of the material supply chain presently, contract will be reviewed approx 30 days before start date. Quote will be revised at that time based on the current material costs and trade costs.

Payments to be made as follows:

Terms: Deposit of \$10,000.00 upon signing this contract

Prepare Contractors Breakdown of Contract Monthly Progress draws invoiced
by the 7th of the following month based on work completed.

Any changes on the work and the price to be changed for the same shall be made in writing.

This proposal is made on the basis of current material and labour cost. A delay in acceptance of more than 30 days will require a review of the proposal and re-dating before the agreement becomes binding.

Respectfully Submitted.

Steven Adams

Duane Erb Construction Inc.

ACCEPTANCE

You are hereby authorized to finish all materials and labour to complete the work mentioned in the above proposal, for which the undersigned agrees to pay the amount mentioned in said proposal, and according to the terms thereof.

DATE: _____

SIGNATURE: _____

Catherine Kovacich Front Porch Specifications

Page | 1 of 2

Washroom facilities and access to potable water as required by the Occupational Health And Safety Act is by the owner. If portable toilet is required, it will be billed out at \$192.00 per month.

1. Drawings and Permit including Heritage Permit is by owner.

2. Demolition

Note: Brick foundation walls to remain as is

- Remove porch including roof and floor structure, same as new
- Dispose of all demolition

3. Allowance of \$2,000.00 to make good brick foundations

4. Install Landscaping Cloth and 2" of ¾ stone.

5. All landscaping and landscaping repairs are by the owner

6. Framing

- Micro Pro Sienna Framing for floor
- 2" x 8" joist @ 16" o.c. c/w standard blocking
- 2 ply 2" x 10" beam
- 6" x 6" Accoya posts, turned
- 2" x 6" rafters including ceiling joist
- PT framing including 2" x 12" stair stringers
- 2" x 4" PT skirt framing c/w rodent screen

7. Roofing

- 30 yr Builtmore Asphalt shingles to front porch c/w flashings as required

8. Electrical

- Remove existing light fixture
- Add 3 LED pot lights, tie into existing light

9. Decking

- Azek Harvestone Collection (Slate Gray) 3 1/8" T&G porch floor c/w Azek decking and stair treads
- Vycor deck protector
- PVC on rim joist covers and skirting including stair stringers and risers

10. Posts

- Accoya Sunrise detail in front and side gables c/w 2 ½" pine crown mold
- Accoya 12" wide pilasters, design as per drawing, turned to match existing
- Accoya 14" high pediment with sunrise detail, turned to match existing

Catherine Kovacich Front Porch Specifications

Page | 2 of 2

11. Railing

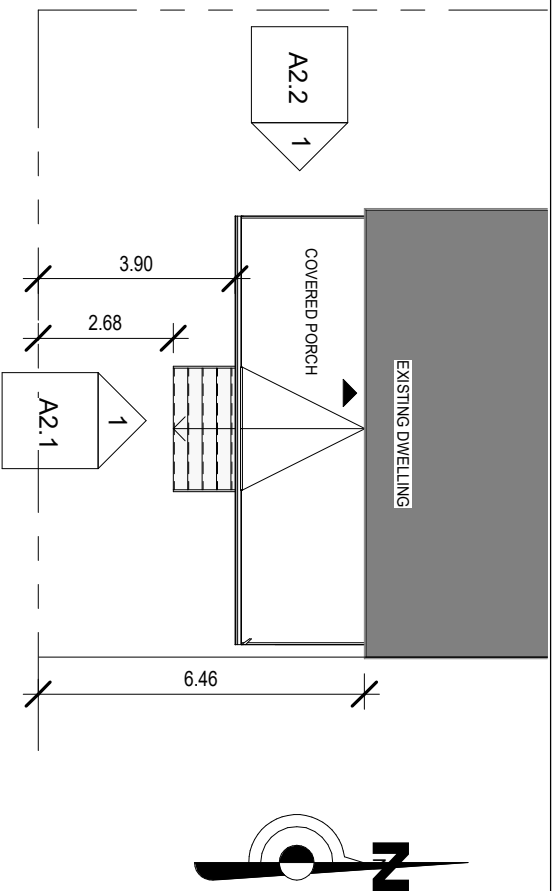
- Accoya 4 ½" x 3" shaped top rail to match existing
- Accoya 4 ½" x 3 ½" shaped bottom rail to match existing
- Accoya 2 ½" x 2 ½" horizontal pickets to match existing railing c/w 1" arch board between spindles
- Accoya 2 ½" x 2 ½" spindles as per drawing

12. Aluminum

- Aluminum fascia and trough
- Clear T&G V match pine ceiling including soffits
- Cap beams with Accoya 1" x 8" between posts under beam with 1" molding at bottom edge including 2 ½" pine crown mold and 1 ½" pine molding at bottom of beam

13. Paining

- Prime Accoya on 6 sides before installation
- Paint two coats finish on Accoya posts, beams, pilasters, pediments and railing
- Paint two coats finish PVC skirting and rim board stringers and risers with AquaSurTech paint
- Paint two coats finish pine ceiling including soffits and sunrise gables

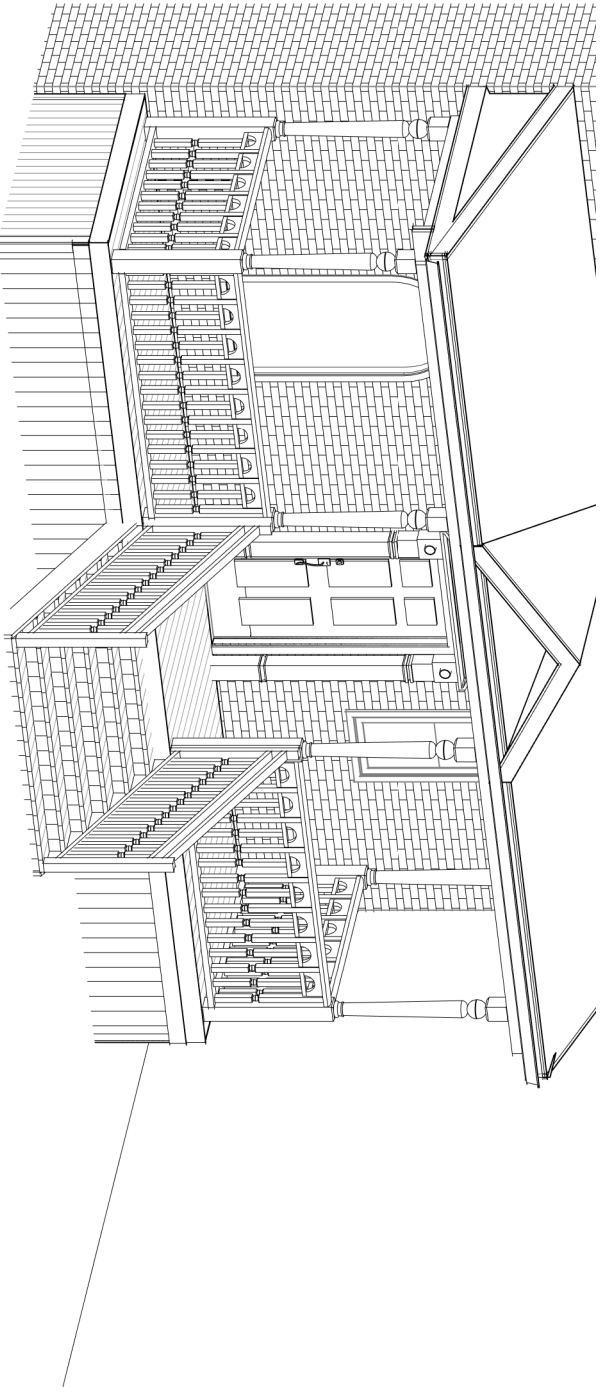


AHRENS STREET WEST

SITE PLAN INFORMATION BASED ON SURVEY INFORMATION PROVIDED FROM THE CLIENT. PROPERTY LINE LOCATIONS HAVE NOT BEEN VERIFIED BY LEGAL SURVEY, AND NO WARRANTY IS PROVIDED.

1 Site

1 : 150



2 3D View

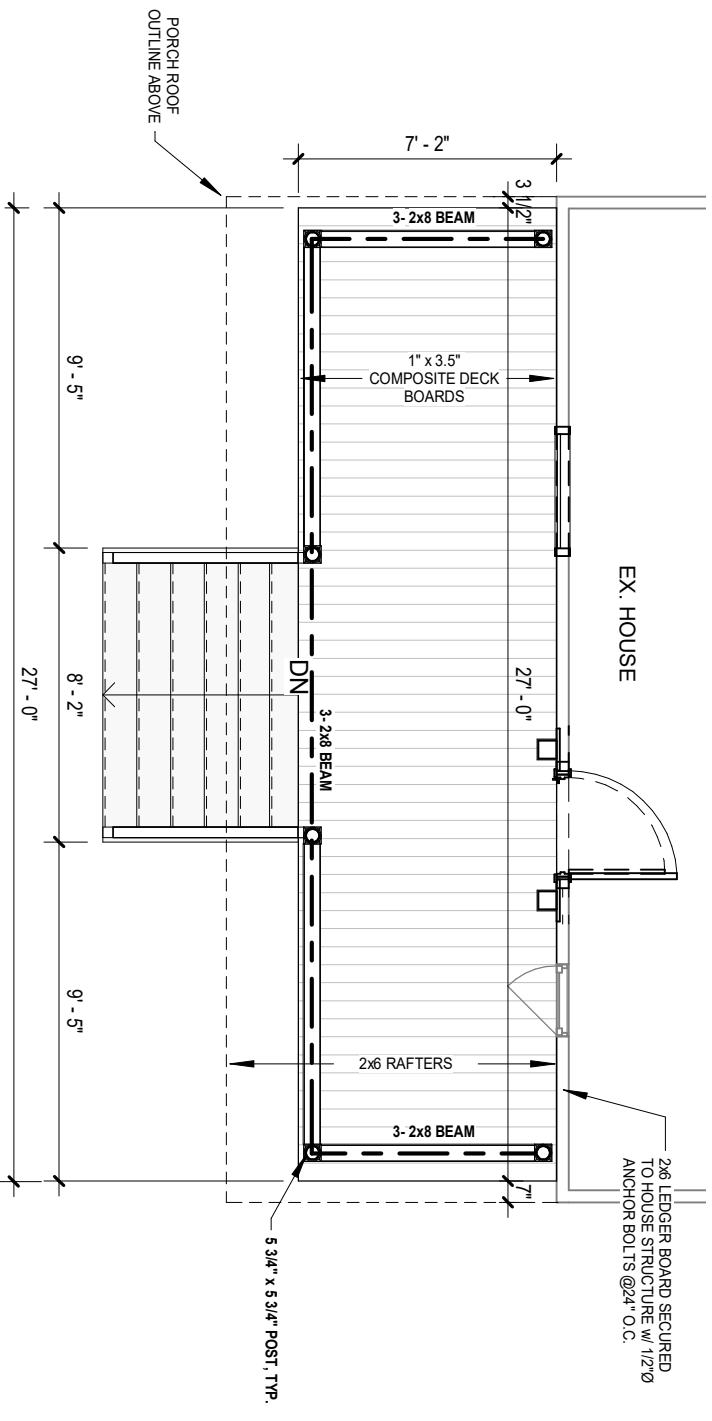
All work shall conform to the Ontario Building Code 2012, local bylaws and regulations for the geographical location of the project. Any discrepancies between the drawings and site conditions shall be brought to the attention of the designer prior to start of the work. Any discrepancies between architectural, mechanical, structural, etc. drawings shall be brought to the attention of the designer. The use of these plans shall be restricted to the original project site for which they were created, and publication thereof is expressly limited to such use. Reuse, reproduction or publication by any method, in whole or in part, is prohibited. This drawing is classified as part of an unpublished collection of visual. It is an exclusive work of original authorship. None of the pictorial graphic or technical charts or drawings depicted on this sheet may be reproduced by any method, including tracing or photocopying, stored in a retrieval system, or transmitted in any form or by means electronic, mechanical or otherwise, nor may they be used or re-used for any purpose without the express prior written permission of the author. Title and ownership remains with the author without prejudice. Visual contact with these plans shall constitute prima facie evidence of the acceptance of these restrictions.

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17 Ahrens St W, Kitchener
FRONT PORCH

SITE & RENDERING			
Project number	21027	A1.0	
Date	07/12/2021		
Drawn by	TT		
Checked by	JM	Scale: 1 : 150	



1 Deck Plan

3/16" = 1'-0"

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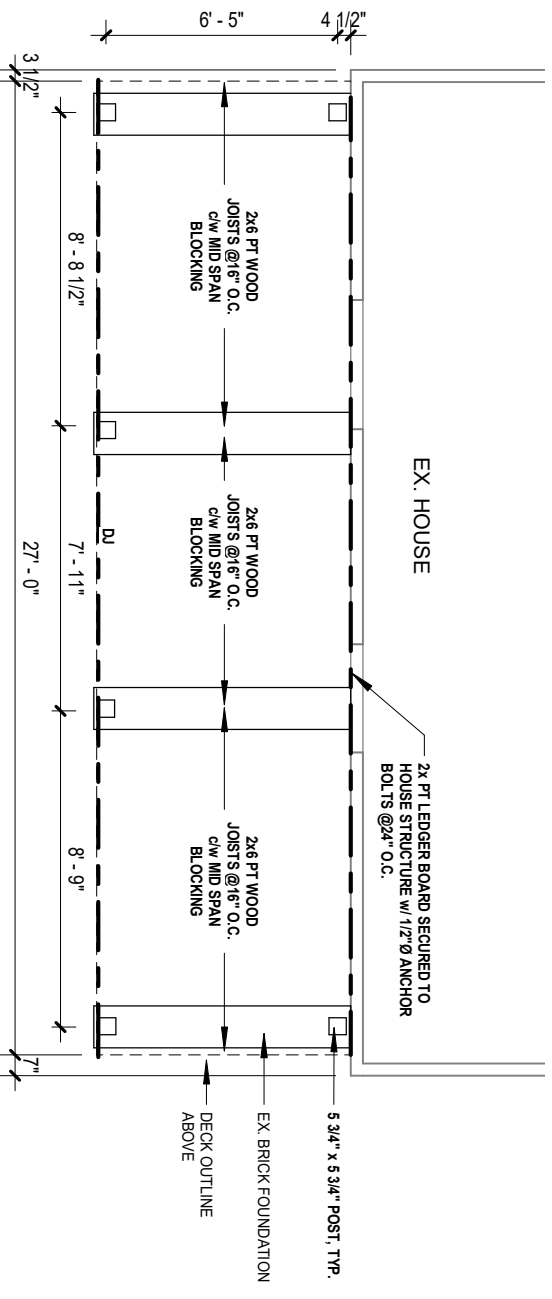
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17 Ahrens St W, Kitchener
FRONT PORCH

DECK PLAN
Project number 21027
Date 07/12/2021
Drawn by TT
Checked by JM
Scale 3/16" = 1'-0"

A1.1



1 Foundation/Framing Plan

3/16" = 1'-0"

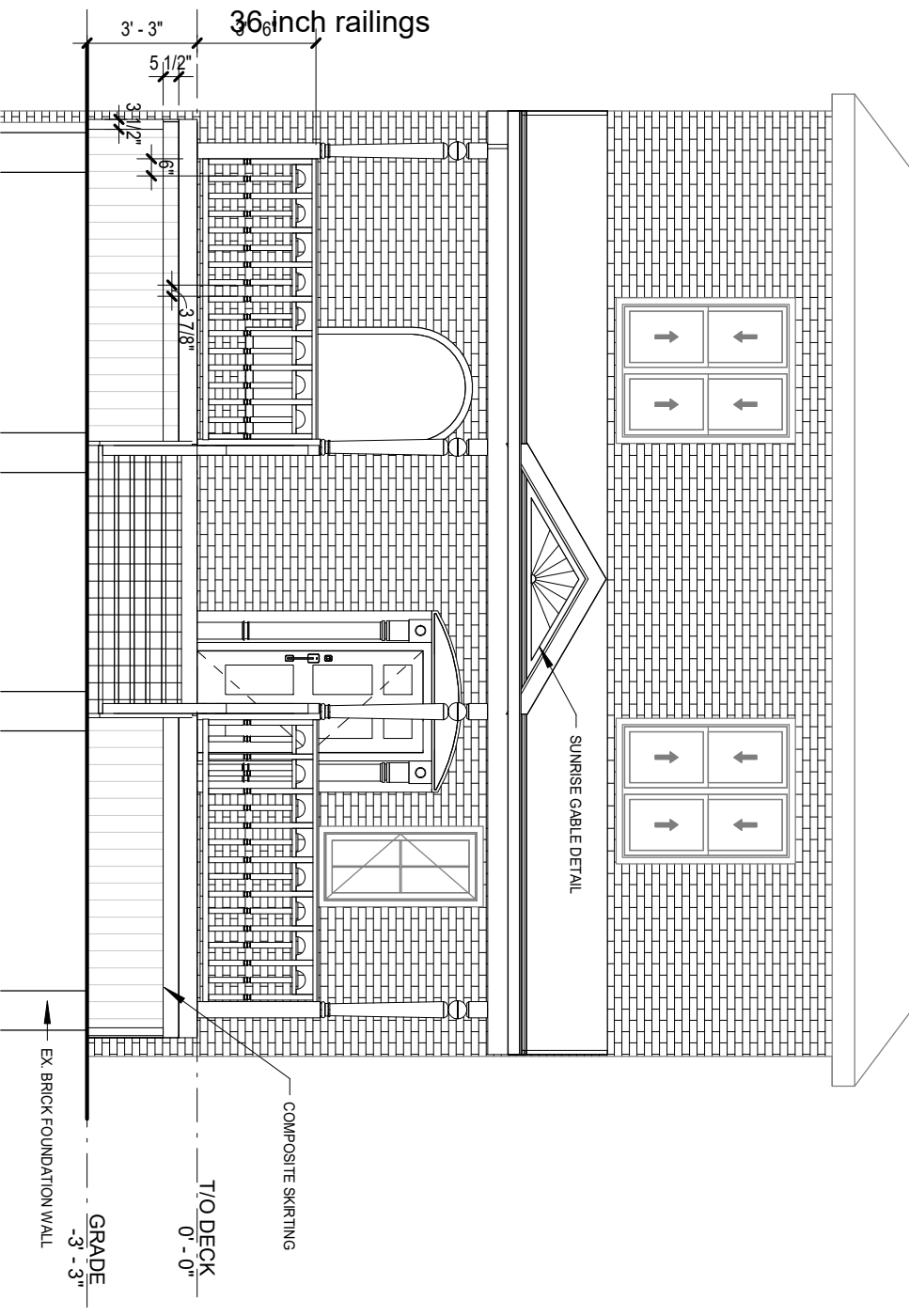
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17 Ahrens St W, Kitchener
FRONT PORCH

STRUCTURAL PLAN		
Project number 21027	A1.2	
Date 07/12/2021		
Drawn by TT		
Checked by JM	Scale 3/16" = 1'-0"	



1

Front

3/16" = 1'-0"

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17 Ahrens St W, Kitchener

FRONT PORCH

FRONT ELEVATION

Project number 21027

Date 07/12/2021

Drawn by JM

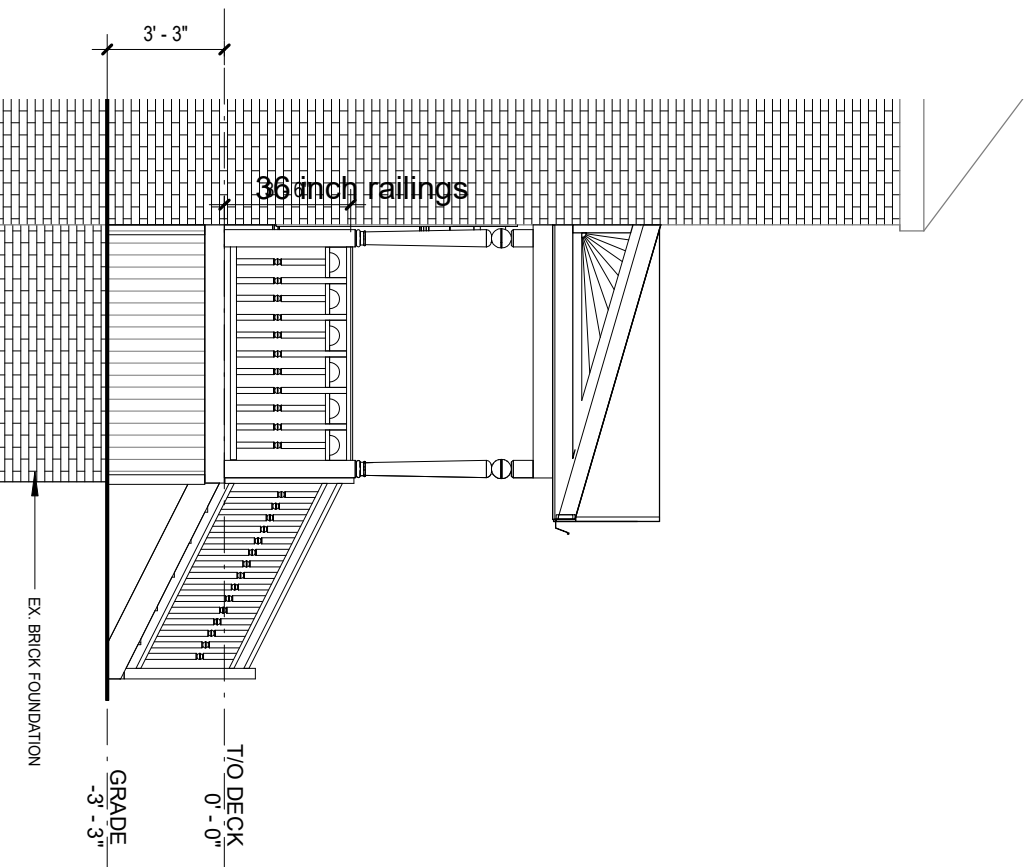
Checked by JM

A2.1

Scale 3/16" = 1'-0"



DRAFTING & DESIGN INC



1 Left
3/16" = 1'-0"

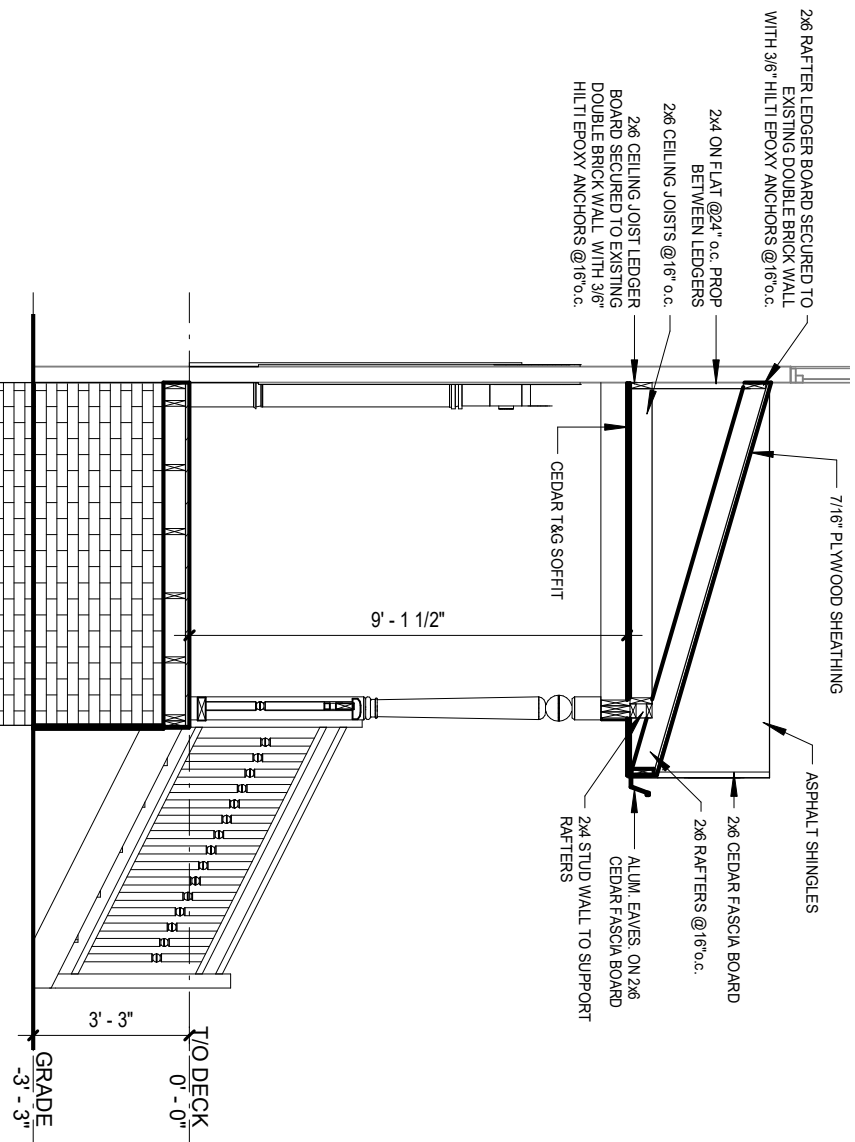
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17 Ahrens St W, Kitchener
FRONT PORCH

LEFT ELEVATION
Project number 21027
Date 07/12/2021
Drawn by TT
Checked by JM
Scale 3/16" = 1'-0"



SECTION

1/4" = 1'-0"

All work shall conform to the Ontario Building Code 2012, local bylaws and regulations for the geographical location of the project. Any discrepancies between the drawings and site conditions shall be brought to the attention of the designer prior to start of the work. Any discrepancies between architectural, mechanical, structural, etc. drawings shall be brought to the attention of the designer. The use of these plans shall be restricted to the original project site for which they were created, and publication thereof is expressly limited to such use. Reuse, reproduction or publication by any method, in whole or in part, is prohibited. This drawing is classified as part of an unpublished collection of visual. It is an exclusive work of original authorship. None of the pictorial graphic or technical charts or drawings depicted on this sheet may be reproduced by any method, including tracing or photocopying, stored in a retrieval system, or transmitted in any form or by means electronic, mechanical or otherwise: nor may they be used or re-used for any purpose without the express prior written permission of the author. Title and ownership remains with the author without prejudice. Visual contact with these plans shall constitute prima facie evidence of the acceptance of these restrictions.

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17 Ahrens St W, Kitchener
FRONT PORCH

SECTION
Project number 21027
Date 07/12/2021
Drawn by TT
Checked by
Scale 1/4" = 1'-0"

17 Ahrens Street West, Kitchener Front Porch Specifications

Page | 1 of 11

1. Removals

- Remove and dispose of entire front porch including roof and floor structure. Structure is deteriorated beyond repair.
- Save components needed for replication such as support posts, sunrise details and handrail system.
- Dispose of all demolition

2. Repair existing brick foundations as required to support new floor structure.

3. Install Landscaping Cloth and 2" of $\frac{3}{4}$ stone underneath new porch and stairs.

4. Framing as per drawing and the O.B.C.

- Micro Pro Sienna PT framing for floor structure including 2" x 8" joist @ 16" o.c. c/w standard blocking
- 6"x6" Accoya support posts turned to match existing. (Turned portion of post will need to shorten up and move up a bit to accommodate new 36" high railings to meet O.B.C. code)
- 3 ply 2"x8" spruce porch beams
- 2"x6" spruce rafters including ceiling joist
- 2"x4" PT skirt framing @ 16" o.c. c/w rodent screen around porch and stairs
- 2"x12" PT stair stringers @ 16" o.c.
- All fasteners used with PT to be pre-painted or galvanized

5. Roofing

- Biltmore Limited Lifetime Architectural Shingles (six nailed) by CRC to front porch c/w flashings as required.

6. Electrical

- Remove existing light fixture
- Add 3 LED pot lights, tie into existing light. Color to pot lights TBD biased on ceiling color selected.

7. Decking

- Gtape joist protector to top of all joists, beams, and stair stringers to protect from rott.
- Azek (Slate Gray) 3 1/8" T&G PVC porch plank c/w Azek PVC 1" x 5 1/2" stair treads. Fastened using stainless steel fasteners.
- 3/4" thick cellular PVC on rim joists, stair stringer covers, risers, and 3/4" x 3 1/2" vertical skirting. Fasten using cortex hidden fastener system.

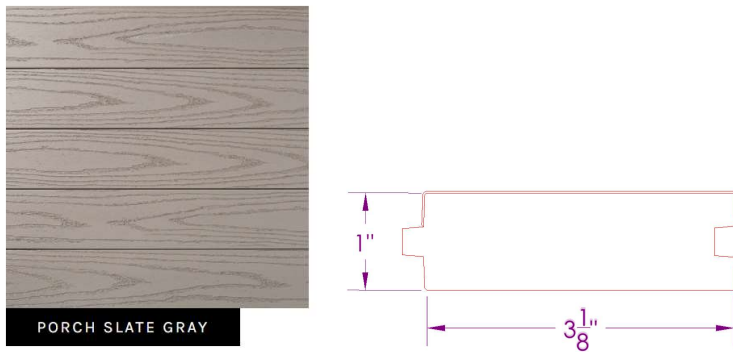
17 Ahrens Street West, Kitchener Front Porch Specifications

Page | 2 of 11

<https://www.timbertech.ca/products/decking/porch>

Azek porch planks are a great alternative to the traditional clear pine porch boards for the following reasons;

- Azek PVC porch boards offer the homeowner a one-time installation and a maintenance free product, unlike clear pine porch planks which would need to be painted yearly and replaced again in 10-15 years due to today's poor quality fast growth pine.*
- Because the Azek PVC has a slight wood grain texture, it creates a much safer non-slip surface area than painted wood.*
- The Azek PVC porch plank is very similar in size to traditional clear pine material used.*
- Porch planks could be milled from Accoya. However, cost is similar to the Azek PVC and you still have the slippery porch deck and step issue.*



Porch Collection



**17 Ahrens Street West, Kitchener
Front Porch Specifications**

Page | 3 of 11



Photo above from a recent project showing Azek slate grey t&g porch plank, Azek 1"x 5 1/2" decking on stair, PVC risers and skirting, and Accoya railing system that was milled to match this particular project.

17 Ahrens Street West, Kitchener Front Porch Specifications

Page | 4 of 11



Photo above from a recent project showing Azek slate grey t&g porch plank, Azek 1"x 5 1/2" decking on stair, PVC risers and skirting, and Accoya railing system that was milled to match this particular project.

**17 Ahrens Street West, Kitchener
Front Porch Specifications**

Page | 5 of 11



Photo above from a recent project showing Azek slate grey t&g porch plank, and Accoya railing system that was milled to match this particular project.

17 Ahrens Street West, Kitchener Front Porch Specifications

Page | 6 of 11

8. Support Posts, Newel Posts, Railings

- 6"x6" Accoya support posts turned to match existing. (Turned portion of post will need to shorten up and move up a bit to accommodate new 36" high railings to meet O.B.C. code)
- 2 new newel posts at base of stairs to match support post turnings.
- Accoya 4 1/2" x 3" shaped top rail to match existing
- Accoya 4 1/2" x 3 1/2" shaped bottom rail to match existing
- Accoya 2 1/2" x 2 1/2" horizontal pickets to match existing railing c/w 1" arch board between spindles
- Accoya 2 1/2" x 2 1/2" spindles lengthened as per drawing to suite 36" high railing to meet O.B.B
- All fasteners to be stainless steel to avoid rust.

9. Beam wraps, porch ceiling, sunrise details, new door surround

- Cover sides and bottom of support beams with Accoya c/w moulding at bottom and under soffit to match existing
- False beams between posts using 1" x 8" Accoya sides and bottom w/ moulding at bottom edge including 2 1/2" pine crown mold and 1 1/2" pine molding at bottom to match existing.
- Accoya Sunrise details in front and side gables to match existing c/w 2 1/2" pine crown mold
- 3 1/2" Clear T&G V match pine or cedar porch ceiling
- Front door surround: Accoya 12" wide pilasters, design as per drawing, turned to match existing. Accoya 14" high pediment with sunrise detail, match existing above door.
- All fasteners to be stainless steel to avoid rust.

<https://www.accoya.com/why-accoya/benefits/>

Accoya brings unprecedented reliability for timber; it is checked and trusted not to visibly swell, shrink or distort, with minimal movement. Highly durable, it withstands the test of any climate and is a highly rot resistant wood. And what's more, it stays that way – a 50 year above ground, and 25 year below ground and freshwater warranty are testament to the fact that you can expect to enjoy your Accoya wood for many decades to come.

Using cellular PVC for skirting and stair riser and stringer components provides better durability than painted Accoya when touching grade, washing, and abuse from foot traffic. Cellular PVC looks identical to Accoya when painted.

17 Ahrens Street West, Kitchener Front Porch Specifications

Page | 7 of 11

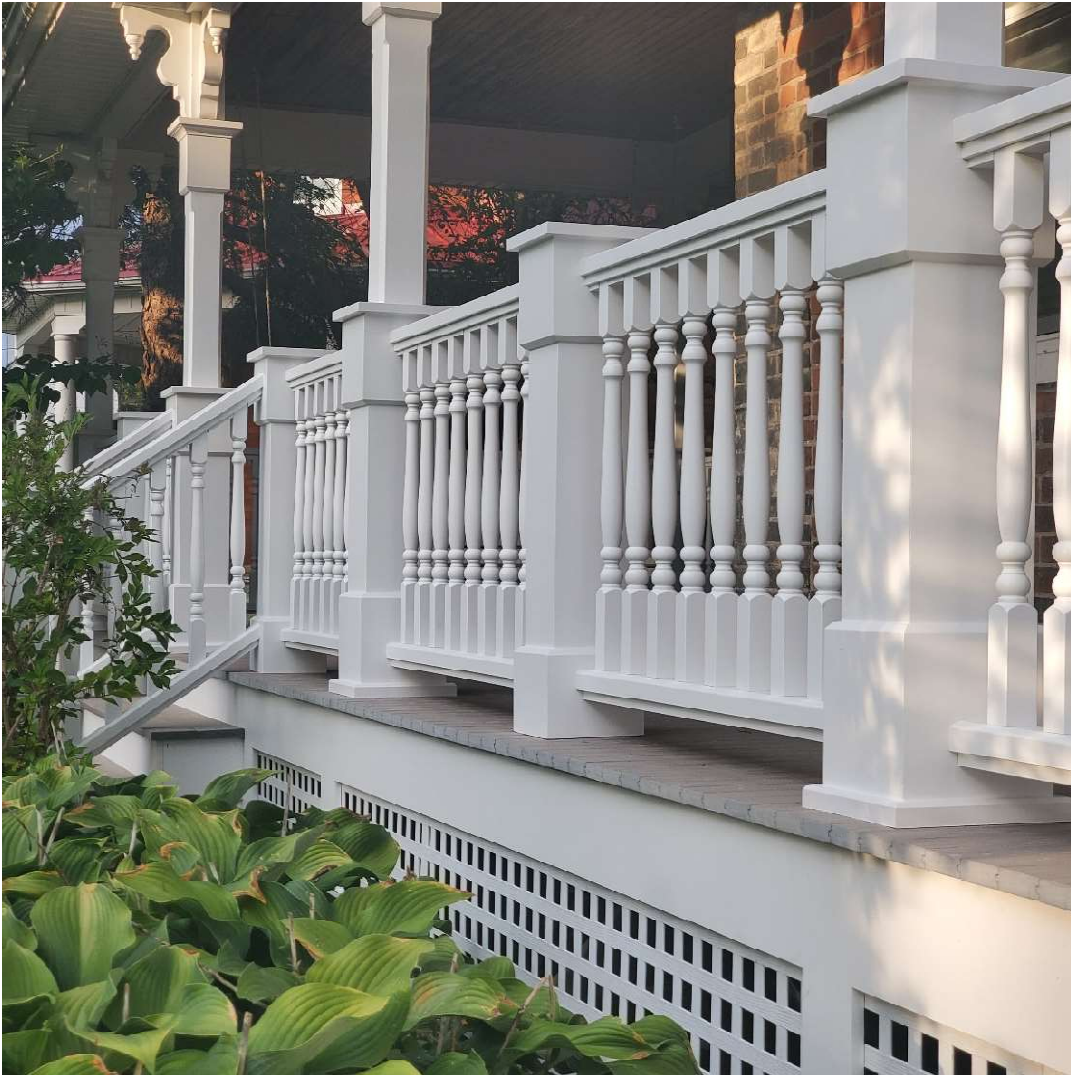


Photo above from a recent project showing an Accoya railing system that was milled to match this particular project, and cellular PVC skirting detail.

10. Aluminum 8" pan vented soffit, fascia, and eavestrough (Gentek Black to match remainder of house)

11. Paining

- Prime all new Accoya materials and paint two coats finish white to match existing house color.
- Paint all PVC skirting and rim board stringers and risers with AquaSurTech heat reflective paint to match existing house color.
- Porch Ceiling: Prime and paint two coats finish, or stain and finish as per client preference.

17 Ahrens Street West, Kitchener Front Porch Specifications

Page | 8 of 11

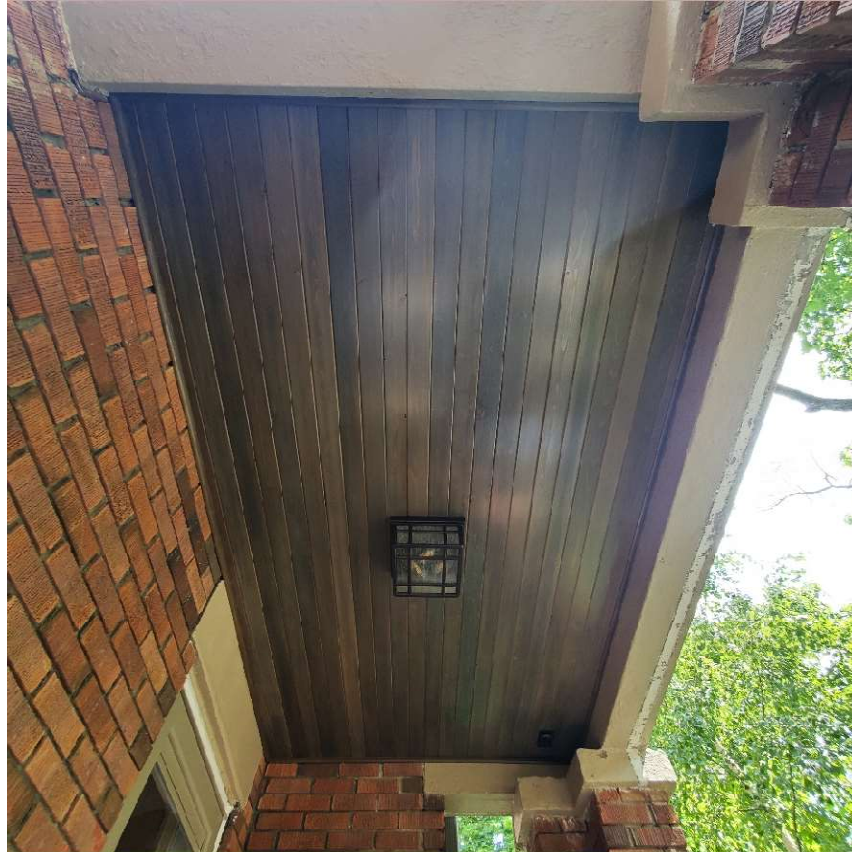


Photo above shows example of 3 ½" stained t&g cedar ceiling.

12. Front door Replacement

- Remove worn screen door and damaged/air leaky front door
- Install new 2 ½" smooth limestone door sill to replace rotten wood door sill
- Install new insulated steel Entryguard door c/w executive style panel style to mimic the look of wood and match the panel layout of the storm door. Glass to have applied mullions. Door painted Gentek Black.
- Install black Mirage roll screen to new front door in lieu of storm door.

**17 Ahrens Street West, Kitchener
Front Porch Specifications**

Page | 9 of 11



Above photo shows the Existing storm door style to be matched for main door.

17 Ahrens Street West, Kitchener Front Porch Specifications

Page | 10 of 11



Above photos are from heritage house renovation completed across the street. Photo on the left shows the existing door. Photo on the right shows the new Entry guard insulated steel door with Mirage roll screen applied.

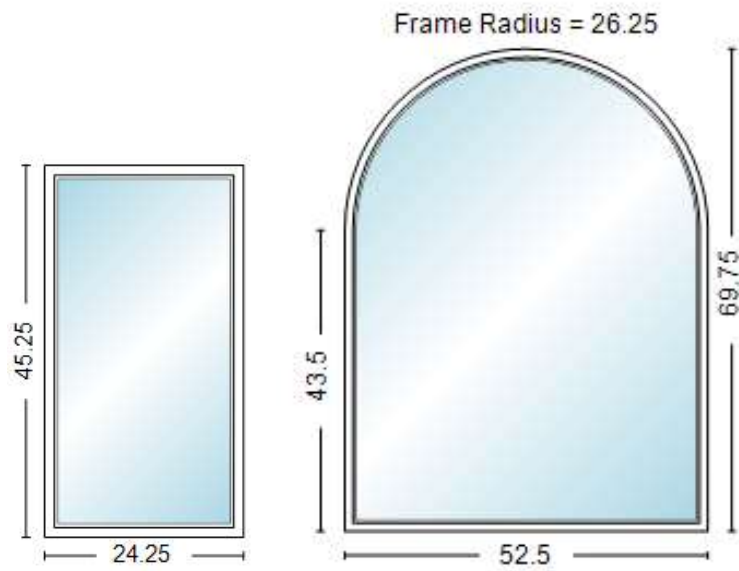
13. Replace two front porch windows.

- Remove two windows. Exterior wood sills and Interior casing to remain.
- Supply and install two fixed sash Strassburger vinyl windows – direct set c/w built out Accoya brick mould and mouldings to match existing and fit to masonry opening. Wood Windows and Accoya moldings all painted Gentek Black.
- Foam air seal around window from exterior.
- Caulk exterior of window and mouldings as required.

Note: All existing upper windows on face of house are vinyl windows.

17 Ahrens Street West, Kitchener Front Porch Specifications

Page | 11 of 11



Photos above show existing fixed windows being replaced.