



Heritage Kitchener Committee Agenda

Tuesday, April 2, 2024, 4:00 p.m. - 5:00 p.m.

Council Chambers

City of Kitchener

200 King Street W, Kitchener, ON N2G 4G7

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Chair - J. Haalboom

Vice-Chair - P. Ciuciura

Pages

1. **Commencement**
2. **Disclosure of Pecuniary Interest and the General Nature Thereof**
Members of Council and members of the City's local boards/committees are required to file a written statement when they have a conflict of interest. If a conflict is declared, please visit www.kitchener.ca/conflict to submit your written form.
3. **Delegations**
Pursuant to Council's Procedural By-law, delegations are permitted to address the Committee for a maximum of five (5) minutes.
 - 3.1 **Item 4.1 - Gillian Smith**
 - 3.2 **Item 4.2 - Candice Bogdanski**
4. **Discussion Items**

4.1	Draft Heritage Impact Assessment (HIA) - 236-264 Victoria Street North, DSD-2024-117	5 m	3
4.2	Heritage Permit Application HPA-2024-IV-006, 1385 Bleams Road, Removal of Garage, DSD-2024-148, DSD-2024-148	10 m	127
4.3	Notice of Intention to Designate - 10 Duke Street West under Part IV of the Ontario Heritage Act, DSD-2024-133	10 m	137
4.4	Notice of Intention to Designate - 91 Madison Avenue South under Part IV of the Ontario Heritage Act, DSD-2024-138	10 m	286
4.5	Bill 23 Municipal Heritage Register Review - April 2024 Update, DSD-2024-131	20 m	304
5.	Information Items		
5.1	Heritage Permit Application Tracking Sheet		348
6.	Adjournment		

Marilyn Mills
Committee Coordinator

REPORT TO: Heritage Kitchener

DATE OF MEETING: April 2, 2024

SUBMITTED BY: Garrett Stevenson, Director of Development and Housing Approvals, 519-741-2200 ext. 7070

PREPARED BY: Jessica Vieira, Heritage Planner, 519-741-2200 ext. 7291

WARD(S) INVOLVED: Ward 10

DATE OF REPORT: March 5, 2024

REPORT NO.: DSD-2024-117

SUBJECT: Draft Heritage Impact Assessment (HIA)
236-264 Victoria Street North

RECOMMENDATION:

For information.

BACKGROUND:

The Development and Housing Approvals Division is in receipt of a draft Heritage Impact Assessment (HIA) dated December 2023 and prepared by McNaughton Hermesen Britton Clarkson Planning Limited (MHBC), on behalf of Reinders and Law Ltd. The HIA relates to a submitted Official Plan Amendment and Zoning By-law Amendment (OPA24/001/V/CD and ZBA24/001/V/CD) for the properties municipally addressed as 236 and 264 Victoria Street North. The planning applications propose a mixed-used development comprised of three towers connected through a podium. The eastern-most tower, oriented towards St Leger Street, is proposed to be 40 storeys in height with an adjacent 18-storey mid-rise tower to the west. The western-most tower is proposed to be 35 storeys in height, and the connecting podium will range between 4-6 storeys. The development will provide a total of 1,076 dwelling units and 1,113 square metres of commercial space in addition to a mid-block public-private outdoor amenity space identified by a glass feature and other detailed landscaped elements.

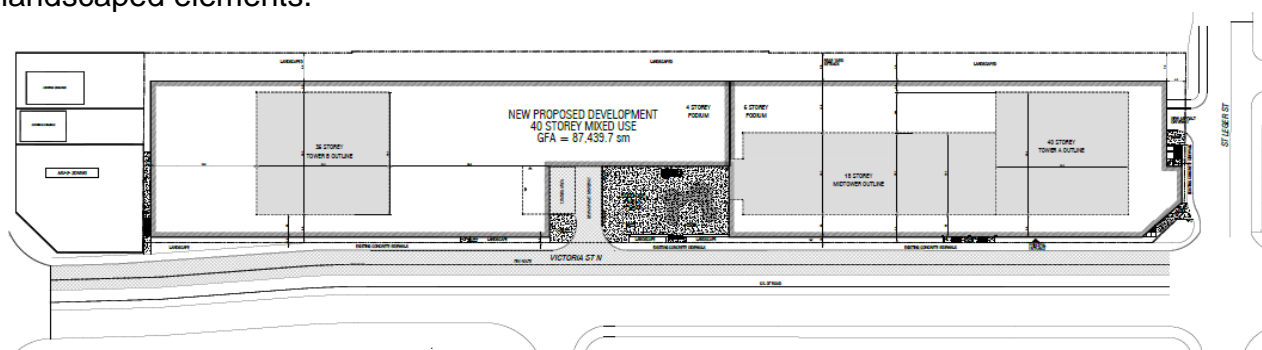


Figure 1: Proposed Site Plan with Tower Layout

*** This information is available in accessible formats upon request. ***
Please call 519-741-2345 or TTY 1-866-969-9994 for assistance.



Figure 2: Rendering of Proposed Development - View from Victoria & St Leger Street

As of the date of this report, 236 Victoria Street North contains a three-storey commercial building and surface parking lot. 264 contains a three-storey fitness facility and a surface parking lot. Neither of the subject properties have status under the *Ontario Heritage Act*, and both were reviewed in 2005 for the Heritage Kitchener Inventory and determined to have no heritage value or significance. The subject lands are, however, located within the Warehouse District Cultural Heritage Landscape (CHL) as per the Cultural Heritage Landscape Study completed in 2014 and approved by Council in 2015. The subject lands are also adjacent to identified heritage resources, including:

- To the south, properties designated under Part V of the *Ontario Heritage Act* and located within the Civic Centre Neighbourhood Heritage Conservation District
- To the south, the Civic Centre Neighbourhood Cultural Heritage Landscape; and
- To the north, the Canadian National Railway Line Cultural Heritage Landscape.

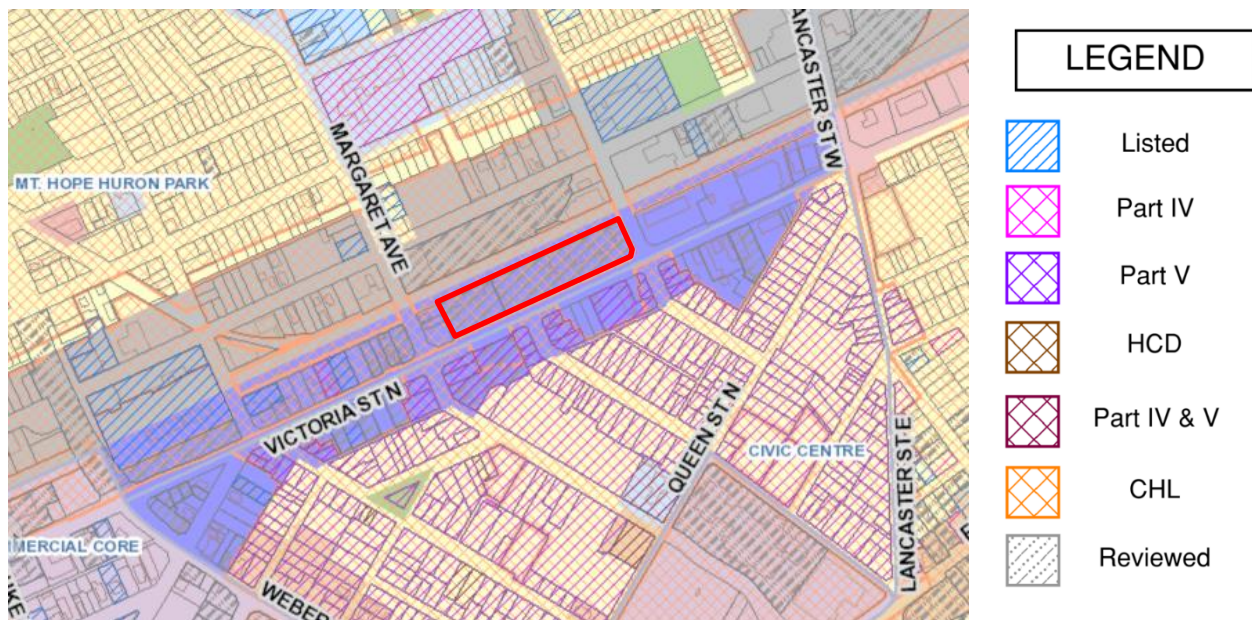


Figure 3: Location Map of Subject Property and Surrounding Heritage Resources

REPORT:

Evaluation Against Criteria 9/06

The draft HIA completed an evaluation of the subject properties using the criteria for designation determined by Ontario Regulation 9/06 (as amended by Ontario Regulation 569/22). It was determined that only one criteria was met, that being that the subject lands have a direct association with significant companies. A summary of this evaluation is provided below.

Criteria	Criteria Met (Yes/No)
1. The property has design value or physical value because it is a rare, unique, representative or early example of a style, type, material, or construction method.	No. 264 Victoria Street North contains a contemporary building, while 234 Victoria Street North contains a 1960's industrial facility that has undergone alterations to appear contemporary.
2. The property has design value or physical value because it displays a high degree of craftsmanship or artistic merit.	No. Contemporary materials and craftsmanship is displayed.
3. The property has design or physical value because it demonstrates a high degree of technical or scientific achievement.	No. Neither building exhibits a construction method or materials beyond their utilitarian function.

4. The property has historical value or associative value because it has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community.	Yes. The lands have associative value with Western Boot and Shoe Company, Greb Industries, and Bauer Hockey.
5. The property has historical or associative value because it yields, or has the potential to yield, information that contributes to an understanding of a community or culture.	No. The subject lands can not yield any further information or understanding of the community.
6. The property has historical value or associative value because it demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.	No. The building or architect of 234 Victoria Street North is unknown. There is no information available which suggests that the building or architect were significant to the community.
7. The property has contextual value because it is important in defining, maintaining or supporting the character of an area.	No. The buildings are contemporary in their use and appearance and do not maintain a relationship with the surrounding Warehouse District CHL or CN Railway CHL, or Civic Centre Neighbourhood.
8. The property has contextual value because it is physically, functionally, visually, or historically linked to its surroundings.	No. The subject lands do not have a significant relationship to their surroundings given the change in use and appearance.
9. The property has contextual value because it is a landmark.	No. The subject lands are not considered a landmark.

Impact Assessment

The Ontario Heritage Toolkit identifies potential negative impacts to heritage properties and associated heritage attributes as a result of proposed development or alterations. The draft HIA has concluded that the proposed development will not result in any of these impacts to the subject properties, the Cultural Heritage Landscapes, the adjacent Heritage Conservation District, or nearby designated properties. While no impacts are identified and therefore no mitigation measures are required, the HIA does identify that the associative value of the subject lands to Greb Industries and Bauer Hockey should be recognized through commemoration. The proposed development is to include a commemorative component or feature that acknowledges the history of the subject lands and may include integration of a feature within the interior or atrium of the proposed towers or a feature in the public-private courtyard along the Victoria Street frontage. The HIA identified the second as being the preferred option, as this would allow for the commemorative piece to be visible and accessible to the public. The completion of a Commemoration Plan is recommended to provide specific implementation details on the commemoration.

The applicant will be attending the April 2, 2024 meeting of the Heritage Kitchener Committee to answer any questions or concerns. Heritage Planning Staff have reviewed the HIA and provided detailed comments to the application to address areas that require further assessment or discussion. At this time, Heritage Planning Staff are also seeking the Committee's input and comments, which will be taken into consideration as part of the complete staff review and processing related to the associated Planning Act Application.

A copy of the HIA has been included as **Attachment A** in this report.

STRATEGIC PLAN ALIGNMENT:

This report supports the delivery of core services.

FINANCIAL IMPLICATIONS:

Capital Budget – The recommendation has no impact on the Capital Budget.

Operating Budget – The recommendation has no impact on the Operating Budget.

COMMUNITY ENGAGEMENT:

INFORM – This report has been posted to the City's website with the agenda in advance of the council / committee meeting.

PREVIOUS REPORTS/AUTHORITIES:

- Ontario Heritage Act, R.S.O 1990

APPROVED BY: Justin Readman, General Manager of Development Services

ATTACHMENTS:

Attachment A – Draft Heritage Impact Assessment (HIA) – 236-264 Victoria Street North

HERITAGE IMPACT ASSESSMENT

236 and 264 Victoria Street N,
Kitchener

Date:
December 2023

Prepared for:
Reinders+Law Ltd

Prepared by:
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MHBC

PLANNING
URBAN DESIGN
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ARCHITECTURE

Page 8 of 10

Table of Contents

1.0	Introduction.....	5
1.1	Report Overview	5
1.2	Scope of Heritage Impact Assessment	5
2.0	Overview	7
2.1	Description of Subject Lands.....	7
2.2	Heritage Status.....	8
3.0	Policy Overview	10
3.1	The Planning Act.....	10
3.2	Provincial Policy Statement (2020).....	10
3.3	Ontario Heritage Act	11
3.4	Waterloo Region Official Plan	11
3.5	City of Kitchener Official Plan	12
3.6	City of Kitchener CHL Study.....	14
4.0	Overview of Heritage Resources	15
4.1	Warehouse District Cultural Heritage Landscape	15
4.2	CN Railway Cultural Heritage Landscape.....	16
4.3	Civic Centre Neighbourhood Cultural Heritage Landscape	17
4.4	Civic Centre Neighbourhood Heritage Conservation District	18
4.5	Nearby Designated Properties.....	19
4.5.1	61 Ellen Street W.....	19
4.5.2	231 Victoria Street N.....	19
4.5.3	56 Ellen Street W/239 Victoria Street N.....	20
4.5.4	257 Victoria Street N	21
4.5.5	277 Victoria Street N	21
4.5.6	74 Margaret Street.....	22
5.0	Overview of Subject Lands.....	23
5.1	Current Conditions.....	23

5.2	Historic Overview: 236 Victoria Street North	24
5.2.1	Historic Overview: 264 Victoria Street North	27
6.0	Cultural Heritage Evaluation	30
6.1	Evaluation Criteria.....	30
6.2	Evaluation of subject lands.....	30
6.2.1	Summary.....	31
7.0	Proposed Development.....	34
8.0	Impact Assessment.....	35
8.1	Criteria	35
8.2	Subject Lands.....	36
8.3	Warehouse District CHL.....	37
8.4	CN Railway CHL	39
8.5	Civic Centre Neighbourhood CHL and HCD	40
8.6	Nearby Designated Properties.....	42
9.0	Recommendations.....	43
10.0	Conclusions	44
11.0	Sources	45
Appendix A – CHL Data Sheets		
Appendix B – Site Plan		
Appendix C – Shadow Study		
Appendix D – Report Figures		

Prepared For:

Reinders and Law Ltd

Prepared By:

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Senior Review

Gillian Smith, MSc *Heritage Planner*

Author & Research

EXECUTIVE SUMMARY

MHBC has been retained for cultural heritage planning services for the properties located at 236 and 264 Victoria Street North, Kitchener (subject lands). The owner of the subject lands is proposing to redevelop the lands with a high-density mixed-use development, which includes the removal of all structures on site and construction of three towers.

The intent of this HIA is to (1) to determine if the lands contain heritage resources by completing a cultural heritage evaluation and, (2) assess if any on-site or adjacent heritage resources will be negatively impacted by the proposed development.

The report concludes that the subject lands were originally the site of Greb Industries, one of the largest shoe manufacturers in Canada as well as Bauer Hockey, the largest international hockey equipment manufacturer. Additionally, a 1960's era industrial facility associated with Greb Industries (also Bauer Hockey) may be the office building at 236 Victoria Street North. The heritage evaluation concludes that the subject lands do not contain physical heritage attributes, however, the lands have a historical association to Greb Industries and Bauer Hockey, being that the lands were the original site of this significant company.

It is not expected that redevelopment of the lands will result in adverse impacts to the subject lands, given that no physical attributes remain on the lands. The historical value of the lands can be maintained through commemoration. It is recommended that a commemorative element be included in the proposed development to acknowledge the history of Greb Industries and Bauer Hockey. A separate Commemoration Plan is recommended to be completed to outline a specific commemorative strategy and should be completed as part of the site plan approval process.

The heritage impact assessment has also assessed potential impacts on the following nearby heritage resources:

- The properties at 236 and 264 Victoria Street which comprise the subject lands,
- the lands are part of the Warehouse District CHL,
- the lands are adjacent to the CN Railway CHL,
- the lands are across the street from the Civic Centre CHL and HCD, as well as
- across the street from nearby heritage properties within the Civic Centre HCD.

The impact assessment has concluded that the proposed development will not have adverse impacts on any of the identified nearby heritage resources.

1.0 Introduction

1.1 Report Overview

MHBC has been retained by Reinders and Law to undertake a Heritage Impact Assessment ('HIA') for the proposed redevelopment of 236-264 Victoria Street North, City of Kitchener (subject lands). The owner of the lands is proposing to demolish all structures on the subject lands and construct a high density mixed-use development consisting of a 35 storey tower, an 18 storey mid-tower and a 40 storey tower.

The purpose of this scoped HIA is to determine if the subject lands have heritage value, and to assess the impact of the proposed redevelopment on any of the surrounding heritage resources.

1.2 Scope of Heritage Impact Assessment

The City of Kitchener has requested a Scoped Heritage Impact Assessment. This report has been prepared in accordance with the scoped requirements provided in the pre-consultation document, as well as the Ontario Heritage Act infosheet #5. Specifically, this HIA includes the following:

1. Present owner contact information for properties proposed for development and/or site alteration.
2. Historic overview of the subject lands.
3. A description of the buildings, structures and landscape features on the subject lands as well as a chronological history of the buildings' development, such as additions and demolitions.
4. A statement of the conclusions regarding the cultural heritage value and interest of the subject lands as well as a bullet point list of heritage attributes.
5. An outline of the proposed development, its context, and how it will impact the adjacent designated heritage properties within the Civic Centre Neighbourhood Heritage Conservation District, and the Warehouse Cultural Heritage Landscape and adjacent Cultural Heritage Landscapes.
6. Consider potential negative impacts as identified in the Ministry of Tourism, Culture and Sport's Ontario Heritage Tool Kit.

7. Recommendations for mitigation measures for identified impacts should be provided.
8. A summary of applicable heritage conservation principles.
9. Recommendations
10. The qualifications and background of the person(s) completing the Heritage Impact Assessment shall be included in the report. The author(s) must demonstrate a level of professional understanding and competence in the heritage conservation field of study. The report will also include a reference for any literature cited, and a list of people contacted during the study and referenced in the report.

2.0 Overview

2.1 Description of Subject Lands

The subject lands are comprised of two parcels, addressed as 236 and 264 Victoria Street North. Together, the lands have an area of approximately 11,875m² (1.18 ha). The subject lands are located on the west side of Victoria Street, south of St. Leger Street, east of the CN Railway line, and north of Margaret Avenue.



Figure 1: Location of subject lands (Google Earth, 2023)

The property addressed as 236 Victoria Street North contains a three storey commercial building, referred to as 'Victoria Office Centre' and a surface parking lot. The property at 264 Victoria Street North contains a three storey fitness centre (LA fitness) and a surface parking area.

The surrounding area consists of a range of residential, commercial, institutional and industrial uses. The immediate surrounding context is described in detail below:

North: The CN railway and Victoria Street North continue, with commercial and industrial development along this corridor. Along the railway are residential and commercial uses, with predominantly low rise residential

uses further away from the railway and road corridor, extending east and west.

South: The lands abut a commercial restaurant located on the Margaret Street frontage. The CN railway continues south, with the VIA rail and GO transit stations about 315m to the south of the lands. There are some industrial and commercial uses along the railway corridor and along Victoria Street, leading into Downtown Kitchener.

East: The east side of Victoria Street North consists of low rise dwellings in the Civic Centre neighbourhood. There is a multiple residential development directly across the street from the subject lands that is currently under construction, as well as a planned development along Margaret Avenue, just south-east of Victoria Street.

West: The subject lands abut the CN Railway Line. West of the railway is an industrial building which is accessed from Breithaupt Street. Further north is low density development, consisting of detached dwellings, low rise apartments, Margaret Avenue School, as well as some light industrial uses, such as a collision centre and trades shops.

2.2 Heritage Status

In Ontario, there are several ways of recognizing heritage resources. Part IV, Section 27 of the *Ontario Heritage Act* requires that each municipality keep a public register of properties that are of cultural heritage value or interest. The register can contain properties that are either 'listed' or designated under Part IV, or that are designated as part of a Cultural Heritage District under Part V. Municipalities can also designate entire neighbourhoods as Conservation Districts, or recognize certain areas as Cultural Heritage Landscapes.

In order to confirm the presence of identified cultural heritage resources, several databases were consulted such as: City of Kitchener Heritage Register, City of Kitchener Official Plan, City of Kitchener CHL Study Report, the Ontario Heritage Act Register (Ontario Heritage Trust), and the Canadian Register of Historic Places.

The subject lands are not listed or designated on the Heritage Property Register for Kitchener, however, they are located within the Warehouse District Cultural Heritage Landscape. The subject lands are also adjacent to a number of heritage resources:

- Civic Centre Neighbourhood Cultural Heritage Landscape
- Canadian National Railway Line Cultural Heritage Landscape
- Civic Centre Neighbourhood Heritage Conservation District, and designated properties:
 - 61 Ellen Street W
 - 231 Victoria Street N
 - 56 Ellen Street W/239 Victoria Street N
 - 257 Victoria Street N
 - 277 Victoria Street N
 - 74 Margaret Street

Refer to **Appendix D, figure 1** for a location map of the heritage resources.

3.0 Policy Overview

3.1 The Planning Act

The *Planning Act* makes a number of provisions respecting cultural heritage, either directly in Section 2 of the Act or Section 3 respecting policy statements and provincial plans. In Section 2, the *Planning Act* outlines 18 spheres of provincial interest that must be considered by appropriate authorities in the planning process. Regarding cultural heritage, Subsection 2(d) of the Act provides that:

The Minister, the council of a municipality, a local board, a planning board and the Municipal Board, in carrying out their responsibilities under this Act, shall have regard to, among other matters, matters of provincial interest such as,

(d) the conservation of features of significant architectural, cultural, historical, archaeological or scientific interest;

The *Planning Act* therefore provides for the overall broad consideration of cultural heritage resources through the land use planning process.

3.2 Provincial Policy Statement (2020)

In support of the provincial interest identified in Subsection 2 (d) of the *Planning Act*, and as provided for in Section 3, the Province has refined policy guidance for land use planning and development matters in the *Provincial Policy Statement, 2020* (PPS). The PPS is “intended to be read in its entirety and the relevant policy areas are to be applied in each situation”. This provides a weighting and balancing of issues within the planning process. When addressing cultural heritage planning, the PPS provides for the following:

2.6.1 Significant built heritage resources and significant cultural heritage landscapes shall be conserved.

The PPS also states in Sub-section 2.6.3 that,

Planning authorities shall not permit development and site alteration on adjacent lands to a protected heritage property except where the proposed development and site alteration has been evaluated and it has been

demonstrated that the heritage attributes of the protected heritage property will be conserved.

The following definitions are provided in Section 6.0:

Heritage attributes. means the principal features or elements that contribute to a protected heritage property's cultural heritage value or interest, and may include the property's built, constructed, or manufactured elements, as well as natural landforms, vegetation, water features, and its visual setting (e.g. significant views or vistas to or from a protected heritage property).

Protected Heritage Property: means property designated under Parts IV, V or VI of the Ontario Heritage Act; property subject to a heritage conservation easement under Parts II or IV of the Ontario Heritage Act; property identified by the Province and prescribed public bodies as provincial heritage property under the Standards and Guidelines for Conservation of Provincial Heritage Properties; property protected under federal legislation, and UNESCO World Heritage Sites.

Significant. e) in regard to cultural heritage and archaeology, resources that have been determined to have cultural heritage value or interest. Processes and criteria for determining cultural heritage value or interest are established by the Province under the authority of the Ontario Heritage Act.

3.3 Ontario Heritage Act

The *Ontario Heritage Act*, R.S.O. 1990, c.0.18 remains the guiding legislation for the conservation of significant cultural heritage resources in Ontario. The Ontario Act provides under section Part IV that Municipalities are to maintain public registers of listed or designated properties. Under Part V municipalities can designate entire areas as Heritage Conservation Districts, thereby designating properties within the boundaries of the district. Municipalities are also able to define specific areas referred to as Cultural Heritage Landscapes.

3.4 Waterloo Region Official Plan

Chapter 3 of the Regional Official Plan provides policies on Cultural Heritage. The Region in tandem with the Area Municipalities will conserve and identify cultural heritage resources. Relevant policies applicable to this proposal include:

- The Region and Area Municipalities will ensure that cultural heritage resources are conserved.

- Area Municipalities will identify cultural heritage resources by establishing and maintaining a register of properties that are of cultural heritage value or interest. Area Municipalities will include on their register properties designated under Part IV, V or VI of the Heritage Act, and will consider including, but not be limited to, the following additional cultural heritage resources of cultural heritage value or interest:
 - a) properties that have heritage conservation easements or covenants registered against title;
 - b) cultural heritage resources of Regional interest; and
 - c) cultural heritage resources identified by the Grand River Conservation Authority and the Federal or Provincial governments.
- Area Municipalities will designate Cultural Heritage Landscapes in their official plans and establish associated policies to conserve these areas. The purpose of this designation is to conserve groupings of cultural heritage resources that together have greater heritage significance than their constituent elements or parts.
- Area Municipalities will establish policies in their official plans to require the submission of a Cultural Heritage Impact Assessment in support of a proposed development that includes or is adjacent to a designated property, or includes a non-designated resource of cultural heritage value or interest listed on the Municipal Heritage Register.
- Cultural Heritage Impact Assessments may be scoped or waived by the Region or the Area Municipality as applicable.

3.5 City of Kitchener Official Plan

Part C, Section 12 provides policies on Cultural Heritage Resources. It is the objective of the City to conserve cultural heritage resources and their heritage values, attributes and integrity, to ensure that all development is sensitive to and respects cultural heritage resources, and to increase public awareness and appreciation for cultural heritage resources.

The Official Plan sets out a number of policies surrounding the identification and conservation of heritage resources and the function of the Municipal Heritage Committee. Section 12 of the Official Plan provides the policies that are specific to cultural heritage resources. Relevant policies to this HIA include:

12.C.13 The City will develop, prioritize and maintain a list of cultural heritage resources which will include the following:

- a) properties listed as non-designated properties of cultural heritage value or interest on the Municipal Heritage Register;*
- b) properties designated under Part IV and V of the Ontario Heritage Act;*
- c) cultural heritage landscapes; and, heritage corridors.*

The list may also include cultural heritage resources identified in Federal, Provincial and Regional inventories and properties listed on the Heritage Kitchener Inventory of Historic Buildings until such time as these properties are re-evaluated and considered for listing on the Municipal Heritage Register.

12.C.1.21. All development, redevelopment and site alteration permitted by the land use designations and other policies of this Plan will conserve Kitchener's significant cultural heritage resources. The conservation of significant cultural heritage resources will be a requirement and/or condition in the processing and approval of applications submitted under the Planning Act.

12.C.1.23 The City will require the submission of a Heritage Impact Assessment and/or Heritage Conservation Plan for development, redevelopment and site alteration that has the potential to impact a cultural heritage resource and is proposed:

- a) on or adjacent to a protected heritage property*
- b) on or adjacent to a heritage corridor*
- c) on properties listed as non-designated of cultural heritage value or interest on the Municipal Heritage Register*
- d) on or adjacent to an identified cultural heritage landscape.*

12.C.1.27. Any conclusions and recommendations of the Heritage Impact Assessment and Heritage Conservation Plan approved by the City will be incorporated as mitigative and/or conservation measures into the plans for development or redevelopment and into the requirements and conditions of approval of any application submitted under the Planning Act.

3.6 City of Kitchener CHL Study

The Provincial Policy Statement (2020) defines a CHL as an area that is identified as having cultural heritage value or interest by a community and may involve structures, spaces, archaeological sites or natural elements that are valued together for their interrelationship, meaning or association. The City of Kitchener completed a Cultural Heritage Landscape Study in 2014 which identified 30 CHL's. The Study identified nine types of landscapes, including: residential neighbourhoods; parks, natural areas and other public/private open space; transportation corridors and streetscapes; institutional landscapes; commercial, industrial and retail landscapes; agricultural landscapes; large lot residential/estate landscapes; cemeteries; and, Grand River valley landscapes. As per Appendix 4 of the Study, the subject lands are within the Warehouse District CHL and are adjacent to the CN Railway CHL and Civic Centre Neighbourhood CHL. The Civic Centre Neighbourhood is also a Heritage Conservation District, designated under Part V of the Ontario Heritage Act

4.0 Overview of Heritage Resources

4.1 Warehouse District Cultural Heritage Landscape

The subject lands are within the Warehouse District Cultural Heritage Landscape, characterized as an industrial and commercial landscape.

Many of the original warehouse and factory buildings remain. There are limited trees along corridors which make the area highly visible. The area buildings are consistent in design with tall floors and large windows and show the evolution from brick construction to concrete and steel.

Character defining elements include: "Industrial landmarks historically important to the City and in many ways Kitchener's reason for developing as an urban industrial centre" (City of Kitchener, 2014). The Warehouse District retains:

- historical identity as it has been consistently used for the same purpose since the railway arrived and retains several buildings;
- Cultural Value as it informs the development history of Kitchener and is contextually important to surrounding neighbourhoods;
- Community value as it is a source of employment for residents.



Figure 2: Excerpt from the Cultural Heritage Landscape Study Appendix 6 (City of Kitchener, 2014)

The subject lands are located within the Warehouse District CHL, on the eastern most boundary of the area.

4.2 CN Railway Cultural Heritage Landscape

The subject lands are located south of the Canadian National Railway Cultural Heritage Landscape. The CN Railway was contrasted in 1856 as part of the Grand Trunk Railway network. The arrival of the Grand Trunk spurred the industrial development along the railway corridor from Wellington Street and Victoria Street which parallel the track. Many of the abutting land uses have remained industrial and commercial, with residential area on the periphery. The core industrial uses that once prevailed are being phased out and the use of the railway for commuters has increased with the expansion of the GO network.

Character defining elements include:

- Industrial and commercial districts and residential neighbourhoods along the rail line
- Engineering works including bridges and the 1908 station
- Mix of vegetation and open space along the alignment.

4.3 Civic Centre Neighbourhood Cultural Heritage Landscape

The subject lands are located north of the Civic Centre Neighbourhood Cultural Heritage Landscape, which is known for its residential character and its wealth of well-maintained homes of the 1880's to 1900's. There are a variety of unique buildings including churches and commercial buildings which are landmarks within the edges of the neighbourhood. The streets are framed by mature trees, grassed boulevards and the consistency of the streetscapes with houses having similar setbacks and massing. The neighbourhood helps to tell the story of Kitchener's growth at the turn of the 19th century.

Character defining elements include:

- Majority of the original buildings to the area
- Many well maintained finely detailed buildings
- Unique landmarks including churches and commercial buildings.



Figure 3: Excerpt from the Cultural Heritage Landscape Study Appendix 6. Subject lands noted by red star (City of Kitchener, 2014)

4.4 Civic Centre Neighbourhood Heritage Conservation District

Part V of the *Ontario Heritage Act* permits Municipalities the ability to designate entire areas as cultural heritage resources, referred to as Heritage Conservation Districts. The City of Kitchener has identified the area to the south of the subject lands, consistent with the Civic Centre Neighbourhood Cultural Heritage Landscape boundary as a heritage district.

The Civic Centre Neighbourhood Heritage Conservation District (CCHCD) tells the story of Kitchener's growth at the turn of the 19th century and development of the industrial sector. Most of the houses were built between 1880 and 1917, occupied by key industry leaders. The CCHCD is one of the oldest neighbourhoods and retains a large number of original buildings, with Queen Anne, Georgian and Italianate styles as well as Berlin Vernacular, unique to Kitchener. The streetscapes are framed by mature trees, linear streets and consistent building setbacks.

Key heritage attributes include:

- Its association with important business and community leaders during a key era of development
- A wealth of well maintained, finely detailed buildings from the late 1800's and early 1900's that are intact
- Unique buildings, including churches and commercial buildings, which provide distinctive landmarks within the edges of the district
- Range of recognizable architectural styles and features including attic gable roofs, decorative trim, brick construction, porches and other details associated with the era
- The presence of an attractive and consistent streetscape linked by mature trees, grassed boulevards and laneways
- Hibner Park, Kitchener's second oldest city park

The subject lands are located across the street from the CCHCD and do not contribute to the heritage attributes of the district.

4.5 Nearby Designated Properties

4.5.1 **61 Ellen Street W**

The property is located within both the Civic Centre Neighbourhood Cultural Heritage Landscape and Cultural Heritage District and is designated under Part V. It is situated at the corner of Victoria Street North and Ellen Street West. The property contains a two storey brick dwelling, consisting of three semi-detached houses. The building is constructed of brick, which has been painted. The building is representative of the Edwardian architectural style, evident in its simple and symmetrical design, front porch, and hip roof.

The building is located across the street from the subject lands.



Figure 4: front façade of 61 Ellen Street (MHBC, 2023)

4.5.2 **231 Victoria Street N**

This property is located within both the Civic Centre Neighbourhood Cultural Heritage Landscape and Cultural Heritage District and is designated under Part V. The property is located adjacent to 61 Ellen Street and is on the south side of Victoria Street North. The property contains a two storey detached dwelling. The dwelling is constructed of brick. The original front porch has been enclosed. The dwelling is representative of workers housing, generally intended for working-class residents with limited detailing.

The subject lands are located across the street from the heritage property.



Figure 5: front façade of 231 Victoria Street (MHBC, 2023)

4.5.3 **56 Ellen Street W/239 Victoria Street N**

The property is located within both the Civic Centre Neighbourhood Cultural Heritage Landscape and Cultural Heritage District and is designated under Part V. The property is located at the south-west intersection of Victoria Street North and Ellen Street. The property contains a two storey brick dwelling, constructed in the Berlin Vernacular style. This was a popular style of home that emerged across the Kitchener-Waterloo area in the 20th century and most prominently features clustered gables. There is a contemporary rear addition to the dwelling.

The subject lands are located across the street from the heritage property.



Figure 6: front façade of 56 Ellen Street (MHBC, 2023)

4.5.4 **257 Victoria Street N**

The property is located within both the Civic Centre Neighbourhood Cultural Heritage Landscape and Cultural Heritage District and is designated under Part V. The property is located on the south side of Victoria Street North across from the subject lands. The property contains a 1 ½ storey dwelling, as well as a single storey industrial building. Both buildings are clad in aluminium siding. The dwelling is representative of the Ontario Gothic Cottage style, evident in the centred gable and symmetrical entrance. There is a brick chimney, suggesting that the dwelling was originally constructed of brick, and has since been covered with the aluminium siding. The industrial building may be contemporary to the property. The property currently functions as an industrial site, specializing in recycling of metal.



Figure 7: front façade of 257 Victoria Street (MHBC, 2023)

4.5.5 **277 Victoria Street N**

The property is located within both the Civic Centre Neighbourhood Cultural Heritage Landscape and Cultural Heritage District and is designated under Part V. The property is located at the south-east corner of Victoria Street North and St. Leger Street. The property contains a semi-detached dwelling. While the property contains one building, divided into two semi-detached units, only the unit at 277 Victoria Street N is identified as a heritage resource. The unit is constructed of brick and has a front and rear addition. The entirety of the dwelling was constructed in the Georgian architectural style, however, appears to have been altered to accommodate two units, including the removal of the front windows.

The subject lands are located across the street from the heritage property.



Figure 8: Side façade of 277 Victoria Street (in blue) (MHBC, 2023)

4.5.6 **74 Margaret Street**

The property is located within both the Civic Centre Neighbourhood Cultural Heritage Landscape and Cultural Heritage District and is designated under Part V. The property is located at the south-west corner of Victoria Street North and Margaret Avenue. The property contains a detached dwelling, representative of the Tudor style, evident in the steep gable and overlapping gables, rounded drip mold entrance and primarily brick construction. There is a contemporary rear addition.

The subject lands are located across the street from the heritage property.



Figure 9: Front façade of 74 Margaret Street (MHBC, 2023)

5.0 Overview of Subject Lands

5.1 Current Conditions

The subject lands are located east of the CN rail line and on the west frontage of Victoria Street North between Margaret Avenue and St. Leger Street. The lands comprise two parcels, each of which contain two commercial buildings and a large surface parking area. There are no natural features on the lands.



Figure 10: building located at 236 Victoria Street North (MHBC, 2023)



Figure 11: building located at 264 Victoria Street North (MHBC, 2023)

5.2 Historic Overview: 236 Victoria Street North

The property at 236 Victoria Street North is legally described as part lots 29 to 34 plan 374. The property appears in the 1925 Fire Insurance Plan and is shown as several properties, including five houses oriented to the Victoria Street frontage addressed as 208, 212, 216, 220 and 224 Victoria Street North. There is no structure where the building is currently located.



Figure 12: Overlay of 1925 Fire Insurance Plan on existing aerial, showing the subject property at what is now 236 Victoria Street North (Underwriters' Survey Bureau, 1925)

The 1947 Fire Insurance Plan shows no change to the property at 236 Victoria Street North, and similarly through to the 1954 aerial photograph, there is no change. However, by 1968 the houses along Victoria Street North have been demolished and a factory building was constructed.



Figure 13: Row of houses at what is now 236 Victoria Street N (University of Toronto, 1954)



Figure 14: Expansion to Greb Industries, showing a factory at what is now 236 Victoria Street N (Department of Energy, Mines and Resources, 1968)

The factory building illustrated in figure 14 is likely a result of the 1965 merger of Greb Industries and the Western Shoe company, resulting in a large expansion to the existing shoe facility. The facility produced Bauer skates, which was a subsidiary of Greb Industries. The Bauer Factory was sold in 1972 to Warrington Inc, and later acquired by Nike. The factory also appears on a 1967 map and the 1976 Topographic Map.

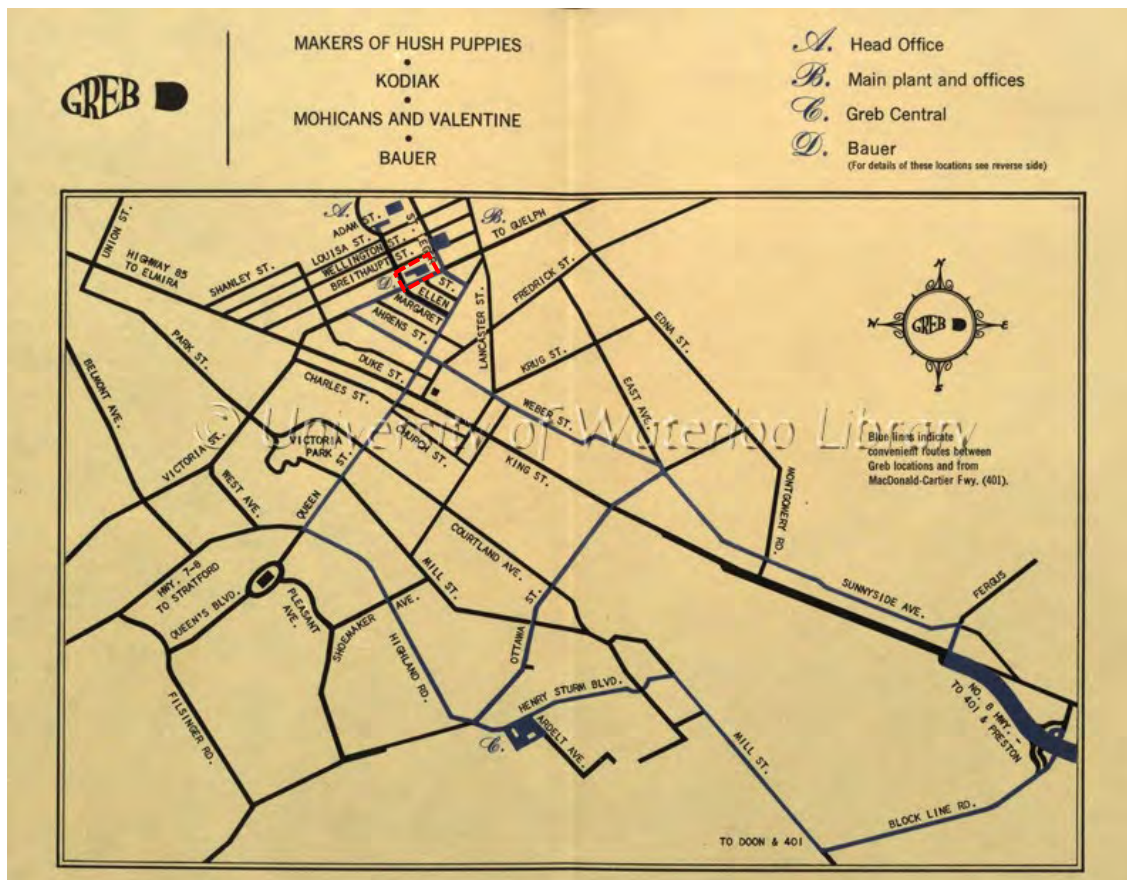


Figure 15: Greb manufacturing location map c. 1967. The factory was the producer of Bauer (University of Waterloo, 2023)



Figure 16: Expansion to Greb Industries, showing a factory at what is now 236 Victoria Street N (Department of Energy, Mines and Resources, 1976)

The majority of the Bauer facility was removed likely when Nike purchased the company and relocated production, sometime between 1990 and 2000. It is possible that a portion of the 1960's building was retained and renovated to accommodate the office building, which now occupies 236 Victoria Street North.

5.2.1 *Historic Overview: 264 Victoria Street North*

The property at 264 Victoria Street North is legally described as part lots 34 to 42 plan 374. The property was the original site of the Western Shoe Company (c. 1908) as well as the Baetz Brothers Furniture Company Limited, both identified on the 1925 Fire Insurance Plan. The land title records indicate that both companies acquired the property in 1908. The Western Shoe Co Ltd is listed in the 1918 Directory as located at 236 Victoria Street, and the Baetz Brothers Furniture Co is listed as residing at 264 Victoria Street. The property at 236 Victoria Street would later merge with the abutting residential lands to the south and become where it is today.



Figure 17: Overlay of the 1925 Fire Insurance Plan showing the Baetz Brothers Furniture Co. (Underwriters' Survey Bureau, 1925)

Roy Charles Bauer was the president of the Western Shoe Company and began producing skates in the 1920's, which would become internationally known as Bauer Hockey (Waterloo Region Generations, 2023). Bauer developed the first skate with a blade attached to the boot, which changed the way hockey was played (Bauer Hockey, 2016). According to the land title records, Greb Industries merged with the Western Shoe Company in 1965. Greb Industries was Canada's largest shoe manufacturer and

had acquired various shoe companies across Canada, producing Hush Puppies, Kodiak Boots, and Bauer Skates (University of Waterloo, 2023). The property at what is now 264 Victoria Street was the location of the original company. The property would be the location where Bauer skates were produced.

The property was also the location of the Baetz Brothers Furniture Company, which consisted of Jacob and Charles Baetz who specialized in manufacturing table and floor lamps (Grey Roots Museum and Archives, 2023). Their father, Jacob Baetz built the factory for the brothers in 1908 (Grey Roots Museum and Archives, 2023). The Baetz Brothers acquired Anthes Manufacturing Company in 1920, forming the Anthes Baetz Furniture Company in 1965. At some point in the 1960's, Greb Industries expanded their production facility to occupy the entirety of 264 and 236 Victoria Street North.



Figure 18: 1945 aerial photo showing factory buildings on 264 Victoria Street North (University of Waterloo)



Figure 19: By the 1960's Greb Industries (Bauer Hockey) would occupy the entirety of the lands (Department of Energy, Mines and Resources, 1976)

The factory building at 264 Victoria Street North was removed sometime after Bauer Hockey was acquired by Nike and production was most likely relocated, likely between 1990 and 2000. The existing commercial/fitness centre building was constructed sometime between 2000 and 2002 (Churchill investments, 2023).

6.0 Cultural Heritage Evaluation

6.1 Evaluation Criteria

The *Ontario Regulation 9/06* is the legislated criteria for determining cultural heritage value or interest and is issued under the *Ontario Heritage Act*. In order for a property to be listed on a municipal heritage register it must at least one of the criteria, and in order for a property to be considered for designation it must meet a minimum of two criteria. This criterion assess heritage value as follows:

1. *Is a rare, unique, representative or early example of a style, type, expression, material or construction method,*
2. *Displays a high degree of craftsmanship or artistic merit, or*
3. *Demonstrates a high degree of technical or scientific achievement.*
4. *Has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community,*
5. *Yields, or has the potential to yield, information that contributes to an understanding of a community or culture, or*
6. *Demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.*
7. *Is important in defining, maintaining or supporting the character of an area,*
8. *Is physically, functionally, visually or historically linked to its surroundings, or*
9. *Is a landmark.*

6.2 Evaluation of subject lands

The cultural heritage value or interest of 236 and 264 Victoria Street North has been completed using the prescribed criteria.

Criterion	Subject Lands
	Yes/ No
1. <i>Is a rare, unique, representative or early example of a style, type, expression, material or construction method,</i>	No
2. <i>Displays a high degree of craftsmanship or artistic merit, or</i>	No

3. <i>Demonstrates a high degree of technical or scientific achievement.</i>	No
4. <i>Has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community,</i>	Yes
5. <i>Yields, or has the potential to yield, information that contributes to an understanding of a community or culture, or</i>	No
6. <i>Demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.</i>	No
7. <i>Is important in defining, maintaining or supporting the character of an area,</i>	No
8. <i>Is physically, functionally, visually or historically linked to its surroundings, or</i>	No
9. <i>Is a landmark.</i>	No

6.2.1 **Summary**

The subject lands were the original site of the Western Boot and Shoe Company, which would become Greb Industries, and later Bauer Hockey. The property at 236 Victoria Street North may also contain a 1960's factory, associated with Greb Industries and Bauer Hockey.

Criterion 1

Is a rare, unique, representative or early example of a style, type, expression, material or construction method

The subject lands do not contain a building that is rare, unique, representative or early example of a style, type, expression, material or construction method. The property at 264 Victoria Street North contains a contemporary building. The property at 234 Victoria Street North may contain a 1960's industrial facility associated with Greb Industries and Baur Hockey, however, the building does not meet criterion 1 given that it has undergone alterations to appear as a contemporary building and does not reflect that of its original industrial use.

Criterion 2

Displays a high degree of craftsmanship or artistic merit

The subject lands do not contain buildings which are of a high degree of craftsmanship or artistic merit. Both buildings on the lands are indicative of contemporary materials and craftsmanship.

Criterion 3

Demonstrates a high degree of technical or scientific achievement

The subject lands do not contain buildings which are of a high degree of technical or scientific achievement. Both buildings on the subject lands are of a contemporary style and do not contain construction methods or materials that are exceptional beyond their utilitarian function.

Criterion 4

Has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community

The subject lands have associative value with a significant company. The lands were the original location of the Western Boot and Shoe Company, later to be acquired by Greb Industries, the largest shoe manufacturer in Canada during the 20th century, as well as Bauer Hockey, an international hockey apparel brand that was founded on the lands.

Criterion 5

Yields, or has the potential to yield, information that contributes to an understanding of a community or culture

The subject lands do not have the potential to yield any further information or understanding of the community. Any information that the lands yielded has been realized.

Criterion 6

Demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community

The builder or architect of the 1960's Greb Industries building is unknown. Should this information be made available, it can be added to the historic record. Notwithstanding, there is no available information which suggests that the subject lands contain the work or idea of an architect or builder significant to the community.

Criterion 7

Is important in defining, maintaining or supporting the character of an area

The subject lands do not contribute to the character of the area. The original factories from 1908 have been removed. While a 1960's factory may still reside on the lands, both buildings are contemporary in their use and appearance. The existing buildings do not maintain a relationship to the surrounding area Warehouse District or CN Railway CHL. The character of the Civic Neighbourhood does not extend or apply to the lands.

Criterion 8

Is physically, functionally, visually or historically linked to its surroundings

The subject lands do not have a significant relationship to their surroundings given the change in use.

Criterion 9

Is a landmark.

The subject lands are not considered a landmark.

7.0 Proposed Development

The owner of the subject lands is proposing to demolish the two existing commercial buildings and construct a high density mixed-use development. The proposed development will consist of three towers that will be connected via a podium. The tower oriented to St. Leger Street will be 44 storeys with an 18 storey mid-tower connected to the rear. A 4-6 storey podium will connect to a 35 storey tower oriented to the intersection of Margaret Avenue and Victoria Street.



Figure 20: Rendering of proposed development

The mixed-use buildings propose a total of 1,076 residential units with 1,113m² of commercial and retail space located along the ground floor of the Victoria Street elevation. Vehicular access will be provided via a driveway connection from Victoria Street. There is one level of underground parking provided. Common amenity area is proposed to be located on the roof of the 4 storey podium. A public-private space is proposed mid-block of the development. This space will be identified by a coloured glass feature of the podium and will be available as a passive recreational area open to both pedestrians and residents. The development also includes detailed landscaped elements, including seating, a stone wall with plantings, trees and a small boulevard-esq feature to separate the sidewalk from the development site. The full architectural package is included as **Appendix B**.

8.0 Impact Assessment

8.1 Criteria

The impacts of a proposed development or change to a cultural heritage resource may be direct or indirect. They may occur over a short term or long term duration, and may occur during a pre-construction phase, construction phase or post-construction phase. Impacts to a cultural heritage resource may also be site specific or widespread, and may have low, moderate or high levels of physical impact.

The following sub-sections of this report provide an analysis of the impacts which may occur as a result of the proposed development in accordance with the Ontario Heritage Toolkit.

- **Destruction:** of any, or part of any *significant heritage attributes* or features;
- **Alteration:** that is not sympathetic, or is incompatible, with the historic fabric and appearance;
- **Shadows:** created that alter the appearance of a *heritage attribute* or change the viability of a natural feature or plantings, such as a garden;
- **Isolation:** of a *heritage attribute* from its surrounding environment, context or a significant relationship;
- **Direct or Indirect Obstruction:** of significant views or vistas within, from, or of built and natural features;
- **A change in land use:** such as rezoning a battlefield from open space to residential use, allowing new development or site alteration to fill in the formerly open spaces;
- **Land disturbances:** such as a change in grade that alters soils, and drainage patterns that adversely affect a cultural heritage resource.

This report utilizes guides published by the *International Council on Monuments and Site (ICOMOS)*, Council of UNESCO, from the World Heritage Convention of January of 2011. The grading of impact is based on "Guide to Assessing Magnitude of Impact" as a framework for this report. The level of impact is classified as one of the following:

- Potential/negligible: slight changes to historic building elements or setting that hardly affect it.
- None: no change
- Minor: change to key historic elements such that the asset is slightly different

- Moderate: Change to many key historic building elements, such that the resource is significantly modified.
- Major: Change to key historic building elements that contribute to the cultural heritage value or interest (CHVI) such that the resource is totally altered. Comprehensive changes to the setting.

8.2 Subject Lands

Criteria	Impact	Analyses
Destruction or alteration of heritage attributes	None	No heritage attributes have been identified on 236 or 264 Victoria Street. Both buildings on site are contemporary in their design and are not representative of the former industrial use of the lands. No heritage attributes have been identified, and therefore the proposed development will not alter or cause destruction to heritage attributes.
Shadows	None	The subject lands do not contain heritage attributes or natural heritage features which contribute to the heritage value of the lands. Shadows will therefore not alter the appearance of heritage attributes.
Isolation	None	The subject lands are currently in commercial use and are not associated with their former industrial context, or character of the Warehouse District or CN Rail CHL's. The proposed development will therefore not isolate the subject lands or heritage attributes.
Direct or Indirect Obstruction of Views	None	The subject lands do not contain heritage attributes and do not provide for significant views of heritage attributes. The removal of the buildings and construction of new buildings will not obstruct significant views.
A Change in Land Use	None	The subject lands are currently used as an office and a fitness centre. Developing the lands for mixed-use residential and commercial will not result in a change in land use which impacts heritage value or attributes.

Land Disturbance	None	No heritage attributes have been identified; therefore, no land disturbances are anticipated.
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No adverse impacts have been identified for the subject lands. The subject lands do not have physical heritage attributes which would be impacted by development. The heritage value of the lands is vested in their association with a significant company, and is not physically manifested or represented. While the property at 236 Victoria Street North may contain a 1960's era industrial facility, the building has been altered and the former factory is not representative of its original form and does not retain heritage integrity. The proposed development, which includes the removal of all structures on the subject lands, will therefore not impact heritage attributes as no heritage attributes have been identified.

The significant association to Bauer Hockey can be maintained by the integration of a commemorative component to be included in the proposed development. Details on a commemorative feature are provided in Section 9.0.

8.3 Warehouse District CHL

Criteria	Impact	Analyses
Destruction or alteration of heritage attributes	None	The subject lands do not contain heritage attributes which contribute to the heritage value of the CHL. There will be no destruction or alteration to heritage attributes of the CHL as a result of the proposed development.
Shadows	None	A shadow study has been completed for the proposed development (included as Appendix C). The new development will generate some shadowing. While shadows will be cast on the CHL, no heritage attributes or natural features will be impacted or altered by the shadows.
Isolation	None	The subject lands do not support heritage attributes of the CHL. No attributes of the CHL will be isolated as a result of the development.

Direct or Indirect Obstruction of Views	None	No significant views of the CHL have been identified from the subject lands. Therefore, no significant views of the CHL will be obstructed by the new development.
A Change in Land Use	None	The subject lands are currently used as an office and a fitness centre. The buildings on the subject lands are contemporary in their design, and their uses are not representative of the industrial context of the Warehouse District CHL. The alterations to 236 Victoria Street have resulted in a loss of integrity from its original industrial form. Notwithstanding that the Warehouse District CHL recognizes that the area may evolve over time., it places emphasis on retaining those built features which are integral to the long-term conservation of the industrial character of the CHL, while recognizing that some new development may occur. Given that the subject lands do not support or maintain the industrial character of the CHL, developing the lands as a mixed-use residential and commercial development will not result in a change in land use which impacts the CHL.
Land Disturbance	None	The subject lands are not near identified heritage attributes of the CHL. No impacts related to vibration during construction are anticipated.

No adverse impacts have been identified for the Warehouse District CHL.

At present, the Warehouse District consists of a range of buildings and uses at varying scales and designs. There are a number of existing and planned multiple residential developments within the Warehouse District CHL. These tower developments include a 44 storey tower at 30 Francis Street, a 55 storey tower at 417 King Street West, a 25 storey tower at 130 Victoria Street, and a 20 storey tower at 1 Victoria Street. The existing and planned high density developments within the CHL demonstrate that such uses and scales can be accommodated within the Warehouse District while maintaining and conserving its key heritage attributes.

The subject lands may contain a 1960's era factory, however, it has been extensively altered such that it no longer represents its original industrial form. Given its current condition and commercial function, the building does not contribute to the CHL. Both buildings on site are indicative of contemporary office and commercial uses.

The subject lands do not contain character defining elements of the CHL. The original industrial use of the lands has not been maintained and the subject lands contain two contemporary buildings. The subject lands therefore do not contain contributing attributes of the CHL or otherwise inform the character of the CHL. Therefore, their removal would not alter or otherwise impact the character of the Warehouse District. The proposal is not introducing a new use to the CHL that is not already integrated.

8.4 CN Railway CHL

Criteria	Impact	Analyses
Destruction or alteration of heritage attributes	None	The subject lands do not contain heritage resources which contribute or inform the CHL. There will be no destruction or alteration to the CHL.
Shadows	None	A shadow study has been completed for the proposed development (included as Appendix C). The new development will generate some shadowing. The shadows will be isolated to one area of the rail corridor and will not alter the appearance of heritage attributes or natural features significant to the CHL.
Isolation	None	The subject lands do not contain heritage attributes that contribute to the CHL. No attributes of the CHL will be isolated as a result of the development.
Direct or Indirect Obstruction of Views	None	The subject lands do not provide significant views of the CHL. Viewing opportunities of the rail corridor are visible when on the northernmost edge of the property. Significant viewing opportunities of the CHL are provided from the public right of way along

		the Margaret Avenue bridge. Given that no significant views are available from the lands and that existing views from other public realm locations will be maintained, no significant views of the CHL will be obstructed by the new development.
A Change in Land Use	None	The subject lands do not contain land uses which contribute to the CHL. The proposed development will therefore not impact land uses of the CHL.
Land Disturbance	None	The subject lands are not in proximity to character defining elements of the CHL. There are no heritage attributes of the CHL near the subject lands that are expected to be impacted by land disturbances.

No adverse impacts have been identified for the Canadian National Railway CHL.

The subject lands are outside of the CHL and do not contribute to the CN Rail landscape. The lands do not support the character defining elements of the CHL as the original industrial/commercial land use abutting the rail has not been maintained. The subject lands contain contemporary developments which do not inform the development history of the CHL.

The buildings are not a reflection of early industrial development, and are not recognized as a cultural heritage resource contextually important to the CHL.

Removal of the buildings will not change the character of the CHL, and the construction of a new mixed-use development would have no impact on the CHL. The proposal is not introducing a new use to the CHL that is not already integrated or planned.

8.5 Civic Centre Neighbourhood CHL and HCD

Criteria	Impact	Analyses
Destruction or alteration of heritage attributes	None	The subject lands do not contain heritage resources which contribute or inform the HCD or CHL. There will be no destruction or alteration to the Civic Centre Neighbourhood.

Shadows	None	A shadow study has been completed for the proposed development (included as Appendix C). There will be some minor shadows cast in the summer evenings on the northern edge of the neighbourhood. No heritage attributes will be impacted.
Isolation	None	The subject lands do not contain heritage attributes that contribute to the Civic Centre Neighbourhood. No attributes of the CHL or HCD will be isolated as a result of the development.
Direct or Indirect Obstruction of Views	None	Significant views of the CHL and HCD are from the public right of way. Views of the Civic Centre Neighbourhood. will be maintained from the public right of way along Victoria Street and Margaret Avenue. No significant views will be obstructed by the new development.
A Change in Land Use	None	The subject lands do not contain land uses which contribute to the Civic Centre Neighbourhood. The proposed development will therefore not impact land uses of the HCD or CHL.
Land Disturbance	None	The subject lands are a sufficient distance from the Civic Centre Neighbourhood. No impacts related to land disturbance are expected.

No impacts have been identified for the Civic Centre Neighbourhood CHL or HCD.

The subject lands are across the street from the Civic Centre Heritage Landscape Study and do not form part of or contribute to the residential context of the CHL. Removal of the buildings will not change the character of the Civic Centre Neighbourhood. The proposed development will use materials which are found throughout the Civic Centre Neighbourhood to provide for an attuned design.

8.6 Nearby Designated Properties

Criteria	Impact	Analyses
Destruction or alteration of heritage attributes	None	None of the heritage properties form part of the development proposal. None of the heritage properties will be altered or destroyed as part of the development proposal
Shadows	None	A shadow study has been completed for the proposed development (included as Appendix C). Shadows will be limited to the summer evenings starting at 6pm. No heritage attributes or natural heritage features will be impacted by the shadows.
Isolation	None	None of the heritage properties will be isolated as a result of the proposed development.
Direct or Indirect Obstruction of Views	None	Significant views are of the front facades of each property. The front facade view of each heritage property will continue to be maintained from the public right of way. No significant views of any of the properties will be obstructed.
A Change in Land Use	None	No change to the heritage properties land uses is proposed.
Land Disturbance	None	The heritage properties are a sufficient distance from the development site that no impacts related to land disturbances are expected.

No impacts have been identified for any of the heritage properties. The heritage properties do not form part of the development proposal and are within the Civic Centre Neighbourhood CHL and HCD. Therefore, conclusions of those assessments also apply. The heritage impact assessment for the Civic Centre Neighbourhood CHL and HCD conclude that no impacts are expected.

9.0 Recommendations

The heritage impact assessment has concluded that no heritage attributes will be negatively impacted by the proposed development. However, the subject lands are the site of where Bauer Hockey first originated, and may contain a 1960's era factory associated with Greb Industries and Bauer Hockey. The building has been altered to appear as a contemporary office building and is not reflective of its original industrial use. While the subject lands do not have heritage attributes, the lands maintain an association to two significant companies. The redevelopment of the lands will not impact this heritage association, which can be preserved through commemoration.

It is recommended that the proposed development include a commemorative component or feature that acknowledges the history of the original Western Shoe and Boot Company which first began on these lands, and which would become a significant hockey skate producer (Bauer Hockey). Possible commemorative options include the integration of commemoration within the interior or atrium of the proposed towers, or a feature incorporated in the public-private courtyard along the Victoria Street frontage. The preferred option would be to have the commemoration visible and accessible to the public. Specific details of the commemoration should be addressed in a Commemoration Plan.

The intent of a Commemoration Plan is to provide specific implementation details on the commemoration of Greb Industries. Such details include the organization and design of the commemorative area, including the materials, form, location as well as landscaping of the commemorative area. It is recommended that the Commemoration Plan be completed at site plan approval when more specific design details are known.

10.0 Conclusions

The subject lands are proposed to be developed with a high-density mixed-use development, which includes the removal of all structures on site and construction of three towers. The completion of a Heritage Impact Assessment is required as part of the development applications. The intent of this HIA is twofold: (1) to determine if the lands contain heritage resources and, (2) assess if any on-site or adjacent heritage resources will be negatively impacted by the proposed development.

The heritage evaluation of the subject lands concludes that the lands are of heritage value for their significant association to Bauer Hockey. The subject lands were the original location of the Western Boot and Shoe Company, which would specialize in the production of ice skates. This company was merged with Greb Industries, one of the largest shoe manufacturers in Canada in the mid 20th century, and would be the production location of Bauer Hockey, the largest international hockey equipment manufacturer. The subject lands may also contain a 1960's era industrial building, located at 236 Victoria Street North associated with Bauer Hockey. This building has been significantly altered to accommodate a contemporary office building and is no longer representative of its original form. The building does not retain heritage attributes and does not have physical value. The only value of the subject lands is the association to this significant company.

A heritage impact assessment has assessed for potential impacts on heritage resources on-site and adjacent, including:

- The properties at 236 and 264 Victoria Street which comprise the subject lands,
- the lands are part of the Warehouse District CHL,
- the lands are adjacent to the CN Railway CHL,
- the lands are across the street from the Civic Centre CHL and HCD, as well as
- across the street from nearby heritage properties within the Civic Centre HCD.

The impact assessment has concluded that the proposed development will not result in adverse impacts.

In order to acknowledge the history of the subject lands and preserve the historical association with Bauer Hockey, it is recommended that a commemorative element be included in the proposed development. A separate Commemoration Plan is recommended to be completed to outline a specific commemorative strategy and should be completed as part of the final design phase.

11.0 Sources

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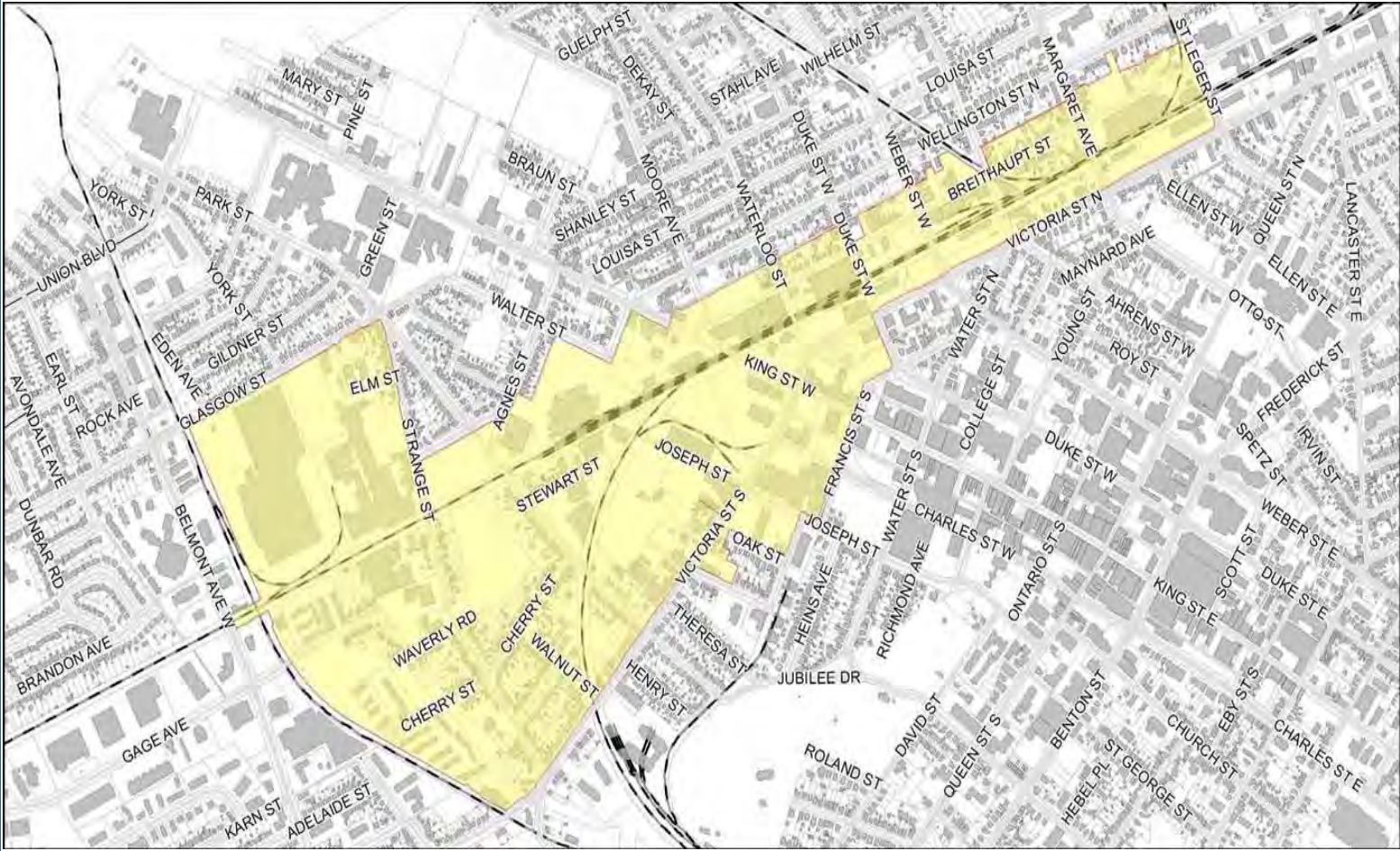
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Appendix A – CHL Data Sheets

L-COM-1 Warehouse District



LOCATION:

Bound by Glasgow, Dominion, Breithaupt, Francis, Victoria and Belmont.

Within the Described boundary, there are:

Designated HCDs:	0
Designated Properties:	5
Listed Properties:	16

HISTORIC THEMES:

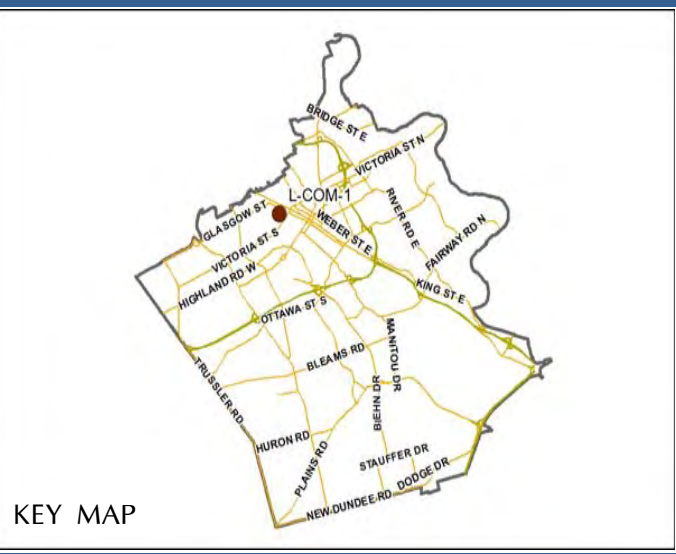
Industrial Commercial Development, Urban Development, Transportation




LANDSCAPE TYPE: Industrial/Commercial

ARCHAEOLOGICAL POTENTIAL: YES

DESCRIPTION:

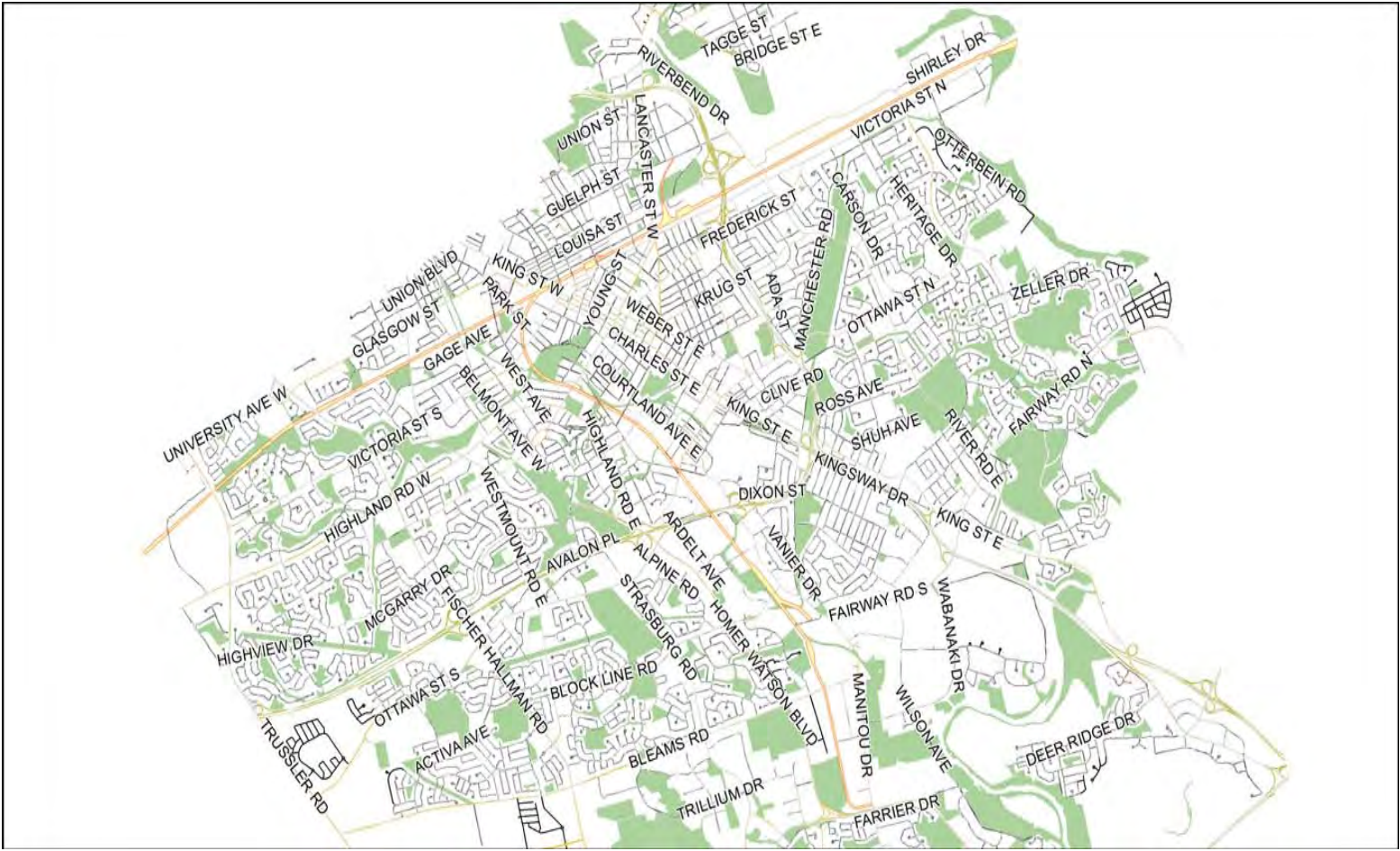
Kitchener was a centre of industrial growth in Canada at the turn of the 20th century and this caused, in turn, such a rapid increase in population that whole districts in the City were completed within a very short time frame between 1900 and 1920. As an example, and as a result of the development of the industrial economy, the population grew in the two years between 1911 and 1913 from just over 15,000 to over 19,000. The result was an explosion in support facilities in the form of houses, schools, fire halls and commercial enterprises to support the increase in population. In most of the world, industrial cities arose from the availability of power and transportation and this, during the 18th century, was typically the growth of industrial areas using water power and water transport. Kitchener was different. Indeed, there was a river junction here but the rivers were made of iron, in the form of the convergence of rail lines (Grand Trunk became operational in 1856) which allowed raw materials to be transported in and fabricated materials to be exported. Using products from the farmland surrounding the community, many of the manufactured items included clothing in the form of cloth and leather products. Furnishings made from the extensive old growth forests to the north and west and equipment fabricated for farming were included in the production. Coal to power the industries was brought in by rail. The rail system connected the factories with locations across North America and products were made by the boxcar and sometimes by the trainload. This mass production required both large buildings for the manufacture of products and even larger warehouses to store products for bulk train shipments. These shipments, in most cases, went to giant retail stores in major centres and were distributed across the continent to the order of anyone with access to the telegraph and the retail company's catalogue. In North America, the evolution of large department stores, such as Eaton's, Simpson's, Sears and others arose directly from the large-scale transport of goods by train as manufactured in centres such as Kitchener. Many of the original warehouse and factory buildings remain in the Warehouse District, bordering the rail line as it slices through the centre of the community. At least seven of the factory complexes shown on the 1911 plan of Kitchener remain in the Breithaupt and Victoria corridor including the former Dominion Tire Company, Krug Furniture (still operational), the Kaufman Rubber Company, the Lang Tanning Company, the Rumpel Felt Co. and several others. It should be noted that the Kaufman Rubber Company building was designed by Albert Kahn (1869-1942) in 1908, the same year he designed the Highland Park Ford Plant for Henry Ford. It was in this plant that Henry Ford produced the Model T car and perfected the concept of mass production. Kahn designed more than 1000 buildings for the Ford Motor Company and became known as the architect of the industrial era. The Kaufman Building and the concentration of other typically multi-storied structures, is distinct and perhaps the most prominent of the cultural landscapes in the city. Limited trees and long views along the track corridor makes this area highly visible from adjacent streets. Consistent in overall design, with tall floors and large windows, these structures combine an evolution from all brick construction through to concrete and steel dating from the late 19th century to the mid-20th. Of interest too is that the immediate neighbours of these structures were the houses in which the workers lived and who were able to walk to work in a manner that is the envy of most modern commuters. The quality of these mostly brick residential neighbourhoods also tells a strong story that the factories were profitable and sources of high-paying jobs that created an economy where workers could live and work in grace and comfort.



<div><div>HISTORICAL INTEGRITY</div><div><div><div><input checked="" type="checkbox"/> LAND USE - CONTINUITY OF USE</div><div><input type="checkbox"/> OWNERSHIP - CONTINUITY OF OWNERSHIP</div><div><input checked="" type="checkbox"/> BUILT ELEMENTS - ORIGINAL GROUPINGS AND ASSOCIATED SITES</div><div><input type="checkbox"/> VEGETATION - ORIGINAL PATTERNS</div><div><input type="checkbox"/> CULTURAL RELATIONSHIPS - SUPPORTING DESIGNED ELEMENTS</div><div><input type="checkbox"/> NATURAL FEATURES - PROMINENT NATURAL FEATURES</div><div><input type="checkbox"/> NATURAL RELATIONSHIPS - FEATURES THAT DETERMINE USE</div><div><input checked="" type="checkbox"/> VIEW THAT REFLECTS LANDSCAPE CHARACTER FROM HISTORIC PHOTOS</div><div><input type="checkbox"/> RUIN - HUMAN MADE REMNANTS</div><div><input checked="" type="checkbox"/> DESIGNED LANDSCAPES THAT HAVE RESTORATION POTENTIAL</div></div></div></div>	<div><div>CULTURAL VALUE</div><div><div><div><input checked="" type="checkbox"/> DESIGN VALUE - RARENESS OR UNIQUENESS</div><div><input checked="" type="checkbox"/> DESIGN VALUE - AESTHETIC/SCENIC REASONS</div><div><input checked="" type="checkbox"/> DESIGN VALUE - HIGH DEGREE TECHNICAL / SCIENTIFIC INTEREST</div><div><input checked="" type="checkbox"/> HISTORIC VALUE - HISTORIC UNDERSTANDING OF AREA</div><div><input checked="" type="checkbox"/> HISTORIC VALUE - DIRECT ASSOCIATION WITH A THEME, EVENT OR PERSON</div><div><input checked="" type="checkbox"/> HISTORIC VALUE-WORK OF LANDSCAPE ARCHITECT, ARCHITECT OR OTHER DESIGNER</div><div><input type="checkbox"/> CONTEXTUAL VALUE - LANDMARK VALUE</div><div><input checked="" type="checkbox"/> CONTEXTUAL VALUE - IMPORTANT IN DEFINING CHARACTER OF AREA</div><div><input checked="" type="checkbox"/> CONTEXTUAL VALUE - HISTORICALLY, PHYSICALLY, FUNCTIONALLY OR VISUALLY LINKED TO SURROUNDINGS</div></div></div></div>	<div><div>COMMUNITY VALUE</div><div><div><div><input checked="" type="checkbox"/> COMMUNITY IDENTITY - TELLS STORY OF AREA</div><div><input type="checkbox"/> PUBLIC STEWARDSHIP SUPPORTED BY VOLUNTEERISM</div><div><input checked="" type="checkbox"/> COMMUNITY IMAGE IDENTIFIED WITH KITCHENER'S PROVINCIAL/NATIONAL REPUTATION</div><div><input type="checkbox"/> TOURISM - PROMOTED AS TOURIST DESTINATION</div><div><input type="checkbox"/> LANDMARK - RECOGNIZED BY COMMUNITY</div><div><input type="checkbox"/> COMMEMORATION - SITE USED FOR CELEBRATIONS</div><div><input type="checkbox"/> PUBLIC SPACE - USED FOR FREQUENT PUBLIC EVENTS</div><div><input type="checkbox"/> CULTURAL TRADITIONS - USED TO EXPRESS CULTURAL TRADITIONS</div><div><input type="checkbox"/> QUALITY OF LIFE - VALUED FOR ITS DAY-TO-DAY IMPACT ON COMMUNITY LIFE</div><div><input type="checkbox"/> LOCAL HISTORY - CONTRIBUTING TO LOCAL LORE</div><div><input type="checkbox"/> VISUALLY SIGNIFICANT PHOTOGRAPHED OFTEN</div><div><input checked="" type="checkbox"/> GENUS LOCI - SENSE OF PLACE</div><div><input checked="" type="checkbox"/> PLANNING - IDENTIFIED THROUGH OTHER PLANNING INITIATIVES</div></div></div></div>	<div><div><div><div><div>4</div></div><div><div>5</div></div><div><div>6</div></div></div><div><div>CHARACTER DEFINING FEATURES:</div><div>Contains industrial landmarks historically important to the City and in many ways Kitchener's reason for developing as an urban industrial centre.</div><div>LIST OF FIGURES:</div><div><div>1.</div><div>Dominion Tire factory designed by Albert Kahn c.1912</div></div><div><div>2.</div><div>Small factory in Warehouse District.</div></div><div><div>3.</div><div>Public art from industrial artifacts.</div></div><div><div>4.</div><div>Representative example of residential houses within Warehouse District.</div></div><div><div>5.</div><div>Breithaupt factory, adaptively reused as office space.</div></div><div><div>6.</div><div>Aerial view of Warehouse District with treed Mt. Hope Breithaupt neighbourhood in foreground.</div></div></div></div></div>
<div><div>Has been used for the same purpose since the railway was originally established in 1856. Retains several factories and industrial buildings that date prior to 1912, when Kitchener was officially incorporated as a city.</div></div>	<div><div>Explains the development history of Kitchener and is contextually important to surrounding neighbourhoods. Contains industrial buildings of the famous architect, Albert Kahn, and architectural design that will never be repeated again.</div></div>	<div><div>A source of employment for many people living in Kitchener and the surrounding area.</div></div>	

L-RR-15

Canadian National Railway Line



LOCATION:

Travels east/west across the City between Victoria and Wellington Streets.

HISTORIC THEMES:

Transportation, Industry and Commerce, Urban Development, Grand River

LANDSCAPE TYPE:

Transportation Corridor

Within the Described boundary, there are:

Designated HCDs: 0

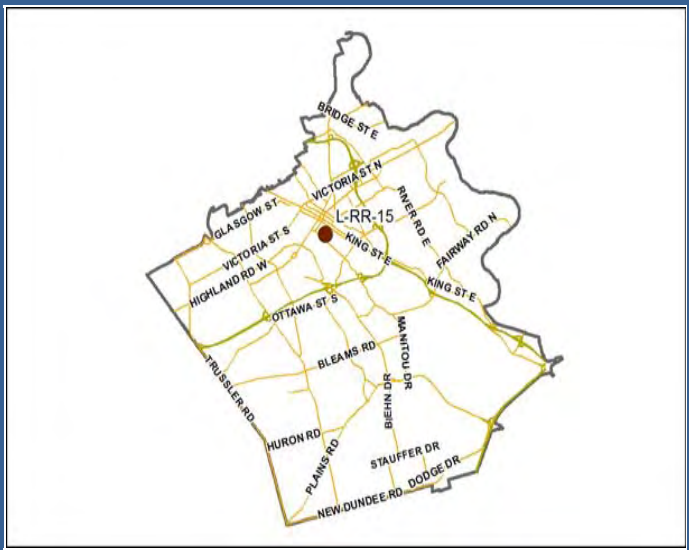
Designated Properties: 0



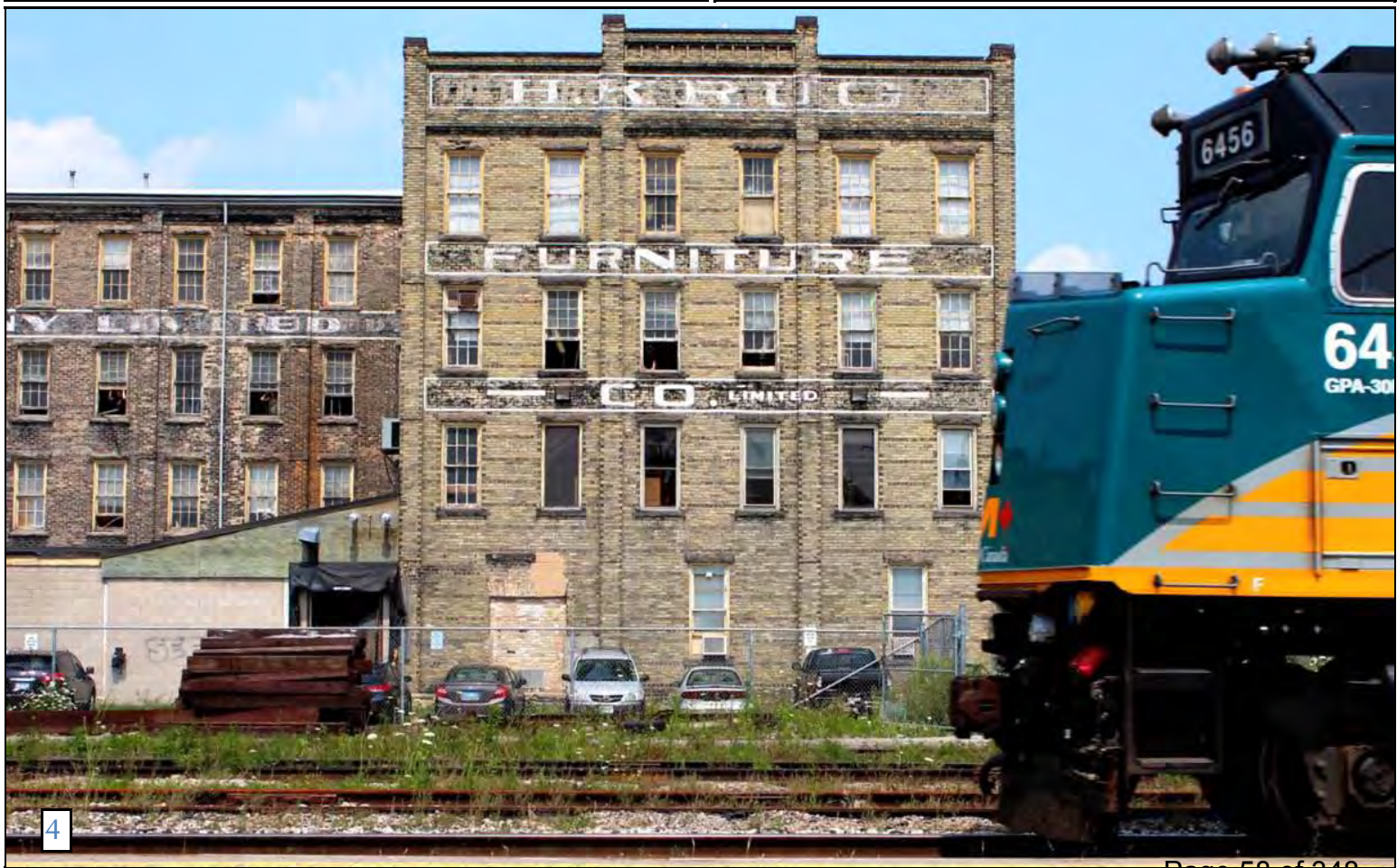
Listed Properties: 0

ARCHAEOLOGICAL POTENTIAL:

DESCRIPTION:

The Canadian National Railway through Kitchener was initially constructed as part of the Grand Trunk Railway network. Under the sponsorship of Sir Francis Hincks (1807-1885), the GTR was formally incorporated in 1852 to build a railway from Toronto to Montreal. Hincks was a newspaperman turned politician and colonial administrator. He promoted the construction of railways in Ontario and Quebec in the Baldwin/Lafontaine ministry from 1848 to 1854. Construction of the line took three years from 1853 to 1856. Much of the financing for the Grand Trunk Railway had to be raised in England, and the English construction firm of Peto, Brassey, Jackson and Betts received the contract to build the Montreal-to-Toronto section in return for agreeing to promote the company. Gzowski & Company received the contract for the 276 km (172 mile) Toronto-to-Sarnia section at a cost of 1,376,000 pounds sterling or \$2,767,000 (CAN) in 2014 currency. Sub-contractors through Waterloo County were Jackson and Fowler. Completion of the road bed grading took 2 years and was completed in 1855. The bridge over the Grand River was completed in 1856. The wrought iron structural span was brought from England. The centre span was a tubular structure and was replaced in 1905 by steel girders to accommodate heavier loads. The contractor for the stations was Marshall Farr until he was ironically killed in a train accident at the Desjardins Canal in Hamilton in 1857. The Kitchener station was completed before his death, in 1856, and other stations were completed by his two nephews George and Shubel Randal. The small 1856 station was replaced by a larger station in 1897 by the GTR. This station was rebuilt in 1908 after a fire, and is what remains to this day as the VIA Rail station on Victoria Street. The rebuilt station included an impressive clock tower which was removed by Canadian National in 1966. The first trains ran from Toronto to Guelph in July, 1856 and from Guelph to Stratford in November of the same year. For almost 20 years, up to 1875, wood burning locomotives were used. This required enormous amounts of high quality hard wood such as maple and beech. At the Kitchener station, 6-7000 cords of wood were supplied annually meaning that in the two decades between 1856 and 1875 over 120,000 cords of wood were supplied to passing trains. This demand for wood would have had a dramatic impact on the remaining forest in Waterloo County after being cleared for farmland between 1805 and 1850. Despite financial difficulties in the initial years, the GTR expanded steadily, often leasing existing railways as a means of expansion. At Confederation (1867), the GTR was the largest railway system in the world, with 2055 km of track; by the late 1880s it had grown to over 700 locomotives, 578 cars, 60 post-office cars, 131 baggage cars, 18,000 freight cars and 49 snowplows. In 1882, it eliminated its main competitor with the takeover of the Great Western Railway and added another 1450 km of track. Additional links to the US rail system were established with the International Bridge across the Niagara River (1855), and the impressive St Clair Tunnel beneath the St Clair River in 1891. The GTR ran unbroken from Sarnia through Kitchener, Toronto, Montreal and on to Portland, Maine. Envious of the Canadian Pacific Railway thrust into West Canada, the GTR set up a subsidiary, the Grand Trunk Pacific, to build a transcontinental line. Completed in 1914, the railway was a financial disaster and was largely responsible for the bankruptcy of the GTR in 1919. The federal government, which had already given the GTR some \$28 million in subsidies and loans, took over the railway on 10 Oct, 1919. It was placed under the management of the Canadian National Railways on 30 Jan, 1923. The railway dramatically changed Kitchener and was the momentum behind the industrial development that took place between Wellington Street and Victoria paralleling the track, particularly between 1850 and 1920. The rail corridor today is much as it has always been since its mid 19th Century construction. Commuters and visitors travelling to Kitchener see a combination of industrial and commercial districts and residential neighbourhoods from the rail line. The core area industry is gradually being phased out and one of the largest redevelopments in Kitchener's history is likely to occur around the rail line within the core area in the near future.



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<div><div>The GTR/CNR was the first major export of the great railway boom that first occurred in the UK. It is the earliest major line in Canada and one of the earliest in North America. Many original features, including stone bridges, line its route and remain in service. The alignment remains as originally laid out with minor changes in its almost 160 years of service.</div></div>	<div><div>The railway dramatically changed Kitchener and created the momentum behind the industrial development between 1850 and 1920. The rail line has extensive associations with the economic development of Canada (being the largest system in the world in 1867), and with persons of significant achievement including engineers and politicians. It also includes some of the earliest engineering works in the region, including the 1856 bridge over the Grand River.</div></div>	<div><div>The tracks pre-date much of the development of the community and were the stimulus both for local settlement and the massive surge in industrialization from the latter 19th century through well into the 20th century. While the industrial uses of the line locally have considerably lessened, the line will be of increasing importance as a rail and commuter link to Toronto with the expansion of the GO rail system.</div></div>	<div><div></div></div>	

L-NBR-2 Civic Centre Neighbourhood HCD



LOCATION:

Located east of downtown and bound by Weber Street W, Victoria Street N, Lancaster Street E, Ellen Street E and Queen Street N.

Within the Described boundary, there are:

Designated HCDs:	1
Designated Properties:	4
Listed Properties:	0

HISTORIC THEMES:

Early/Significant Residential Neighbourhood, Industry and Commerce

LANDSCAPE TYPE: Neighbourhood

ARCHAEOLOGICAL POTENTIAL: YES


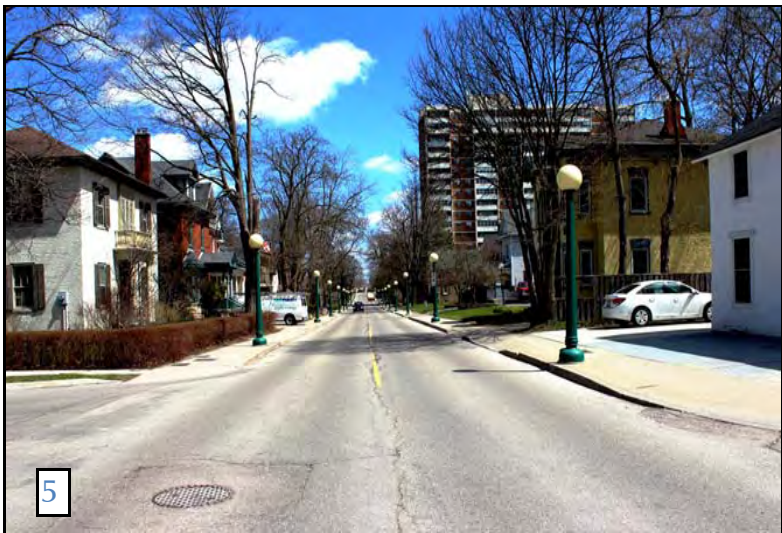

DESCRIPTION:

The Civic Centre Neighbourhood’s heritage attributes are found within its residential architecture, streetscapes, historical associations and its association with important business and community leaders during a crucial era of urban development in the City. The physical manifestation of this in the Civic Centre Neighbourhood is a wealth of well maintained, finely detailed homes from the late 1880s to the early 1900s that remain largely intact; a number of unique buildings, including churches and commercial buildings, which provide distinctive landmarks within and at the edges of the neighbourhood and a significant range of recognizable architectural styles and features including attic gabled roofs, decorative trim, brick construction, porches and other details, associated with the era in which they were developed. The Queen Anne style of domestic architecture was popular in a number of urban areas being developed at the end of the 19th and the beginning of the 20th centuries. In Kitchener, a unique form of Queen Anne style houses was developed and constructed extensively, now called the Berlin Vernacular. The District has more than a dozen examples of this style with slight variations distributed throughout the neighbourhood. The fine and very fine examples of other defined architectural styles such as Italianate and Attic Gable, account for 172 out of the 366 properties, or almost half. Of the remaining 194 properties, 147 have attributes that contribute value to the heritage character of the district. There are other splendid examples of unique historic properties, some of modest design and proportion, such as 67-69 Ahrens Street West, and others that are grandiose and elaborate such as the three major churches. The presence of an attractive and consistent streetscape linked by mature trees, grassed boulevards and laneways contributes significantly to the overall character. Hibner Park, is one of Kitchener’s oldest city parks and is the green jewel in the centre of the neighbourhood. Although small, it is elegant, offers a link to the past and an historic reminder of one of the mayors of Kitchener. With streets framed by mature trees creating a beautiful shaded canopy throughout most of the neighbourhood, the Civic Centre Neighbourhood offers a comfortable and friendly pedestrian environment in the interior of the community. The number of mature trees is remarkable and emphasizes the strong heritage character of the neighbourhood. With linear streets, generally consistent building setbacks, and combined effect of public and private trees along the boulevards, there is a strong rhythm to most of the streetscapes. Laneways threading through the area reflect more traditional patterns of movement and development, and, in Hermie Place, create a unique ambiance where houses front directly onto the lane much like a small cottage community. Yards are well maintained with gardens and foundation plantings, shrubs and trees. Other landscape features include fences, hedges and pillars to delineate private space. Overall, the Civic Centre Neighbourhood is rich with historical, architectural and landscape treasures that contribute to the heritage character of the community.

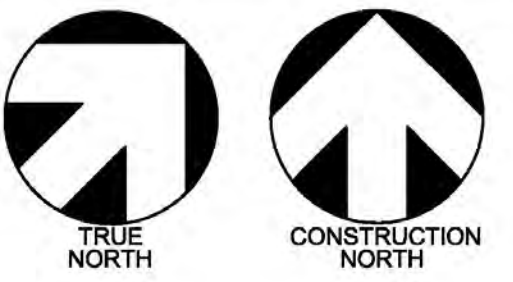


KEY MAP



<div><div>HISTORICAL INTEGRITY</div><div><div><div><div><input checked="" type="checkbox"/></div><div>LAND USE - CONTINUITY OF USE</div></div><div><div><input type="checkbox"/></div><div>OWNERSHIP - CONTINUITY OF OWNERSHIP</div></div><div><div><input checked="" type="checkbox"/></div><div>BUILT ELEMENTS - ORIGINAL GROUPINGS AND ASSOCIATED SITES</div></div><div><div><input checked="" type="checkbox"/></div><div>VEGETATION - ORIGINAL PATTERNS</div></div><div><div><input type="checkbox"/></div><div>CULTURAL RELATIONSHIPS - SUPPORTING DESIGNED ELEMENTS</div></div><div><div><input type="checkbox"/></div><div>NATURAL FEATURES - PROMINENT NATURAL FEATURES</div></div><div><div><input type="checkbox"/></div><div>NATURAL RELATIONSHIPS - FEATURES THAT DETERMINE USE</div></div><div><div><input checked="" type="checkbox"/></div><div>VIEW THAT REFLECTS LANDSCAPE CHARACTER FROM HISTORIC PHOTOS</div></div><div><div><input type="checkbox"/></div><div>RUIN - HUMAN MADE REMNANTS</div></div><div><div><input type="checkbox"/></div><div>DESIGNED LANDSCAPES THAT HAVE RESTORATION POTENTIAL</div></div></div></div></div>	<div><div>CULTURAL VALUE</div><div><div><div><div><input checked="" type="checkbox"/></div><div>DESIGN VALUE - RARENESS OR UNIQUENESS</div></div><div><div><input checked="" type="checkbox"/></div><div>DESIGN VALUE - AESTHETIC/SCENIC REASONS</div></div><div><div><input type="checkbox"/></div><div>DESIGN VALUE - HIGH DEGREE TECHNICAL / SCIENTIFIC INTEREST</div></div><div><div><input checked="" type="checkbox"/></div><div>HISTORIC VALUE - HISTORIC UNDERSTANDING OF AREA</div></div><div><div><input checked="" type="checkbox"/></div><div>HISTORIC VALUE - DIRECT ASSOCIATION WITH A THEME, EVENT OR PERSON</div></div><div><div><input type="checkbox"/></div><div>HISTORIC VALUE-WORK OF LANDSCAPE ARCHITECT, ARCHITECT OR OTHER DESIGNER</div></div><div><div><input type="checkbox"/></div><div>CONTEXTUAL VALUE - LANDMARK VALUE</div></div><div><div><input checked="" type="checkbox"/></div><div>CONTEXTUAL VALUE - IMPORTANT IN DEFINING CHARACTER OF AREA</div></div><div><div><input checked="" type="checkbox"/></div><div>CONTEXTUAL VALUE - HISTORICALLY, PHYSICALLY, FUNCTIONALLY OR VISUALLY LINKED TO SURROUNDINGS</div></div></div></div></div>	<div><div>COMMUNITY VALUE</div><div><div><div><div><input checked="" type="checkbox"/></div><div>COMMUNITY IDENTITY - TELLS STORY OF AREA</div></div><div><div><input type="checkbox"/></div><div>PUBLIC STEWARDSHIP SUPPORTED BY VOLUNTEERISM</div></div><div><div><input type="checkbox"/></div><div>COMMUNITY IMAGE IDENTIFIED WITH KITCHENER'S PROVINCIAL/NATIONAL REPUTATION</div></div><div><div><input type="checkbox"/></div><div>TOURISM - PROMOTED AS TOURIST DESTINATION</div></div><div><div><input type="checkbox"/></div><div>LANDMARK - RECOGNIZED BY COMMUNITY</div></div><div><div><input type="checkbox"/></div><div>COMMEMORATION - SITE USED FOR CELEBRATIONS</div></div><div><div><input type="checkbox"/></div><div>PUBLIC SPACE - USED FOR FREQUENT PUBLIC EVENTS</div></div><div><div><input type="checkbox"/></div><div>CULTURAL TRADITIONS - USED TO EXPRESS CULTURAL TRADITIONS</div></div><div><div><input type="checkbox"/></div><div>QUALITY OF LIFE - VALUED FOR ITS DAY-TO-DAY IMPACT ON COMMUNITY LIFE</div></div><div><div><input type="checkbox"/></div><div>LOCAL HISTORY - CONTRIBUTING TO LOCAL LORE</div></div><div><div><input type="checkbox"/></div><div>VISUALLY SIGNIFICANT PHOTOGRAPHED OFTEN</div></div><div><div><input checked="" type="checkbox"/></div><div>GENUS LOCI - SENSE OF PLACE</div></div><div><div><input checked="" type="checkbox"/></div><div>PLANNING - IDENTIFIED THROUGH OTHER PLANNING INITIATIVES</div></div></div></div></div>	<div><div><div></div><div></div></div></div> <div><div>CHARACTER DEFINING FEATURES:</div><div>Contains the majority of the original buildings to the area. Many well maintained finely detailed buildings from the late 1800s to the early 1900s. There are a number of unique landmark buildings in this area, including churches and commercial buildings.</div><div><div>LIST OF FIGURES:</div><div><div>1.</div><div>Lutheran Church.</div></div><div><div>2.</div><div>Finely detailed home.</div></div><div><div>3.</div><div>Finely detailed home.</div></div><div><div>4.</div><div>Typical front yard street trees.</div></div><div><div>5.</div><div>Queen Street North with heritage street lights.</div></div><div><div>6.</div><div>Hibner Park.</div></div></div></div>
<div><div>Continuous residential use since the late 1800s; original period architecture and landscape features; and mature urban forest. Has direct associations with historically significant people.</div></div>	<div><div>The buildings and landscape reflect a key era in the development of Kitchener with many buildings associated with important business people and community leaders. Despite the incursion of redevelopment in some areas, there is a significant concentration of original homes in a variety of architectural styles.</div></div>	<div><div>In tandem with the designated Victoria Park Neighbourhood, Civic Centre helps to tell the story of Kitchener's phenomenal growth at the turn of the 19th Century.</div></div>	<div><div><div></div></div></div> <div><div>Page 60 of 348</div></div>

Appendix B – Site Plan



COMMON AREA	1,868.7 SQ.M	20,114.7 SQ.FT.
PARKING AREA	4,796.8 SQ.M	51,631.7 SQ.FT.
COMMERCIAL	1,113.5 SQ.M	11,98.5 SQ.FT.
TOTAL FLOOR AREA	7,779.0 SQ.M	71,746.4 SQ.FT.

SITE STATISTICS		
ITEM	PROPOSED ZONING BYLAW REQUIREMENTS	PROPOSAL
ZONING CATEGORY (CURRENTLY TEMP-1)	MIX-2	MIX-2
LOT AREA (sqm)	N/A	11,068.8 sqm
MIN LOT WIDTH	15 m	45.8 m
GROUND FLOOR AREA (sqm)	N/A	8,244.0 sqm
LOT COVERAGE (max.)	-%	65.8%
FRONT YD. (min.)	1.5m	1.5 m
REAR YARD (min.)	7.5m	7.5 m
EXTERIOR SIDE YARD SETBACK (min.)	1.5m	1.5 m
INTERIOR SIDE YARD SETBACK (min.)	0m	1.5 m
GROUND FLOOR BUILDING HEIGHT WITH STREET LINE FACADE (max.)	4.5m	4.5m
BUILDING HEIGHT (max.)	25m	121.5 m*
NUMBER OF STOREYS (max.)	8	40
MINIMUM STREET LINE SETBACK FOR MID-RISE BUILDINGS AND TALL BUILDINGS	3m	8.75m
MAXIMUM FLOOR SPACE RATIO	4.0	10.5*
MAXIMUM TOTAL RETAIL GROSS FLOOR AREA WITHIN A MULTI-UNIT BUILDING, MULTI-UNIT DEVELOPMENT, MIXED-USE BUILDING OR MIXED-USE DEVELOPMENT	7,500 m²	1,113.5 m²
MINIMUM GROUND FLOOR STREET LINE FACADE WIDTH AS A PERCENT OF THE WIDTH OF THE ADJUTING STREET LINE	50%	97.3 %
MINIMUM PERCENT STREET LINE FACADE OPENINGS	10%	50 %
MINIMUM LANDSCAPED AREA (sqm)	10%	3,455.7 sqm (26.6%)
TOTAL PARKING SPACES	1,216	916*
MINIMUM CLASS A BICYCLE PARKING SPACES	537	1966
MINIMUM CLASS B BICYCLE PARKING SPACES	6	8
ACCESSIBLE PARKING SPACE	22	22
NUMBER OF TYPE A ACCESSIBLE PARKING SPACES	11	11
NUMBER OF TYPE B ACCESSIBLE PARKING SPACES	11	11
PARKING STALL DIMENSIONS (m)	2.8m x 5.5m	3.0m x 5.5m
TYPE A ACCESSIBLE PARKING SPACE (m)	3.4m x 5.5m	3.4m x 5.5m
TYPE B ACCESSIBLE PARKING SPACE (m)	2.4m x 5.5m	2.4m x 5.5m
ACCESSIBLE PARKING ANGLE (°)	1.5m x 5.5m	1.5m x 5.5m
TOTAL UNITS	N/A	1076
AMENITY SPACE	6,000.0 sqm	14,182.8 sqm
AMENITY SPACE (sqm)	6,000.0 sqm	14,182.8 sqm

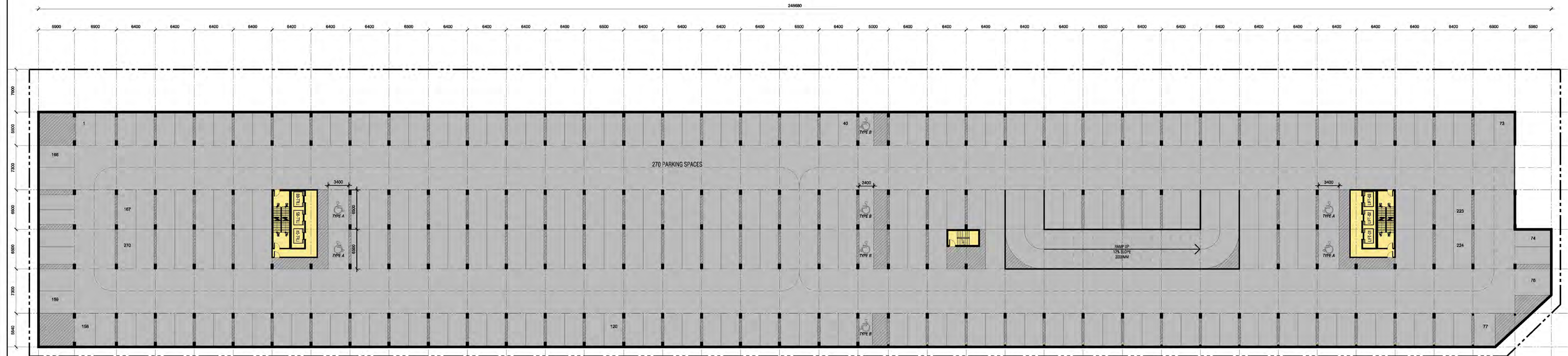
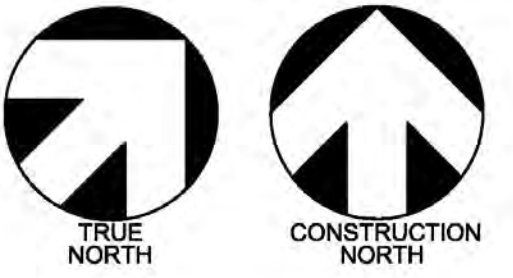
264 VICTORIA ST. N.
MIXED-USE DEVELOPMENT
KITCHENER, ON
PROJECT # 22034

PROPOSED SITE PLAN



SP1

DATE: 2023-10-02
SCALE 1:300



COMMON AREA	179.8 SQ.M	1,935.3 SQ.FT.
PARKING AREA	9,275.5 SQ.M	998,40.6 SQ.FT.
TOTAL FLOOR AREA	9,455.3 SQ.M	101,775.9 SQ.FT.

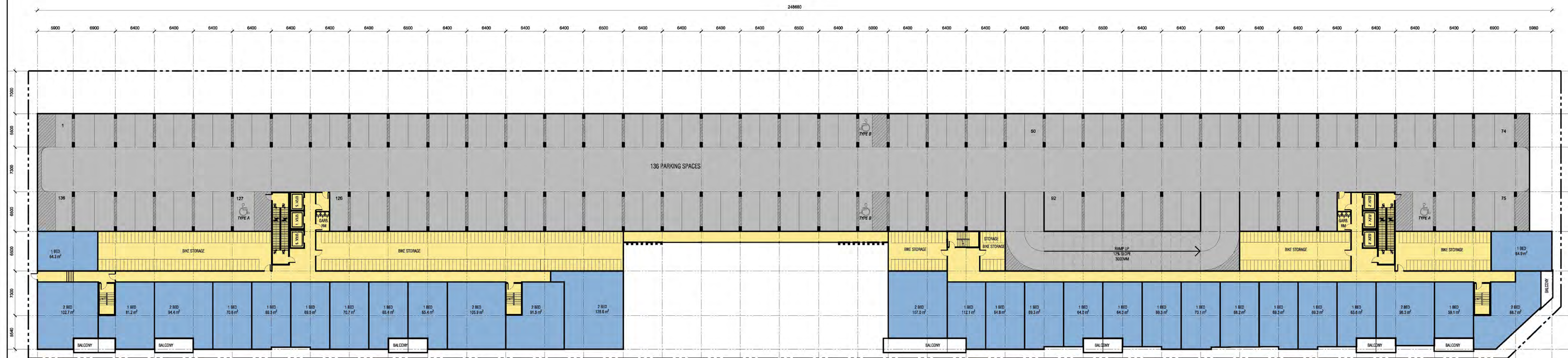
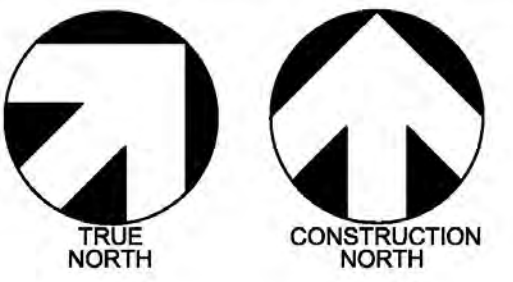
264 VICTORIA ST. N.
MIXED-USE DEVELOPMENT
KITCHENER, ON PROJECT # 22034

PROPOSED UNDERGROUND PARKING

DATE: 2023-10-02
SCALE 1:300



UG1



COMMON AREA	1,550.5 SQ.M	16,689.4 SQ.FT.
PARKING AREA	4853.6 SQ.M	52,243.7 SQ.FT.
RENTABLE AREA	2,267.8 SQ.M	24,411.2 SQ.FT.
TOTAL FLOOR AREA	8,671.9 SQ.M	93,344.6 SQ.FT.

264 VICTORIA ST. N.
MIXED-USE DEVELOPMENT

KITCHENER, ON

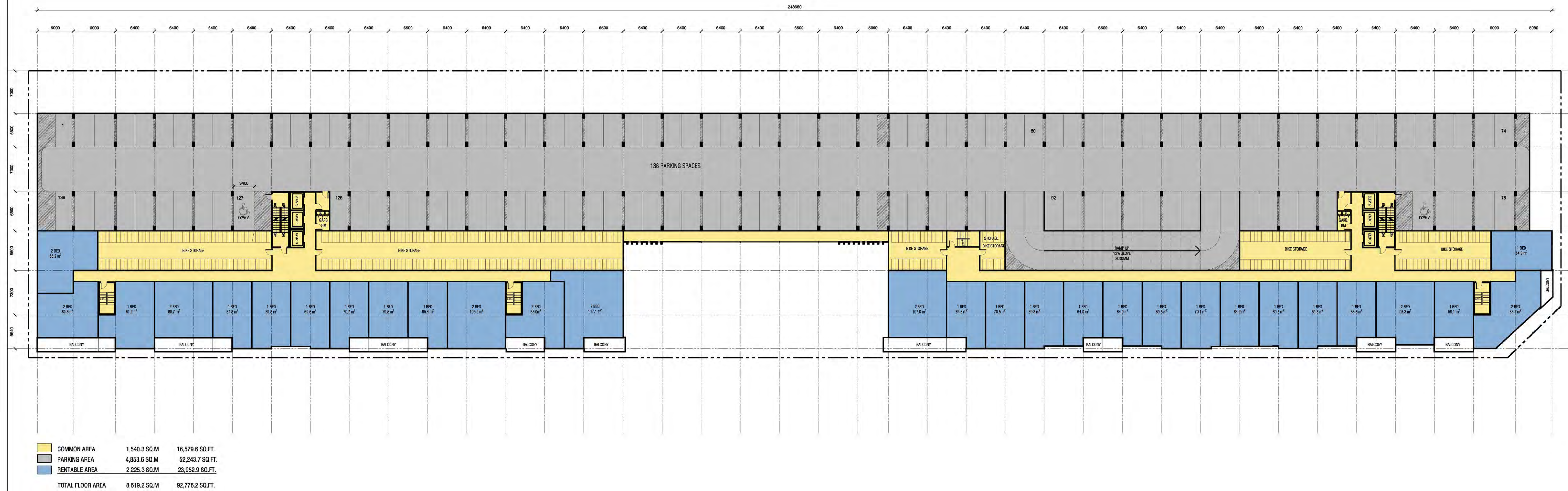
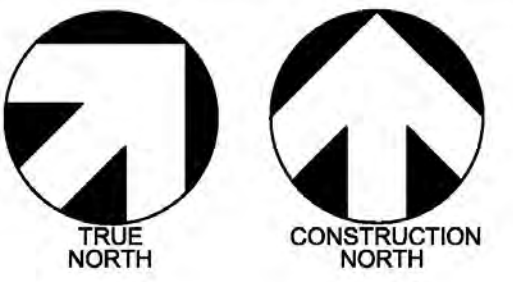
PROJECT # 22034

LEVEL 2-3

DATE: 2023-10-02
SCALE 1:300

REINDERS
+LAW
ARCHITECTURE . ENGINEERING

P1



264 VICTORIA ST. N.
MIXED-USE DEVELOPMENT

KITCHENER, ON

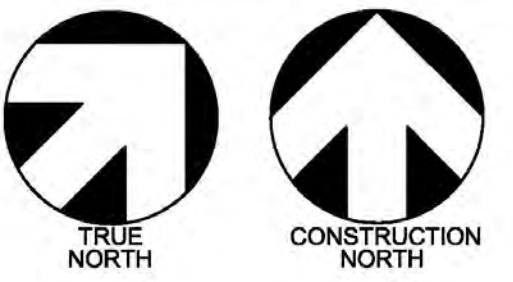
PROJECT # 22034

LEVEL 4

DATE: 2023-10-02
SCALE 1:300

REINDERS
+LAW
ARCHITECTURE . ENGINEERING

P2



COMMON AREA	1,926.4 SQ.M	20,735.6 SQ.FT.
PARKING AREA	2,208.7 SQ.M	23,774.2 SQ.FT.
RENTABLE AREA	973.6 SQ.M	10,479.7 SQ.FT.
TOTAL FLOOR AREA	5,108.7 SQ.M	54,989.5 SQ.FT.

264 VICTORIA ST. N.
MIXED-USE DEVELOPMENT

KITCHENER, ON

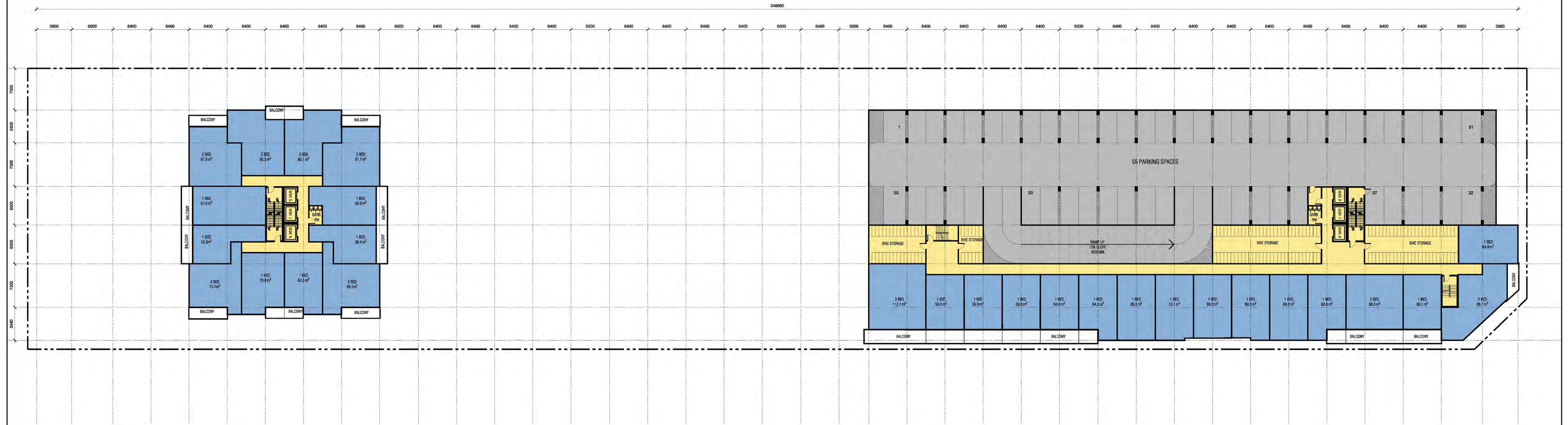
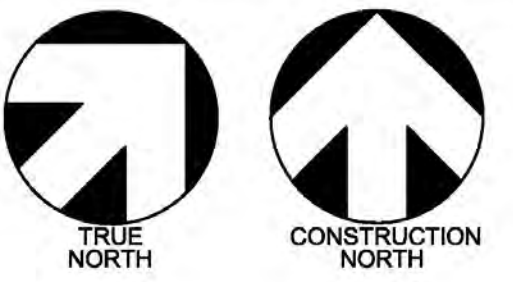
PROJECT # 22034

LEVEL 5

REINDERS
+LAW
ARCHITECTURE . ENGINEERING

P3

DATE: 2023-10-02
SCALE 1:300



COMMON AREA	773.1 SQ.M	8,321.5 SQ.FT.
PARKING AREA	2,208.7 SQ.M	23,774.2 SQ.FT.
RENTABLE AREA	2,043.2 SQ.M	21,992.8 SQ.FT.
TOTAL FLOOR AREA	5,025 SQ.M	54,088.5 SQ.FT.

264 VICTORIA ST. N.
MIXED-USE DEVELOPMENT

KITCHENER, ON

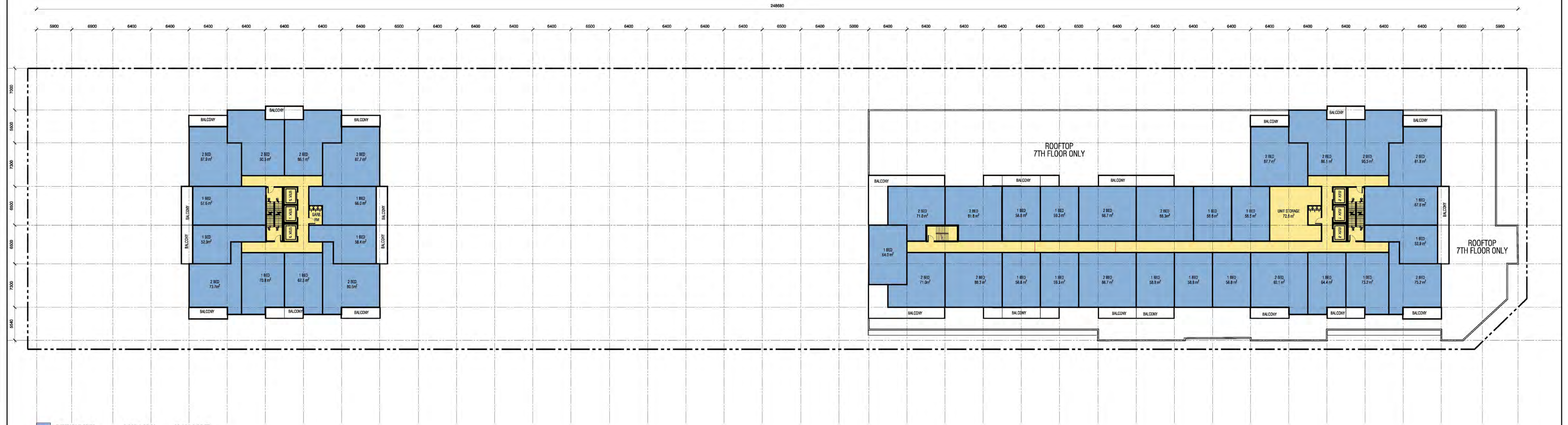
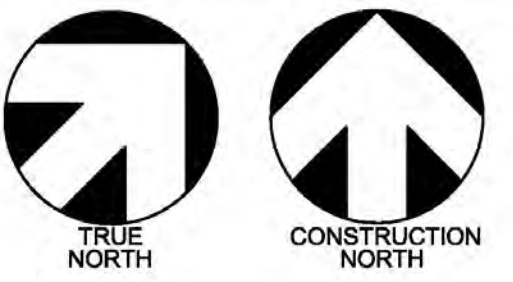
PROJECT # 22034

LEVEL 6

REINDERS
+LAW
ARCHITECTURE . ENGINEERING

P4

DATE: 2023-10-02
SCALE 1:300



RENTABLE AREA	2,882.1 SQ.M	31,022.6 SQ.FT.
COMMON AREA	461.8 SQ.M	4,970.7 SQ.FT.
TOTAL FLOOR AREA	3,343.9 SQ.M	35,993.3 SQ.FT.

264 VICTORIA ST. N.
MIXED-USE DEVELOPMENT

KITCHENER, ON

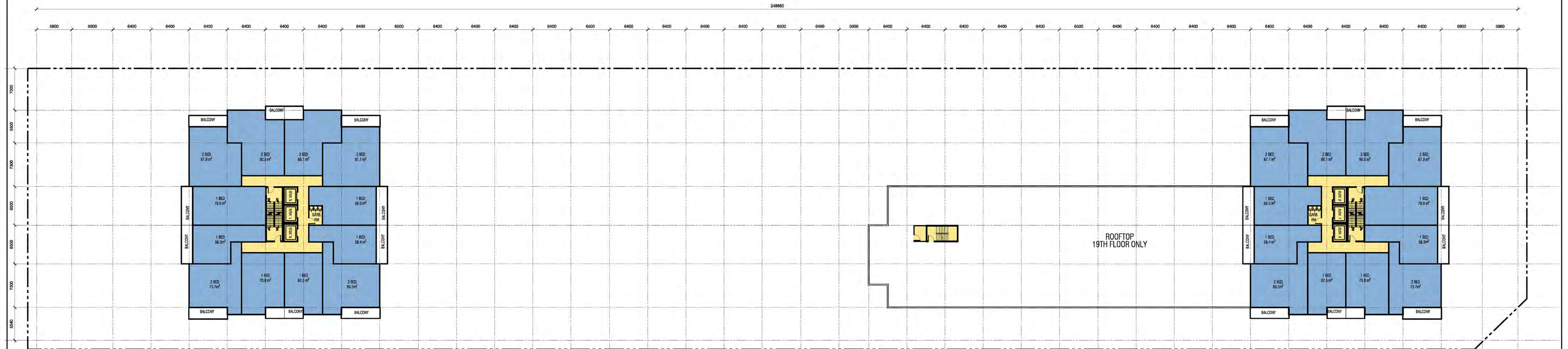
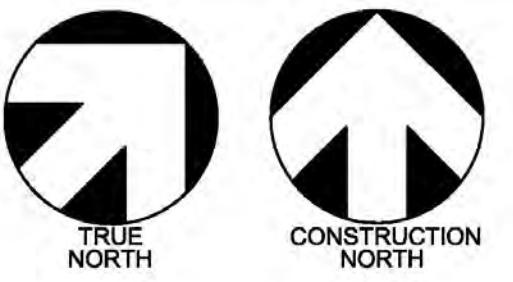
PROJECT # 22034

LEVEL 7-18

REINDERS
+LAW
ARCHITECTURE . ENGINEERING

DATE: 2023-10-02
SCALE 1:300

P5



RENTABLE AREA	1,808.1 SQ.M	19,462.2 SQ.FT.
COMMON AREA	268.3 SQ.M	2,887.9 SQ.FT.
TOTAL FLOOR AREA	2,076.4 SQ.M	22,350.1 SQ.FT.

264 VICTORIA ST. N.
MIXED-USE DEVELOPMENT

KITCHENER, ON

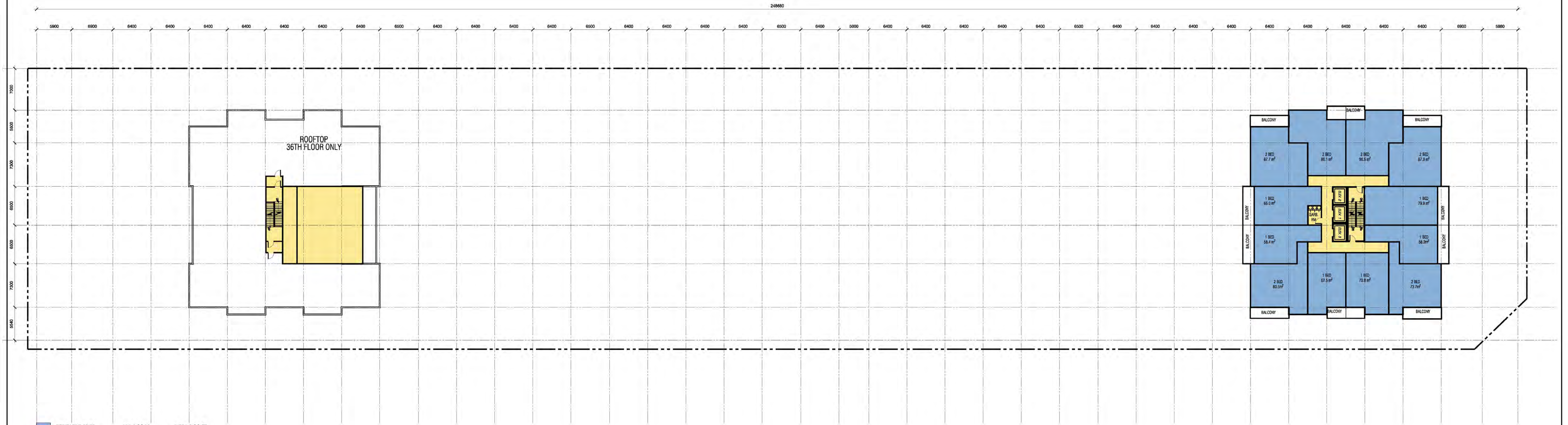
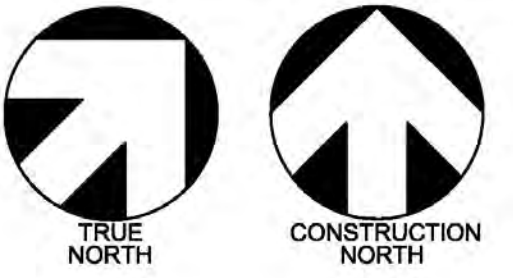
PROJECT # 22034

LEVEL 19-35

REINDERS
+LAW
ARCHITECTURE . ENGINEERING

P6

DATE: 2023-10-02
SCALE 1:300



RENTABLE AREA	904.1 SQ.M	9,731.6 SQ.FT.
COMMON AREA	340.5 SQ.M	3,665.1 SQ.FT.
TOTAL FLOOR AREA	1,244.6 SQ.M	13,396.7 SQ.FT.

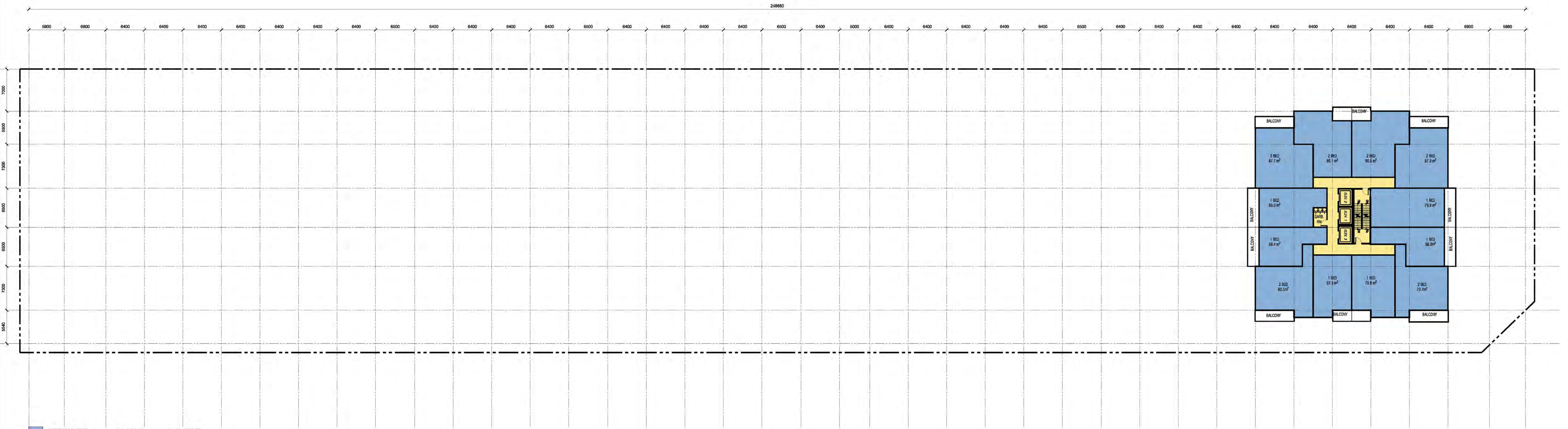
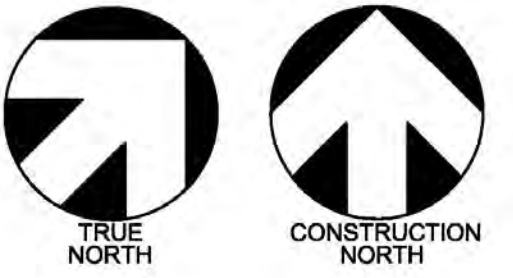
264 VICTORIA ST. N.
MIXED-USE DEVELOPMENT
KITCHENER, ON PROJECT # 22034

LEVEL 36

DATE: 2023-10-02
SCALE 1:300

REINDERS
+LAW
ARCHITECTURE . ENGINEERING

P7



RENTABLE AREA	904.1 SQ.M	9,731.6 SQ.FT.
COMMON AREA	123.5 SQ.M	1,329.3 SQ.FT.
TOTAL FLOOR AREA	1,027.6 SQ.M	11,060.9 SQ.FT.

264 VICTORIA ST. N.
MIXED-USE DEVELOPMENT
KITCHENER, ON PROJECT # 22034

LEVEL 37-40

DATE: 2023-10-02
SCALE 1:300

REINDERS
+LAW
ARCHITECTURE . ENGINEERING

P8



VICTORIA ST & ST LEGER ST VIEW

Page 2 of 18







ST LEGER ST & VICTORIA ST VIEW

Page 75 of 148







AMENITIES





FIFTH FLOOR TERRACE WITH BBQS AND A FIREPLACE LOUNGE



Appendix C – Shadow Study

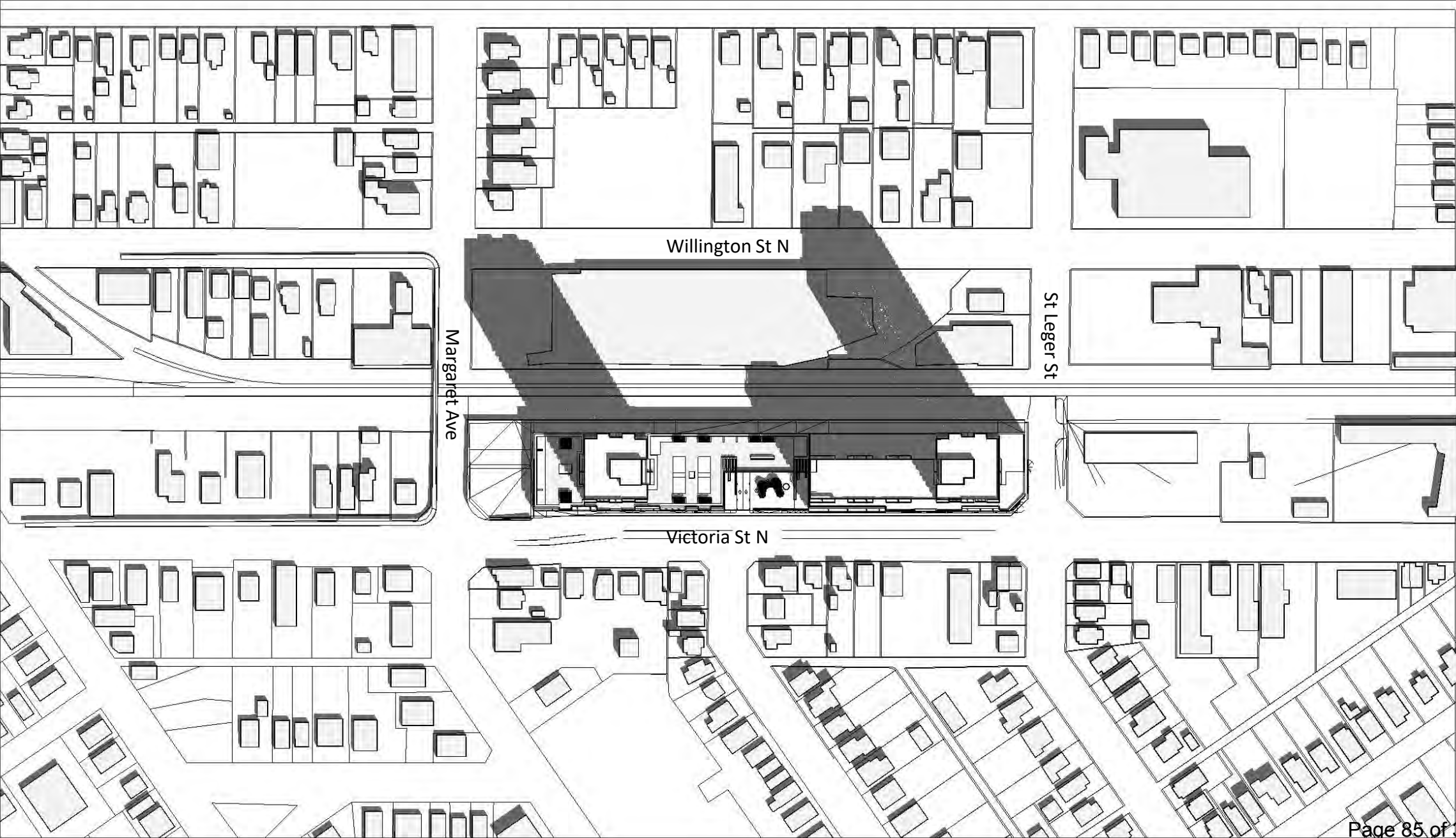
264 Victoria Street North,
Kitchener, Ontario

Sun Study

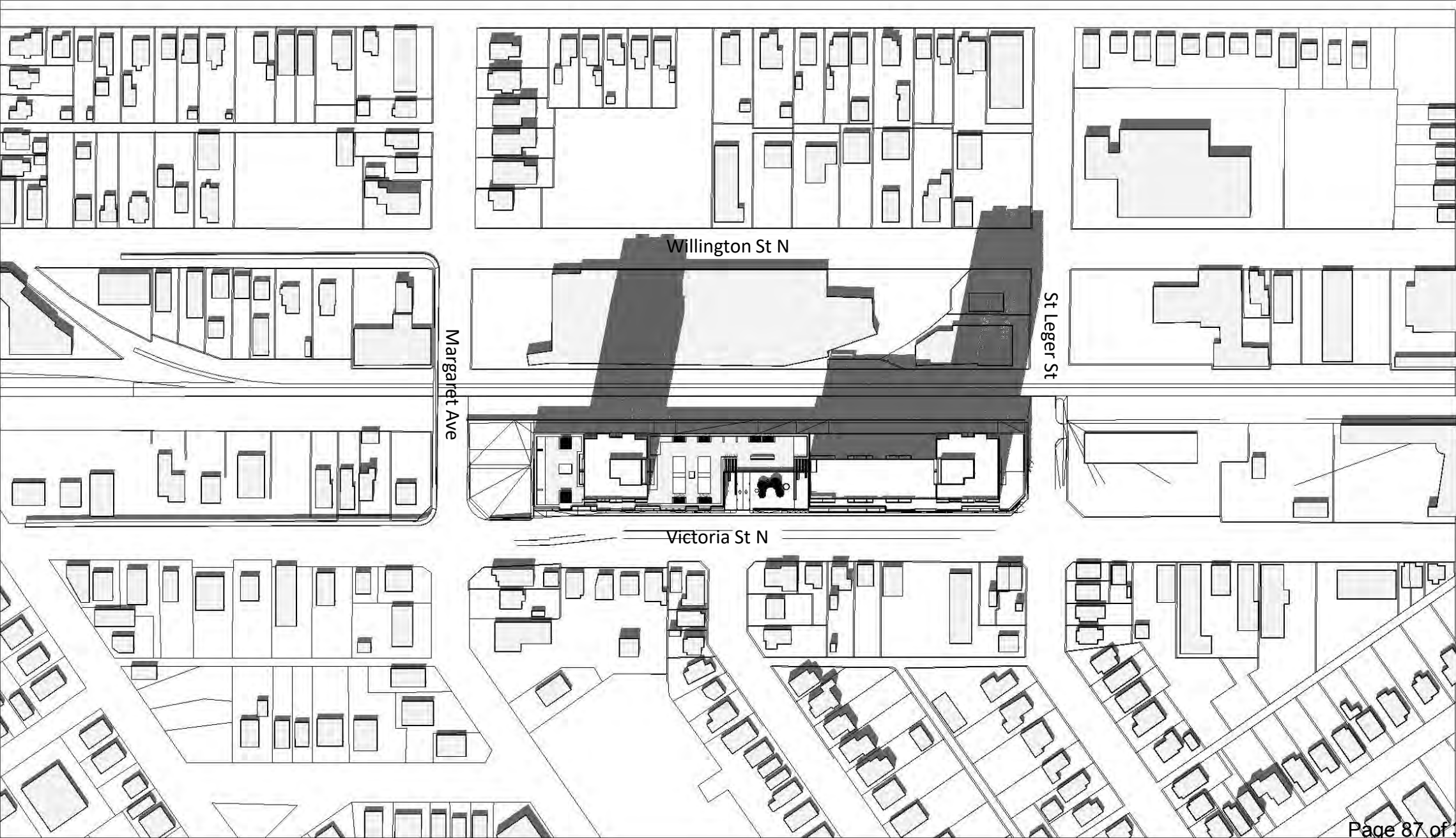
Spring Equinox

March 21st – 10:00 AM to 6:00 PM

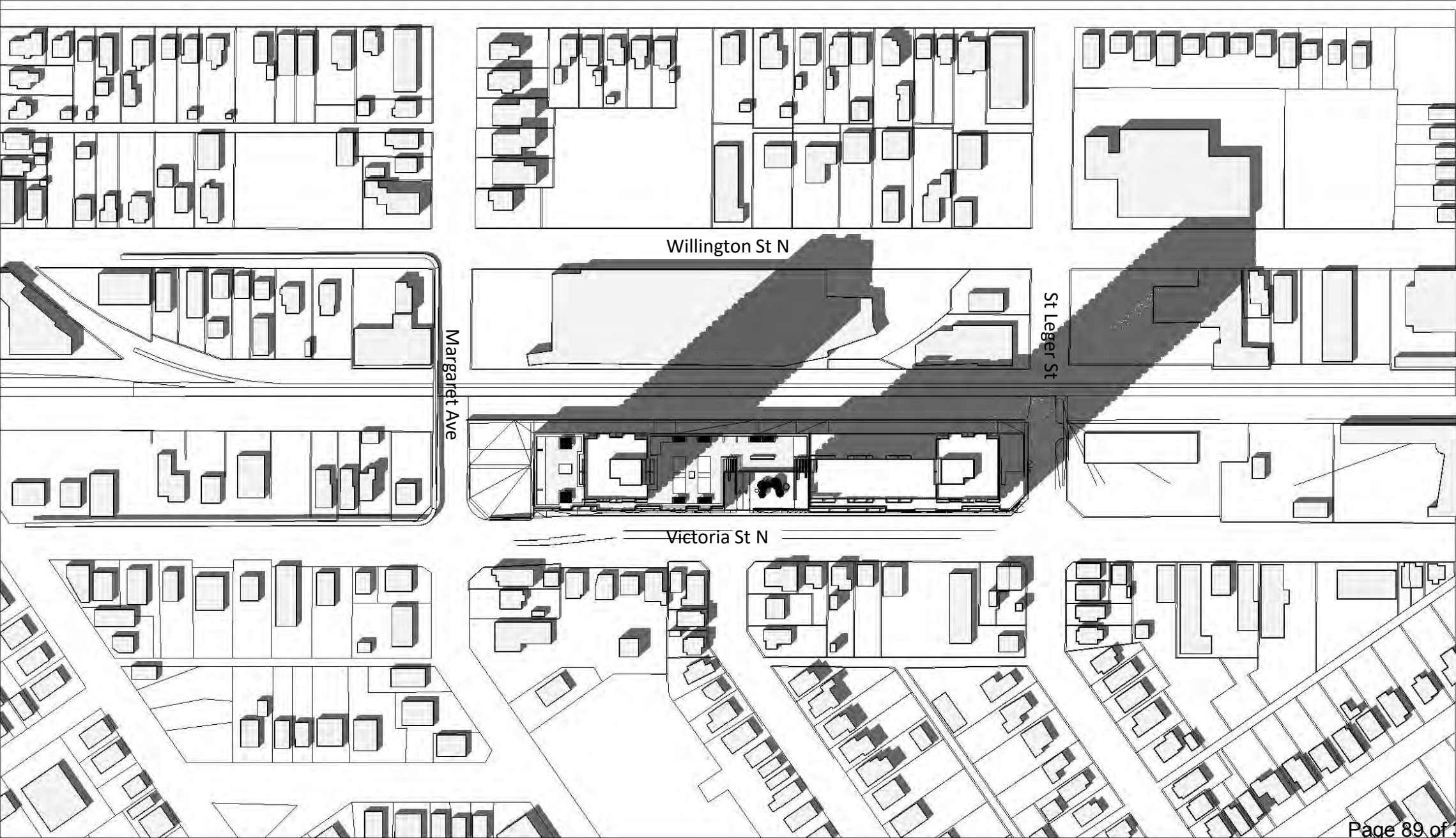


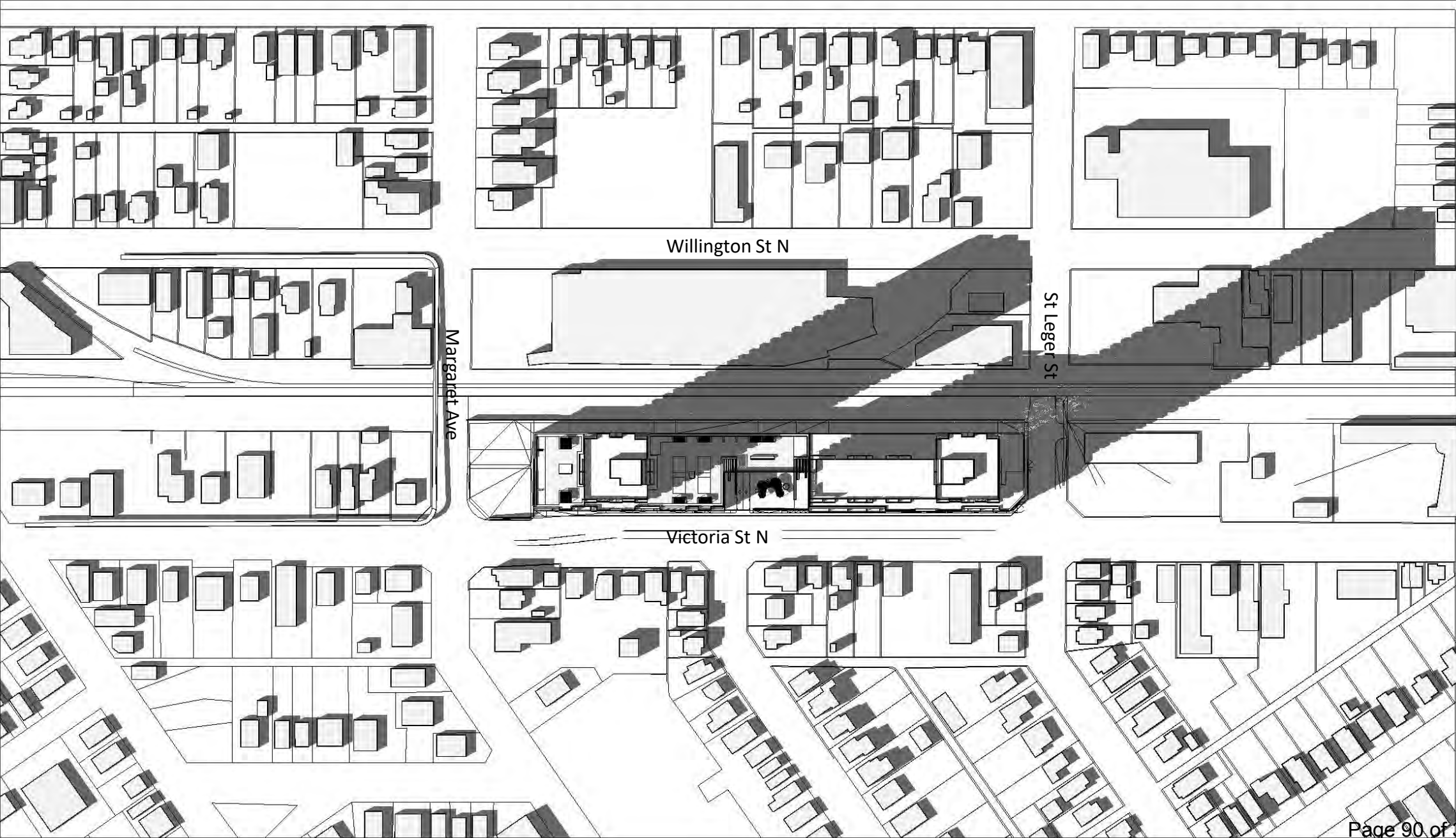














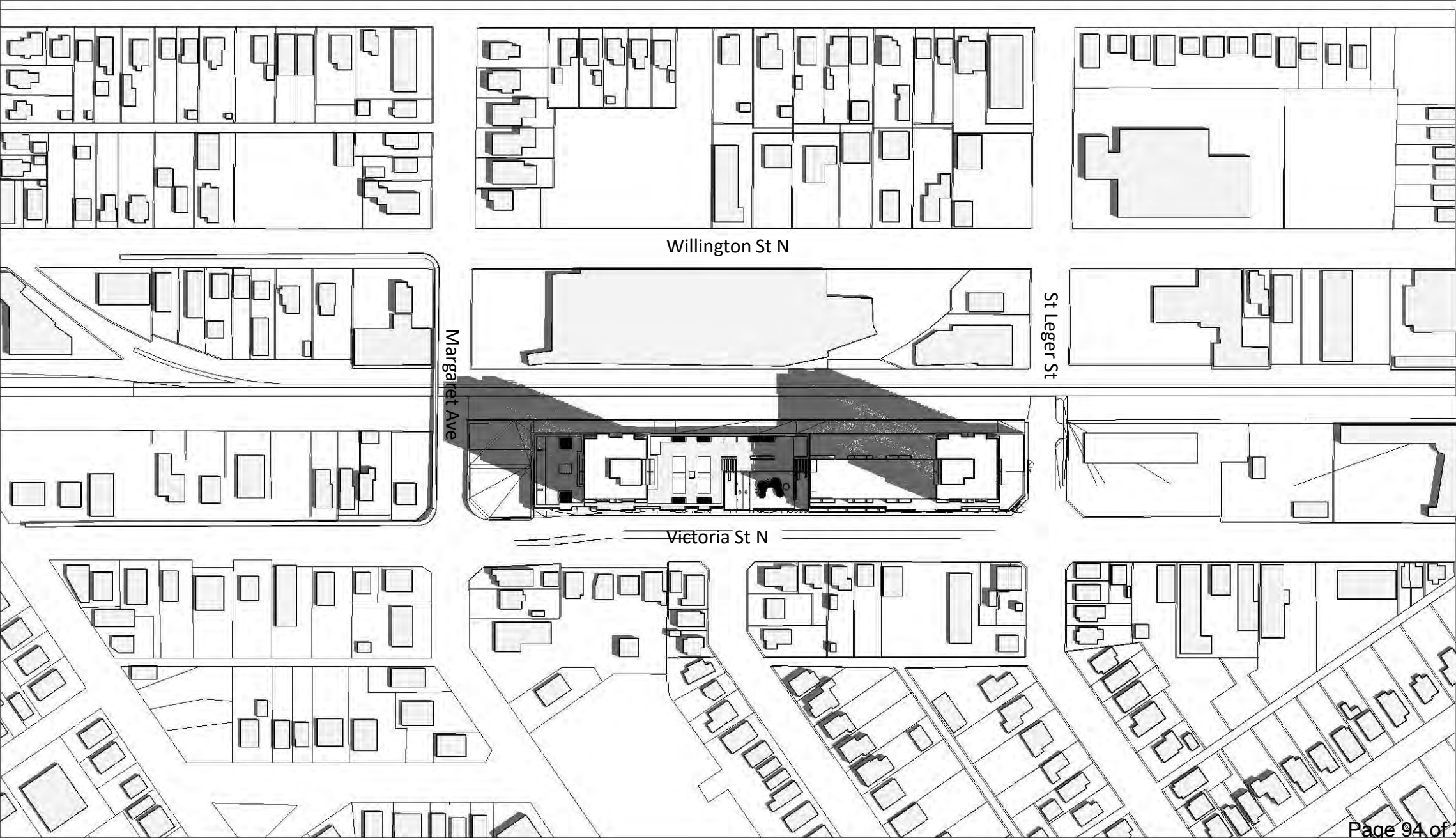


264 Victoria Street North,
Kitchener, Ontario

Sun Study

Summer Equinox

June 21st – 10:00 AM to 6:00 PM

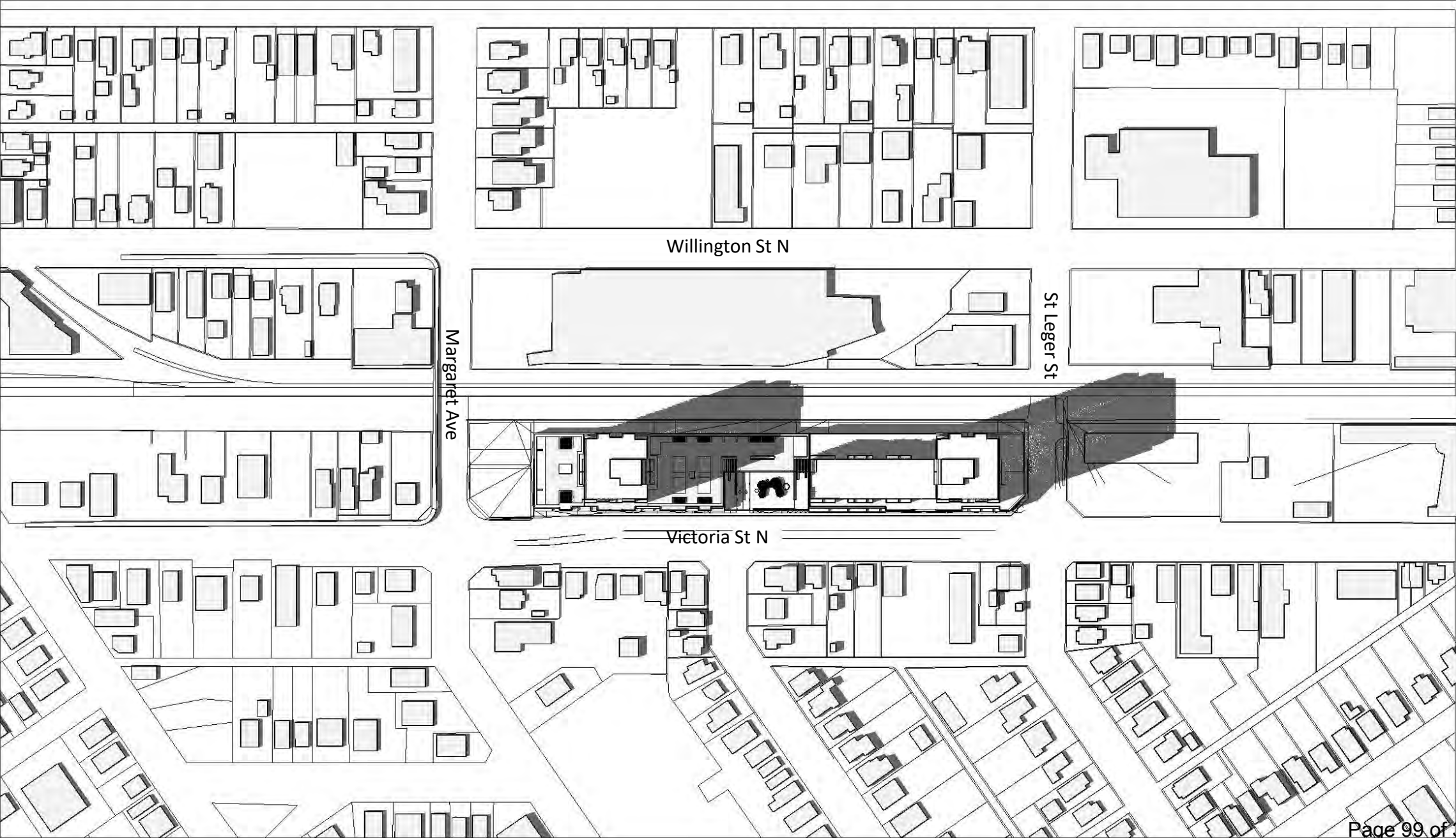


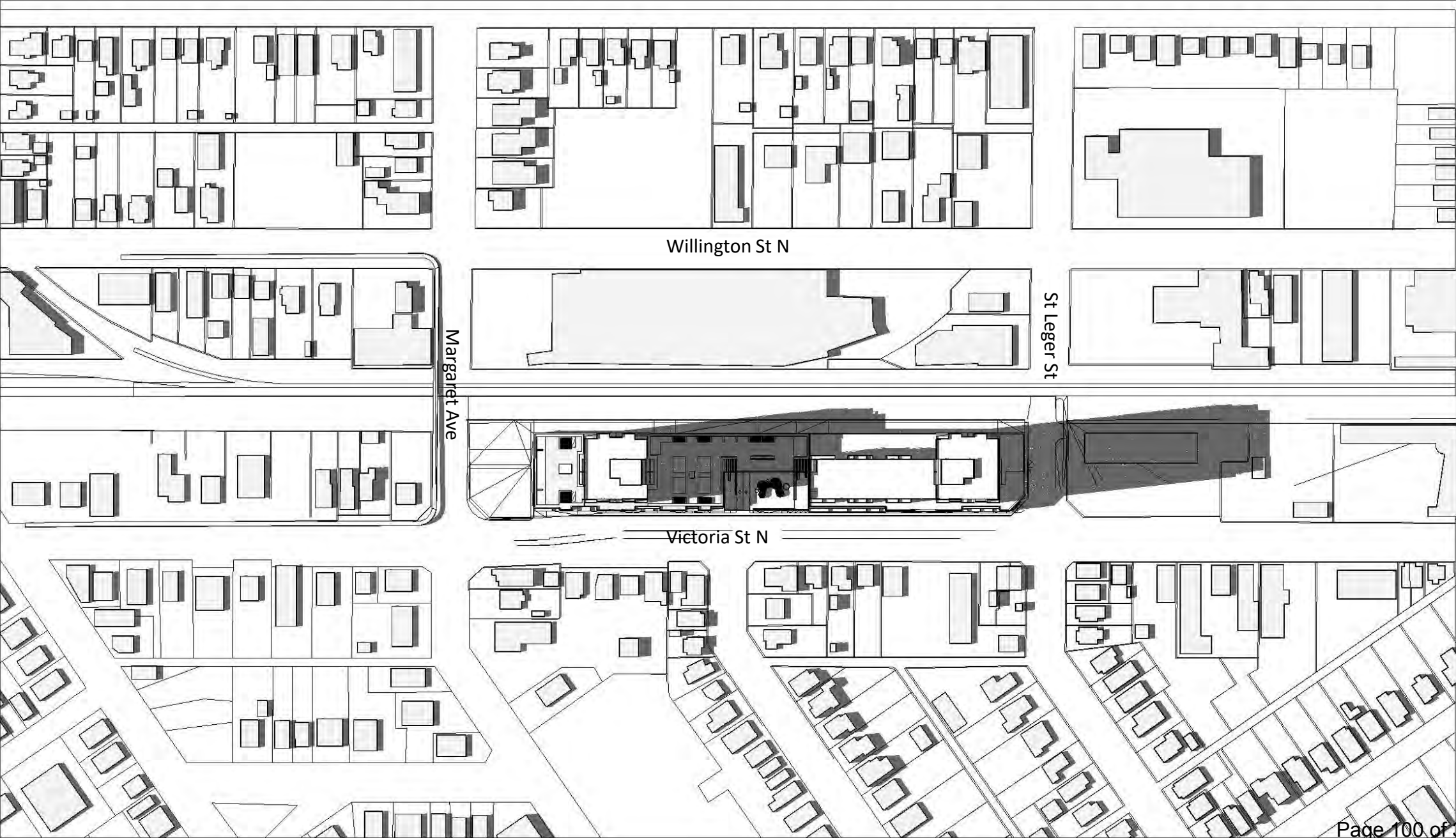


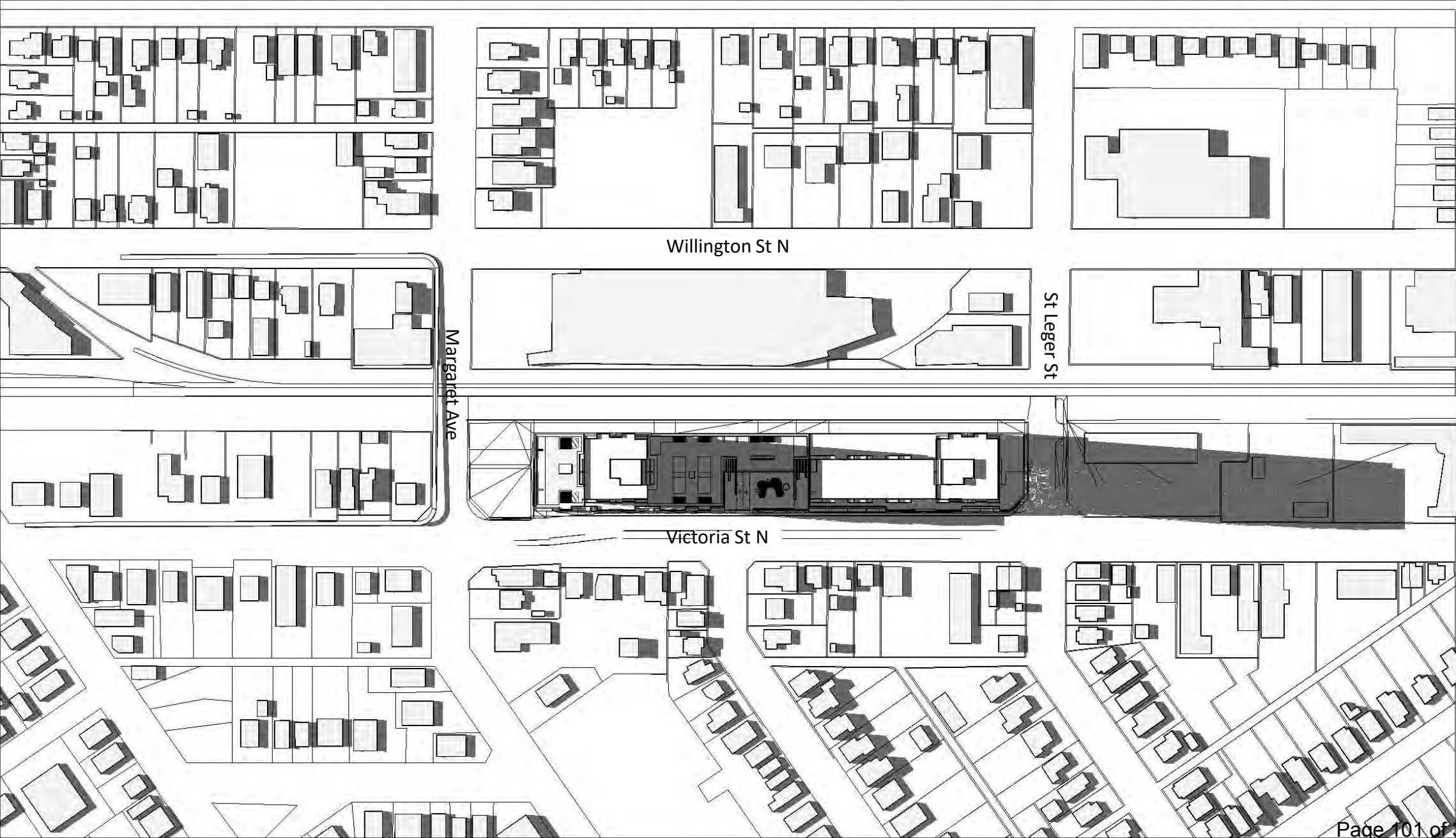


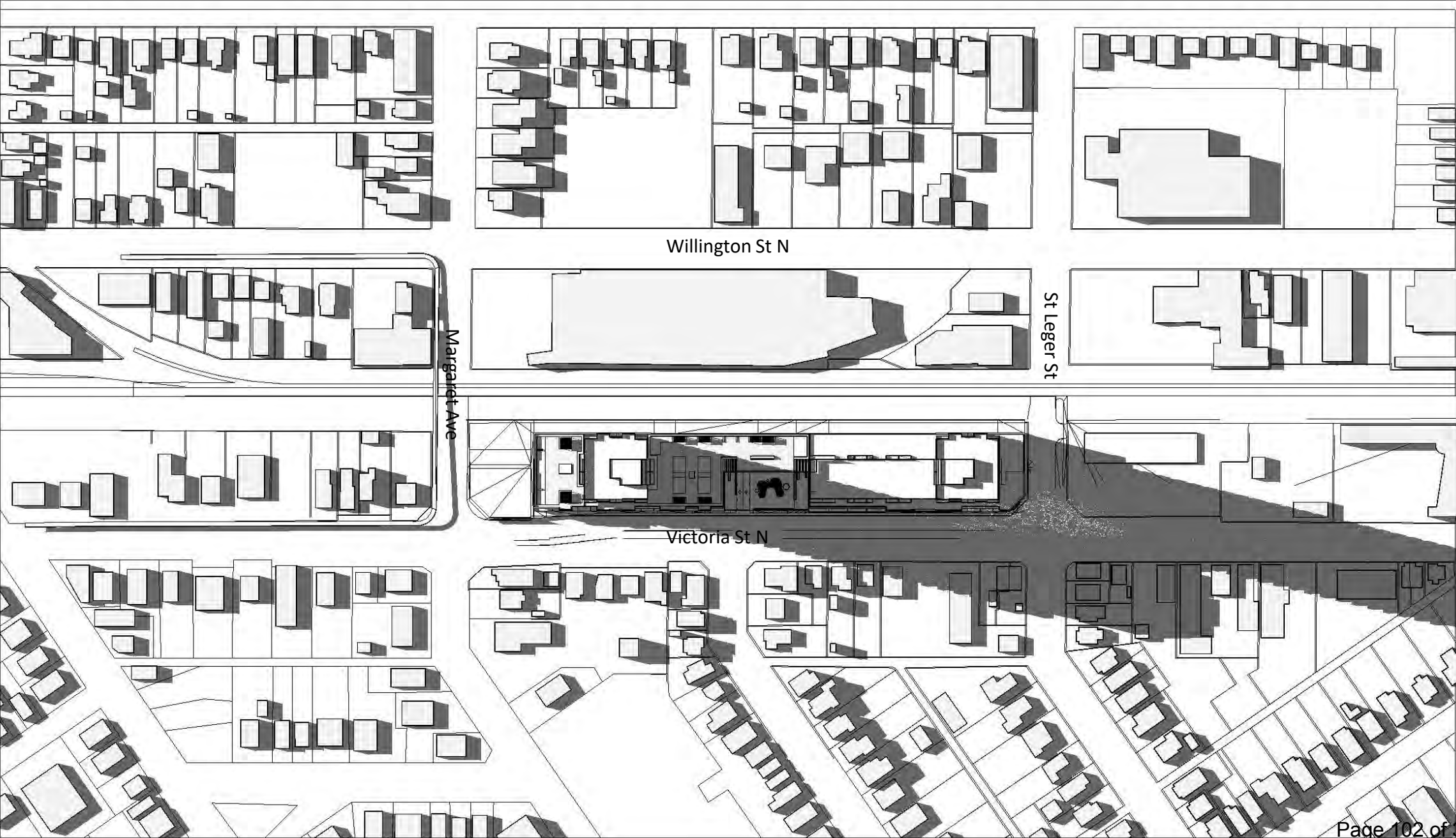










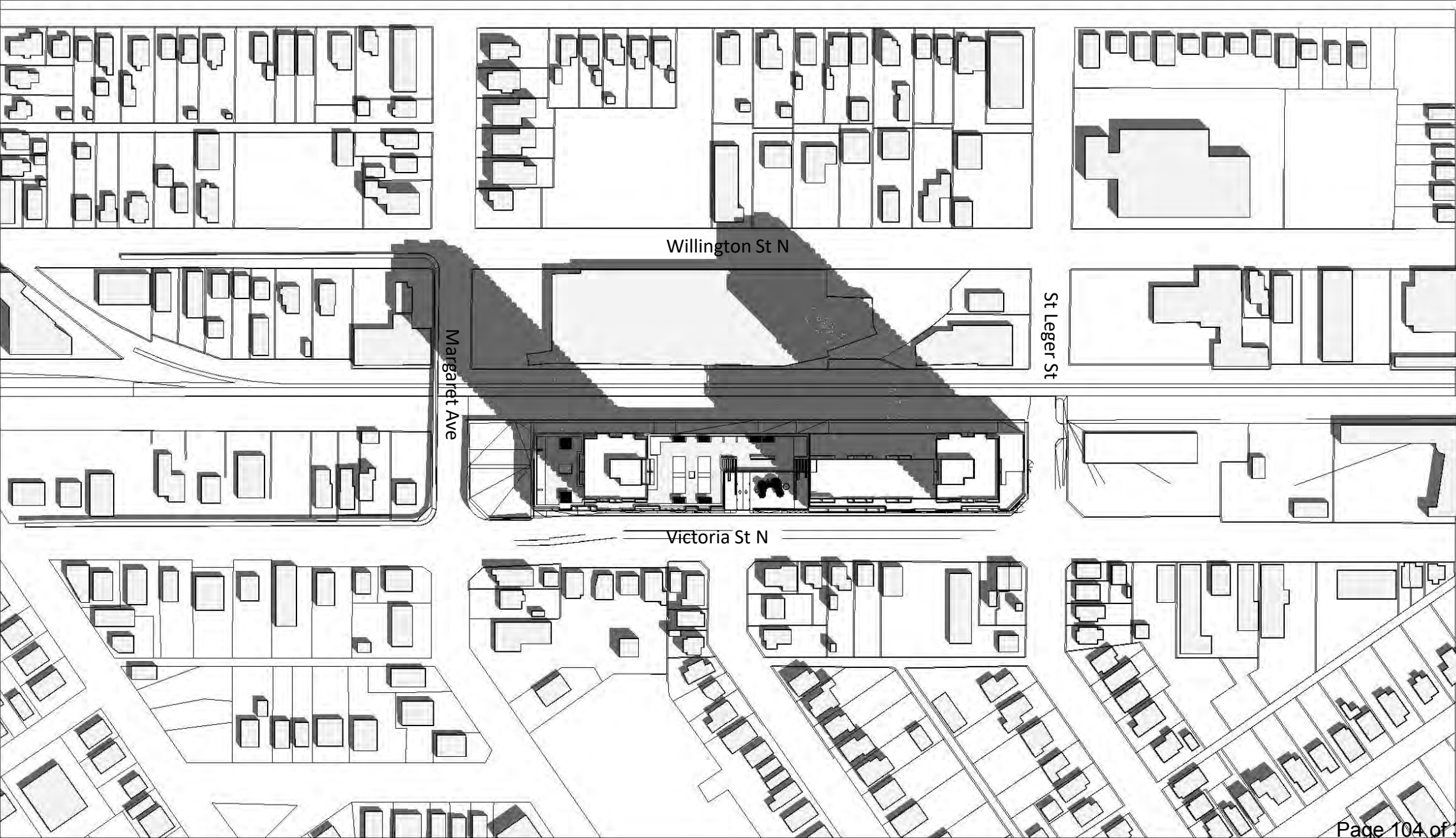


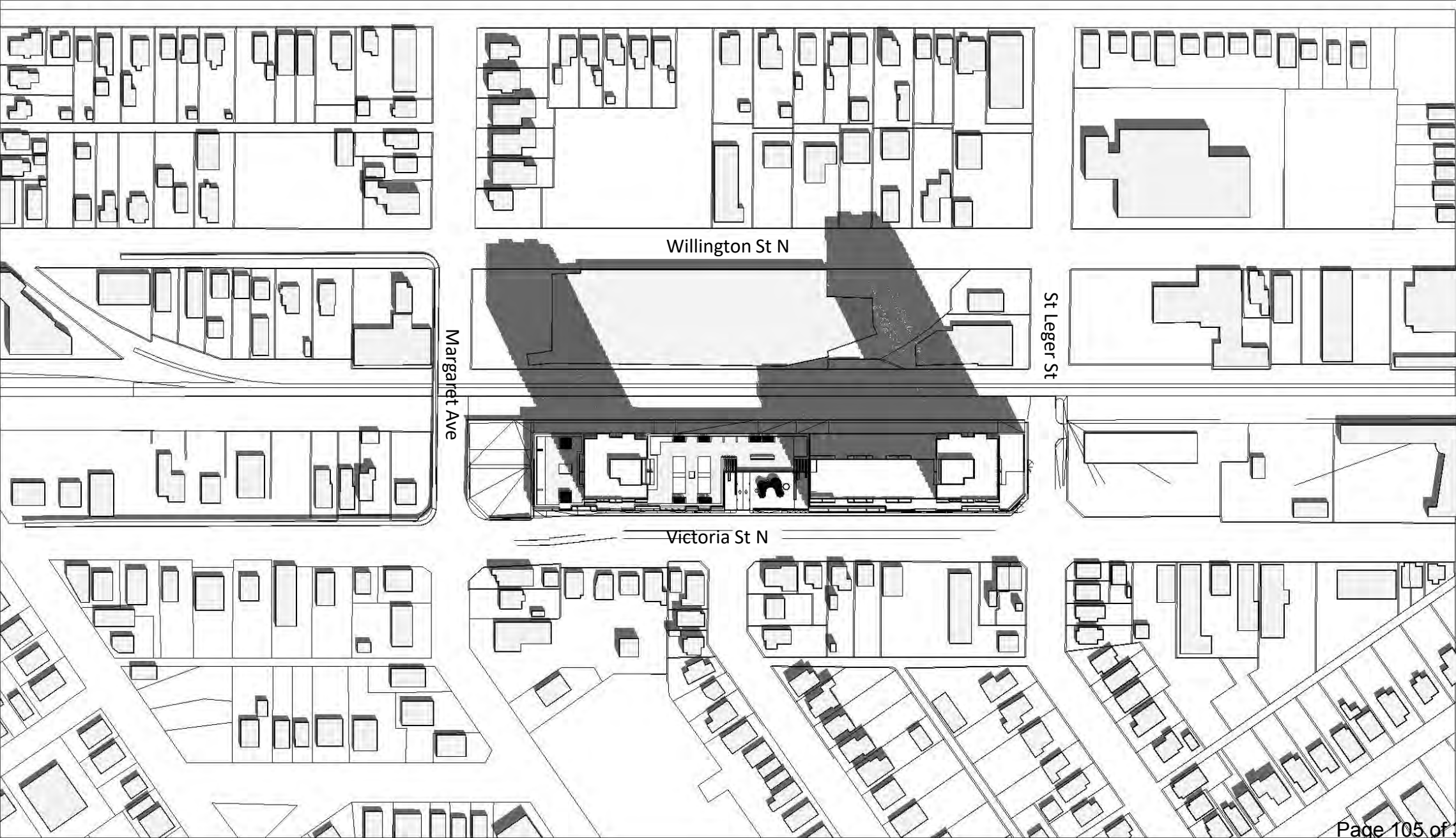
264 Victoria Street North,
Kitchener, Ontario

Sun Study

Autumn Equinox

September 21st – 10:00 AM to 6:00 PM

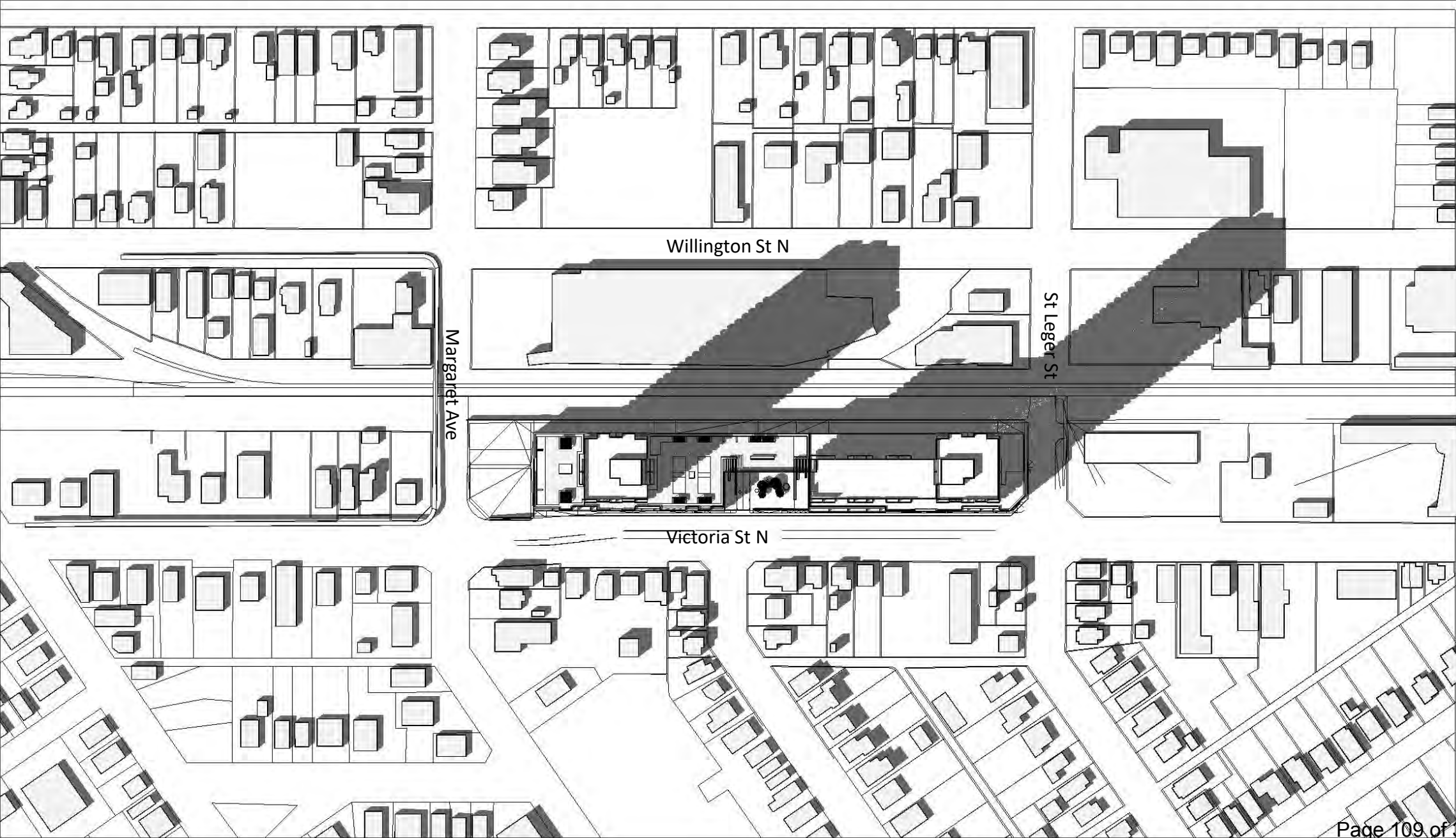


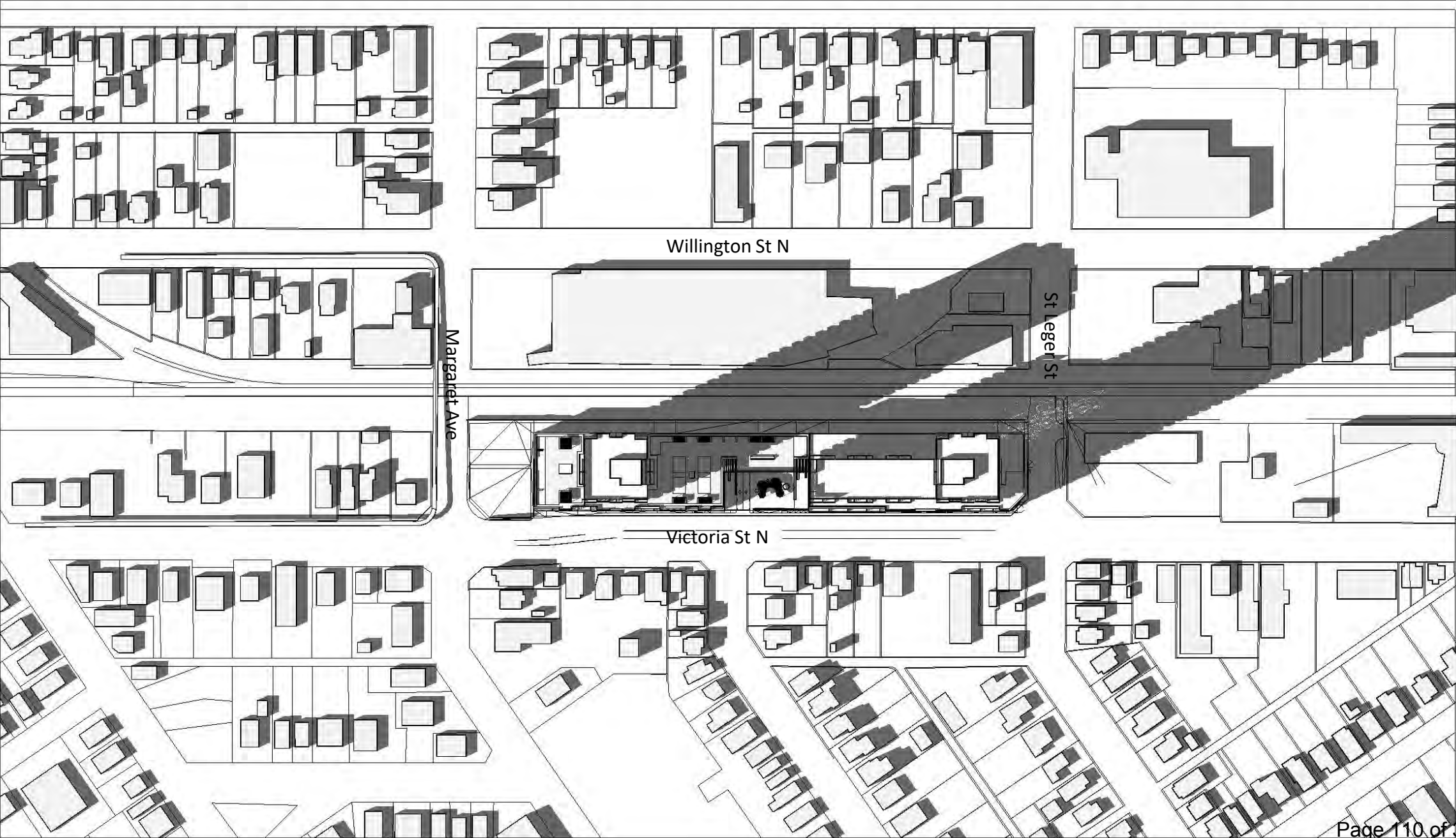


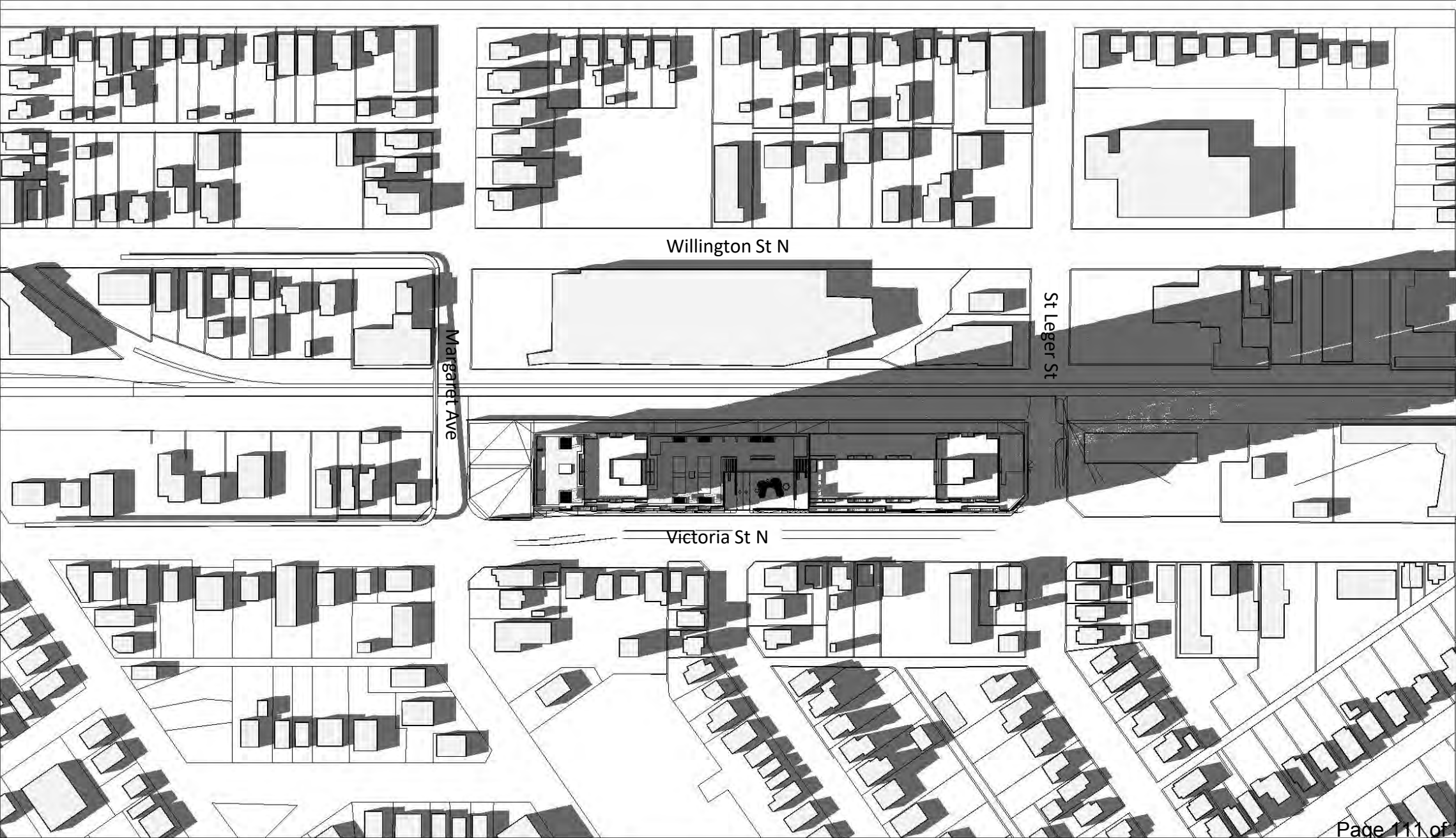


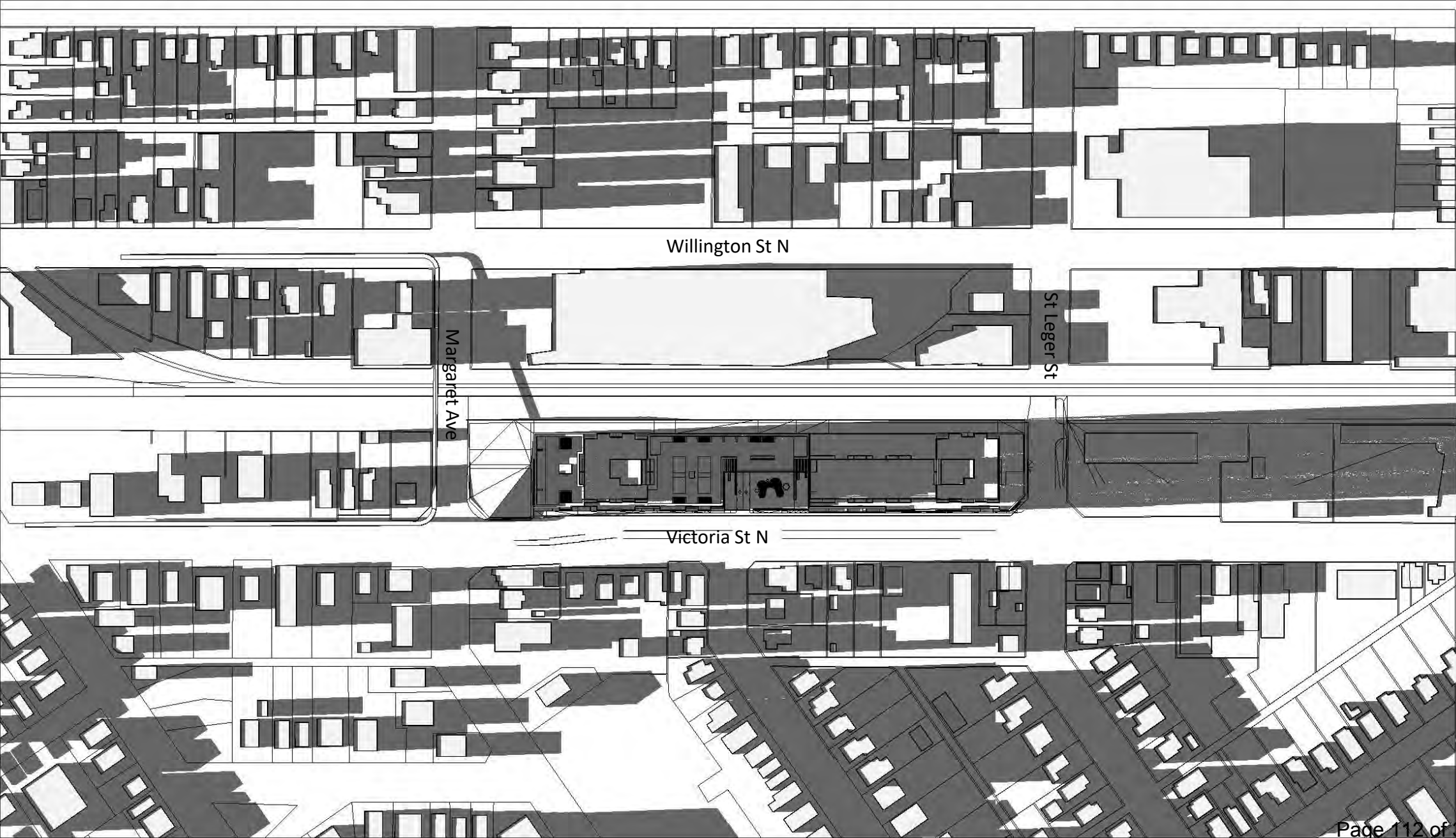












264 Victoria Street North, Kitchener, Ontario

Sun Study

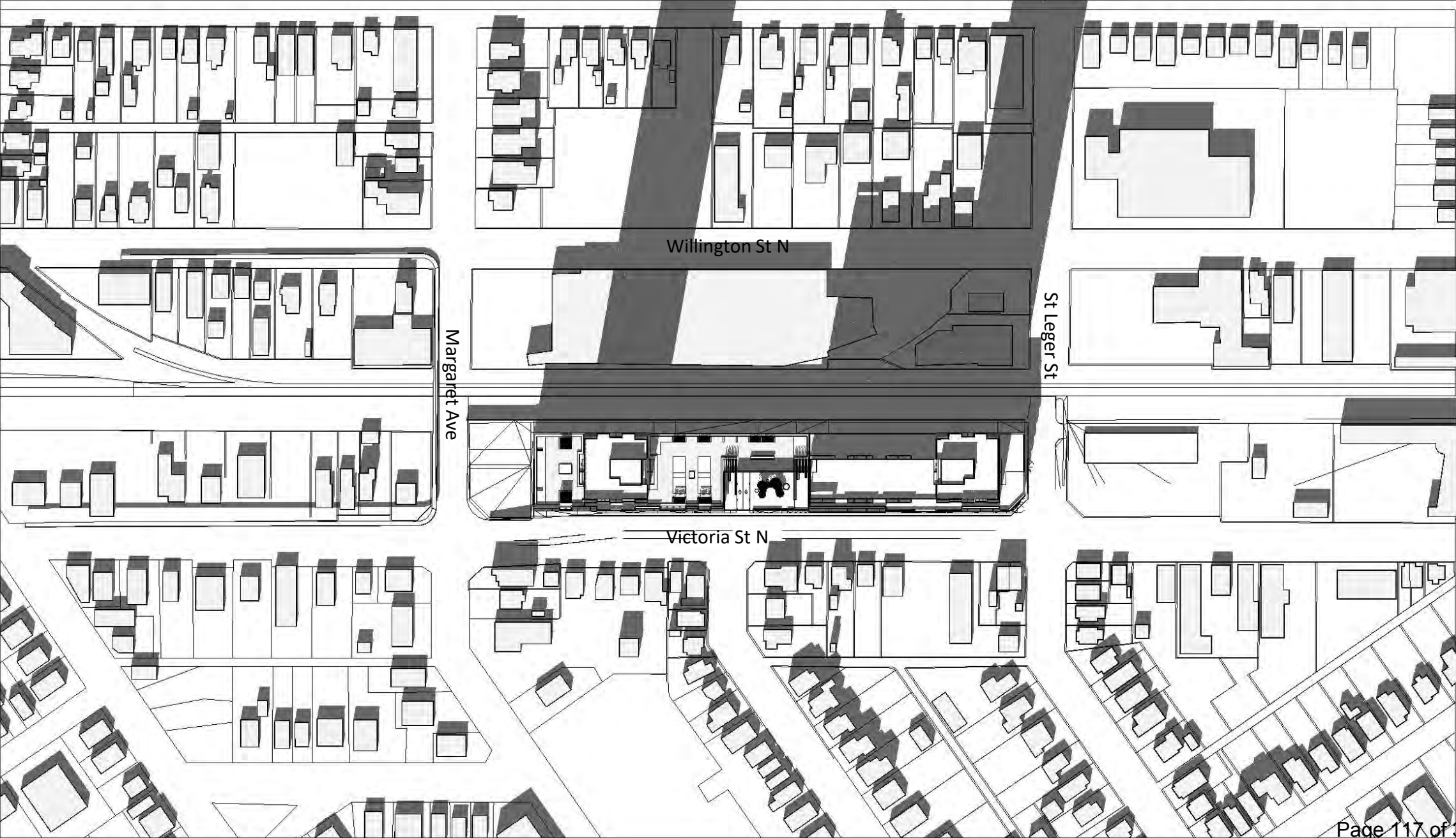
Winter Equinox

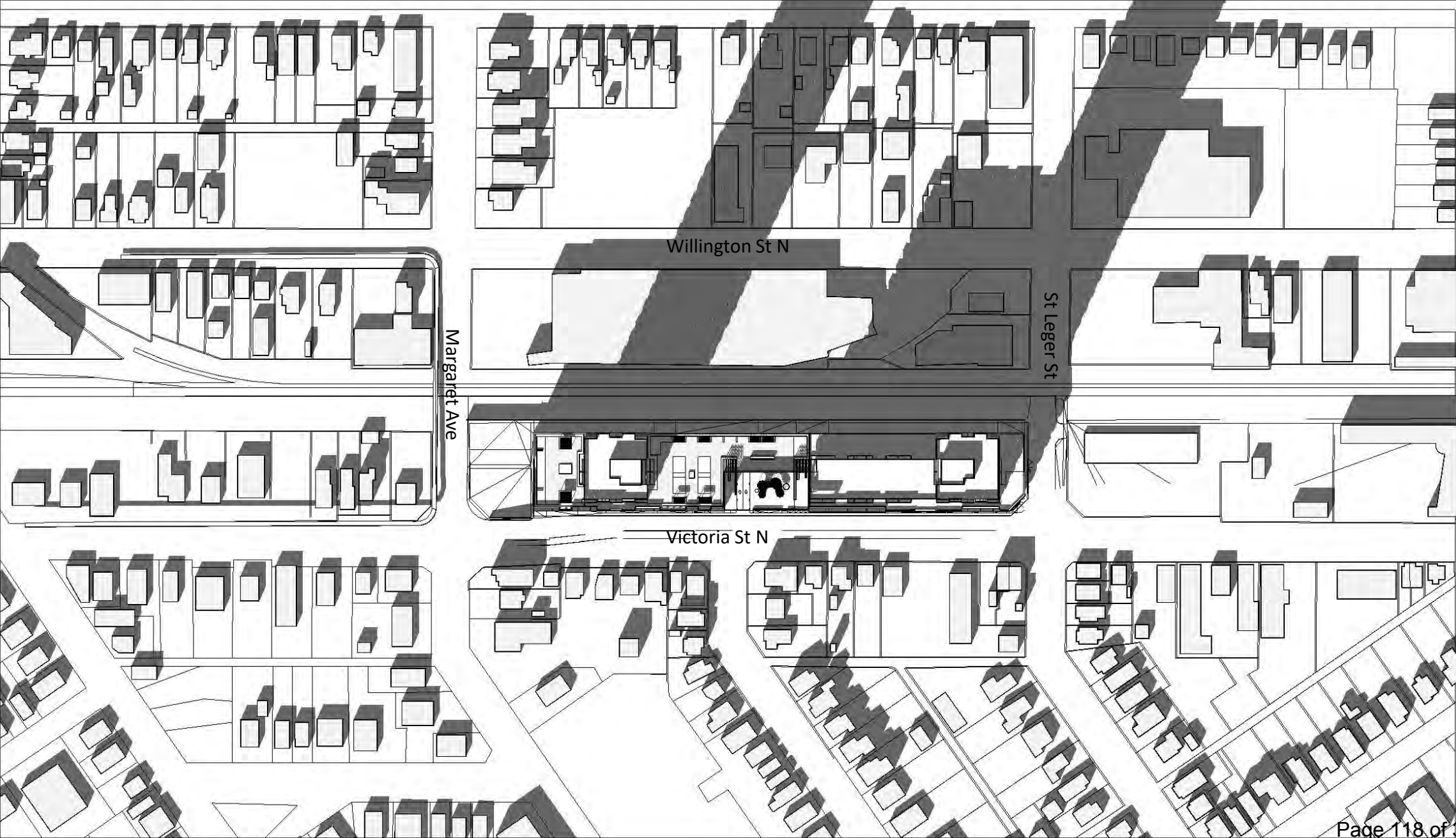
December 21st – 10:00 AM to 6:00 PM



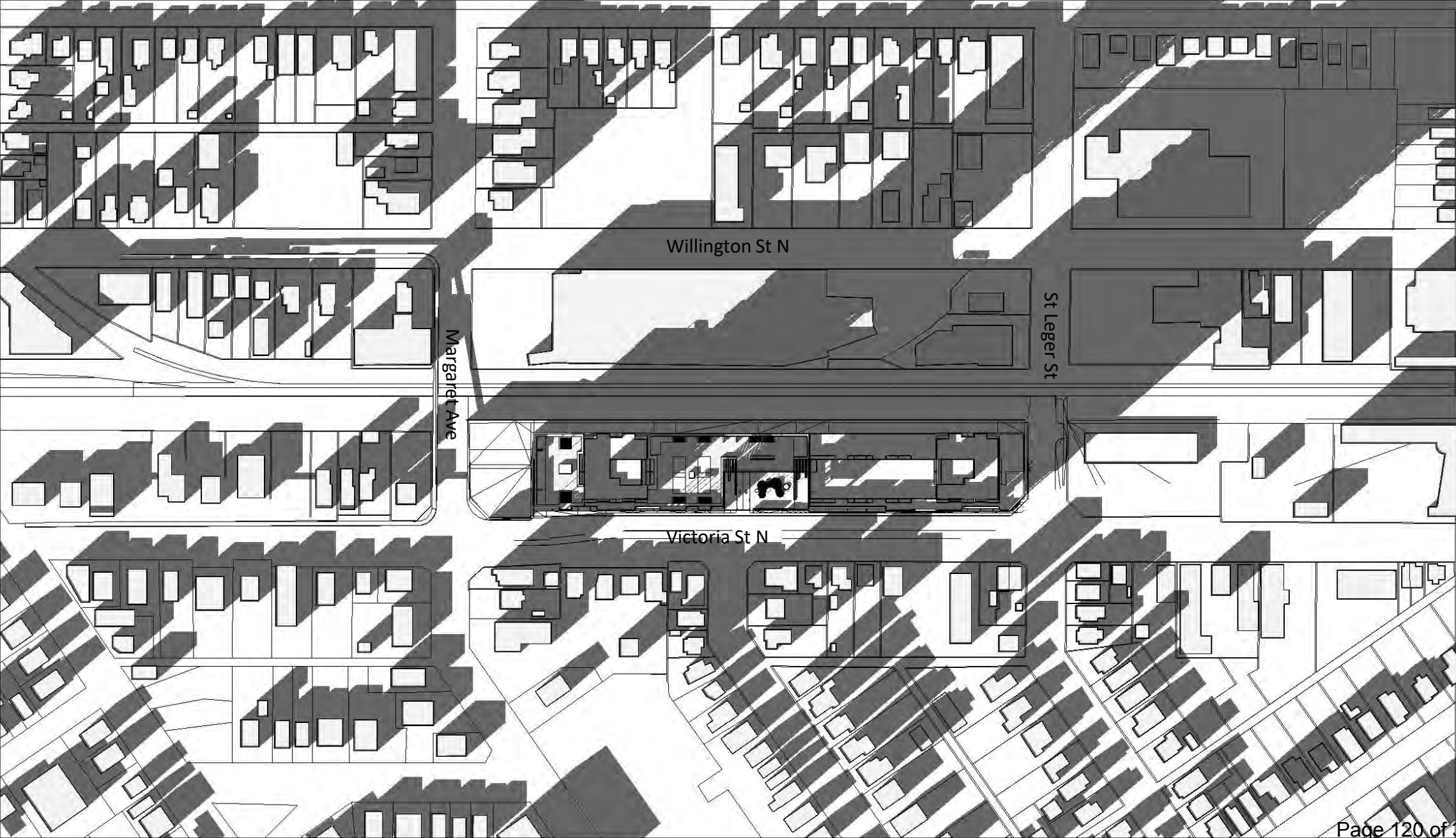


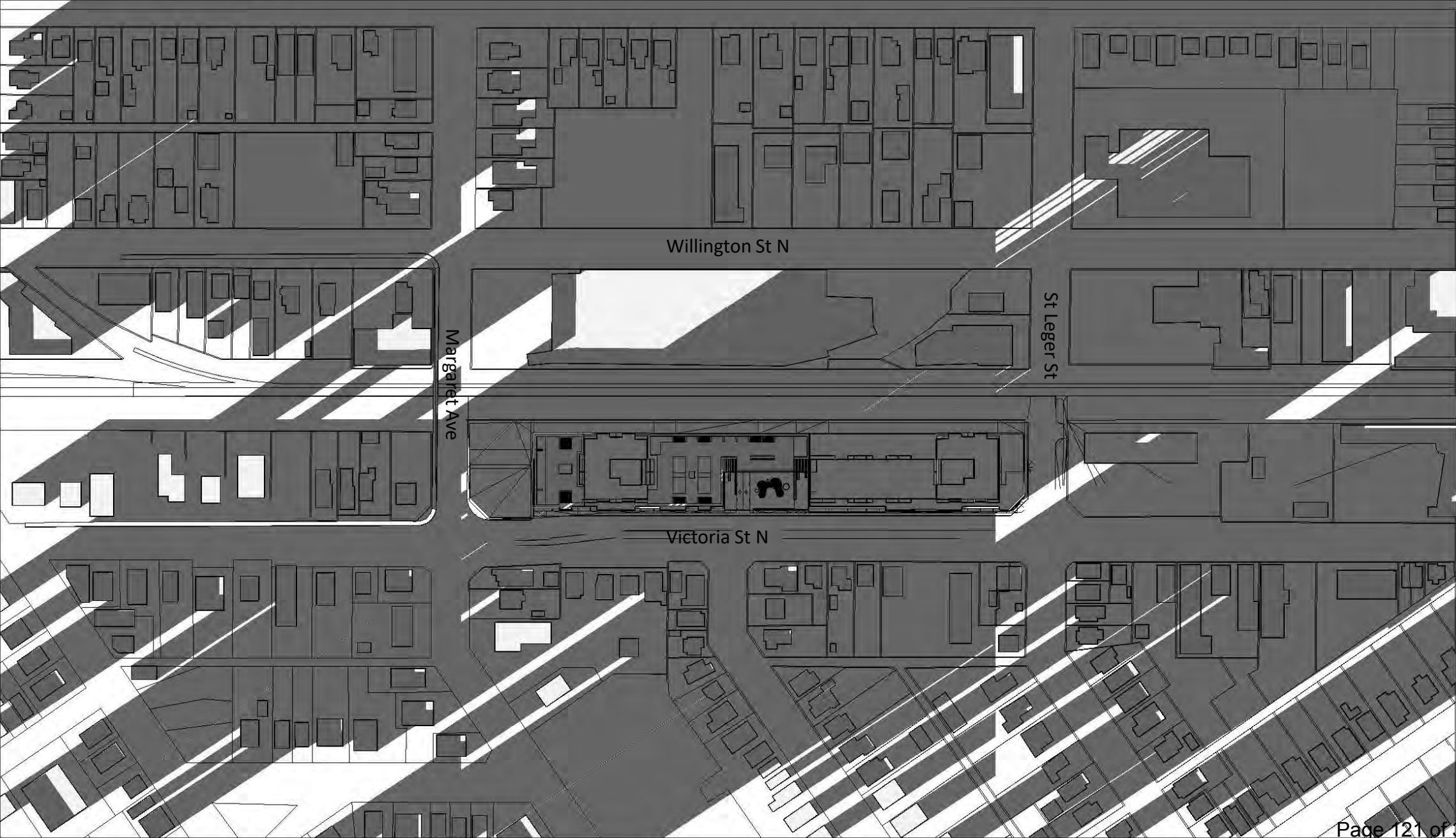


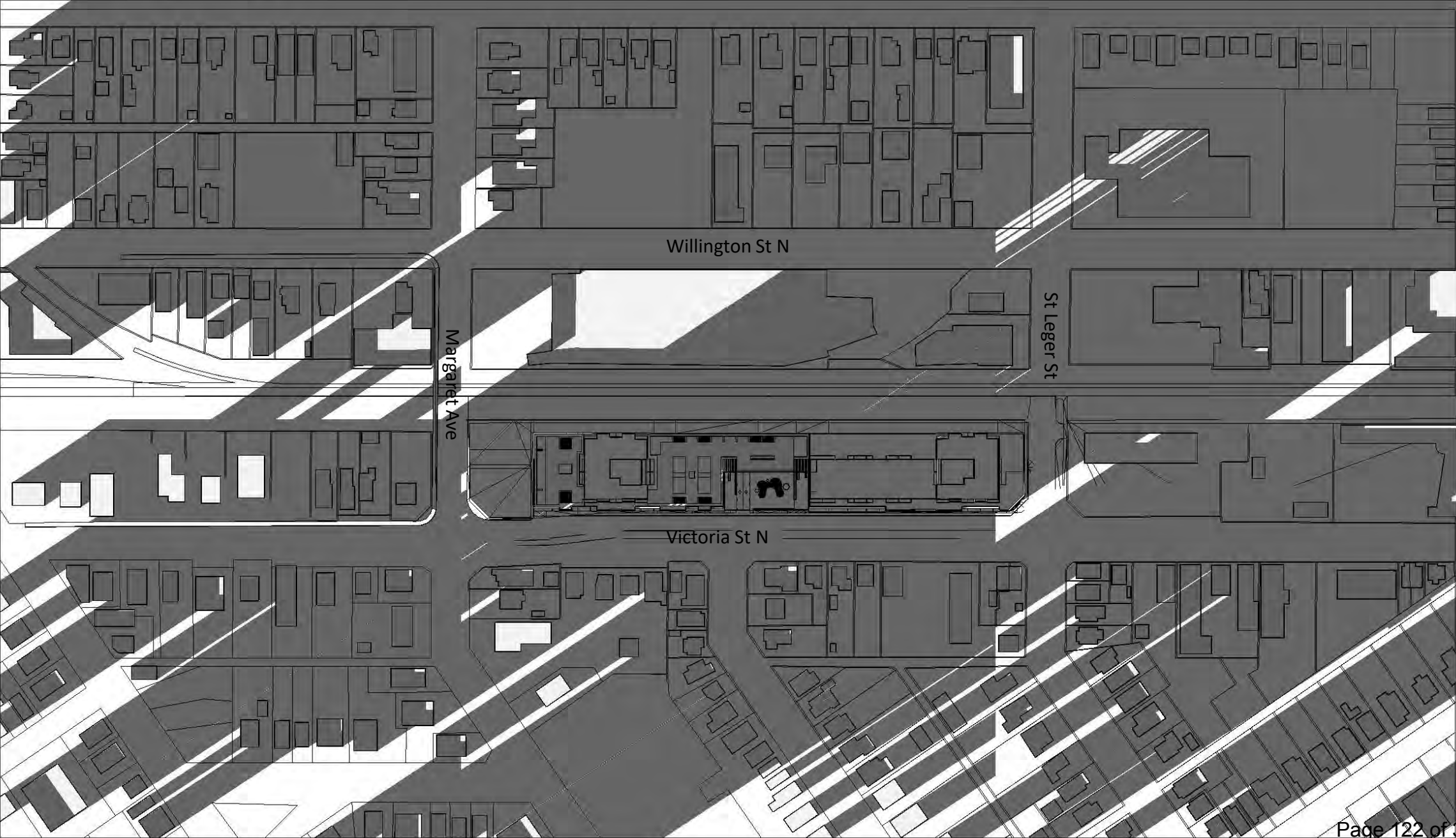












Appendix D – Report Figures

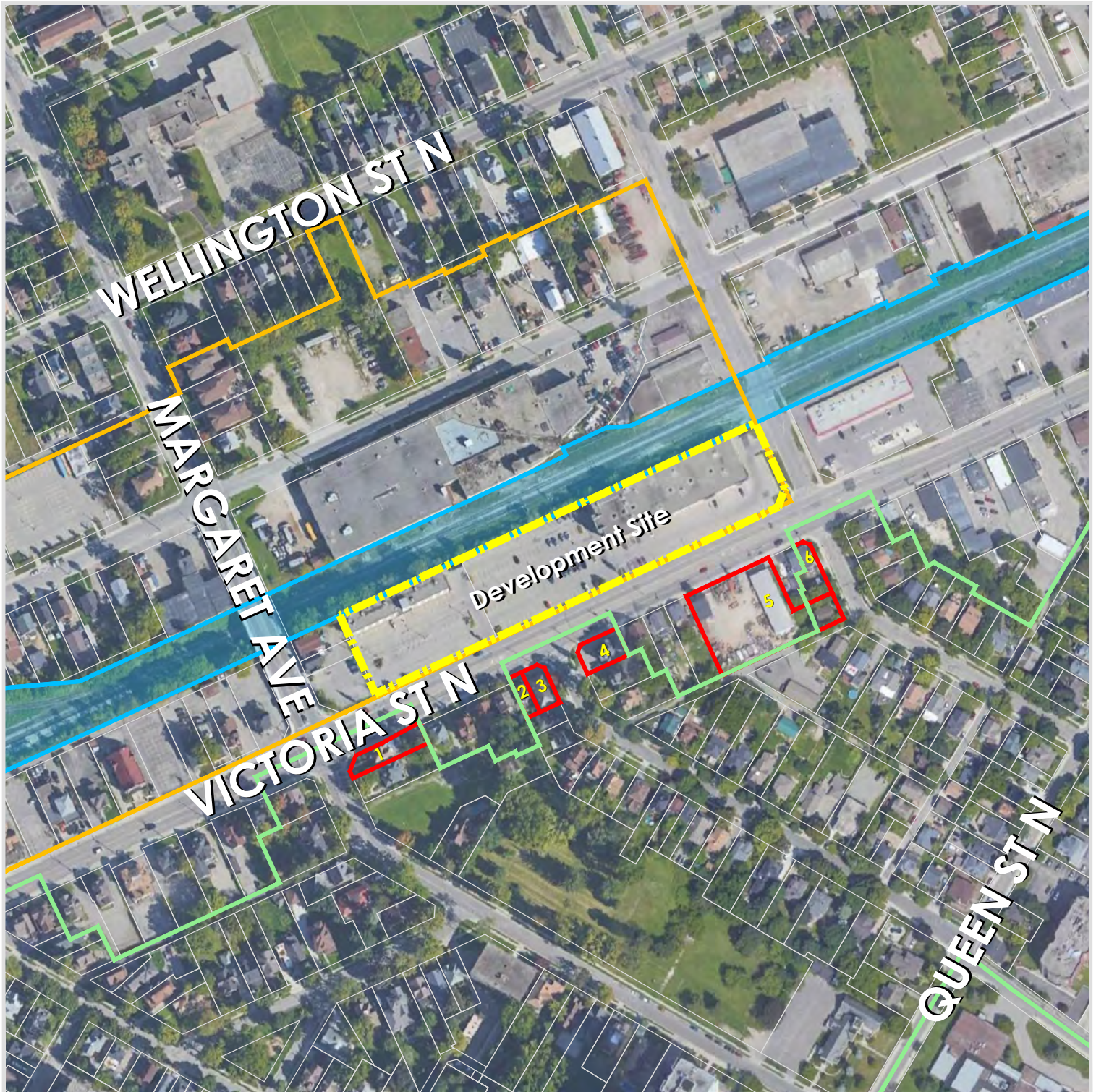


Figure 1:

Heritage Properties and Heritage Districts

236-264 Victoria St N
City of Kitchener
Region of Waterloo

LEGEND

- Subject Lands
- Warehouse District Cultural Heritage Landscapes
- Civic Centre Neighbourhood Heritage Conservation District
- CNR Line Cultural Heritage Landscape
- Heritage Properties:
 1. 74 Margaret
 2. 231 Victoria
 3. 57-61 Ellen
 4. 56 Ellen/239 Victoria
 5. 257 Victoria
 6. 277 Victoria

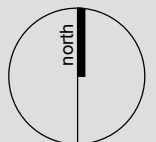
Source: Aerial - City of Kitchener (c) 2022, City of Kitchener Open Data (c) 2023

DATE: September 2023

SCALE: 1:3,000

FILE: 21302G

DRAWN: CCF



C:\USERS\CFANDRICH\DESKTOP\HERITAGE_PROPERTIES_15SEP2023.DWG

MHBC PLANNING
URBAN DESIGN
& LANDSCAPE
ARCHITECTURE

200-540 BINGEMANS CENTRE DR. KITCHENER, ON N2B 6X9
P: 519.576.3650 F: 519.576.3651 WWW.MHBCARCH.COM

Page 1 of 10

Figure 2
1925 Fire Insurance Plan

236-264 Victoria St N
City of Kitchener
Region of Waterloo

LEGEND

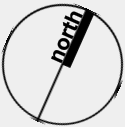
NOTE:
• Source: 1925 Fire Insurance Plan

Date: December 2023

Scale: 1:1,000

File: 21302G

Drawn: PL



K:\21302G - Victoria St. N. Kitchener\RPT\Figures.qgz

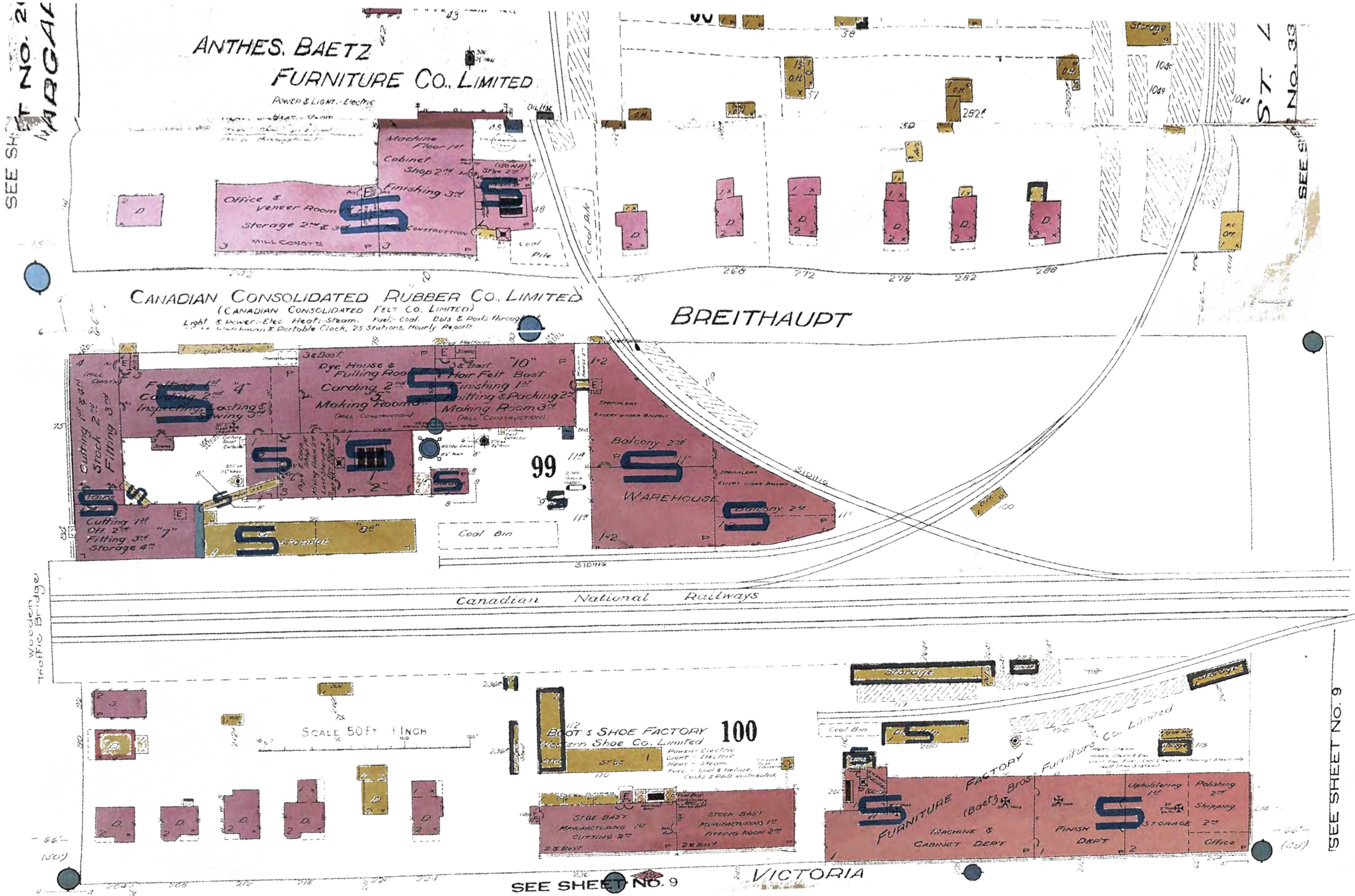




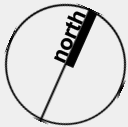
Figure 3
1925 Fire Insurance Plan
Overlay

236-264 Victoria St N
City of Kitchener
Region of Waterloo

LEGEND

NOTES:
• Source: 1925 Fire Insurance Plan
• Imagery: 2022 Region of Waterloo Satellite Imagery

Date:	December 2023
Scale:	1:1,000
File:	21302G
Drawn:	PL



K:\21302G - Victoria St. N. Kitchener\RPT\Figures.qgz



PLANNING
URBAN DESIGN
& LANDSCAPE
ARCHITECTURE

200-540 BINGEMANS CENTRE DRIVE, KITCHENER, ON, N2B 3X9 | P: 519.576.3650 | WWW.MHBCPLAN.COM

REPORT TO: Heritage Kitchener

DATE OF MEETING: April 2, 2024

SUBMITTED BY: Garrett Stevenson, Director of Development and Housing Approvals,
519-741-2200 ext. 7070

PREPARED BY: Deeksha Choudhry, Heritage Planner, 519-741-2200 ext. 7602

WARD(S) INVOLVED: Ward 5

DATE OF REPORT: March 20, 2024

REPORT NO.: DSD-2024-148

SUBJECT: Heritage Permit Application HPA-2024-IV-006
1385 Bleams Road
Demolition of Garage

RECOMMENDATION:

That pursuant to Section 34 of the Ontario Heritage Act, Heritage Permit Application HPA-2024-IV-006 be approved to permit the demolition of the garage on the property municipally addressed as 1385 Bleams Road in accordance with the supplementary information submitted with this application.

REPORT HIGHLIGHTS:

- The purpose of this report is to present staff's recommendation for the demolition of the garage at the subject property municipally addressed as 1385 Bleams Road.
- The key finding of this report is the demolition of the garage will not impact the heritage attributes of the property, as it is not protected by the designating by-law and has no cultural heritage value. However, according to Section 34 of the *Ontario Heritage Act*, the demolition of any building or structure on the property requires Council approval.
- There are no financial implications associated with this report.
- Community engagement included consultation with the Heritage Kitchener committee.
- This report supports the delivery of core services.

EXECUTIVE SUMMARY:

Heritage Permit Application HPA-2024-IV-006 proposes the demolition of the garage on the subject property municipally addressed as 1385 Bleams Road. The garage has no cultural heritage value and is not protected by the designating by-law. However, according to Section 34 of the *Ontario Heritage Act*, the applicant must obtain approval prior to the demolition or removal of any building or structure on the property, whether or not the heritage attributes will be affected. Staff are of the opinion that demolishing the garage will not impact the heritage attributes of the property.

BACKGROUND:

The Development Services Department is in receipt of Heritage Permit Application HPA-2024-IV-002 seeking permission to demolish the garage at the subject property municipally addressed as 1385 Bleams Road (Fig. 1).

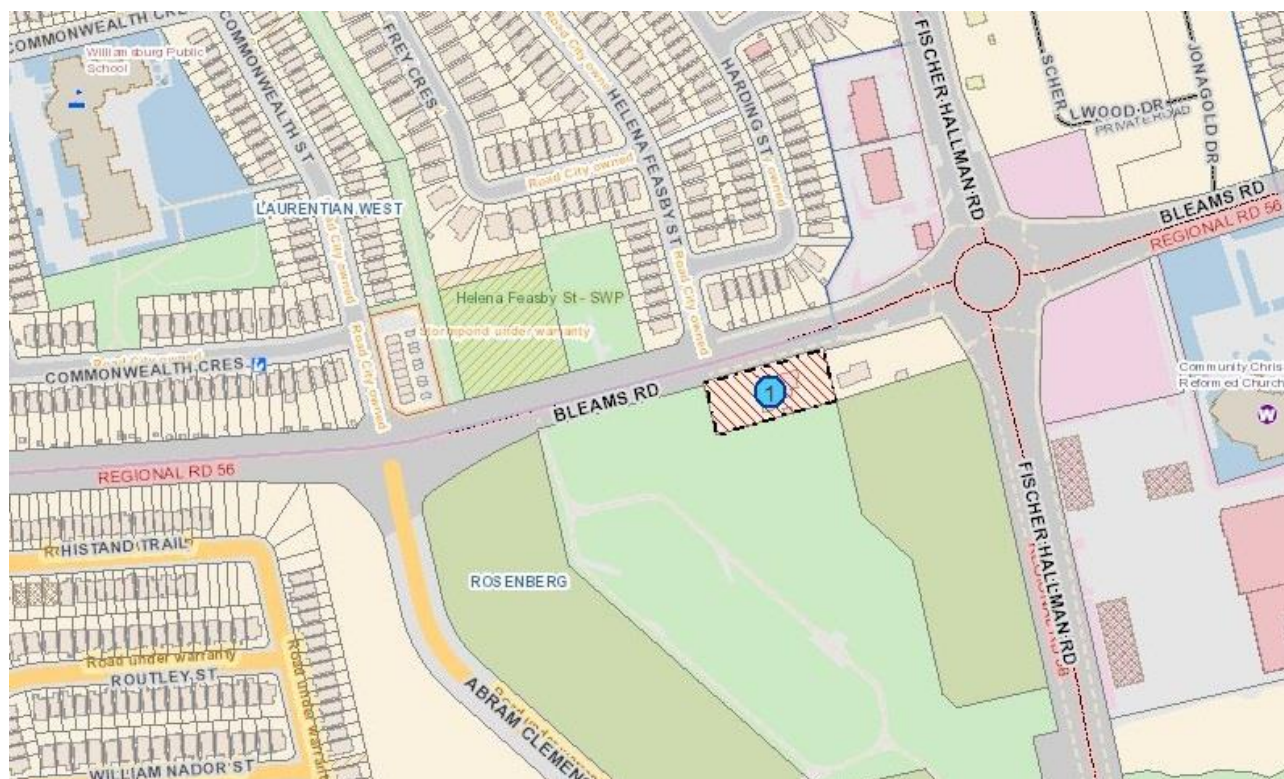


Figure 1. Location Map of subject property (highlighted in red box).

This permit has been brought before the Heritage Kitchener Committee as the subject property is designated under Part IV of the *Ontario Heritage Act* through Designating By-law 1987-309. In accordance with By-law 2009-089, delegating Council's approval for certain classes of alterations to Staff, delegated authority is permitted for Part IV designated property after consultation with the Heritage Kitchener Committee.

Even though the garage has not been identified as a heritage attribute, and is not protected by the designating by-law, the demolition or removal of any structure or building on the property needs Council consent according to Section 34 of the *Ontario Heritage Act*. The garage is a modern two-bay garage and has no cultural heritage value.

REPORT:

The subject property is located on the southern side of Bleams Road and western side of Fischer Hallman Road, between Fischer Hallman Road and Abrams Clemens Street. Also known as the former 'Williamsburg School' the subject property contains a 2 storey rubble stone construction house, which was originally constructed as a school for the former hamlet of Williamsburg in 1864 (Fig 2).



Figure 2. North and West elevation of the original Williamsburg Schoolhouse.

Williamsburg Schoolhouse

The Williamsburg Schoolhouse was originally built in 1864. It was a rectangular, gable-roofed structure constructed of granite fieldstone. A brick addition was constructed in 1874 to accommodate more students towards the rear. In 1966, the school was closed and the building was converted into a private residence. In 1987, a stone-faced, wood-framed addition was constructed at the front of the building.

The building has been recognized for its design/physical, and historical/associative value in the designating by-law. The building is one of the few remaining original buildings from the former Hamlet of Williamsburg, and the schoolhouse is a representative example of an early construction style i.e. rubble stone construction. The designating by-law identifies the following features of the property:

- All rubble stone facades of the original schoolhouse.
- The belfry;
- The fence; and
- The wood shed.

The construction date of the garage is unknown, but it was not a part of the original construction of the school. It mostly likely would have been constructed some time after

the building was converted to a residence. It is a modern two-bay garage, and does not have any cultural heritage value (Fig. 3).



Figure 3: Modern two-bay garage.

Associated Planning Applications

1385 Bleams Road was subject to a Zoning-By Law Amendment (ZBA) in 2023, which was approved by Council at its April 24, 2023, meeting. The zoning amendment was sought to change the A-1 (agricultural) zoning to RES-6 (residential) to allow for a medium rise residential development. The applicant is proposing to build eight, three-storey townhomes towards the rear of the property.

As part of the ZBA application, a Heritage Impact Assessment (HIA) was submitted in support of the application. The draft HIA was circulated to Heritage Kitchener at its March 7, 2023, meeting. The HIA has since been approved.

Demolition of Garage

To facilitate the above-mentioned development, the modern two-bay garage needs to be demolished. As part of this application, only the demolition of the garage is proposed. Even though the garage has no cultural heritage value, the *Ontario Heritage Act* requires that any building or structure proposed to be removed or demolished receive Council approval. The demolition of this garage will not affect the heritage attributes of the property, nor its reasons for designation.

The proposed alterations meet the “Eight Guiding Principles in the Conservation of Built Heritage Properties”, especially:

- Respect for historical material – repair or conserve rather than replace building materials and finishes, except where absolutely necessary. Minimal intervention maintains the historic content of the resource.
- Respect for original fabric – repair with like materials. Repair to return the resource to its prior condition, without altering its integrity.
- Respect for building’s history – Do not restore to one period at the expense of another period. Do not destroy later additions to a building or structure solely to restore to a single time period.
- Maintenance – with continuous care, future restoration will not be necessary. With regular upkeep, major conservation projects and their high costs can be avoided.
- Respect for the buildings history – do not restore at one period at the expense of another.

The proposed alterations meet the “Standards and Guidelines for the Conservation of Historic Places in Canada”, especially:

- Conserve the heritage value of an historic place. Do not remove, replace or substantially alter its intact or repairable character-defining elements. Do not move a part of an historic place if its current location is a character-defining element.
- Conserve heritage value by adopting an approach calling for minimal intervention.
- Evaluate the existing condition of character-defining elements to determine the appropriate intervention needed. Use the gentlest means possible for any intervention. Respect heritage value when undertaking an intervention.
- Maintain character-defining elements on an ongoing basis. Repair character-defining elements by reinforcing their materials using recognized conservation methods. Replace in kind any extensively deteriorated or missing parts of character-defining elements, where there are surviving prototypes.

Heritage Planning Comments

In reviewing the merits of this application, Heritage Planning Staff note the following:

- The subject property municipally addressed as 1385 Bleams Road is designated under Part IV of the Ontario Heritage Act by way of designating by-law 1987-309.
- The proposal is for the removal of the modern garage on the subject property.
- The modern garage has no cultural heritage value, and is not protected by the designating by-law. However, the demolition or removal of any building or structure on a designated property needs Council approval.
- The proposed work is consistent with the Eight Guiding Principles in the Conservation of Built Heritage Properties and with Parks Canada’s The Standards and Guidelines for the Conservation of Historic Places in Canada; and
- The proposed work will not adversely impact the building nor its reasons for designation.

STRATEGIC PLAN ALIGNMENT:

This report supports the delivery of core services.

FINANCIAL IMPLICATIONS:

Capital Budget – The recommendation has no impact on the Capital Budget.

Operating Budget – The recommendation has no impact on the Operating Budget.

COMMUNITY ENGAGEMENT:

INFORM – This report has been posted to the City’s website with the agenda in advance of the Heritage Kitchener committee meeting.

CONSULT – Heritage Kitchener has been consulted regarding the subject Heritage Permit Application.

PREVIOUS REPORTS/AUTHORITIES:

- *DSD-2023-080 – Draft Heritage Impact Assessment (HIA) – 1385 Bleams Road – Proposed Construction of 8 Three-Storey Townhomes.*
- *Ontario Heritage Act, 2022*
- *Planning Act*

APPROVED BY: Garrett Stevenson, Director of Development and Housing Approvals,
Development Services

ATTACHMENTS:

Attachment A – Heritage Permit Application HPA-2024-IV-006



HERITAGE PERMIT APPLICATION & SUBMISSION REQUIREMENTS

Development & Housing Approvals
200 King Street West, 6th Floor
Kitchener ON N2G 4V6
519-741-2426; planning@kitchener.ca

STAFF USE ONLY

Date Received:	Accepted By:	Application Number:
		HPA-

PART B: HERITAGE PERMIT APPLICATION FORM

1. NATURE OF APPLICATION

- ☐ Exterior
 ☐ Interior
 ☐ Signage
☒ Demolition
 ☐ New Construction
 ☐ Alteration
 ☐ Relocation

2. SUBJECT PROPERTY

Municipal Address: 1385 Bleams Rd Kitchener On N2E3X7

Legal Description (if know): LT 5 RCP 1469 KITCHENER; KITCHENER

Building/Structure Type: ☒ Residential ☐ Commercial ☐ Industrial ☐ Institutional

Heritage Designation: ☒ Part IV (Individual) ☐ Part V (Heritage Conservation District)

Is the property subject to a Heritage Easement or Agreement? ☐ Yes ☒ No

3. PROPERTY OWNER

Name: IOAN SOLOMES

Address: 1385 BLEAMS RD

City/Province/Postal Code: KITCHENER

Phone: 2269882403

Email: isolomes@gmail.com

4. AGENT (if applicable)

Name: ALINA SOLOMES spouse

Company:

Address: 1385 BLEAMS RD

City/Province/Postal Code: KITCHENER

Phone: 5196161010

Email: alinasolomes@yahoo.ca

5. WRITTEN DESCRIPTION

Provide a written description of the project including any conservation methods proposed. Provide such detail as materials to be used, measurements, paint colours, decorative details, whether any original building fabric is to be removed or replaced, etc. Use additional pages as required. Please refer to the City of Kitchener Heritage Permit Application Submission Guidelines for further direction.

We would like to request the demolition of the following three items: 1. double car detached garage located on the western side of the home (not part of the designation) ,2. the chimney which is in poor condition and is falling apart (not in use) and 3. the heritage fence located at the front of the property because it is rotten and missing many components.

6. REVIEW OF CITY OF KITCHENER HERITAGE PERMIT APPLICATION SUBMISSION GUIDELINES

Describe why it is necessary to undertake the proposed work:

we no longer need the garage, the chimney is at risk of falling apart and insurance company wants it gone, the fence is in an advanced state of decay and the region would appreciate it removed to accomodate the road reconstruction including multi use trail an regrading, scheduled to start this spring.

Describe how the proposal is consistent with the Part IV individual designating by-law or the Part V Heritage Conservation District Plan:

except for the heritage fence, this proposal has no effect on the heritage attributes for this property. the fence is in very poor shape from it being rotten and beyond repair.

Describe how the proposal is consistent with Parks Canada's *Standards and Guidelines for the Conservation of Historic Places in Canada* (www.historicplaces.ca/en/pages/standards-normes.aspx):

7. PROPOSED WORKS

- a) Expected start date: March/April2024 Expected completion date: spring time 2024
- b) Have you discussed this work with Heritage Planning Staff? ☐ Yes ☒ No
- If yes, who did you speak to? _____
- c) Have you discussed this work with Building Division Staff? ☐ Yes ☒ No
- If yes, who did you speak to? _____
- d) Have you applied for a Building Permit for this work? ☐ Yes ☒ No
- e) Other related Building or Planning applications: Application number _____

8. ACKNOWLEDGEMENT

The undersigned acknowledges that all of the statements contained in documents filed in support of this application shall be deemed part of this application. The undersigned acknowledges that receipt of this application by the City of Kitchener - Planning Division does not guarantee it to be a 'complete' application. The undersigned acknowledges that the Council of the City of Kitchener shall determine whether the information submitted forms a complete application. Further review of the application will be undertaken and the owner or agent may be contacted to provide additional information and/or resolve any discrepancies or issues with the application as submitted. Once the application is deemed to be fully complete, the application will be processed and, if necessary, scheduled for the next available Heritage Kitchener committee and Council meeting. Submission of this application constitutes consent for authorized municipal staff to enter upon the subject property for the purpose of conducting site visits, including taking photographs, which are necessary for the evaluation of this application. The undersigned acknowledges that where an agent has been identified, the municipality is authorized but not required to contact this person in lieu of the owner and this person is authorized to act on behalf of the owner for all matters respecting the application. The undersigned agrees that the proposed work shall be done in accordance with this application and understands that the approval of this application under the *Ontario Heritage Act* shall not be a waiver of any of the provisions of any by-law of the City of Kitchener or legislation including but not limited to the requirements of the Building Code and the Zoning By-law. The undersigned acknowledges that in the event this application is approved, any departure from the conditions imposed by the Council of the City of Kitchener or from the plans or specifications approved by the Council of the City of Kitchener is prohibited and could result in a fine being imposed or imprisonment as provided for under the *Ontario Heritage Act*.

Signature of Owner/Agent: Ioan Solomes Date: January 12th 2024

Signature of Owner/Agent: _____ Date: _____

9. AUTHORIZATION

If this application is being made by an agent on behalf of the property owner, the following authorization must be completed:

I / We, Ioan Solomes, owner of the land that is subject of this application, hereby authorize Alina Solomes to act on my / our behalf in this regard.

Signature of Owner/Agent: Ioan Solomes Date: January 12th 2024

Signature of Owner/Agent: _____ Date: _____

The personal information on this form is collected under the legal authority of Section 33(2), Section 42(2), and Section 42(2.2) of the Ontario Heritage Act. The information will be used for the purposes of administering the Heritage Permit Application and ensuring appropriate service of notice of receipt under Section 33(3) and Section 42(3) of the Ontario Heritage Act. If you have any questions about this collection of personal information, please contact the Manager of Corporate Records, Legislated Services Division, City of Kitchener (519-741-2769).

STAFF USE ONLY

Application Number: _____

Application Received: _____

Application Complete: _____

Notice of Receipt: _____

Notice of Decision: _____

90-Day Expiry Date: _____

PROCESS:

☐ Heritage Planning Staff: _____

☐ Heritage Kitchener: _____

☐ Council: _____

REPORT TO: Heritage Kitchener

DATE OF MEETING: April 2, 2024

SUBMITTED BY: Garrett Stevenson, Director of Development Approvals and Housing, 519-741-2200 ext. 7070

PREPARED BY: Jessica Vieira, Heritage Planner, 519-741-2200 ext. 7291

WARD(S) INVOLVED: Ward 10

DATE OF REPORT: March 11, 2024

REPORT NO.: DSD-2024-133

SUBJECT: Notice of Intention to Designate 10 Duke Street West under Part IV of the Ontario Heritage Act

RECOMMENDATION:

That pursuant to Section 29 of the *Ontario Heritage Act*, the Clerk be directed to publish a Notice of Intention to Designate the property municipally addressed as 10 Duke Street West as being of cultural heritage value or interest.

REPORT HIGHLIGHTS:

- The purpose of this report is to request that Council direct the Clerk to publish a Notice of Intention to Designate the property municipally addressed as 10 Duke Street West under Part IV of the *Ontario Heritage Act*.
- The key finding of this report is that the property municipally addressed as 10 Duke Street West meets the criteria for designation under Ontario Regulation 9/06 (amended by Ontario Regulation 569/22) and has been confirmed to be a significant cultural heritage resource. The property is recognized for its design/physical, historical/associative, and contextual value.
- There are no financial implications.
- Community engagement included informing residents by posting this report with the agenda in advance of the Heritage Kitchener meeting, consulting, and collaborating with the owner regarding the recommendations of the Heritage Impact Assessment (HIA), and consultation with Heritage Kitchener. In addition, should Council choose to give notice of its intention to designate, such notice will be served to the Owner and Ontario
- This report supports the delivery of core services.

BACKGROUND:

The subject property is located on the north-west corner of the Duke Street West and Queen Street North intersection. At present, the property contains a vacant three storey

commercial brick building, constructed c. 1949 in the Colonial Revival architectural style. The property is approximately 0.55 acres in size and is within the City Commercial Core of the City of Kitchener, Region of Waterloo.



Subject Area Map – 10 Duke Street West

10 Duke Street West is currently part of an active Site Plan Application (SP22/104/D/AP) which proposes the redevelopment of the site with a new mixed-use building 45 storeys in height. The podium level will contain commercial, office, amenity, and parking spaces and 499 residential units within the remaining levels. The redevelopment will retain the entire principal (south) façade, the entire east façade, and a portion of the west façade.

The subject property is currently listed as a non-designated property of cultural heritage value or interest on the Municipal Heritage Register and is adjacent to two other listed properties and a property now designated under Part IV of the Ontario Heritage Act. As such the submission and approval of a Heritage Impact Assessment (HIA) was made a requirement of this site plan. The resulting HIA has been prepared by McCallum Sather on behalf of VanMar Development Incorporated, and the first draft was brought the Heritage Kitchener Committee for review and comment in November 2021. No major concerns were identified with the proposal at this time. The most recent revision of the HIA is dated January 2024 and forms Attachment A of this report.

The HIA includes an assessment of the property against the criteria for designation as provided by Ontario Regulation 9/06 (amended through Ontario Regulation 569/22). The assessment concluded that the property meets sufficient criteria for designation and should be recognized for its design/physical, historical/associative, and contextual value.

REPORT:

Identifying and protecting cultural heritage resources within the City of Kitchener is an important part of planning for the future, and helping to guide change while conserving the buildings, structures, and landscapes that give the City of Kitchener its unique identity. The City plays a critical role in the conservation of cultural heritage resources. The designation of property under the *Ontario Heritage Act* is the main tool to provide long-term protection of cultural heritage resources for future generations. Designation recognizes the importance of a property to the local community; protects the property's cultural heritage value; encourages good stewardship and conservation; and promotes knowledge and understanding about the property. Designation not only publicly recognizes and promotes awareness, but it also provides a process for ensuring that changes to a property are appropriately managed and that these changes respect the property's cultural heritage value and interest.

10 Duke Street West is recognized for its design/physical, historical/associative, and contextual values. It satisfies five of the nine criteria for designation under Ontario Regulation 9/06 (amended by Ontario Regulation 569/22). A summary of the criteria that is met or not met is provided in the table below.

Criteria	Criteria Met (Yes/No)
1. The property has design value or physical value because it is a rare, unique, representative or early example of a style, type, material, or construction method.	Yes
2. The property has design value or physical value because it displays a high degree of craftsmanship or artistic merit.	No
3. The property has design or physical value because it demonstrates a high degree of technical or scientific achievement.	No
4. The property has historical value or associative value because it has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community.	Yes
5. The property has historical or associative value because it yields, or has the potential to yield, information that contributes to an understanding of a community or culture.	Yes
6. The property has historical value or associative value because it demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.	No
7. The property has contextual value because it is important in defining, maintaining or supporting the character of an area.	Yes
8. The property has contextual value because it is physically, functionally, visually, or historically linked to its surroundings.	Yes
9. The property has contextual value because it is a landmark.	Yes

Design / Physical Value

10 Duke Street West has design and physical value, being a representative example of the Colonial Revival architectural style for a commercial building. The building was constructed c. 1949 and features: rectangular plan; red flemish brick; eleven bays along the front Duke Street elevation and rear elevations, and six bays on the short elevations to the East and West separated by shallow brick columns with limestone capitals and base; segmentally flat window openings with brick voussoirs and stone sills; main entrance door with window surround, transom and entablature; limestone band between 2nd and 3rd and the parapet at the roof line.



Figure 1: Front (South) Facade of Subject Property



Figure 2: East Side Facade of Subject Property

Character defining interior elements are concentrated within the building core and include: the existing stair railings with black metal spindles and newel posts with brass railing; wall grilles; marble ceilings and walls within the main entrance lobby, two-toned terrazzo flooring with marble accents at thresholds, and ceramic tiles in washroom.

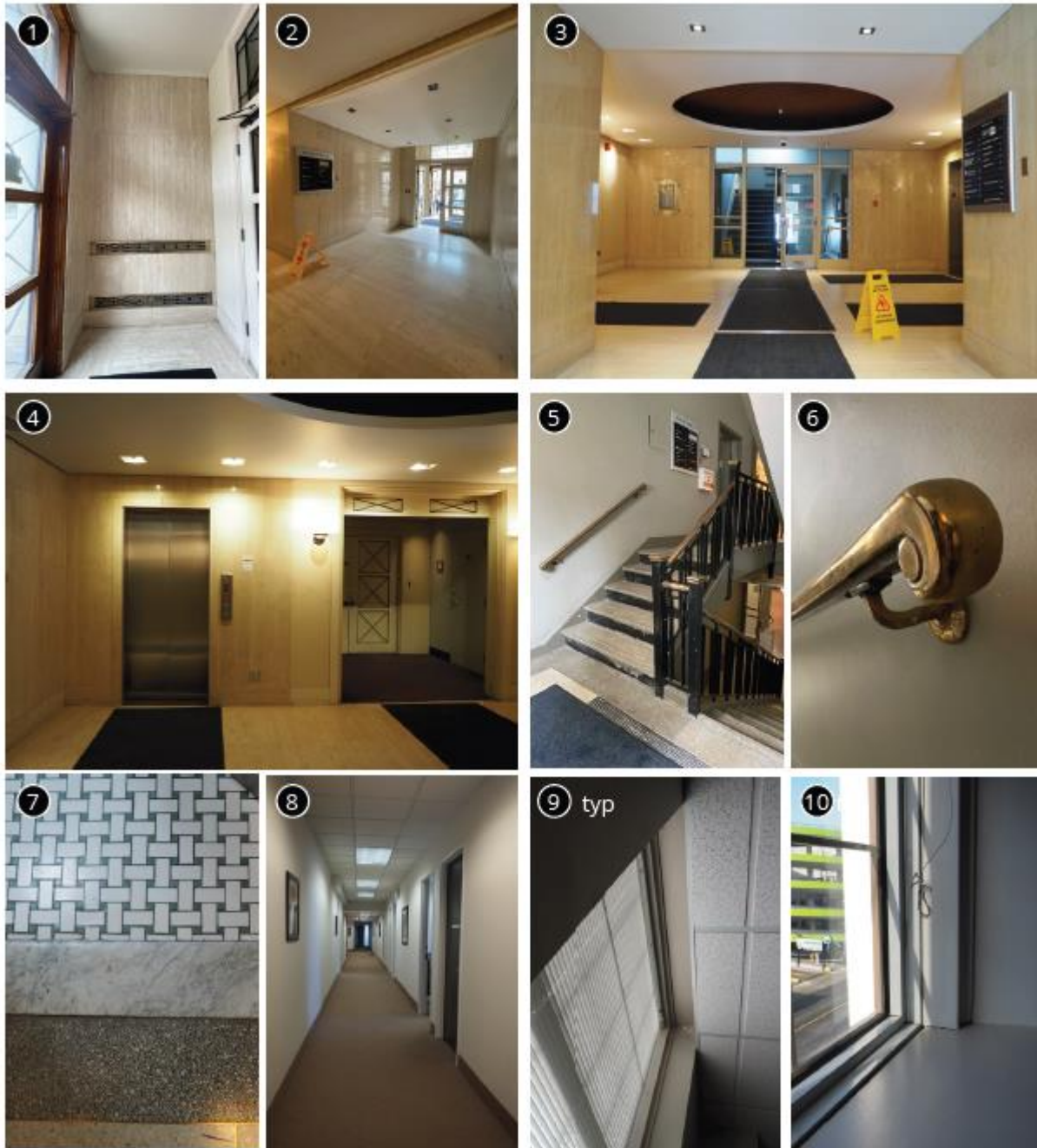


Figure 3: Character Defining Interior Attributes

Historical / Associative Value

The subject property demonstrates historical and associative value due to its connection to the history of insurance in Kitchener and due to the original owner and use of the property. 10 Duke Street was the fifth office building in Kitchener of the Economical Mutual Fire Insurance Company.

The Economical Mutual Fire Insurance Company (now known as Economical Insurance) was founded in Berlin (now Kitchener) in 1971. The purpose of the company was to provide protection against the devastation and hardship caused by fire, lightening, and other natural disasters. 10 Duke Street was the fifth location of the Economical Mutual Fire Insurance Company in Kitchener, superseding the location at 16-20 Queen Street North as headquarters in 1949. The building operated as headquarters for 40 years, until 1989. The decision to build on the subject property was led by the company's seventh president, Senator William D. Euler.

William D. Euler was a distinguished citizen of Waterloo County. He taught public school for six years, established a business college, and acquired an interest in the Kitchener News Record before eventually becoming president of the company. He also had an active and distinguished political career, beginning as Berlin Alderman, being appointment Mayor of Berlin from 1913-1914, and then becoming Member of Parliament in 1917 and successfully remained in this role through seven consecutive general elections. He was appointed Minister of National Revenue, Minister of Trade and Commerce, and then to the Senate of Canada in 1935. In 1961 he became the first Chancellor of Waterloo Lutheran University (now Wilfrid Laurier University).

The subject property also has the potential to contribute to an understanding of the community, as it is linked to the rapid expansion of the company which was a result of the rapid growth of the Canadian economy in the post-World War II era. Its operations also yield information related to business operations within the City during this era.

Contextual Value

The building is located in-situ, in a prominent location on the north side of Duke Street West between Ontario Street to the west and Queen Street North to the east. The property is physically and visually linked to the streetscape in terms of scale and material. It supports and maintains the character of the streetscape and area, being located within the City Commercial Core and in proximity to a number of other historic commercial buildings, including 16-20 Queen Street North which is the fourth office of the Economic Mutual Fire Insurance Company. Due to its location on a corner lot on a prominent street, its distinctive Colonial Revival characteristics, and its main entrance fronting directly onto Duke Street West the building can also be classified as a landmark.

Heritage Attribute List

The heritage value of 10 Duke Street West resides in the following attributes identified below:

- Exterior elements related to the Colonial Revival architectural style of the building, including:
 - Red Flemish brick;
 - Rectangular plan;
 - 11 bays along Duke Street and 6 bays along Queen Street;
 - Segmentally flat windows openings with brick voussoirs;
 - 8/12 windows with limestone sills;
 - Main entrance door with door surround, transom and entablature;
 - The limestone band between 2nd and 3d floors; and
 - The parapet along the roofline.
- Interior elements including:
 - Brass elements: Stair railings, newel post caps and wall grilles; and,
 - Roman Travertine tile in vestibule entrance and lobby.
- Elements related to the contextual value of the subject property and its status as a landmark, including:
 - Prominent location at the intersection of Duke Street West and Queen Street North;
 - Balanced front and side façades; and
 - The massing of the building fronting onto both Duke Street West and Queen Street North.

Forthcoming Heritage Permit Application

Should Council choose to publish a Notice of Intention to Designate, Heritage Planning Staff will be returning to the Heritage Kitchener Committee with two heritage permit applications; one for the partial demolition of the building, and one for the new construction for the 45-sotrey mixed use building.

STRATEGIC PLAN ALIGNMENT:

This report supports the delivery of core services.

FINANCIAL IMPLICATIONS:

Capital Budget – The recommendation has no impact on the Capital Budget.

Operating Budget – The recommendation has no impact on the Operating Budget.

COMMUNITY ENGAGEMENT:

INFORM – This report has been posted to the City’s website with the agenda in advance of the council / committee meeting.

CONSULT and COLLABORATE – Heritage Planning staff have consulted and collaborated with the applicant and owner regarding designation under the *Ontario Heritage Act*. Designation was made a condition of site plan approval, subject to consideration by the Municipal Heritage Committee and Council.

Section 29(2) of the *Ontario Heritage Act* requires Council to consult with the Municipal Heritage Committee (Heritage Kitchener) before giving notice of its intention to designate a property. Heritage Kitchener will be consulted via circulation and consideration of this report (see INFORM above). Members of the community will be informed via circulation of this report to Heritage Kitchener and via formal consideration by Council. In addition, should Council choose to give notice of its intention to designate, such notice will be served on the property owner and the Ontario Heritage Trust, and published in the local newspaper (The Record). Once notice has been served, the owner has the right of appeal to the Ontario Land Tribunal. It should be noted that should Council decide not to proceed with a Notice of Intention to Designate, that the building will remain on the City's Municipal Heritage Register until January 1, 2025, after which it will be removed according to the changes enacted by Bill 23. Once removed, it cannot re-listed on the Register again for five (5) years, i.e. January 1, 2030.

PREVIOUS REPORTS/AUTHORITIES:

- Ontario Heritage Act, R.S.O 1990

APPROVED BY: Justin Readman, General Manager, Development Services Department

ATTACHMENTS

Attachment A – Heritage Impact Assessment, 10 Duke Street West, McCallum Stather



Cultural Heritage Impact Assessment Report

CITY OF KITCHENER // 10 DUKE STREET WEST

Revision #3: January 2024

Revision #2: April 2023

November 22nd 2021

Page 145 of 348

Table of Contents

Executive Summary	3
1.0 Introduction to the report	4
1.1 Contact Information	4
1.2 Purpose	5
1.3 Methodology	6
2.0 Introduction to the Subject Site	8
2.1 Description of Property	8
2.2 Historic Context & Evolution	11
2.3 Identification & Description of Adjacent & Neighbouring Heritage Properties	15
2.4 Architectural Visual Description & Existing Conditions	21
2.5 Statement of Cultural Heritage Value or Interest	24
3.0 Policy Framework	26
3.1 Provincial Heritage Policies	26
3.2 Municipal Planning & Heritage Policies	32
3.3 Heritage Conservation Principles	38
4.0 Description of Proposed Development	41
4.1 Design Principles	42
4.2 Scale, Form & Massing	43
4.3 Site Layout	43
4.4 Urban Design & Context	44
5.0 Impact of Proposed Development	46
6.0 Considered Alternatives & Mitigation Strategies	50
7.0 Recommendations & Conclusion	55
8.0 References	56
9.0 Appendices	57

Executive Summary

McCallumSather ("mCs") was retained by VanMar Developments Inc. to prepare this Cultural Heritage Impact Assessment report ("CHIA") for the property municipally known as 10 Duke Street West, Kitchener, Ontario to guide and evaluate design during the development process. Prior to submission, McCallumSather and the design team worked together to form a strategy and approach for the conservation and adaptation of the cultural resource on the site. Historical analysis, design recommendations and coordination are required to address both the existing property and the resulting impact of the proposed alteration, and construction following the City of Kitchener's planning requirements and the Ontario Heritage Act.

This report was submitted to (former) City Staff Victoria Grohn and the Heritage Committee for their review in November 2021, which a positive response was received from both the Staff and the Heritage Committee to move forward with the proposed development. This proposal was subsequently reviewed by the Site Plan Review Committee (SPRC) in July 2022 (application - SP22/104/D/AP – SPRC meeting date July 27, 2022) and was shared by Heritage Staff Jessica Vieira that further comments on the November 2021 CHIA Draft will be provided by Staff under a separate cover. These comments were provided by Staff on December 9, 2022, and subsequently addressed in a revised CHIA Draft dated April 2023 submitted as part of a second Site Plan application submission on April 17, 2023. To date, no comments have been received on the April 2023 draft CHIA.

This revised January 2024 CHIA Draft corresponds to the draft Heritage Conservation Plan (HCP) of the same date and provides the most recent design drawings. Recommendations contained in this report are based on a thorough understanding of the significance and heritage attributes of the building on the development site. It identifies the impacts of the proposed development on its status as a cultural heritage resource. In the report, both conservation and mitigation measures are considered, where appropriate, in order to propose a development which appropriately conserves, adapts and adds to its existing cultural resources.

The adaptation strategy applies conservation principles balanced with new construction techniques to mitigate any potential negative impacts to both the original structure and any unique or decorative features. A balanced approach to

conservation and adaptation has guided the development design in all areas and will continue to do so in future phases. The rehabilitation strategy described in the CHIA will provide a conservation strategy reflecting the level of detail required to move through the site plan approval process while the Conservation Plan provides more information with respect to short-term, mid-term and long-term conservation measures.

This CHIA concludes:

- The proposed development will retain the complete front (along Duke Street) and side (along Queen Street) facades and three bays of the west facade of the existing heritage property in-situ. Removal of the rear facade (north), the three rear bays of the west facade and the partial roof slab component will result in minimal impact to the heritage building and its surrounding context as the proposed demolition will not result in loss of the listed and proposed heritage attributes at 10 Duke Street West. The heritage building will be rehabilitated.
- 10 Duke Street West is recognized for its design, contextual, historical and associative values. We recommend designation of the proposed retained facades of the Economical Insurance building built in 1949, as it satisfies the criteria for designation as per Ontario Regulation 9/06.
- Documentation of the existing on-site heritage resource in dimensioned drawings and photographs has been made to mitigate loss of the elements that are proposed to be demolished. This documentation will be a valuable resource for a future proposed commemorative feature or should rehabilitation/restoration of a heritage attribute is required in the future.
- Recommendations on incorporating compatible yet distinguishable building materials, design features, architectural proportions, facade rhythms have been made and incorporated into the proposed development to mitigate any issues of transition between the existing heritage building and the proposed new tower. The development proposal is clearly legible as a new piece of architecture, that includes sympathetic setbacks and stepbacks to maintain the prominence of the heritage building. It is a compatible contemporary addition to the heritage building.

1.0 Introduction to the Report

1.1 Contact Information

VanMar Developments Inc. // Owner
145 Goddard Crescent, Cambridge, ON N3E 0B1
Mauricio Miranda (mauricio.miranda@vanmardevelopments.com)

McCallumSather Architects Inc. // Heritage
286 Sanford Ave North
Hamilton, Ontario, L8L 6A1
T. 905.526.6700
F. 905.526.0906
Drew Hauser (drewh@mccallumsather.com)
Nathalie Desrosiers (nathalied@mccallumsather.com)
Sinclair Jeejeebhoy (sinclairj@mccallumsather.com)

Turner Fleischer Architects // Architect
67 Lesmill Road, Toronto, ON M3B 2T8
T. 905.568.8888
Michael Mackenzie (michael.mackenzie@turnerfleischer.com)

Kirkor Architects and Planners // Architect
400 - 20 De Boers Drive, Toronto, ON M3J0H1
T. 905.568.8888
Clifford Korman (ckorman@kirkorarchitects.com)
Varun-Preet Singh (vsingh@kirkorarchitects.com)

1.2 Purpose

The purpose of this report is to first establish and affirm the historic value of the existing building at 10 Duke Street West, and to evaluate the impacts of the proposed changes for its rehabilitation. If there are any negative impacts, the report will also provide recommendations for mitigation strategies.

In our research, both archival and primary, we have concluded that the building at 10 Duke Street W, constructed in 1948-1952, is significant to Kitchener's cultural heritage.

In this report, we reviewed the building to identify the features that would be recommended for designation. Once the characteristics of the building's existing value has been established, design guidelines are provided to meaningfully incorporate into a rehabilitation project. This approach balances the desire to respect history, with the need to address contemporary concerns such as sustainability, urban design, accessibility and compliance with the building code.

The CHIA will establish the cultural heritage value and significance of the subject property; identify heritage resources and attributes; and advise if the identified cultural heritage resources meet the criteria for heritage designation as per Regulation 9/06 of the Ontario Heritage Act. The CHIA assesses the potential impacts of the subject applications and the proposed development on the identified cultural heritage resources. As per Info Sheet No. 5 of the Ministry of Culture, Tourism and Sport Heritage Tool kit publication: *Heritage Resources in the Land use Planning Process*, potential negative impacts to cultural heritage resources include but are not limited to:

- Destruction of any, or part of any, significant heritage attributes or features;
- Alteration that is not sympathetic, or is incompatible, with the historic fabric, appearance and context;
- Shadows created that alter the appearance of a heritage attribute;

- Isolation of a heritage attribute from its surrounding environment, context, or a significant relationship; and
- Direct or indirect obstruction of significant views or vistas within, from, or of built heritage resources.

Measures to mitigate potential impacts consistent with recognized conservation principles, including the Standards and Guidelines for the Conservation of Historic Places in Canada (Parks Canada) and the Eight Guiding Principles in the Conservation of Built Heritage Properties (Ontario Ministry of Tourism, Culture and Sport) include:

- Maintain appropriate contextual relationships and visual settings that contribute to the cultural significance of the complex.
- Preserve the historic physical character of the building at 10 Duke Street West and do not over-repair or over-restore.
- Respect the uniqueness of the building in its materials and detailing.
- Allow for new construction that relates to and conserves the essential form and integrity of the building at 10 Duke Street West.
- Conserve the exterior elements that are important to defining the overall heritage value of the buildings such as the material and composition of existing facades.
- Maintain sightlines to the adjacent heritage and note-worthy buildings along Duke Street.

New development should maintain an appropriate visual separation from the original building while referencing its materiality and geometric composition.

1.3 Methodology

This CHIA was prepared based on the City of Kitchener's Heritage Impact Assessment - Terms of Reference as well as provincial policy framework. The scope of this CHIA report involves the identification and evaluation of known and potential cultural heritage resources and the potential impacts resulting from the proposed development. This report will also make recommendations towards mitigation strategies and alternatives in order to minimize any negative impacts.

Archival research, site and building investigations were also incorporated as part of mCs' comprehensive heritage consulting services. Representatives of mCs visited the subject site on July 7, 2021, January 20, 2022 and September 6th, 2023 to conduct a visual inspection and photograph the subject property and its surroundings. The research methodology gathers relevant data from the city archives (maps, photos, publications, primary source etc), and first hand analysis of the site from all relevant stakeholders and consultants.

This CHIA is being submitted in compliance with the requirements of the *Ontario Heritage Act* ('OHA'), and by Council through the Municipal Register. It also references technical drawings, heritage policies, historical documents and applicable references of the municipality associated with the subject property, other provincial and municipal heritage standards and guidelines, as well as archive documents from various sources. Evaluation of cultural heritage value for the subject property has been executed using the criteria as stated in Ontario Regulation 9/06.

The next stage of the project included the completion of a Heritage Conservation Plan ('HCP' - January 2024). The HCP report explores the short, medium and long term scope of work for the building and gives direction with respect to material specifications, methodology of construction, maintenance and monitoring strategy after the development is complete. **A Conservation Plan was submitted as part of the first Site Plan application submission (SP22/104/D/AP) in April 2022.** Both CHIA and HCP are to receive approval prior to full site plan approval.



Figure 1. Aerial View Image showing the location of 10 Duke Street W at the corner of Queen and Duke in Downtown Kitchener, ON. (Source: Google Earth). Annotated by mCs to show the subject site.

2.0 Introduction to the Subject Site

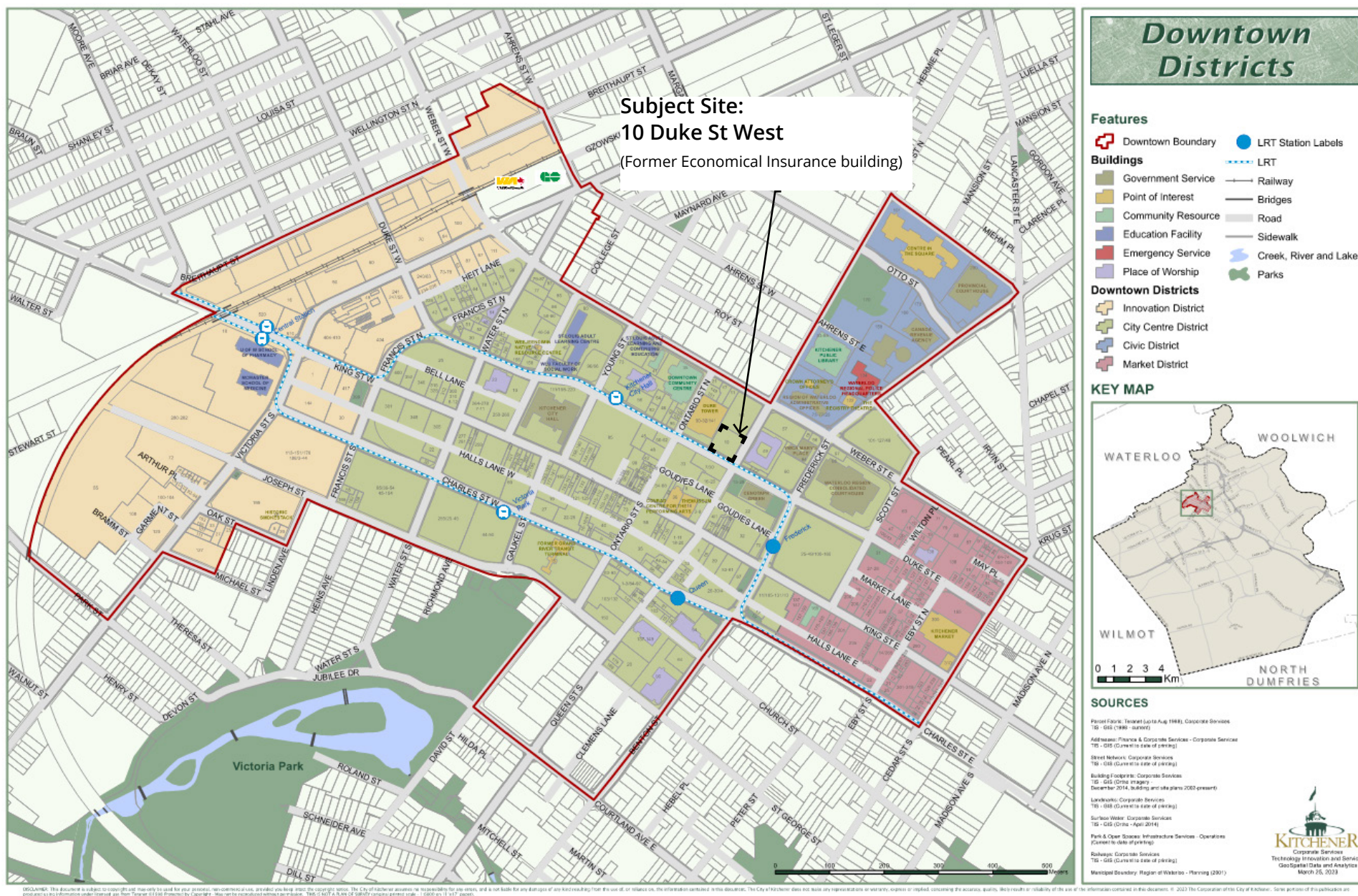
2.1 Description of Property

The subject property is municipally known as 10 Duke Street West, in the City Centre District in Kitchener, ON. The site consists of an existing listed heritage building, built c.1949 in the Colonial Revival style, which sits on the south half of the property as well as a parking lot on the north (rear) half and a driveway along the east. The building is 37,480 sf and situated on a 0.55 acre parcel of land, located on the North West corner of Duke Street West and Queen Street North in the Urban Growth Centre (Downtown).

The building is rectangular in plan and is made of red Flemish brick construction. The windows are 8/12, and feature flat arched brick voussoirs and limestone sills. The eleven bays along the South and north facade of the building and six bays along the East and West, are equally spaced and expressed through the use of brick columns with limestone capitals and bases. There is a horizontal limestone band between the second and third floors. Despite the identical 8/12 configuration, the third floor windows are slightly shorter than those on the first two floors.



Figure 2. Property Index Map showing the approximate extents, lot number, block number of the development site 10 Duke Street West (Source: Ontario Land Registry 2021, retrieved online from: https://www.onland.ca/api/cmv/export/_ags_WebMap_8ddae95e-3025-11ec-b21f-0050568fa01d.pdf)

Figure 3. Kitchener Downtown District Map, March 2023. Retrieved online from: https://app2.kitchener.ca/appdocs/GISImages/GIS_Web_External/Standard_Maps/Downtown_Districts.pdf

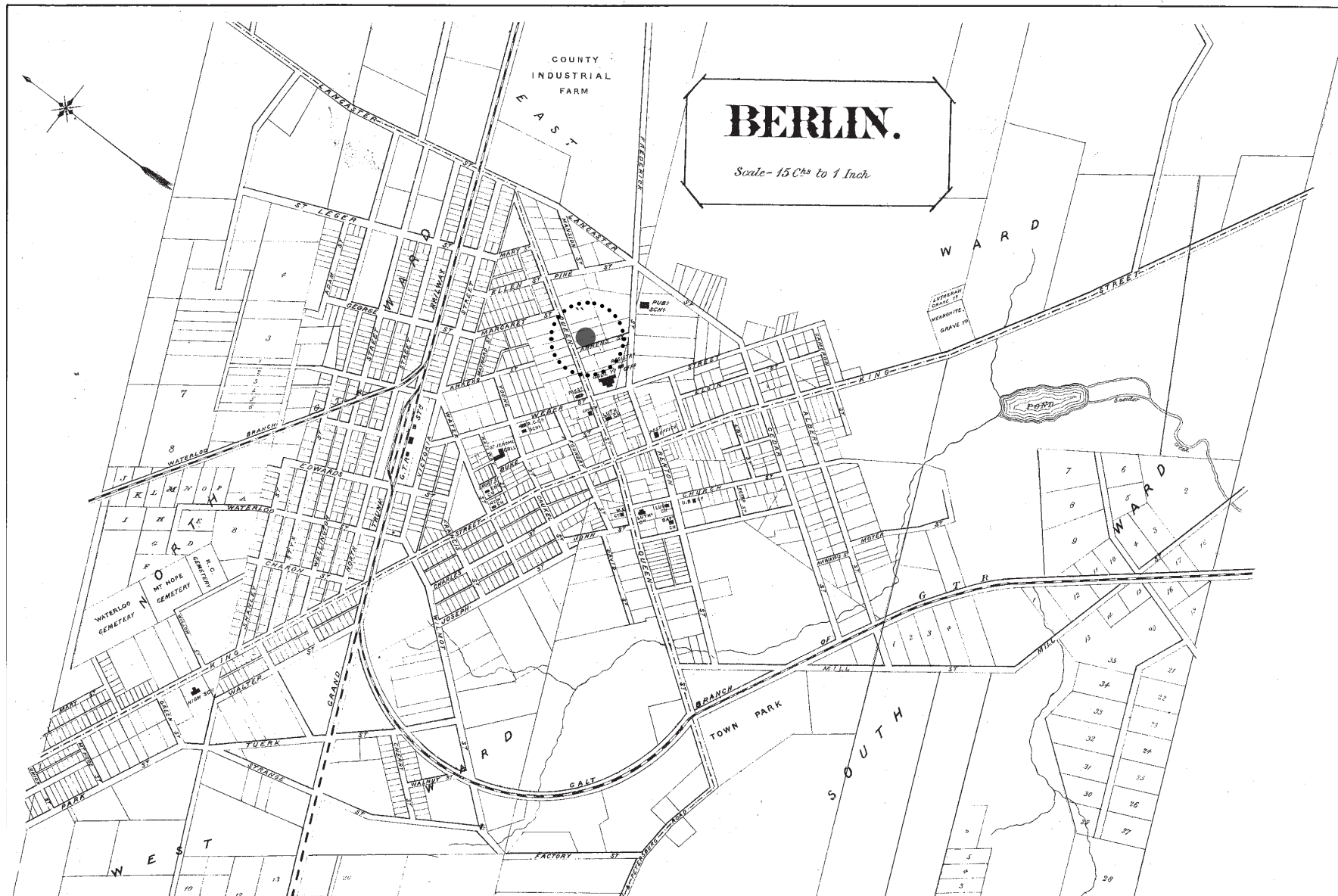


Figure 4. Historic Map of Kitchener, formerly Berlin. Source: www.kitchener.ca

2.2 Historic Context & Evolution

Kitchener's history dates back to 1784, when the land was given to the Six Nations by the British as a gift for their allegiance during the American Revolution. From 1796 and 1798, the Six Nations sold 38,000 hectares of this land to a Loyalist, Col. Richard Beasley.

The portion of land Beasley purchased was remote but it was of great interest to German Mennonite farming families from Pennsylvania. They wanted to live in an area that would allow them to practise their beliefs without persecution.

Eventually, the Mennonites purchased all of Beasley's unsold land, creating 160 farm tracts. By 1800, the first buildings were built; and over the next decade, several families moved north to what was then known as the Sand Hills. One of those families, arriving in 1807, was the Schneiders, whose restored 1816 home - the oldest building in the city - is now a downtown museum.

In 1816, the Government of Upper Canada designated the settlement the Township of Waterloo. Much of the land, made up of moraines and swampland interspersed with rivers and streams, was converted to farmland and roads.

Immigration to the town increased considerably from 1816 until the 1870s - many of the newcomers being of German (particularly Mennonite) extraction. In 1833, the area was renamed Berlin (see Fig. 4); and in 1853 Berlin became the County Seat of the newly created County of Waterloo, elevating it to the status of village.

The extension of the Grand Trunk Railway from Sarnia to Toronto - and hence through Berlin - in July 1856 was a major boom to the community, helping to improve industrialization in the area. On June 9, 1912, Berlin was officially designated a city. However, with the outbreak of the First World War in 1914 came anti-German sentiment and an internal conflict ensued as the city was forced to confront its cultural distinctiveness.

There was pressure for the city to change its name from Berlin; and in 1916 - following much debate and controversy - the name of the city was changed to Kitchener after Herbert Kitchener, 1st Earl Kitchener, who died that year while serving as the Secretary of State for War of the United Kingdom.

The Beginnings of Economical Mutual Fire Insurance Company

The first insurance companies were developed in the U.K. and in America, and the protection afforded by insurance against the peril of fire first became available in Canada when the Phoenix Assurance Company of London, England, began operations in this country in 1804. The Halifax Insurance Company was founded in 1809. The Aetna Insurance Company was the first American company to commence business in Canada in 1821.

The Economical Mutual Fire Insurance Company of Berlin, Ontario, was founded in 1871, when it issued its first policy on a house and barn, on November 25th, 1871. At the time, the small town had a population of 2,743 persons. As the name implies, Berlin was a settlement established by colonists of German extraction from Pennsylvania in an area within Waterloo Township first dubbed as the Sand Hills, later as Ebytown, and named Berlin in 1825. The founders were motivated by the fear of fire which was always present through knowledge of the great fires such as, St. John's, Newfoundland, in 1816, the fires of Quebec City in 1845 and 1866, Ottawa and Hull in 1900 and the Toronto fire of 1904, to name only a few. The fear was also fueled by the potential danger to their individual properties.

Fire insurance in small centres such as Berlin was expensive and difficult to obtain. There were examples of other local fire insurance companies in the area - The Gore District Mutual Fire Insurance Company (1839); County of Wellington Mutual Fire Insurance Company (1840); The County of Perth Mutual Fire Insurance Company (1863); The Waterloo County Mutual Fire Insurance Company (1863). There was vigorous rivalry, jealousy and competition between these communities in industry and

sports; Berlin had been made capital of Waterloo County in 1852 and was not to be outdone by its neighbors in fire insurance.

It was the Town Hall of Berlin, Ontario where some forty residents assembled to give their support to the formation of a mutual fire insurance company. Joseph Jackson became the first President of Economical. The first office was located on Queen Street North in Berlin, ON.



Figure 5. Senator William D. Euler, 1875 - 1961 (Source: Kitchener Public Library)

From 1871-1948, Economical had 6 presidents, and had occupied 4 different office buildings in Berlin. In 1948, Board of Directors member Senator William D Euler was elected to be President, after having served on the board since 1926. Senator Euler was one of Waterloo County's most distinguished citizens in both public and private life; he taught public school for six years, established a business college, acquired an interest in Kitchener News Record (of which he became president), served as Mayor of Berlin (1913-14), and was elected as a Member of Parliament in 1917. Eulers distinguished political career was also marked by appointments as Minister of National Revenue, Minister of Trade and Commerce, and to the Senate of Canada in 1935.

Eulers tenure at Economical coincided with the rapid expansion of the Canadian economy following the Second World War. As such, the company expanded rapidly, with premium volume reaching \$5,020,378 during 1955.

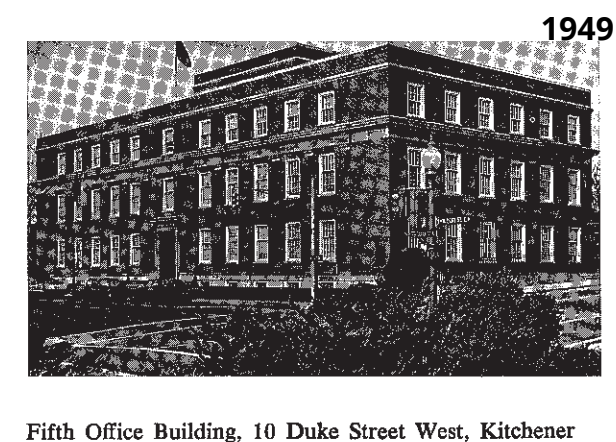
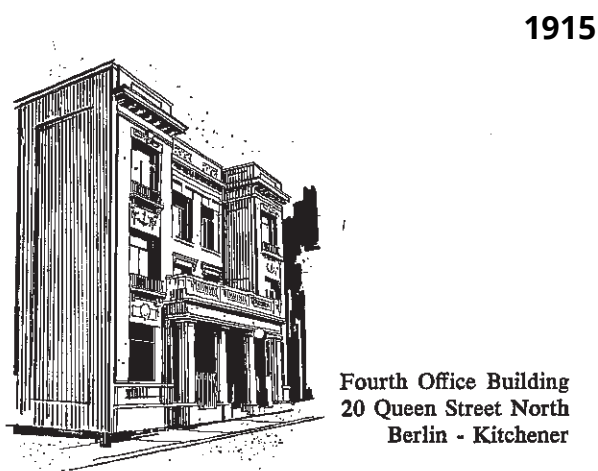
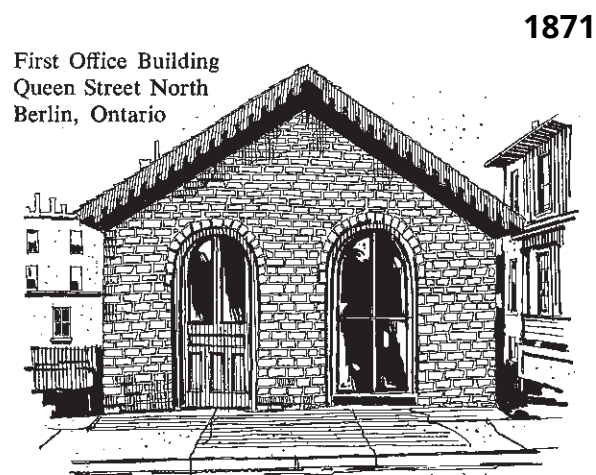
The rapid growth of the company post-World War II resulted in the need for larger and more modern premises. In 1948, the present site at Duke and Queen Streets, Kitchener was acquired, and the Toronto-based architecture firm of Messrs. Mathers & Haldenby were commissioned to design a new head office on the site.

Mathers & Haldenby Architects are well known for their work on a number of notable buildings in Toronto, including the Robarts Library at University of Toronto Campus, Queen's Park Complex, Roy Thompson Hall, as well as the Public Archives and National Library Building in Ottawa.

Economical Mutual Fire Insurance occupied the building from it's opening on February 22, 1952 until 1989. The building was featured in the "1854-1954 City of Talent Kitchener Centennial" publication as Kitchener's oldest financial institution serving its citizens continuously for eighty-three years.

It has and continues to be occupied in recent years by various commercial and private offices, such as:

- Paquette Travers Lawyers
- Deutchmann Law
- MNP Ltd.
- Cunha & Skervin LLP Lawyers & Notaries
- CSB-System



GROWTH OF THE ECONOMICAL MUTUAL INSURANCE COMPANY¹

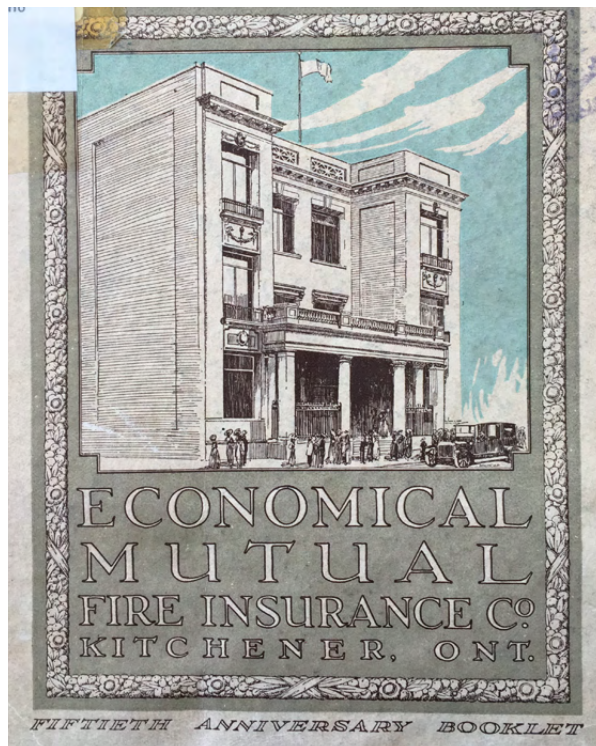


Figure 6. Drawing of the previous Economical Mutual Fire Insurance Company, Kitchener, Waterloo. Date unknown. Source: Kitchener Public Library

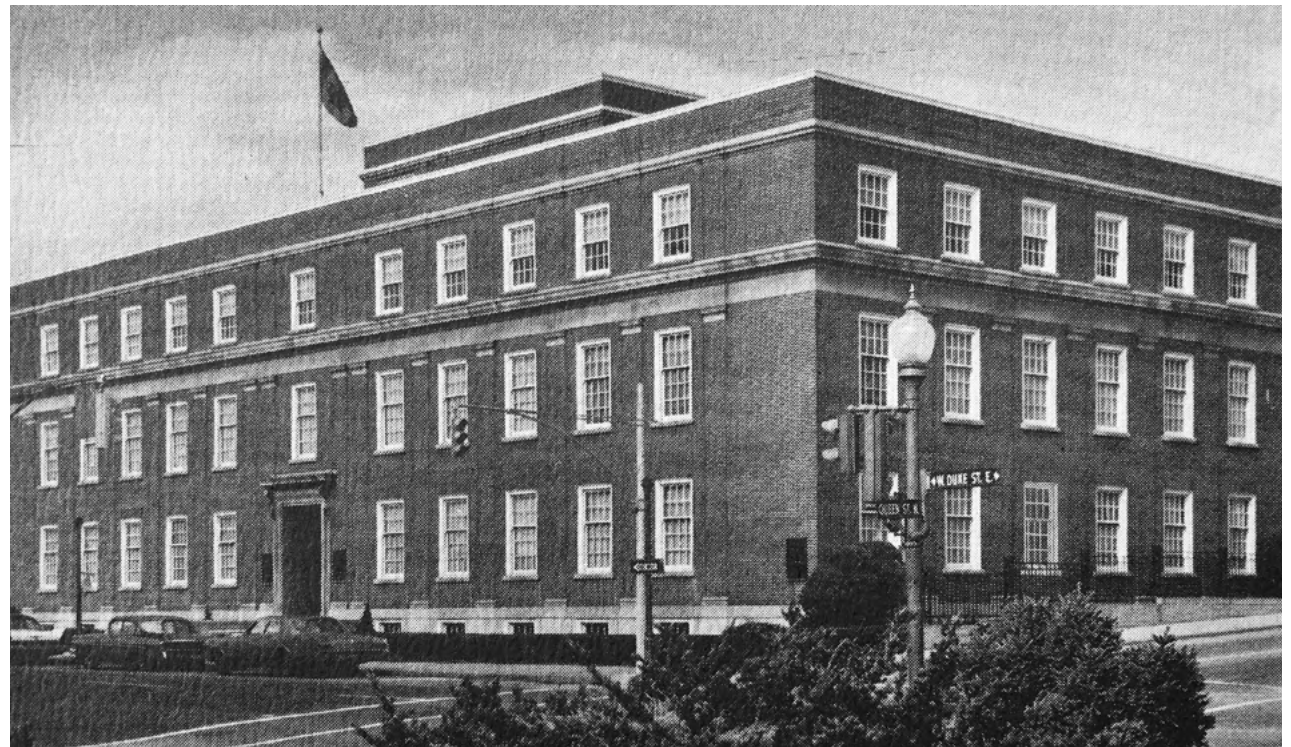
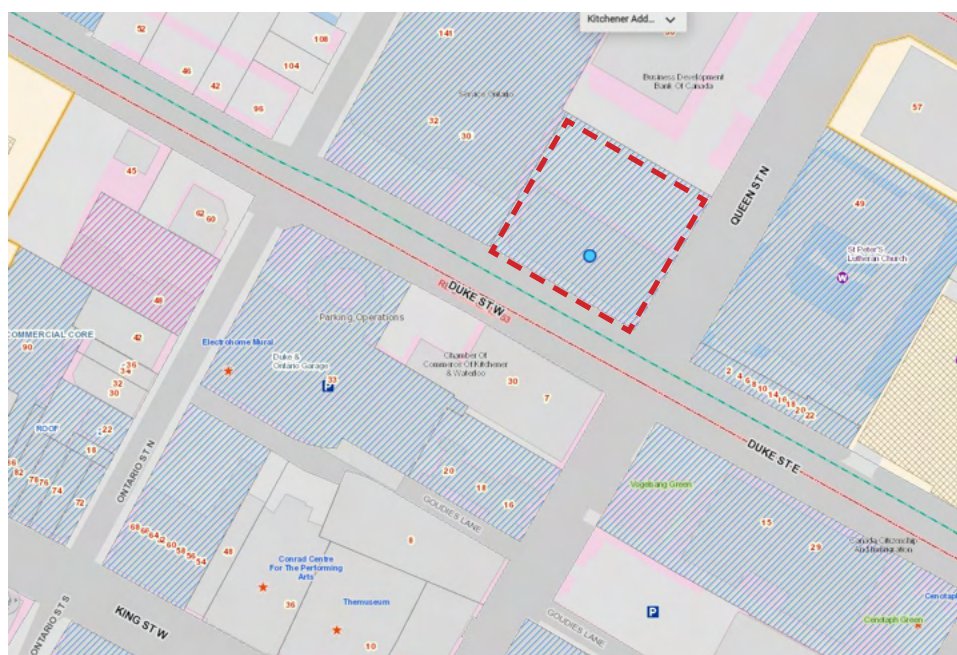


Figure 7. Head Office at Duke and Queen, Economical Mutual Fire Insurance Company, Kitchener, Waterloo. Date of photo unknown. Source: Economical Mutual Insurance Co., Annual Financial Statement, Dec... 31, 1976. Source: Kitchener Public Library

2.3 Identification & Description of Adjacent & Neighbouring Heritage Properties



- Heritage - Intend to Designate
- Heritage - Listed Properties
- Heritage - Part IV Designation
- Heritage - Part V (District) Designation
- Heritage - Part IV and V Designation

Figure 8. Adjacent and Neighboring Heritage Resources, January 2023 annotated by mCs to show the subject site. Source: City of Kitchener Interactive Mapping, retrieved from: <https://maps.kitchener.ca/OnPointExternal/RMap/Default.aspx#>

With respect to adjacency, the City of Kitchener Official Plan provides the following definition of adjacent properties and adjacent lands.

- *Adjacent - lands, buildings and/or structures that are contiguous or that are directly opposite to other lands, buildings and/or structures, separated only by a laneway, municipal road or other right-of-way.*

Policies apply differently to each property and, similarly, the impacts assessed will differ. The immediate concerns will potentially be shadowing, visual impact on the continuity of the streetscape, and maintaining the prominence of adjacent landmark buildings.

The subject property is located **adjacent** to the following properties included in the City's Municipal Heritage Register (Figure 8):

- 30-32 Duke Street West - Listed, Non-designated
- 2-22 Duke Street East - Listed, Non-designated
- 49 Queen Street N - Listed, Non-designated

The subject property is located near to, as per the above definition of adjacency, the following properties included in the City's Municipal Heritage Register (Figure 8):

- 15 -29 Duke Street E- Listed, Non-designated
- 16-20 Queen Street N - Designated - Designation By-Law 2022-077 on June 28th, 2022 (per update provided by City Staff - City Map shows the building as listed)

The intent of this section is to provide a written and visual description of each property. An assessment of the compatibility of the proposed design in relation to the adjacent cultural heritage resources will be detailed in section 3.

See Appendix 4 for site visit photos of the adjacent resources from the subject property.



2-22 DUKE STREET EAST

The property municipally known as 2-22 Duke Street W is listed under the City of Kitchener's Municipal Heritage Register. The subject building was listed because of its significant architectural heritage.

Description of Property:

2-22 Duke Street East is a two storey early 20th century brick commercial building built in the Art Deco architectural style. The building is situated on a 0.09 acre parcel of land located on the north side of Duke Street East between Queen Street North and Frederick Street in the City Commercial Core Planning Community of the City of Kitchener within the Region of Waterloo. The principal resource that contributes to the heritage value is the commercial building.

Statement of Cultural Heritage Value or Interest:

2-22 Duke Street East is recognized for its design, physical and historic values.

The building is a notable and unique example of the Art Deco architectural style. The building is in good condition with many intact original elements. The building features:

- two central brick pilasters topped with finials; a two-storey semi-circular opening that serves as the central entrance; stone work above the central entrance with the Breithaupt family grant of arms; stepped roofline; brick pilasters between bays; and, decorative elements with floral motifs.

The building was built by W.H. Breithaupt in 1931. The first tenant was tailor Herman Ahrens. Other early shops included Freddie and Jack's Sporting Goods, Grip Tite Roofing, and the Sheehy Brothers

Heritage Attributes:

The heritage value of 2-22 Duke Street East resides in the following heritage attributes:

All elements related to the construction and Art Deco architectural style of the building, including:

- o Roof and roofline
- o Windows and window openings;
- o Door openings;
- o Concrete sills;
- o Two central brick pilasters topped with finials;
- o Two-storey semi-circular opening;
- o Breithaupt Family Grant of Arms;
- o Brick pilasters; and,
- o Decorative elements, including floral motif at the main entrance



15-29 DUKE STREET EAST

The property municipally known as 15-29 Duke Street E is listed under the City of Kitchener's Municipal Heritage Register. The subject building was listed because of its significant architectural heritage.

Description of Property:

15-29 Duke Street East is a two storey mid 20th century concrete building built in the Modern Classical architectural style. The building is situated on a 0.93 acre parcel of land located on the south side of Duke Street East between Queen Street North and Frederick Street in the City Commercial Core Planning Community of the City of Kitchener within the Region of Waterloo. The principal resource that contributes to the heritage value is the public building.

Statement of Cultural Heritage Value or Interest:

15-29 Duke Street East is recognized for its design, physical, contextual, historical and associative values.

The public building is a notable, rare and unique example of the Modern Classical architectural style. The building is in good condition with many intact original

elements. The building features: a two storey building that extends 176 feet along Duke Street and 96 feet along both Frederick and Queen Streets; rectangular ground level plan; 'u'-shaped second level plan; Duke Street façade with a series of strong verticals capped by a strong horizontal; projecting cornice; band of geometrical motifs; stone around window openings and main entrance; bronze light fixtures and sculpted bronze panels; coat of arms; and, granite and limestone on the Queen, Duke and Frederick Street facades. The public building contributes to the continuity and character of the streetscape due to its orientation and close proximity to the sidewalk and road at the intersection of Duke Street and Queen Street. The public building is recognized as both a neighbourhood and City landmark. Additional context is provided by the two park spaces, at each end of the public building.

The building was built in 1937-38 as part of the Department of Public Works cross-Canada building program that resulted from the enactment of the Public Works Construction Act of 1934. Construction began in late 1937, and the building officially opened in 1938

Heritage Attributes:

The heritage value of 15-29 Duke Street East resides in the following heritage attributes:

All elements related to the construction and Modern Classical architectural style of the building, including:

- o Rectangular ground level plan;
- o 'U'-shaped second level plan;
- o Window and window openings;
- o Door and door openings;
- o Roof and roofline;
- o Duke Street façade with a series of strong verticals capped by a strong horizontal;
- o Projecting cornice;
- o Band of geometrical motifs;
- o Stone around window openings and main entrance;
- o Bronze light fixtures and sculpted bronze panels;
- o Coat of arms; and,
- o Granite and limestone on the Queen, Duke and Frederick Street facades.



16-20 QUEEN STREET NORTH

The property municipally known as 16-20 Queen Street N is designated under part IV of the Ontario Heritage Act. The subject building was designated in 2022 because of its significant architectural heritage (Designation By-Law 2022-077).

Description of Property:

16-20 Queen Street North is a early 19th century building built in the Classic Revival architectural style. The building is situated on a 0.23 acre parcel of land located on the west side of Queen Street North between King Street and Duke Street in the City Commercial Core Planning Community of the City of Kitchener within the Region of Waterloo. The principal resource that contributes to the heritage value is the commercial building.

Statement of Cultural Heritage Value or Interest:

16-20 Queen Street North is recognized for its design, physical, historical and associative values. The design and physical values relate to the Classic Revival architectural style that is in good condition with many intact original elements. The building features: an 'H' plan; brick construction; concrete cornice with block dentils; first story concrete portico with entablature; decorative brick details; concrete

columns; concrete balustrade; front door and opening with concrete decorative door surround reading "1871 – 1916"; windows and window openings with decorative concrete headers and sills; concrete cartouches above the first floor windows; and, decorative iron work.

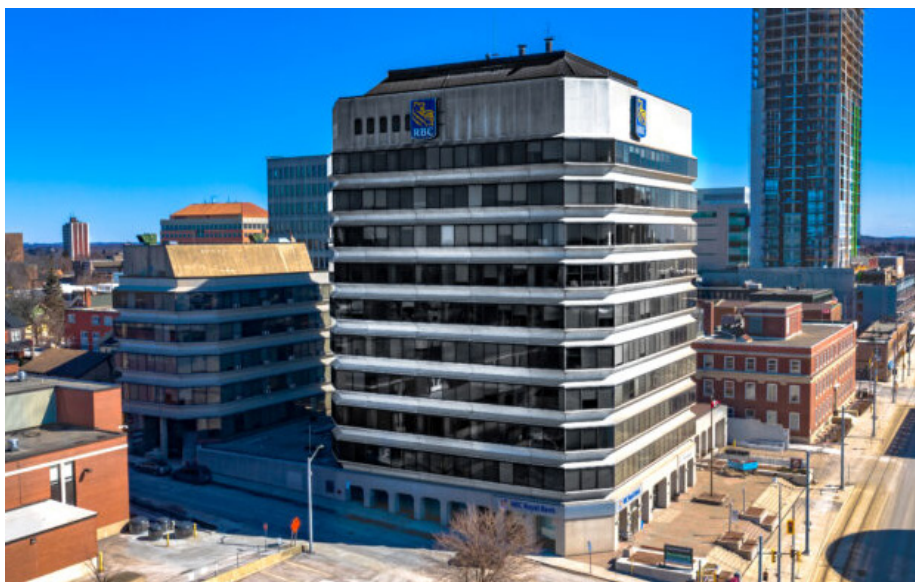
The historic and associative values relate to the original owner and use of the building. The Economical Mutual Fire Insurance Company was founded in 1871 by Hugo Kranz and other businessmen in Berlin (now Kitchener) in order to protect against the devastating hardships caused by fire and lighting. The company issued its first policy on a house and barn on November 25, 1971. The first president was Henry Fletcher Jackson. Later presidents included: George Lang, Henry Knell, Senator W.D. Euler, Henry Krug, W.W. Foot, and J.T. Hill. The name of the company was changed in 1937 dropping the fire designation when the directors decided to enter the casualty field, giving its agents a complete portfolio including automobile, plate glass, accident and health. Over the years, the Kitchener head office moved five times to progressively larger quarters. The company started in the law office of Alexander Millar, one of Berlin's pioneer barristers. The first office was at the southwest corner of King Street and Ontario Street while the second office was on Queen Street North between King Street and Duke Street – 16-20 Queen Street North. This building was the head office for 38 years between 1916 and 1954. The third office was the building at the corner of Queen Street North and Duke Street West - the subject lands.

Heritage Attributes:

The heritage value of 16-20 Queen Street North resides in the following heritage attributes:

All elements related to the construction and Classic Revival architectural style of the building, including:

- o 'H' plan;
- o Brick construction, including decorative brick details.
- o Roof and roofline, including concrete cornice with block dentils;
- o First story concrete portico with entablature, columns, and balustrade;
- o Front door and opening with concrete decorative door surround reading "1871 – 1916";
- o Windows and window openings, including decorative concrete header sills and decorative brick voussoirs;
- o Concrete cartouches above the first floor windows; and, iron work.



30-32 Duke Street West, 141 Ontario Street North

The property municipally known as 30-32 Duke Street West is listed under the City of Kitchener's Municipal Heritage Register. The subject building was listed because of its significant architectural heritage.

Description of Property:

30-32 Duke Street West is a ten story 20th century concrete office building built in the Brutalist architectural style. The building is situated on a 1.07 acre parcel of land located on the corner of Duke Street West and Ontario Street in the City Commercial Core Planning Community of the City of Kitchener within the Region of Waterloo. The principal resource that contributes to the heritage value is the office building.

Statement of Cultural Heritage Value or Interest:

The design value relates to the architecture of the office building. The building is a rare example of the Brutalist architectural style. The building is in good condition. The building features: a ten storey office tower fronting Duke Street West; a five storey office tower fronting Ontario Street; flat roof; concrete construction; horizontal bands of concrete and windows; and, concrete plazas and flower boxes.

The contextual values relate to the contribution that the office building and plazas make to the continuity and character of the Duke Street West and Ontario Street streetscapes.

The associative value relates to the architect of the building. Webb Zefara Menkes Housden Partnership of Toronto designed the building. WZMH was established in 1961 and they are now an award winning international partnership responsible for the design of prominent buildings such as the CN Tower (WZMH Architects, 2014).

To ensure the cultural heritage value of this property is conserved, certain heritage attributes which contribute to its value have been specifically identified and include:

Heritage Attributes:

All elements related to the Brutalist architectural style of the office building, including:

- o Ten storey office tower fronting Duke Street West;
- o Five storey office tower fronting Ontario Street;
- o Flat roof;
- o Concrete construction;
- o Horizontal bands of concrete and windows; and,
- o Concrete plazas and flower boxes.

All elements related to the contextual value, including:

- o Location of the office building and plazas and the contribution they make to the continuity and character of the Duke Street West and Ontario Street streetscapes.



43-49 Queen Street North

The property municipally known as 43-49 King St N is listed under the City of Kitchener's Municipal Heritage Register. The subject building was listed because of its significant architectural heritage.

Description of Property:

43-49 Queen Street North is the original site of Evangelical Lutheran St. Peter's Church congregation. The site is a 0.95 acre parcel of land located on the east side of Queen Street North between Duke Street and Weber Street in the City Commercial Core Planning Community of the City of Kitchener within the Region of Waterloo. The principal resource that contributes to the heritage value is the institutional use.

Statement of Cultural Heritage Value or Interest:

43-49 Queen Street North is recognized for its historical and associative values. The historic and associative values relate to the Evangelical Lutheran St. Peter's Church congregation. The congregation was established on January 1, 1863 and by March of the same year they had purchased land on Queen Street North from Mrs. Augusta Krug for \$178.50. The first church building was dedicated on July 19, 1863 and was demolished on March 12, 1877 to make way for a larger church. The second church was dedicated on October 6, 1878. The current church was built c. 1968.

Heritage Attributes:

All elements related to the architectural style of the church, including:

- Distinctive sanctuary with stained-glass windows;
- Floor-to-ceiling (approx. 40ft.) mid-century stained glass windows by Bullas Glass of Kitchener incorporate portions of c.1910 set of Bullas-mase windows from the previous St.Peter's building¹
- Soaring ceiling
- Slender, tapering columns
- Labyrinth in the chapel modeled on the 13th century labyrinth in the floor of Charles Cathedral in France.
- Free-standing bell tower
- Red brick pattern
- Modernist facade

All elements related to the contextual value, including:

- Location of the property in the heart of downtown Kitchener;
- Orientation that has a strong street presence with a prominent entrance for the pedestrians.

2.4 Architectural Visual Description & Existing conditions

10 Duke Street West is currently vacant and is being monitored and provided with heat. McCallumSather reviewed the property to assess current conditions from visual observations on July 7th, 2021, and then on January 20th 2022. More detailed condition assessment was undertaken in January 2022 and September 2023 in conjunction with a Conservation Plan that was submitted as part of the first Site Plan application.

The exterior brick which forms the exterior finished face of the building appears to be in very good condition and in need of only minor repairs. The windows are not original but are in good condition. The current owners have continued to monitor and heat the building. As the development of the site moves forward, assessment of the building will be an ongoing process, involving the lead architect, structural, mechanical and electrical engineers and the heritage consultant.

Envelope

- Structure, Brick Masonry: Currently in good overall condition. There are some locations where efflorescence and mortar deterioration has occurred due to water damage (Figure 11). The brick above the top stone masonry band appears to have been replaced (Figure 9).
- Stone sills, stone masonry foundations and detailing in good overall condition. There are some locations where cracking has occurred due to settlement and water damage (Figure 13). There are also a number of areas where the stone has eroded significantly due to water damage.
- Roof Assembly: Appears to be in good condition. There are select areas where flashing is pulling away from the masonry parapet.
- Door and Windows: Windows are not original. It is suspected that the original windows would have been double hung with wood frames and stiles. Replacement windows look similar to the existing but appear to be vinyl; 8/12 divisions (not true muntins) (Figure 12).
- The principal wood entrance door (Figure 10) with transom along Duke St appears to be original and in good condition.
- Walls: Perimeter walls appear to be finished with plaster and/or drywall.

Systems

- Heating / Air Conditioning: Building is conditioned to maintain current conditions. A new system will likely be required to accommodate the proposed usage.
- Electrical / Plumbing: Building is currently serviced but may require updates depending on new programme / use. Similar to above mechanical requirements.

Code Compliance

- Fire Safety: Some building and fire code upgrades may be required such as sprinkler system, fire exit adjustment, and fire alarm systems.
- Barrier Free: Building is currently not universally accessible from the street. A new elevator or ramp could provide access from the street level to level 1.
- Review if hazardous material abatement is required.

Miscellaneous

- Existing Signage at the main entrance is compatible with existing character of the building. The building does not have exterior lighting directly fastened to the building but has floor mounted floor lights to illuminate the exterior.
- The landscape surrounding the building is simple but complements the building.

Interiors

Character defining interiors are concentrated at the building core which includes the existing stairwell, elevator shaft, lobby and washrooms. Floor finishes throughout with stair (5) and lobby (1-3) are two tones of terrazzo flooring with a marble accent at thresholds (7). The washrooms are ceramic tile. The stair railing features black metal spindles and newel posts with a brass railing (6). The vestibule at the front entry features decorative brass grilles on the east and west walls.

- Specialty finishes such as marble floors (3) and walls are found throughout the main entrance lobby but were likely introduced during a major renovation in the 1990s. The ceiling does not appear to be



Figure 9. Detail of the front facade fronting Duke Street West. The parapet brick appears to have been replaced as variation in brick stain was observed. (Source: mCs, July 2021)



Figure 10. Detail of the front facade fronting Duke Street West showing the main entrance door with door surround paneled glass and transom and entablature above. (Source: mCs, July 2021)



Figure 11. Detail of the Queen Street Facade (left) and right side of the rear facade (right) showing locations where efflorescence and mortar deterioration has occurred due to water damage. (Source: mCs, July 2021)



Figure 12. Perspective View of the subject property from Duke St W and Queen St intersection showing the heritage attributes of the building: 11 bays along Duke and 6 bays along Queen, the concrete band between the 2nd and 3rd floors, the parapet at the roofline with red brick on all facades. (Source: mCs, July 2021)



Figure 13. Cracking and deterioration in the sill. The repair is visually intrusive and measures should be taken to rehabilitate the sill to make it visually compatible to its original design. This inspection was undertaken with the naked eye and is not intended to identify any structural issues. (Source: mCs, July 2021)



Figure 14. Poor repairs to masonry and mortar. Bricks should be repointed with mortar that is compatible with existing. (Source: mCs, July 2021)



Source:

mcCallumSather - Site Visit Photos (July 2021)

original.

- Non Character defining interiors are throughout the tenant fit out spaces and include acoustic ceiling tiles, drywall partitions and carpet flooring. Window trims at the interior are drywall and wood painted white.

Proposed repairs to conserve the exterior of the building include:

- Selective cleaning of brick at areas of damage;
- Selective cleaning of exterior masonry where required;
- Selective re-pointing of deteriorated masonry joints;
- Selective repair of deteriorated masonry at sills, horizontal banding and surround;
- Repair of roof parapet in some locations;
- Replace parapet flashing; and,

Other areas under review:

- Facade retention structural review (Appendix 2 Facade Retention Strategy). More details will be incorporated in a subsequent Heritage Conservation Plan);
- Review building envelope, windows, doors, roof and floor assemblies, and foundations for functional upgrades and restoration work to ensure that the restored facades emulate the original construction; and,
- Provide performance specifications for the aforementioned items to ensure good heritage practices are being implemented.

2.5 Statement of Cultural Heritage Value or Interest

DESIGN / PHYSICAL VALUE

10 Duke St. West is a representative example of the Colonial Revival architectural style for commercial buildings. Built in 1949, it is a good example of this restitutory type and features: rectangular plan; red flemish brick; eleven bays along the front Duke Street elevation and rear elevations, and six bays on the short elevations to the East and West separated by shallow brick columns with limestone capitals and base; segmentally flat window openings with brick voussoirs and stone sills; main entrance door with window surround, transom and entablature; limestone band between 2nd and 3rd and the parapet at the roof line. While not particularly rare, unique or early, it is a sturdy handsome building characteristic of commercial buildings designed in the Colonial Revival Style.

Character defining interiors are concentrated at the building core which includes the existing stair railings, newel post caps and wall grilles. The stair railing features black metal spindles and newel posts with a brass railing. Marble ceilings and walls are found throughout the main entrance lobby. Floor finishes throughout with the stair and lobby are two tones of terrazzo flooring with a marble accent at thresholds. The washrooms are ceramic tile.

HISTORIC / ASSOCIATIVE VALUE

The associative and historic values relate to the building's connection to the history of insurance in Kitchener and to the original owner and use of the property. The Economical Mutual Fire Insurance Company was founded in 1871 in order to protect against the devastating hardships caused by fire and lighting. The assembly room in the Town Hall was used as the meeting place by forty resident freeholders to give their support to the formation of a mutual fire insurance company.

Henry Fletcher Joseph Jackson, Esquire, was the first elected President of the Economical Mutual Fire Insurance Company of Berlin in 1871. He retired in 1877. The first office building was located along Queen Street North, Berlin. The second president was William Aelschlager elected from 1876-1880, who also served as a Manager of the Company from 1881 until 1893. Hugo Kranz was one of the founders of the Company and was elected as the third president in 1880s and held office until 1893.

It was during this time that the company experiences a steady growth and established their second office on King Street East and the third office was located on the corner of King and Ontario Street. The fourth president John Fennell acted as the company's president for 30 years with the formation of the fourth office building at 20 Queen Street North that remained head office for 36 years. During the next few decades George C.H. Lang and Henry Knell were elected as the fifth and sixth presidents respectively. Finally in 1948, the subject site was acquired to plan for a new head office which was the fifth office building. The decision to build at this location was led by the company's seventh president, Senator William D. Euler.

Mathers & Haldenby, Architects, Toronto were commissioned to plan a new head office which officially opened on February 22, 1952¹ and was used until 1989². Their team completed projects primarily in Toronto, but also did work both alone and in conjunction with other firms in various locations in Ontario and throughout Canada.

Senator Euler during his long life span of eighty-six years became one of Waterloo County's most distinguished citizens in both public and private life. He taught public school for six years, established a business college, acquired an interest in Kitchener News Record and became President of that important newspaper - all the while he was active in public affairs as Berlin Alderman, Mayor of Berlin in 1913-14, Member of Parliament in 1917 and successful in seven consecutive general elections; his distinguished political career was marked by appointment as Minister of National Revenue, Minister of Trade and Commerce, and to the Senate of Canada in 1935. In 1961 he became the first Chancellor of Waterloo Lutheran University (now Wilfrid Laurier University).

The building has historical value featured in the "1854-1954 City of Talent Kitchener Centennial" publication as Kitchener's oldest financial institution serving its citizens continuously for eighty-three years.

1 Economical Mutual Insurance Company, One hundred economical years 1871-1971. Kitchener Public Library, Rare 368.971345 Econo

2 Statement of Significance, City of Kitchener, April 2008

CONTEXTUAL VALUE

The building is located in the city centre district of Kitchener and sits prominently on the north side of Duke Street West between Ontario Street North and Queen Street North in the City Commercial Core of the City of Kitchener within the Region of Waterloo. The property is physically linked to the streetscape in scale and material. Because of its location on a prominent street corner and its distinctive Colonial Revival architectural characteristics, it could be considered a neighbourhood landmark.

DESCRIPTION OF CULTURAL HERITAGE ATTRIBUTES

10 Duke St. West is a representative example of the Colonial Revival architectural style for commercial buildings. The property contains the following heritage attributes that are related to the Colonial Revival architectural style:

1. Red Flemish brick;
2. Rectangular plan;
3. 11 bays along Duke Street and 6 bays along Queen Street;
4. Segmentally flat windows openings with brick voussoirs;
5. 8/12 windows with limestone sills;
6. Main entrance door with door surround, transom and entablature;
7. The limestone band between 2nd and 3d floors; and
8. The parapet along the roofline.

As well as interior attributes including:

9. Brass elements: Stair railings, newel post caps and wall grilles; and,
10. Roman Travertine tile in vestibule entrance and lobby.

10 Duke St. West has historical associations to the growth of the City of Kitchener in the 20th century as a commercial centre specifically related to the establishment of fire insurance company and rapid expansion of the Canadian economy.

10 Duke St. West has contextual value as a landmark. The property contains the following attributes that reflect this value:

1. Prominent location at intersection of Duke Street West and Queen Street North
2. Balanced front and side facades &
3. Limestone band between 2nd and 3d floors

10 Duke Street West is recognized for its design, contextual, historical and associative values. We have identified that the original Economical Insurance building built in 1949 satisfies the criteria for designation as per Ontario Regulation 9/06.

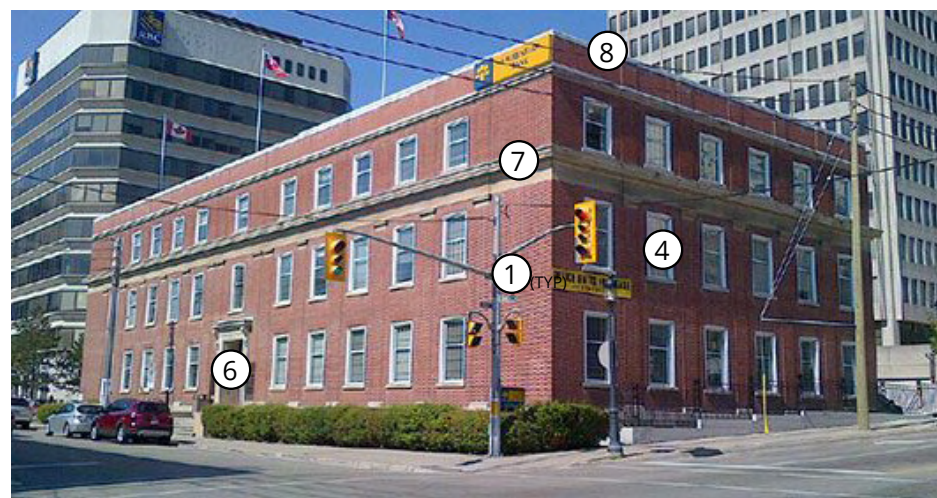


Figure 15. Perspective View of the subject property from Duke St W and Queen St intersection showing the heritage attributes of the building.(Source: mCs, July 2021)

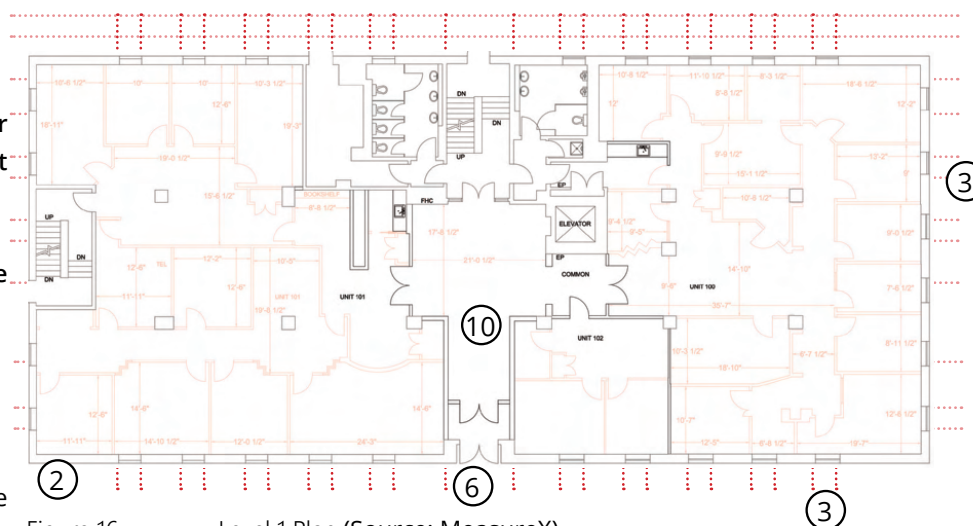


Figure 16. Level 1 Plan (Source: MeasureX)

3.0 Policy Framework

The subject property at 10 Duke Street West, Kitchener, Ontario is subject to several provincial and municipal heritage planning policies. The subject site is located north of the Downtown (L-Com-2) Downtown Cultural Heritage Landscape boundary (Figure 19). Furthermore, the subject site is located within the Centre District (Downtown) (Figure 20).

The Cultural Heritage Landscape Datasheets (2014) provides the following description on the growth of this area¹ - *'This downtown area evolved throughout the 20th century as the City grew and the needs of its citizens changed. Industry moved out of the downtown. Larger buildings were introduced or replaced earlier structures that housed institutions such as the Post Office. During the second half of the 20th century, the downtown area continued to evolve, buildings were demolished and new mid-century modern buildings were introduced. From the 1960s onward, multiple-lot developments (including surface parking lots) began to change the built-form pattern of the area, precipitated by the changes in modern transportation, commerce and living. The modern City Hall completed in 1993, along with highrise office towers, now dominate the formerly low-scale area and reveal the new vision of the City with respect to the downtown area.'*

City of Kitchener Zoning By-law 85-1 (Office Consolidation: June 29, 2009) designates the development site as:

- 'Office District D-4' which permits high density dwelling types and a range of complementary non-residential uses.²

1 Cultural Heritage Landscape Datasheets (2014), Appendix 6. Retrieved online from: https://www.kitchener.ca/en/resourcesGeneral/Documents/DSD_PLAN_CHL_Study_Appendix_6_CHL_Data_Sheets.pdf

2 City of Kitchener Zoning By-law 85-1, Section-16, [https://app2.kitchener.ca/appdocs/Zonebylaw/PublishedCurrentText/Sections//Section%2016%20-%20Office%20District%20Zone%20\(D-4\).pdf](https://app2.kitchener.ca/appdocs/Zonebylaw/PublishedCurrentText/Sections//Section%2016%20-%20Office%20District%20Zone%20(D-4).pdf)

3.1 Provincial Heritage Policies

A. PROVINCIAL POLICY STATEMENT ('PPS')

The PPS 2020 identifies conservation of resources of significant architectural, cultural, historical, archaeological, or scientific interest as a provincial interest and it further recognizes that protecting cultural heritage and archaeological resources has economic, environmental, and social benefits, and contributes to the long-term prosperity, environmental health, and social well-being of Ontarians. The 2020 PPS includes a section on context/economic development that is applicable to the subject site:

1.7 Long-Term Economic Prosperity

1.7.1 Long-term economic prosperity should be supported by:

- d) maintaining and, where possible, enhancing the vitality and viability of downtowns and mainstreets;
- e) encouraging a sense of place, by promoting well-designed built form and cultural planning, and by conserving features that help define character, including built heritage resources and cultural heritage landscapes;

Response: The development proposal conserves the heritage resource in-situ. The proposed tall building and the retained heritage building will together act as a landmark feature for both the Downtown area and the adjacent Cultural Heritage Landscape area. The shallow street setbacks along Queen and Duke Street will preserve existing vitality of mainstreets.

2.6 Cultural Heritage and Archaeology

2.6.1 Significant built heritage resources and significant cultural heritage landscapes shall be conserved.

2.6.3 Planning authorities shall not permit development and site alteration on adjacent lands to protected heritage property except where the proposed development and site alteration has been evaluated and it has been demonstrated that the heritage attributes of the protected heritage property will be conserved.

Response: The development proposal conserves the heritage attributes of the retained

heritage building. Materials from the rear facade that is proposed to be demolished will be salvaged, and stored for future re-use in the development. A commemorative feature easily visible to the public is recommended near the main entrance to mitigate the partial loss of the west and complete loss of the rear (north) facade. This can incorporate the materials salvaged from removal and reused for interpretation.

B. A PLACE TO GROW - GROWTH PLAN FOR THE GREATER GOLDEN HORSESHOE

The Greater Golden Horseshoe (GGH) is one of the North America's fastest growing regions. The GGH includes the City of Toronto and 15 surrounding counties. The subject property is located within the identified 'Urban Growth Centre' in the Schedule 4 of this planning document. Like other provincial plans, this plan builds upon the policy foundation provided by the PPS and provides additional and more specific land use planning policies to address issues facing specific geographic areas in Ontario.

The following policy stated under *Section 4.2.7 Cultural Heritage Resources of the Growth Plan for GGH¹* (August 2020 Consolidation) is applicable and relevant for the subject property and its associated development:

1. Cultural heritage resources will be conserved in order to foster a sense of place and benefit communities, particularly in strategic growth areas.

Response: The GGH targets 200 residents and jobs combined per hectare in Downtown Kitchener urban growth centre². The proposed development supports this residential intensification while retaining and protecting the adjacent cultural heritage resources.

1 4.2.7 Cultural Heritage Resources, Place to Grow Growth Plan for The Greater Golden Horseshoe Office Consolidation 2020. Retrieved from <https://files.ontario.ca/mmah-place-to-grow-office-consolidation-en-2020-08-28.pdf>

2 2.2.3 Urban Growth Centres, Place to Grow Growth Plan for The Greater Golden Horseshoe Office Consolidation 2020. Retrieved from <https://files.ontario.ca/mmah-place-to-grow-office-consolidation-en-2020-08-28.pdf>

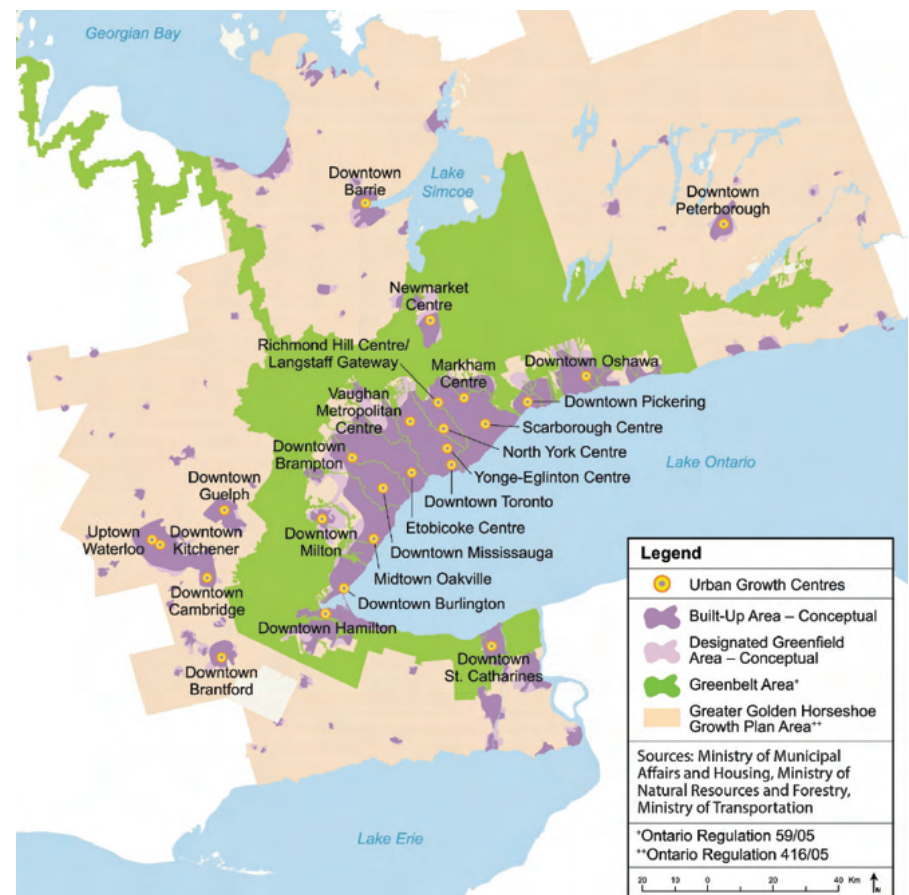


Figure 17. Urban Growth Map - Schedule 4 showing Downtown Kitchener as an Urban Growth Centre (Source: A plan to Grow, Growth Plan for the Greater Golden Horseshoe. Retrieved online from: <https://files.ontario.ca/mmah-place-to-grow-office-consolidation-en-2020-08-28.pdf>)

D. REGIONAL OFFICIAL PLAN

The Regional Official Plan includes a section on context/economic development that is applicable to the subject site¹:

3.G.19 Where it is not feasible to conserve a cultural heritage resource intact in accordance with Policy 3.G.18, the conservation recommendations will:

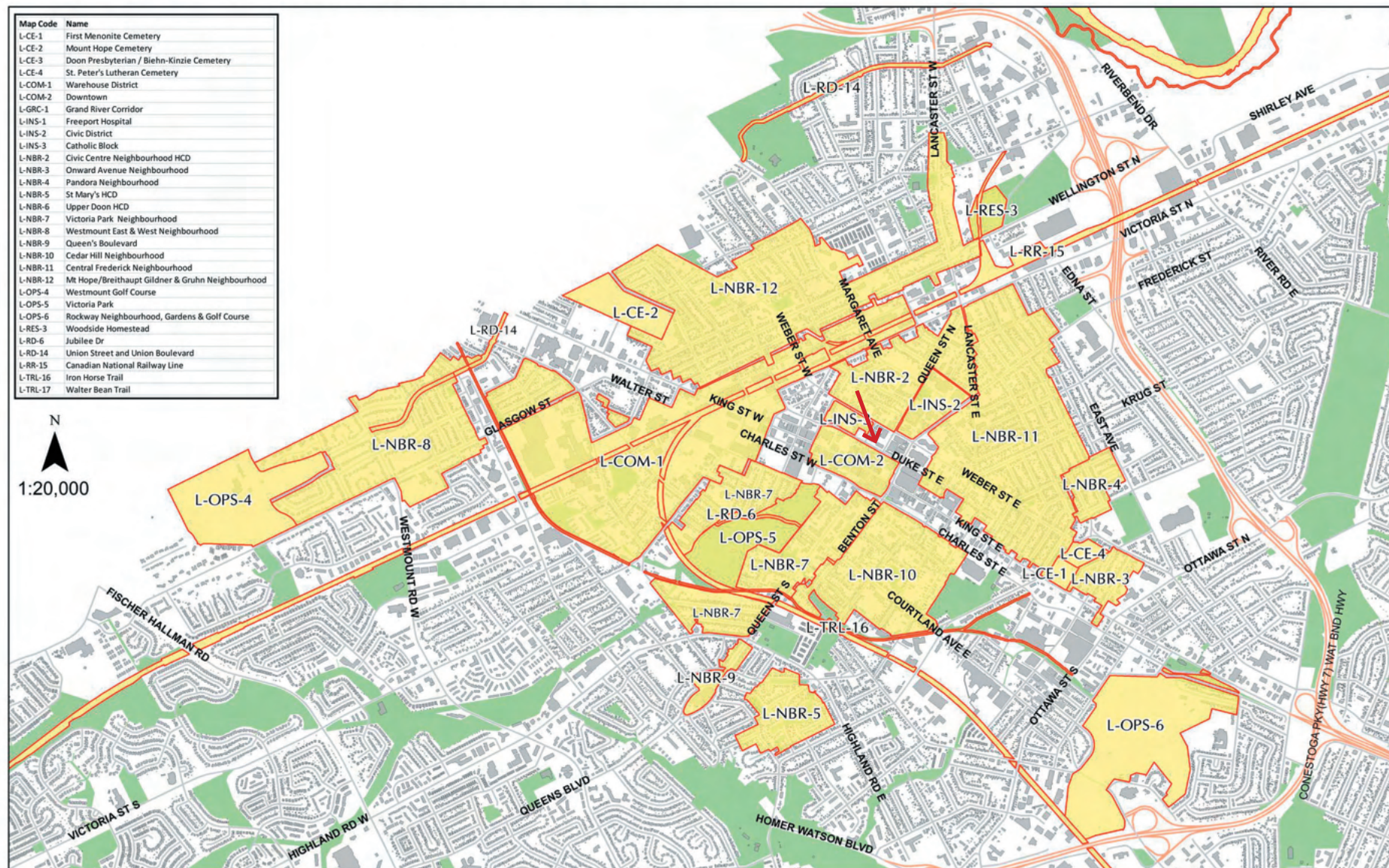
(a) promote the reuse or adaptive reuse of the resource, building, or building elements to preserve the resource and the handiwork of past artisans; and

(b) require the owner/applicant to provide measured drawings, a land use history, photographs and other available documentation of the cultural heritage resource in its surrounding context.

Response: The proposed development aims to rehabilitate the existing heritage building and conserves the character-defining elements. Measured drawings have been prepared (provided as part of the HCP) along with photographic documentation of the existing building in its surrounding context to mitigate the loss of the elements that are proposed to be demolished as part of the development.

1 Section 3G. Cultural Heritage, Liveability in Waterloo Region, Regional Official Plan. Retrieved online from: https://www.regionofwaterloo.ca/en/resources/Regional-Official-Plan/Chapter_3_consolidated_rop_2015-access.pdf

Kitchener Cultural Heritage Landscapes in Central Neighbourhoods



KITCHENER CULTURAL HERITAGE LANDSCAPE STUDY

Figure 18. Kitchener Cultural Heritage Landscapes in Central Neighbourhoods (Appendix 4). Annotated by mCs to show the subject site. Retrieved online from: https://www.kitchener.ca/en/resourcesGeneral/Documents/DSD_PLAN_CHL_Study_Appendices_1-5.pdf

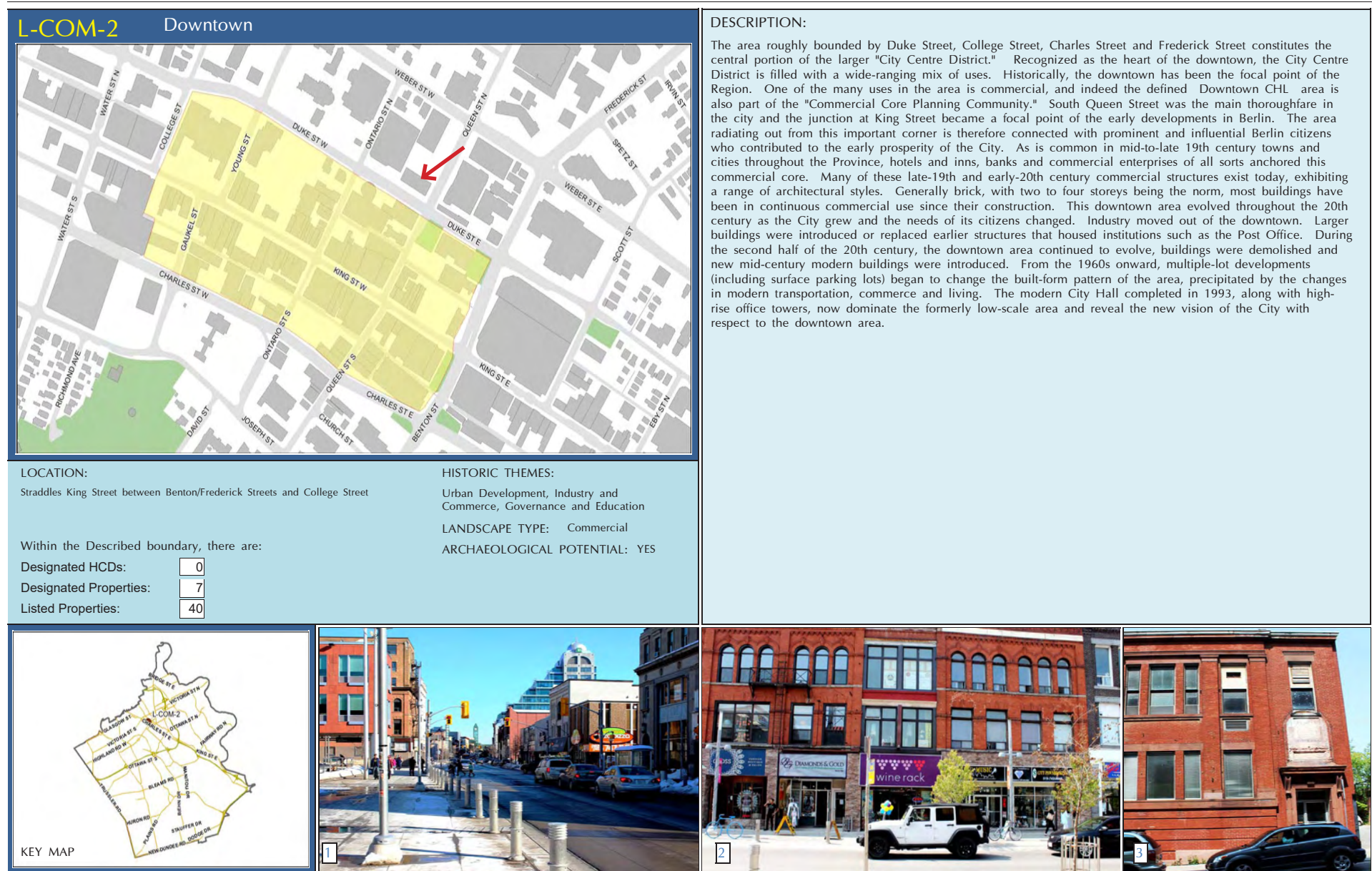


Figure 19. Kitchener Cultural Heritage Landscape - Downtown - Appendix - 6. Annotated by mCs to show the subject site. Retrieved online from: https://www.kitchener.ca/en/resourcesGeneral/Documents/DSD_PLAN_CHL_Study_Appendix_6_CHL_Data_Sheets.pdf

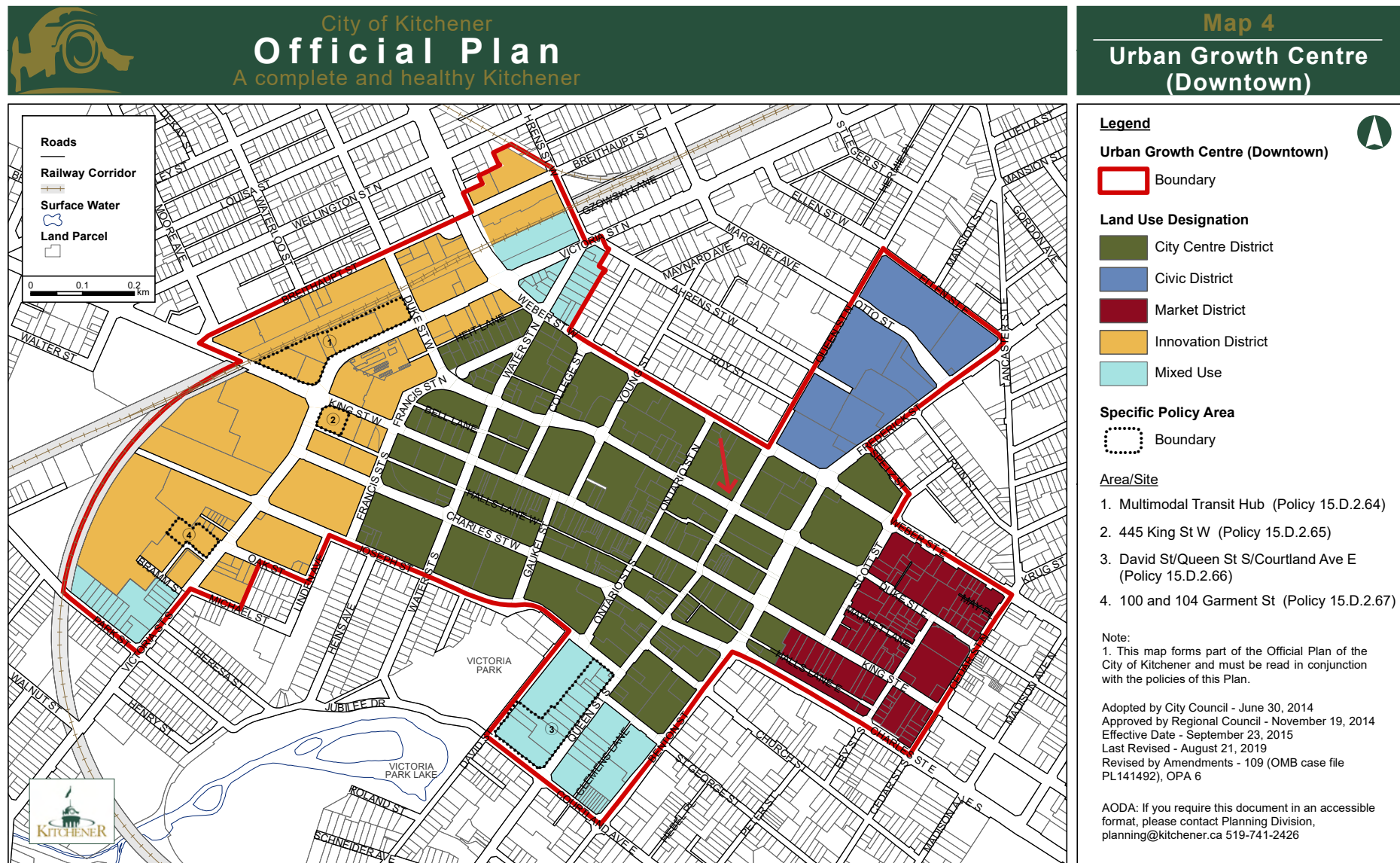


Figure 20. Kitchener Urban Growth Centre (Downtown). Annotated by mCs to show the subject site. Retrieved online from: https://www.kitchener.ca/en/resourcesGeneral/Documents/DSD_PLAN_OP_Map_4_UGC_Downtown.pdf

3.2 Municipal Planning & Heritage Policies

The subject property at 10 Duke Street West is subject to several municipal planning policies, including the City of Kitchener Official Plan and the City of Kitchener Urban Design Manual (city-wide and downtown). The following section outlines the relevant sections of those policies, and provides responses with regards to the heritage resource and proposed development.

1. CITY OF KITCHENER OFFICIAL PLAN

The official plan lists policies that provide the framework to ensure the conservation of those cultural heritage resources which reflect and contribute to the history, identity and character of Kitchener. Accordingly, the following policies of the Kitchener Official Plan are applicable to the proposed development:

12.C.1.7. Properties that are of cultural heritage value or interest will be considered for designation under the Ontario Heritage Act. The cultural heritage value or interest associated with the cultural heritage resource will be evaluated based on the regulation in the Ontario Heritage Act which provides criteria for determining cultural heritage value or interest.

Response: 10 Duke Street West is recognized for its design, physical, contextual, historical and associative values. It has been identified that the original Economical Insurance building built in 1949 satisfies the criteria for designation as per Ontario Regulation 9/06. This evaluation will facilitate the consideration of potential impacts to 10 Duke Street from the proposed development on the subject lands.

12.C.1.10. The City will require the conservation of significant cultural heritage landscapes within the city.

Response: The adjacent Downtown CHL is characterized by a mixed-use character with commercial/retail at grade and 2-4 storeys red-brick facades with contemporary high-rise additions to the formerly low-scale fabric. The proposed development is in line with this existing adjacent context as it retains the 3 storey massing along Duke and Queen Street and highlights the balanced red-brick facade of the existing heritage building. No existing views of the CHL were identified as character-defining, no impacts were found to the adjacent CHL.

12.C.1.21. All development, redevelopment and site alteration permitted by the land use designations and other policies of this Plan will conserve Kitchener's significant cultural heritage resources. The conservation of significant cultural heritage resources will be a requirement and/or condition in the processing and approval of applications submitted under the Planning Act.

Response: The proposed development conserves all the character-defining elements of the heritage resource. The new addition will not impair the essential form and integrity of the historic building. This heritage impact assessment assesses all potential impacts of the proposed development and recommends mitigation strategies to address them. A Heritage Conservation Plan has been completed and submitted as part of the first Site Plan application submission on April 25, 2022 which outlines a plan to manage, protect and preserve the heritage attributes and the integrity of the cultural heritage resource. This also includes a long-term plan that will take into consideration future use, potential alterations while protecting and conserving the heritage attributes.

The identified heritage attributes ie. red Flemish brick, rectangular plan, 11 bays along Duke Street and 6 bays along Queen Street, segmentally flat windows openings with brick voussoirs, 8/12 windows with limestone sills, main entrance door with door surround, transom and entablature, the limestone band between 2nd and 3d floors and the parapet along the roofline all are proposed to be retained as part of the Duke and Queen street facades completely and the west facade partially. The heritage building's historical and contextual value will be conserved as the building is not proposed to be relocated to another site and will continue to enjoy a prominent location at Queen and Duke street intersection.

2. CITY OF KITCHENER URBAN DESIGN MANUAL

Part A Urban Structure and Built Form: CITY WIDE Cultural & Natural Heritage

Section 01.2.8 New development on a site with a cultural heritage resource and additions to cultural heritage resources should integrate new, contrasting building materials in ways

which respect the integrity of the cultural heritage resource. Conserve heritage value by being physically and visually compatible with, subordinate to, and distinguishable from the cultural heritage resource.

Response: The proposed works being done in order to accommodate the new podium and tower addition are significant, however the majority of the historic fabric and appearance of the existing building will be conserved. The proposed design maintains the existing floor levels and window and door openings along Queen and Duke Street. The datum lines of the proposed podium addition align with the existing building's levels to preserve sightlines. The new addition will incorporate step backs and contrasting exterior cladding to offer a subtle backdrop to the existing red-brick heritage building, thereby making it contemporary yet distinguishable from the historic building.

Part A Urban Structure & Built Form: Downtown Cultural & Natural Heritage

The following design guidelines are applicable for the proposed development as it sits within the City Centre District adjacent to the Downtown CHL boundary.

Section 05.2.7

Conserving cultural and natural heritage resources within Kitchener's Downtown is of critical importance, as doing so gives variety to the urban fabric, perpetuates the cultural history of DTK and encourages exploration, sustainability, and a sense of living history.

Response: The heritage resource is a 'heritage character' building, important to the visual continuity of the downtown streetscape. The development project conserves the heritage resource (partially) in-situ and will act as a precedent for future development in the downtown area. The chosen conservation strategy is based on a clear understanding of the building, the removal / impact on heritage attributes is avoided, and where they cannot be avoided, mitigation measures will be implemented including building documentation, salvage and interpretation.

The new development conserves the heritage value by being physically and visually compatible with, and distinguishable from, the heritage resource. Furthermore, it ensures inclusive usability while preserving the buildings heritage attributes. Finally,

the proposed development provides a high quality of architectural and urban design to the growing streetscape of Downtown Kitchener.

Section 05.1.1 Urban Design Manual - Affecting Positive Change

Change is occurring quickly in Downtown Kitchener, from significant new residential, mixed use and office buildings, to new restaurants and services popping up in the central core. Its buildings and streets are an eclectic mix of sizes, styles and eras, from 19th century brick and beam factory buildings to modernist office complexes. Heights range from 1 storey to 30 and above. Some buildings occupy entire blocks, others are just a few metres wide.

As of the publication of this Manual, Downtown Kitchener is undergoing change at an unprecedented rate. We are likely to build as many significant projects in the next 5 years as we did over the previous 50. Within the next two years, the height of DTK's tallest building will more than double, from 19 storeys to 39. Thousands of new residential units are being created along with space for thousands of new workers.

While this change is exciting, and represents a new era of highly intense, transit supportive development, it is important to preserve the existing mix of lively, heterogeneous streetscapes and built forms. Diversity of people, places and experiences and a commitment to design excellence are key to the ongoing success of Downtown Kitchener.

Response: The proposed development will retain the on-site heritage resource partially conserving all its heritage attributes. The heritage building will be adaptively reused as an office space, amenity space and above grade parking and will be integrated with the proposed residential tower. This unique project will be a landmark building that will support residential intensification and provide employment opportunities to new workers. The proposed design program will conserve the heritage value and character-defining elements and ensure that the new construction is physically and visually compatible and distinguishable from the heritage building¹.

¹ General Standards for Preservation, Rehabilitation and Restoration (11), Standards and Guidelines for the Conservation of Historic Places in Canada, pg 23). Retrieved online from: <https://www.historicplaces.ca/media/18072/81468-parks-s-t-g-eng-web2.pdf>

*Section 05.2.1 Urban Design Manual - Inclusive Design**Universal Design*

Kitchener's Downtown consists of heritage buildings and other older buildings which may not be universally accessible. Owners or tenants of these buildings should explore opportunities to integrate universal design measures such as ramps, handrails and other barrier free measures into the architectural expression of the building, providing equitable use to all.

Response: The building is currently not universally accessible from the street. A ramp is proposed along the Duke Street frontage as part of the proposed development.

Section 05.2.2 Urban Design Manual - Design for Sustainability

It includes cultural sustainability, to protect our natural and built heritage resources and to welcome and accommodate both old and new cultural traditions and celebrations.

Response: Further design development and building envelope investigations are required before proceeding with resource-saving measures involving energy, water or materials. The environmental benefits of these measures is weighed against their impact on heritage value. Solutions should be found that take advantage of the inherent durability and adaptability of most historic places.¹

Both heritage conservation and sustainability aim to conserve. In the case of heritage buildings, this includes considering the inherent performance and durability of their character-defining assemblies, systems and materials, and the minimal interventions required to achieve the most effective sustainability improvements. For example, it may be possible to improve the energy efficiency of an historic building character-defining assemblies, systems and materials, and the minimal interventions required to achieve the most effective sustainability improvements. For example, it may be

¹ Sustainability. General Standards for Preservation, Rehabilitation and Restoration, Standards and Guidelines for the Conservation of Historic Places in Canada, pg 43). Retrieved online from: <https://www.historicplaces.ca/media/18072/81468-parks-s+g-eng-web2.pdf>

possible to improve the energy efficiency of an historic building by insulating the attic and basement rather than removing or concealing character-defining brick or plaster to insulate the walls.²

Section 05.3.1 Urban Design Manual - Built Form - Massing

Adaptive reuse of-- and additions to-- existing buildings should respect and enhance the established character of the building, its streetscape, and any surrounding open areas. This is the case regardless of a building's cultural heritage status.

Additions to existing buildings must demonstrate a coherent design overall, with thoughtful interplay between old and new that is complementary, visually appealing, and reflective of high contemporary design standards for massing, materials and detailing.

Response: The development proposal is clearly legible as a new piece of architecture, that includes sympathetic setbacks and stepbacks to maintain the prominence of the heritage building, and has related proportions / massing. It is compatible with the heritage building. With respect to the Statement of Significance for 10 Duke Street, the proposal conserves the identified heritage attributes - red brick, the bays on both Duke and Queen Streets along with windows with limestone sills, parapet roofline, window and door openings. The building is retained at its original location reinforcing its contextual and associative value as a landmark building. In addition, the retained bays at the return on the laneway (RBC side) provides more visual continuity at the pedestrian level.

² Balancing conservation principles and Sustainability Objectives, Section 4.3 Guidelines for Buildings. Standards and Guidelines for the Conservation of Historic Places in Canada, pg 127). Retrieved online from: <https://www.historicplaces.ca/media/18072/81468-parks-s+g-eng-web2.pdf>

The proposed residential tower is set back from the podium to again defer to the scale of the existing and address the pedestrian scale of the immediate context. The design both physically and visually places the existing building ahead of the new construction (Figure 22 & 24).

Section 05.3.1 Urban Design Manual - Built Form - Materials & Articulation

Where there is potential for a large, sculptural architectural expression, it must be pursued without sacrificing streetscape quality or pedestrian comfort.

Concentrate the most prominent architectural expressions towards major street corners and buildings directly adjacent to ION stops. Landmark architectural forms should encourage exploration of the downtown and aide pedestrian and transit user wayfinding.

Response: The proposed addition is clearly legible from the original red brick building and is clad in glass and metal to provide a contrast between old and new. The property is physically linked to the streetscape in scale and material. Because of its location on a prominent street corner and its distinctive Colonial revival characteristics and the playfulness in the new construction (balcony design), it could be considered a neighbourhood landmark that would aide pedestrian and transit user wayfinding.

Section 05.4.2 Urban Design Manual - City Centre District (UGC-1)

The City Centre District is a compact mix of high-rise residential, office and historical low and mid-rise buildings¹. The subject site is located within the City Centre District. The following area specific guidelines apply to the subject site:

New development is to contribute positively to the eclectic character of the City Centre District through visionary design that is contemporary, represents the greatest possible mix of uses, and provides a variety of built forms including heights, massing, formal

expressions, materials, and colours.

Response: The City Centre District was historically developed as a pedestrian-oriented environment characterized by ground floor commercial uses in narrow store fronts, providing frequent entrances for pedestrians. The proposed commercial use within the existing heritage building will help maintain the pedestrian appeal as the development evolves into a mixed-use setting with a tall contemporary building with residential, retail and amenity spaces. A new color palette is proposed for the new building that contributes to the eclectic character of the City Centre District. Light to dark grey color metal panels are proposed in the podium design. the proportion of these panels are intended to emulate the proportions of the existing heritage building windows.

The proposed building is informed by, but distinct from the historic street character of Duke Street West, maintaining a strong and continuous street presence. The podium massing provides transition from the heritage building to the proposed tower by providing a step-back buffer establishing an adequate separation between the two distinct building forms. The design is intended to preserve street views and streetscape character along Duke Street West and Queen Street North. The proposed tower is set back from the podium to create a clear break and address the pedestrian scale of the immediate context. This unique project will adaptively reuse a historic landmark building in the neighbourhood which will be integrated with a tower adding a sculptural quality to the overall development.

¹ UGC-1 City Centre District, City of Kitchener Urban Design Manual - Part A Downtown. pg 10. Retrieved from: https://www.kitchener.ca/en/resourcesGeneral/Documents/DSD_PLAN_UDM_05_Downtown.pdf



Figure 21. UGC-1 City Centre District, City of Kitchener Urban Design Manual - Part A Downtown, annotated by mCs to show the subject site. Retrieved online from: https://www.kitchener.ca/en/resourcesGeneral/Documents/DSD_PLAN_UDM_05_Downtown.pdf

City of Kitchener Urban Design Manual

Part B: Design for Tall Buildings

Heritage¹

Locate and design tall buildings to respect and complement the scale, character, form and siting of on-site and surrounding cultural heritage resources.

Conserve and integrate built heritage resources into tall building developments in a manner that conforms with heritage conservation policies, principles, standards and guidelines.

Conserve the integrity of the cultural heritage values, attributes, character, and three-dimensional form of an on-site built heritage resource. Facade retention alone is not an acceptable method of heritage conservation.

Response: The proposed development conserves the existing built heritage resource three-dimensionally by retaining and rehabilitating all of the South and East facades (fronting Duke and Queen respectively) and partially retaining the West facade (3 bays). The heritage building will thus continue to enjoy its existing original corner location. The retained portion incorporates all the heritage attributes of the building, including reuse of the interior attributes. The principal entrance will remain in the same location which will preserve the function and street presence of the South facade as well as showcase some of the original interior finishes such as the brass elements and marble.

Tall building proposals containing heritage properties on or adjacent to the development

¹ Urban Design Manual, Part B: Design for Tall Buildings, pg 16. Retrieved online from: https://www.kitchener.ca/en/resourcesGeneral/Documents/DSD_PLAN_Tall_Building_Urban_Design_Guidelines.pdf

site may be required to provide a Heritage Impact Assessment and Conservation Plan as part of the application review process, to evaluate the impact the proposed development or site alteration will have on the heritage property and to recommend an overall approach to conservation of these resources and mitigate negative impact upon them.

Response: This CHIA assesses the impacts of the proposed development and forms part of a Site Plan application submission (SP22/104/D/AP). It was reviewed by Heritage Planning Staff prior to being considered by the Kitchener Heritage Committee on December 7, 2021.

3.3 Heritage Conservation Principles

As per the HIA Terms of Reference for the City of Kitchener, considering the cultural heritage value and interest identified at 10 Duke St W, it is recommended that the design approach be guided by the Standards and Guidelines for the Conservation of Historic Places in Canada and the Ministry of Tourism, Culture and Sport's "Eight Guiding Principles in the Conservation of Built Heritage Properties".

In order to protect the heritage resources of the 10 Duke Street West building, the following conservation strategy and analysis has been prepared to specifically address the cultural heritage value and heritage attributes based on design, historic, and contextual criteria outlined in the Statement of Significance of Section 2.5.

- Maintain appropriate physical relationships and visual settings that contribute to the cultural significance of the complex such as its frontage on 10 Duke St. W. and Queen Street. The red brick masonry ties this building to other historic red brick structures in the area, and the shallow buttressing and window openings form a rhythm and pattern on the street;
- Preserve the historic character of 10 Duke St. W. do not over repair or restore;
- Respect the Economical Insurance building in its materials and detailing as they relate to the Colonial Revival style;
- Allow for new construction that relates to and conserves the essential form and integrity of the original building;
- Conserve the exterior elements that are important to defining the overall heritage value of the buildings such as the material and composition of existing facades in the vernacular;
- Maintain significant sight lines to the building from Duke and Queen Street;
- New development should be differentiated from the original building. It is recommended that the frontage on Duke Street West and Queen Street, remain connected to the street;
- Any new building adjacent to the Economical Insurance building should be contemporary as per Conservation Principle 7 - Legibility 1. We would recommend that any new work be distinguishable from original fabric, contrasting in style.

Review of Applicable Standards and Guidelines for the Conservation of Historic Places in Canada

Conservation Treatment - Rehabilitation: The appropriate conservation treatment being followed in the case of an adaptation of the building to fit new standards while keeping the heritage cultural value of the property is Rehabilitation.

General Standards for Preservation, Rehabilitation and Restoration:

1. Conserve the heritage value of an historic place. Do not remove, replace or substantially alter its intact or repairable character defining elements. Do not move a part of an historic place if its current location is a character-defining element.

Response: The building will remain in situ and will remain largely intact. The proposed design retains all of the South and East facades, those fronting onto Duke St W and Queen St N, and is proposing partial demolition of the West facade and full demolition of the North facade. Due to the location of the building on the site, sitting on the south half of the property, the North facade is located in the middle between where the retained building joins with the new podium addition. As a result, the facade would be enclosed within the proposed building if it were retained therefore making it unfeasible. The proposed retention strategy maintains key sightlines of the building along Duke St W and Queen St N while allowing for infill of the under utilized northern part of the site. The identified exterior attributes are mirrored across both axes of the building therefore, despite the removal of the character defining elements of the West and North facades, the overall character of the building is maintained.

The identified interior attributes are located within the building core, both at the principal entrance off Duke St W and at the rear of the existing building, feature the same materials as described in previous sections. The rear stairwell is to be demolished but the principal entrance will remain in the same location which will preserve

the function and street presence of the South facade as well as showcase some of the original interior finishes seen throughout.

2. Conserve changes to an historic place that, over time, have become character-defining elements in their own right.

Response: The character defining elements in this building have been identified in the Statement of Significance and have been considered in the impact evaluation.

3. Conserve heritage value by adopting an approach calling for minimal intervention.

Response: The densification of this site and size of the overall project is a considerable shift from the current conditions and as such will result in significant intervention of the existing building in order to accommodate the new building. With this being said, the proposal takes the principal of minimal intervention into consideration as much as possible and where the impacts are unavoidable, they have been minimized using various mitigation measures and design principles discussed in this report. The new podium and tower addition is strategically placed at the rear of the property and utilizes a reduced and simple massing at the base to minimize intersection with the existing building. The location of the primary entrance, openings and structure (namely the existing floor levels) are being maintained in order to minimize the potential negative impacts on the integrity or heritage value of the existing building.

4. Recognize each historic place as a physical record of its time, place and use. Do not create a false sense of historical development by adding elements from other historic places or other properties, or by combining features of the same property that never coexisted.

Response: The proposal is distinct and of its time so as not to create a false sense of historical development. It features contemporary design aesthetics and materials whilst not competing with the existing building.

5. Find a use for an historic place that requires minimal or no change to its character-defining elements.

Response: The proposed development will be mixed-use and incorporate office, amenity and parking/service spaces within the existing building and podium levels. The design acknowledges the strengths of the existing building and by continuing its use as office space along the front (South) of the building it guarantees the building will continue to contribute to the streetscape and thrive as an active, prominent building.

6. Protect and, if necessary, stabilize an historic place until any subsequent intervention is undertaken. Protect and preserve archaeological resources in place. Where there is potential for disturbing archaeological resources, take mitigation measures to limit damage and loss of information.

Response: The project team has provided a document, appended to this report, illustrating the facade retention and stabilization strategy for the existing building throughout the course of demolition and construction. The building should be carefully monitored for the entire duration of the project to ensure the strategy is sufficient in preventing any damage to the existing building.

7. Evaluate the existing condition of character-defining elements to determine the appropriate intervention needed. Use the gentlest means possible for any intervention. Respect heritage value when undertaking an intervention.

Response: A preliminary visual analysis of the existing condition has been described in section 2.4 of this report and found the building to be in good overall condition. A detailed condition assessment of any affected heritage attributes and heritage conservation drawings for construction should be prepared by a qualified consultant reflecting construction methodology in accordance with these conservation standards.

8. Maintain character-defining elements on an ongoing basis. Repair character-defining elements by reinforcing their materials using recognized conservation methods. Replace in kind any extensively deteriorated or missing parts of character-defining elements, where there are surviving prototypes.

Response: Refer to response above. In addition, should any damage occur to the existing building at any point in the project, a qualified consultant should be engaged to advise on the proper materials and methodology used for the repair.

9. Make any intervention needed to preserve character-defining elements physically and visually compatible with the historic place and identifiable on close inspection. Document any intervention for future reference.

Response: Refer to response above.

10. Repair rather than replace character-defining elements. Where character-defining elements are too severely deteriorated to repair, and where sufficient physical evidence exists, replace them with new elements that match the forms, materials and detailing of sound versions of the same elements. Where there is insufficient physical evidence, make the form, material and detailing of the new elements compatible with the character of the historic place.

Response: Refer to previous response. In addition, the building should be thoroughly documented prior to any work beginning in order to serve as evidence should any repair or replacement work need to be done.

11. Conserve the heritage value and character-defining elements when creating any new additions to an historic place or any related new construction. Make the new work physically and visually compatible with, subordinate to and distinguishable from the historic place.

Response: The proposed podium and tower addition, although much larger in scale, than the three storey heritage building, have been designed to be visually compatible with yet subordinate to the existing. The podium massing provides transition from the heritage building to the proposed tower and makes use of set backs and material, a fully glazed wall system, to create a reveal between the 'old' and the 'new'. The proposed residential tower is set back from the podium to again defer to the scale of the existing and address the pedestrian scale of the immediate context. The design both physically and visually places the existing building ahead of the new construction.

The proposed design interprets the features of the heritage building in a contemporary design solution that fits the site. The south elevation along Duke Street W illustrates the compositional pattern and scale that is carried through the design of the new podium and tower. Additionally, the selection of tactile, familiar materials such as brick, metal, and screens create a relatable and dynamic streetscape.

12. Create any new additions or related new construction so that the essential form and integrity of an historic place will not be impaired if the new work is removed in the future.

Response: Due to the nature of constructing a large tower on top of an existing building, the structure being proposed will need to be integrated or designed in conjunction with that of the existing building to some extent. A structural engineer has been engaged to develop a facade retention and stabilization strategy during both the demolition and construction phases of the project. Wherever structurally feasible, the new construction should be reversible without altering the integrity of the historic building.

4.0 Description of Proposed Development

The proposed development expands the existing commercial use of the property by adding stepped back podium floors to the top of the heritage building, with an additional residential floors above that. The new building will be mixed-use, with commercial, office, amenity and parking on the lower (podium) levels and 499 residential units on the remaining levels. The total proposed height is 45 storeys.

Site Statistics
New Site Area: 2,226 sq.m.
Gross Floor Area: 36,235.1 sq.m
Proposed Building Height: 45 storeys
Proposed No. of Units: 499
Parking required: 161
Parking Provided: 168

The Proposed Development retains the entire principal (south) facade, the entire east facade, and a portion of the west facade in situ (Figure 22). The rear (north) facade is proposed to be demolished to accommodate the proposed programming. Due to the location of the building on the site, sitting on the south half of the property, the North facade is located in the middle between where the retained building joins with the new podium addition and as a result would be enclosed within the proposed building if it were retained.

The proposed retention strategy maintains key sightlines of the building along Duke St W and Queen St N while allowing for infill of the under utilized northern part of the site. The identified exterior attributes are mirrored across both axes of the building therefore, despite the removal of the character defining elements of the West and North facades, the overall character of the building is maintained. In-situ retention of the building will preserve the streetscape context and the building's relationship with Duke and Queen Street.

The proposed development retains all of the character defining features as described in section 2.5 'Statement of Cultural Heritage Value or Interest' including:

- Red Flemish brick;
- Rectangular plan;
- 11 bays along Duke Street and 6 bays along Queen Street;
- Segmentally flat windows openings with brick voussoirs;
- 8/12 windows with limestone sills;
- Main entrance door with door surround, transom and entablature;
- The limestone band between 2nd and 3d floors; and
- The parapet along the roofline.

The described interior attributes will be also retained for reuse in the building.



Figure 22. View of the Proposed Development as seen from Duke Street West and Queen Street North intersection with the retained heritage building at grade. (Source: Design Package, Turner Fleischer Architects, May 2023)

4.1 Design Principles

The following design principles will be utilized to guide the development towards a contextual and sensitive response to this significant location:

- Maintain appropriate physical relationships and visual settings.
- Maintain rhythms in massing and fenestration along the Duke Street to preserve contextual relationships.
- Integrate the south, east and west historic facades as part of the new development in order to maintain the historical landscape along Duke St W.
- Establish a height transition between historic and adjacent buildings through the stepped-back design of the podium.
- Set back tower from main streets to minimize visual and shadow impacts and preserve the historic streetscape.
- New development designed to be contemporary as per Conservation Principle 7 - Legibility. The proposed addition is clearly legible from the original building and is clad in glass and metal to provide a contrast between old and new.

The proposed design interprets the features of the heritage building in a contemporary design solution that fits the site. The south elevation along Duke Street W illustrates the compositional pattern and scale that is carried through the design of the new podium and tower. The proposed design amplifies the corner of Queen and Duke St through the modern interpretation of a podium and tower.

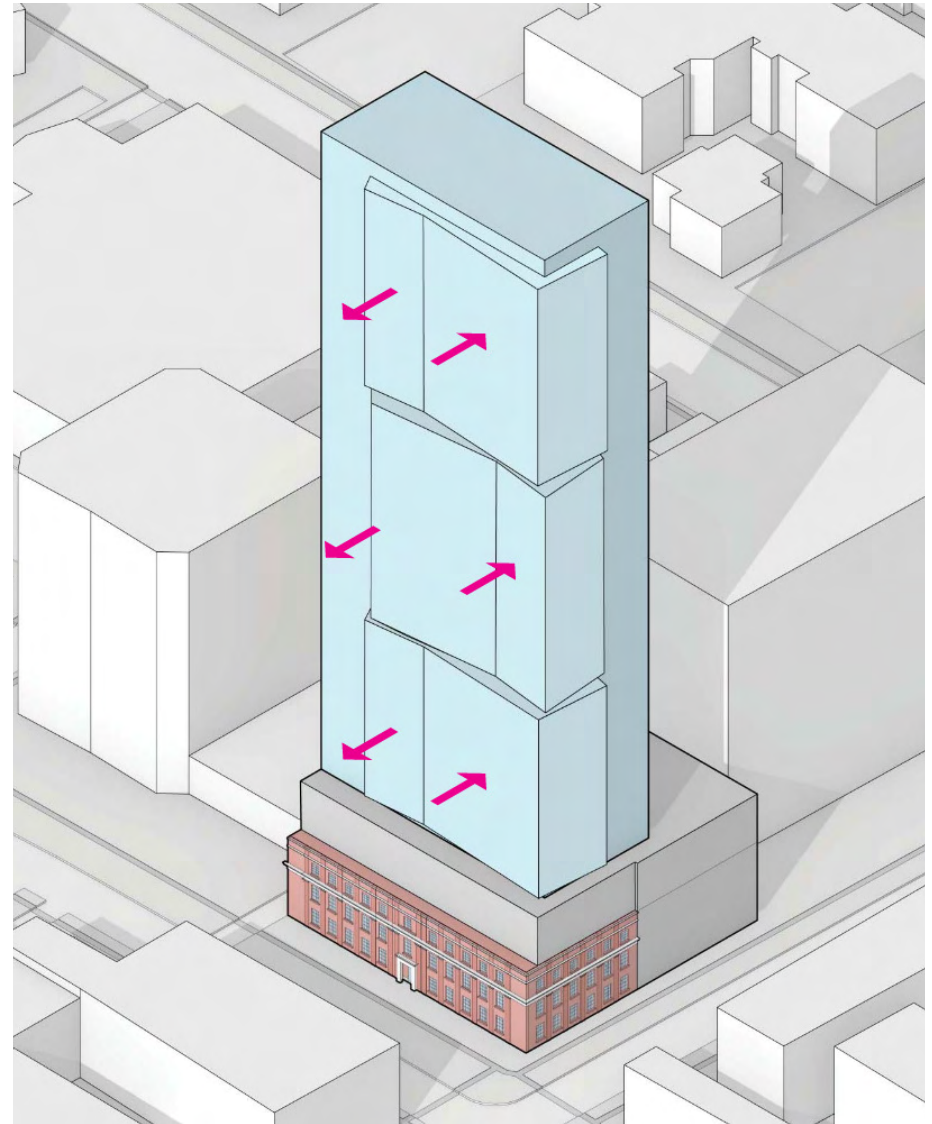


Figure 23. Conceptual massing of the Proposed Development as seen from Duke Street West and Queen Street North intersection with the retained heritage building at grade. (Source: Design Package, Kirkor Architects, September 2021)

4.2 Scale, Form & Massing

The proposed building is informed by, integrates but distinct from, the historic street character of Duke St W, maintaining a strong and continuous street presence which is consistent with the pattern set by the applicable design guidelines and planning policies.

The form and composition of the design works well with the surrounding existing neighbourhood character and the future planned intensification in Downtown Kitchener.

The podium massing provides transition from the heritage building to the proposed tower by providing a set-back buffer and which establishes an adequate separation between the two distinct masses. This exhibits a gradual neighbourhood transition thereby preserving street views and streetscape character along Duke Street. The proposed residential tower is set back from the podium to create a clear break and address the pedestrian scale of the immediate context. Additionally, the selection of tactile, familiar materials such as brick, metal, and screens create a relatable environment.

4.3 Site Layout

The site has a lot area of 2,226 sq.m. The proposed development contemplates a mix of uses including 499 residential units, office space, amenity spaces and 168 parking spaces.

Vehicular access to the proposed residential parking is planned exclusively from Queen Street North, located at the north edge of the site (Figure 25). The parking will entail 5.5 levels of levels of above grade parking, within the heritage building and proposed podium levels. This proposal will be providing an adequate amount of parking with regards to the relatable parking ratio. The proposed parking will not be visible through



Figure 24. Perspective View of the Proposed Development as seen from Duke Street West and Queen Street North intersection with the retained heritage building at grade. Source: Design Package, Turner Fleischer Architects, May, 2023.

the Duke St W facade, as it will be concealed from the street by proposed office space.

Pedestrians will be able to access the building through the preserved principal entrance on Duke St W to maintain ease of pedestrian access from the street.

The loading for this design proposal will enter from the same location off of Queen St. (Figure 25).

4.4 Urban Design & Context

The proposal will accommodate growth through compact development that makes efficient use of land resources and will support the objective of creating complete communities through the residential intensification of a growing urban context in an area that provides for ease of access to transit, jobs and recreation.

The proposed development:

- is transit-supportive as it is located on Duke St W, which is an LRT corridor;
- facilitates a compact, efficient, and more transit-supportive built form and development pattern;
- conforms to the policies of the Kitchener Official Plan as it supports a range of uses while maintaining the character of the surrounding area;
- contributes to a well-balanced community through a range of residential unit types, and promotes the use of public transit and other modes of transportation; and
- is pedestrian-friendly as it will be connected to the municipal sidewalk system.

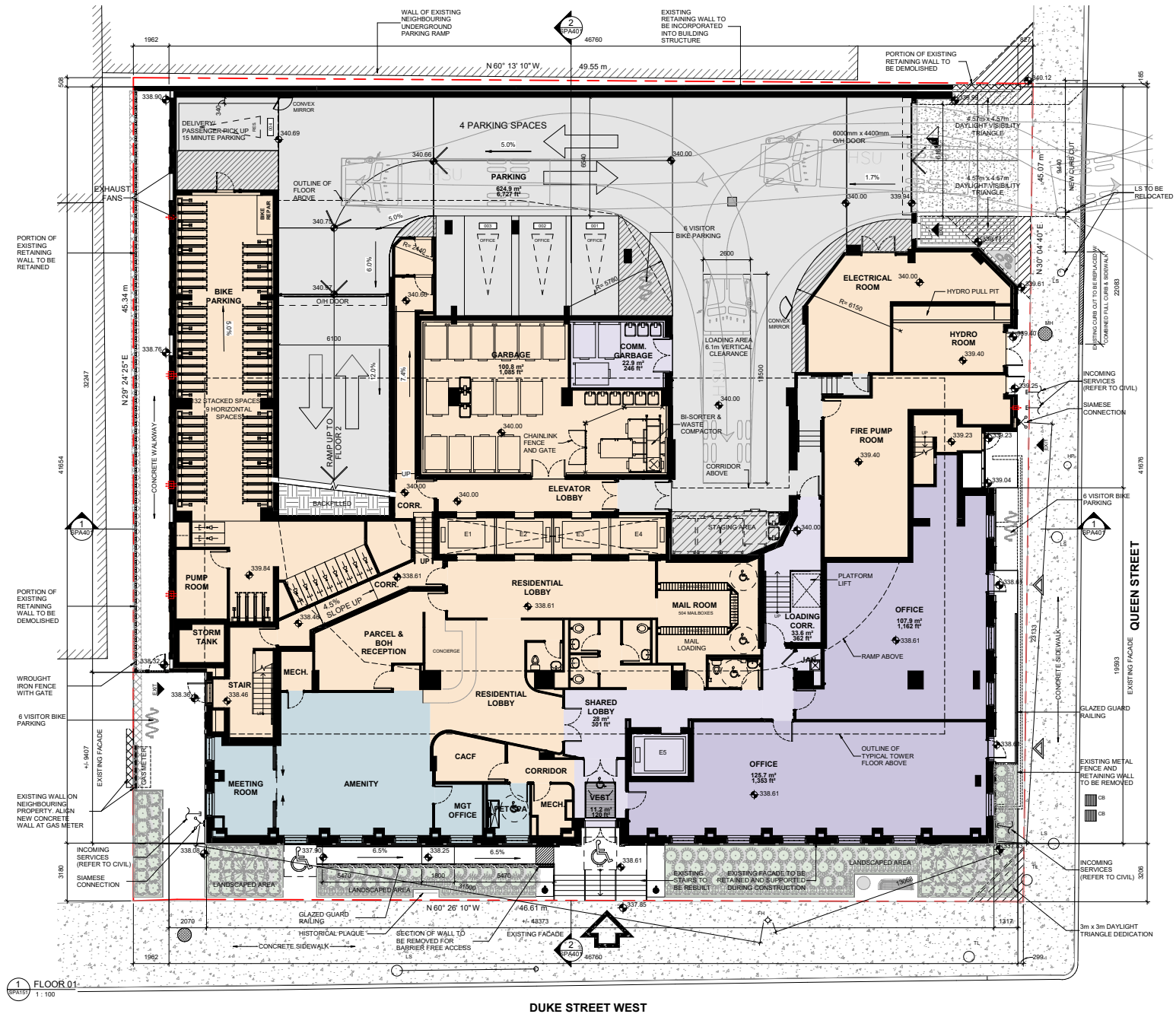


Figure 25. Level 1 Plan showing the retained portion of the Heritage Building along Duke and Queen Streets and new rear addition.
Source: Design Package, Turner Fleischer Architects, May 2023.

5.0 Impact of Proposed Development

The following assessment has determined that the proposed redevelopment will not result in significant direct and/or indirect impacts to the heritage resource's identified attributes. Where unavoidable, any impact will be minimized and monitored through the proper mitigation measures and recommendations as described in the following sections.

The proposed design balances the need for intensification of the downtown area with the desire to conserve the rich historic fabric of the area. The street facing, south and west, facades are being retained along with a portion of the east facade, while the north facade is being demolished in order to accommodate the new podium addition. All identified heritage attributes and the overall character of the building are being conserved, and reused in the case of the interior attributes. Through set backs, materiality, form and proportions, the new building is distinguishable from yet complimentary to the existing building.

In bringing new life to the site, the development will ensure the ongoing use and maintenance of the heritage features as well as continue to contribute to the streetscape of the surrounding area.

All of the potential impacts on the existing building as a result of the proposed development, based on those identified in Ontario Heritage Tool Kit, Info Sheet #5, have been assessed and are described in the table on the following page.

Potential direct and/or indirect adverse impact	Assessment	Summary of Impact with Mitigation
1. Destruction of any, or part of any significant heritage attributes or features.	The proposed development involves partial demolition of the existing building in order to allow for the construction of a new podium and tower addition. The identified heritage attributes to be retained include: Exterior envelope - on the south, east, and a large portion of the west facade, the existing brick, limestone sills, cornice, parapet and window & doors openings. As part of the building's retrofit, the north and part of the west facade, the elevator overrun, chimney(s), a portion the roof as well as the interior will be demolished. Despite the demolition of parts of the building, the retention of the majority of the exterior features will help to maintain the overall historic character of the building and continue to be a prominent part of the historic streetscape along both Duke St W and Queen St N.	<p>Minor impacts to the exterior, major impacts to the interior but no significant impacts to the overall heritage character.</p> <p>For the entirety of the north facade, portion of the west facade and rooftop that are to be demolished, the significant heritage attributes will be salvaged and stored for potential future use - commemoration/interpretation.</p> <p>For the interiors to be demolished, we recommend the interior heritage attributes (brass elements) wherever possible, be documented, salvaged and stored for reuse in the new construction. These elements when reused should be incorporated in visible public areas including, but not limited to, exterior and/or interior side of entryways, vestibules, lobby and amenity spaces. If a heritage attribute cannot be salvaged, the documentation can be referenced to inform design elements as part of the new design.</p>
2. Alteration that is not sympathetic, or is incompatible, with the historic fabric and appearance.	The works being done in order to accommodate the new podium and tower addition are significant, however the majority of the historic fabric and appearance of the existing building will be conserved. The most significant changes will be on the interior of the building, whereby demolition will occur to allow for new uses/spaces to be introduced within the existing walls. The proposed design maintains the existing floor levels and window and door openings. The new addition to the current building form will be contemporary and compatible with yet distinguishable from the historic building.	<p>Minor impacts.</p> <p>The proposed development incorporates an appropriate step back between the existing building and new development, which will provide visual separation as per guidance from Canada's Historic Places (Section 4.3.1: Exterior Form). The proposed development will provide distinguishability and legibility of 'new' from 'old' and make use of compatible materials and massing.</p> <p>Any repair or replacement of heritage attributes should be done using best practices and under the advisement of a qualified professional.</p>

Potential direct and/or indirect adverse impact	Assessment	Summary of Impact with Mitigation
<p>3. Shadows created that alter the appearance of the heritage attribute or change the viability of an associated natural feature or plantings, such as a garden.</p> <p>The Design for Tall Buildings section of the Urban Design Manual states that buildings should 'Maintain daily access to at least 5 hours of cumulative direct sunlight to nearby sidewalks and open spaces under equinox conditions'.</p>	<p>A shadow impact analysis has been done and found that there are some shadows cast on the adjacent properties at 49 Queen St N and 30-32 Duke St W. 141 Ontario St N.</p> <p>The building at 30-32 Duke St W. 141 Ontario St N receives shadows for a 2-hour period of time from 10am to 12pm. The building at 49 Queen St N receives shadows for a 2-hour period of time from 4pm to 6pm except for June 21, when it receives some shadows starting at 2pm. In December, shadows extend into the Civic Centre Neighbourhood HCD. With regards to the building itself, being that the tower addition sits directly on top of the existing building, the east facade is partially shadowed for a 2-hour period of time from 10am to 12pm; the west facade for 4-hour period of time from 2pm to 6pm; and the south facade is not shadowed at any point.</p>	<p>Minor impacts.</p> <p>The sun shadow study concluded that although there are some shadows cast on the adjacent properties at 49 Queen St N and 30-32 Duke St W. 141 Ontario St N, each of the building are only shadowed for 2 hours, with the exception of 49 Queen St N in June when it is shadowed for 4 hours. Shadow impacts have been mitigated using set backs and reduction of the tower floor plate, while balancing efficiency, to minimize any shadows created.</p> <p>The proposed development maintains daily access of cumulative direct sunlight to nearby sidewalks and open spaces. The South (principal) facade and adjacent Duke St. sidewalk is at no point affected by shadows.</p>
<p>4. Isolation of a heritage attribute from its surrounding environment, context or a significant relationship.</p>	<p>There are no negative impacts from isolation as the heritage building will remain at its original location. The two street facing facades, west and south, and partial east facade are being retained as such maintaining the access, approach and relationship from the building to the street.</p>	<p>No impact.</p> <p>The proposal and retention of the street facing facades will activate the site by giving a use to the existing building while continuing to contribute to the historic streetscape and character of the surrounding area.</p>
<p>5. Direct or indirect obstruction of significant views or vistas with, from, or of built and natural features.</p>	<p>N/A - No significant views or vistas have been identified within, to, or from the subject property.</p> <p>It is however possible to view the cultural heritage resource from Duke and Queen Street, this view would be preserved as part of the proposed development.</p>	<p>No impact.</p> <p>The proposed development include a podium, set back from the existing building, above which sits the tower, which is set back once again. The approach and relationship from the building to the street will remain the same and due to the setbacks, the new tower allows the existing building to be the most prominent feature.</p>

Potential direct and/or indirect adverse impact	Assessment	Summary of Impact with Mitigation
6. A change in land use (such as rezoning a church to a multi-unit residence) where the change in use affects the property's cultural heritage value.	The proposed development will be combination of office, residential and amenity/support spaces for the residential units. The lower levels will be where the existing building, lower portion of the site, and the new podium, upper portion of the site, will join to form the new proposed building footprint. The office and amenity spaces will be located along the perimeter of the existing building, which aligns with the historic use and prevents the need to alter the facade to suit the new use. The new amenity and support spaces will be located towards the back or center of the existing building, but the majority of which will be contained within the new podium.	No impact. The proposed mix of uses and location of the office spaces within the existing building both pays tribute to the site's history and supports the continued active use of the site.
7. Land disturbances such as a change in grade that alters soils, and drainage patterns that adversely affect a cultural heritage resource, including archeological resources.	<p>The upper portion of the site where the new buildings will be constructed currently contains a parking lot with the only landscaping being located along Queen St N. There are no proposed changes in grade level. During demolition and construction, the existing building will be stabilized and the works will be phased accordingly to ensure the existing building is properly supported at all times.</p> <p>Land disturbances during construction phase can be monitored if mitigation measures such as standard drainage, site grading and vibration monitoring are implemented. There are no anticipated changes in grade that would impact the on-site or adjacent Heritage resources.</p>	<p>Potential impact. With the proper stabilization and monitoring throughout all phases of the project, there should be no impact on the integrity of the existing building. As a precaution, vibration monitoring and regular inspections should take place prior to, during and post construction. If any unexpected situation or damage does occur, a discussion with a qualified professional should occur prior to any decisions being made.</p> <p>The intensified use will have less of an impact as the new construction will be located to the rear of CHR. The added parking will be added within the existing structure and will not be visible from the street.</p>

6.0 Considered Alternatives & Mitigation Strategies

Considered Alternatives

Various iterations were explored as part of the design process which tested out options for siting, massing, layout and materiality against efficiency and desired development outcomes. The site as a whole was evaluated to see where various programmatic spaces would fit best, working around the existing footprint. Unfortunately, due to the size and amount of support spaces required to make the residential use feasible, the decision was made to demolish part of the existing building. In doing so, the connection between the 'new' and the 'old' was able to be better integrated.

Various mitigation options are evaluated in this section, to determine how the proposed development can lessen its impacts on the subject heritage resource. Mitigation options are defined by the Provincial Policy Statement 2020 ('PPS 2020') as development initiatives that permit the preservation of a heritage resource. ***This PPS provision is incorporated municipally through Section 12.C.1.26.e 'consideration of alternatives, mitigation and conservation methods' outlined in Section 12 Part C of the City of Kitchener Official Plan 2014.***

In line with this policy, this HIA evaluates the following mitigation options, as recommended by the OP in the following order of priority:

- (i) On-site retention of the subject heritage resource in the original use and integration with the surrounding or new development;
- (ii) Relocation of the heritage resource to another site and building the proposed development on the subject site;
- (iii) Retaining the existing heritage resource partially and proposing the addition on top and rear and
- (iv) Do nothing approach

The following description provides analysis of each option:

ANALYSIS OF OPTIONS FOR CONSIDERED ALTERNATIVES

OPTION 1: On-site retention of the subject heritage resource in the original use and integration with the surrounding or new development.

ANALYSIS:

- The building was designed as a three storey office building of which the structure was not designed to support any significant additional storeys.
- Due to the size of the site, an addition of any significance at the rear of the existing building is not feasible and would eliminate all of the existing surface parking.
- In order to advance a redevelopment of any significance that recognizes the location of the subject lands within a strategic location within the Downtown and a Major Transit Station Area (MTSA), the only feasible option requires the partial demolition of the west façade and the full demolition of the north façade.
- Constructing a 45-storey tower above the existing building presents significant structural challenges, including the need for extensive cut-throughs of the floor slabs for the foundation, structural columns, and elevator core. These alterations are both economically challenging and could potentially compromise the stability of the existing structure. To mitigate these challenges, it is best advisable to retain only the heritage façades of the building through shoring while replacing the interior with a modern and efficient structure.

FEASIBILITY:

This option is not feasible because of:

- It may compromise the structural integrity and stability of the existing structure;
- Potential elimination of all of the existing surface parking;
- It would not allow the new support spaces for the residential program to fit; and,
- Reduction in economic and commercial viability of the property.

ANALYSIS OF OPTIONS FOR CONSIDERED ALTERNATIVES

OPTION 2: Relocation of the heritage resource to another site and building the proposed development on the subject site.

ANALYSIS:

- The contextual values of the CHR relate to the contribution that the CHR makes to the continuity and character of the Duke Street West and Queen Street streetscapes. The location of the CHR at this prominent intersection of Duke and Queen Street within Downtown Kitchener adds to its contextual value. The property is physically linked to the streetscape in scale and material. Because of its location on a prominent street corner and its distinctive Colonial revival characteristics, it could be considered a neighbourhood landmark. Relocation is not recommended as it would result in the loss of its contextual value.
- Relocation may result in permanent damage to the structure.
- New foundations will be required at the site where the building is proposed to be relocated.
- The CHR may have to be dismantled brick by brick and rebuilt if the structure is not in a condition to be transported to a new site moving through downtown Kitchener.

FEASIBILITY:

This option is not feasible because of:

- It would result in the loss of its contextual value of the CHR;
- It may compromise the structural integrity and stability of the existing structure during the relocation process;
- It may result in the loss of a landmark building.

ANALYSIS OF OPTIONS FOR CONSIDERED ALTERNATIVES

OPTION 3: Retaining the existing heritage resource partially and proposing the addition on top and rear.

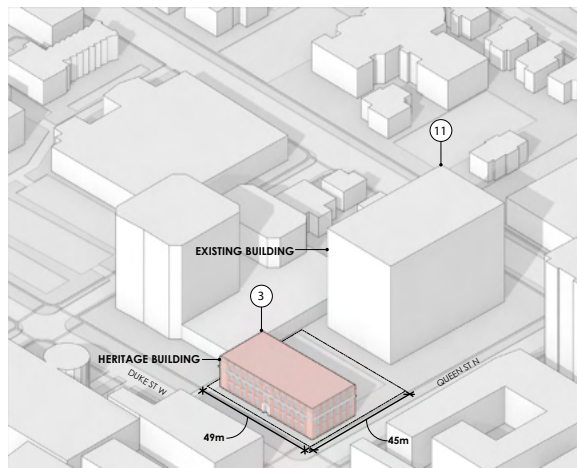
ANALYSIS:

- Due to the location of the existing building on the site, sitting on the south half of the property, the North facade is located in the middle between where the retained building joins with the new podium addition. As such, if the north facade were to be retained, it would be enclosed within the proposed building;
- Structural considerations, balanced with the desire for scale meant that in order for the required amount of parking (and access to parking) be achieved, an above ground podium was an ideal solution;
- An underground structure could have compromised the structural integrity of the existing building and the retention of the north facade would have meant a smaller footprint for parking, therefore increased podium height;
- The facade articulation and massing of the podium and tower addition has undergone several adjustments to end up with a design that was complimentary to the heritage building and character of the surrounding area. The design team conducted a contextual analysis of the neighbourhood in order to establish a baseline from which to pull inspiration from;
- The proposal uses a shift in the axis of the balconies while still providing transparency to the more rigid grid pattern seen on the main tower facade;
- Materiality and the use of a specific material for each space was also considered as a strategy to ensure the addition was visually sympathetic to yet distinguishable from the existing building;
- The window style and rhythm on the lower level of the podium are intended to mimic the style of the existing CHR. The latest iteration showcases a simplified podium facade design which is less busy and more consistent in terms of number of panel widths and is more sympathetic to the existing heritage building window widths.

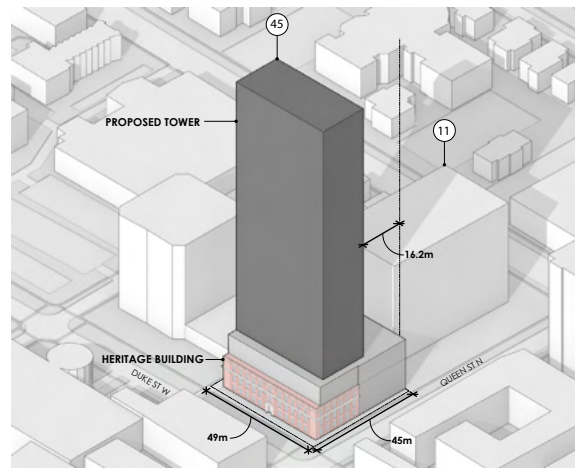
FEASIBILITY:

This option is feasible because:

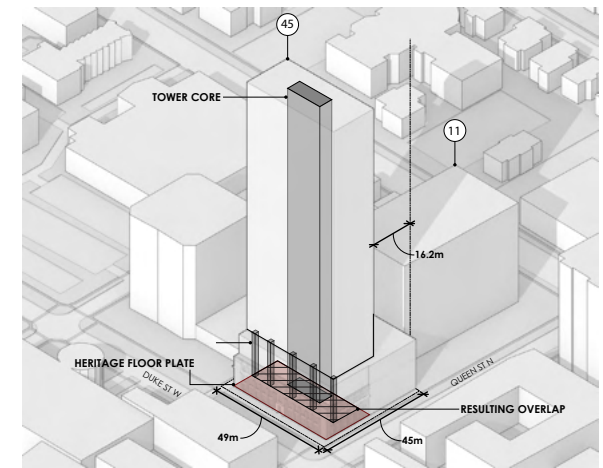
- It would result in the protection and conservation of the heritage attributes of the heritage resource and maintain its design, historical and contextual value;
- The overlap zone between the retained heritage building and the proposed tower core (see figure 26) offers an efficient integration into the newly required parking - only as a single ramp between the core and the structure;
- The existing heritage building will be adaptively reused commercially and for parking and will activate the street promoting pedestrian engagement;
- The proposed stabilization strategy will not compromise the structural integrity and stability of the retained existing structure during the construction process;
- The CHR will be conserved in-situ partially and will enjoy a prominent position at the intersection of Duke Street and Queen Street at a corner location, ensuring visibility from the public right-of-way.

**EXISTING CONTEXT**

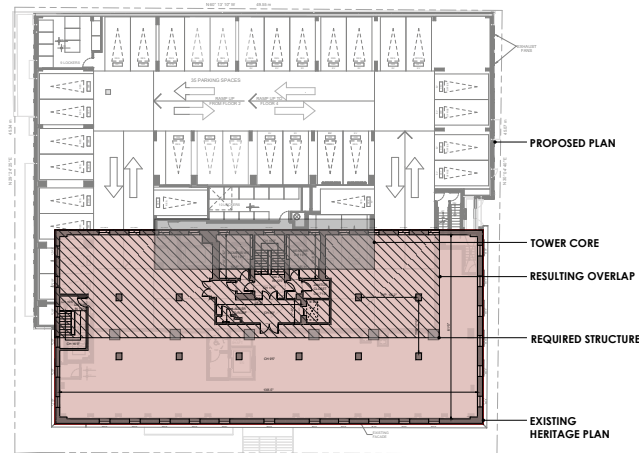
The existing site contains the Heritage Building and an 11 story adjacent building.

**TOWER POSITIONING**

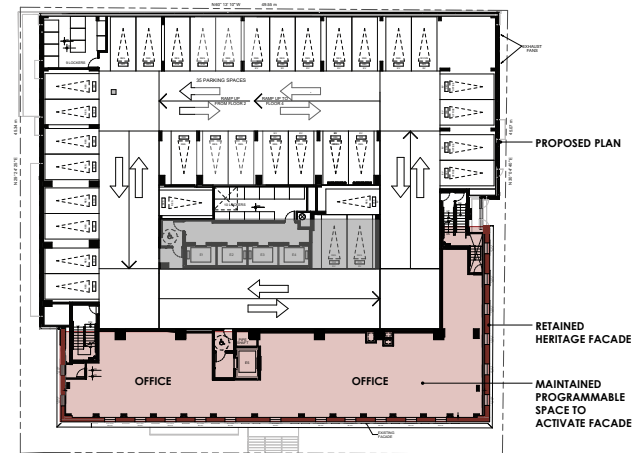
Given the site constraints the Tower location would need to sit over the existing Heritage Building.

**REQUIRED INFRASTRUCTURE**

The core and structure needed for the tower result in an overlap to the existing Heritage floor plate.

**OVERLAPPING CONDITIONS**

The overlap zone offers an efficient integration into the newly required parking - only as a single ramp between the core and structure.

**PROPOSED PLAN**

The resulting plan is a harmonious meeting of the new tower requirements that still maintains the existing Heritage facade, while also activating the interior space with an office.

Figure 26. Proposed conservation strategy showing the existing context and the retained portion of the Heritage Building along Duke and Queen Streets and new top and rear addition. Source: Kirkor Architects, February 2023.

Recommended Mitigation Strategy:

This CHIA recommends for all structures to be commemorated, rehabilitated, replicated or preserved in-situ no demolition will commence until dimensional as-existing drawings (building plans and elevations) have been developed for all attributes/structure commemorated, rehabilitated, replicated or preserved in-situ. Photographic documentation of the heritage building and details of its heritage attributes should also be undertaken. This has been undertaken as part of the HCP.

Massing

The podium and tower massing make use of adequate step backs from the facade of the heritage building to physically and visually allow it to stand in front of the new construction. These set backs also help to create a transition in scale to the adjacent built heritage and create a welcoming streetscape for pedestrians.

Masonry

The walls of the existing masonry will be conserved through cleaning, selective repointing, repairs to cracked/deteriorated masonry and removal of any visually incompatible materials or elements.

Windows

The existing windows and openings will be restored to emulate their original 8/12 window design. The limestone sills will be conserved.

Entrance

The existing principal entrance with the wood door and transom above is a heritage attribute and will be conserved. A commemorative feature easily visible to the public is proposed near this entrance to mitigate the partial loss of the west and complete loss of the rear (north) facade. This can incorporate the materials salvaged from removal and reused for interpretation.

One of the ideas that the applicant would like to explore is an interactive digital kiosk mounted outside the Duke Street entrance detailing the history and architectural significance of the building. This is recommended as Duke Street entrance is the

more appropriate of the two entrances for the commemoration as it is the principle façade and main entrance.

This second submission is required in order to obtain Approval in Principle following which will be racing towards the final submission satisfying all the conditions required for final Site Plan approval prior to August, 2023 one of which will be the Commemoration/Interpretation Plan/Brief.

7.0 Recommendations & Conclusion

The proposal will result in some impacts due to destruction or alteration, yet the overall character of the building is conserved and showcased. These impacts have been minimized wherever possible and localized to the less significant areas of the building as previously described in section 5. To mitigate and/or avoid some of these impacts, the following strategies were recommended and have been incorporated in the proposed design:

- The new building setbacks on the East facade at ground level to give a clear buffer and more visual prominence to the existing building.
- Measured drawings and detailed photographs locating each existing heritage attribute on all elevations has been prepared as part of the submitted HCP so that appropriate documentation is complete for the building prior to alterations commencing. The measured drawings are to be used as a basis to determine sympathetic repair areas and interventions which take existing conditions into account.

Further Recommendations:

- A condition assessment of any affected heritage attributes and heritage conservation drawings for construction prepared by a qualified consultant reflecting construction methodology in accordance with the conservation standards outlined in Section 3.3.
- Continued monitoring of the existing building throughout the entire project should be done by a qualified professional in order to proactively address unforeseen damage or complications.
- Repairs to the original building, if needed, are to be completed with compatible materials and methods as per best practices.
- Alterations should be completed in such a way that it does not cause irreparable loss of original fabric and in the future, alterations can be taken down or changed back without negative impact to the original.
- Salvage and store any demolished heritage attributes for reuse in the new construction wherever possible. These elements should be incorporated in visible areas including, but not limited to, exterior and/or interior side of entryways, vestibules, lobby and amenity spaces.
- 10 Duke Street West is recognized for its design, contextual, historical and associative values. We recommend designation of the proposed retained facades

of the Economical Insurance building built in 1949 as it satisfies the criteria for designation as per Ontario Regulation 9/06.

The subject property municipally known as 10 Duke Street West includes an existing heritage building which is listed on the Municipal Heritage Register and is adjacent to recognized heritage properties. These heritage properties make up the historic streetscape and should be protected against any adverse impacts associated with the proposed development. The owner has proposed to construct a mixed-use development consisting of a 6-storey podium, which is integrated with the existing heritage building, and a 45-storey tower housing 499 residential units.

This CHIA concludes:

- The proposed development will retain the complete front (along Duke Street) and side (along Queen Street) facades and three bays of the west facade of the existing heritage property in-situ. Removal of the rear facade (north), the three rear bays of the west facade and the partial roof slab component will result in minimal impact to the heritage building and its surrounding context as the proposed demolition will not result in loss of the listed and proposed heritage attributes at 10 Duke Street West. The heritage building will be rehabilitated.
- Documentation of the existing on-site heritage resource in dimensioned drawings and photographs has been made to mitigate loss of the elements that are proposed to be demolished. This documentation will be a valuable resource for future proposed commemorative feature or should rehabilitation/restoration of a heritage attribute is required in the future.
- Recommendations on incorporating compatible yet distinguishable building materials, design features, architectural proportions, facade rhythms have been made and incorporated into the proposed development to mitigate any issues of transition between the existing heritage building and the proposed new tower. The development proposal is clearly legible as a new piece of architecture, that includes sympathetic setbacks and stepbacks to maintain the prominence of the heritage building. It is a compatible contemporary addition to the heritage building.

8.0 References

Government of Canada

2010 Standards and Guidelines for the Conservation of Historic Places in Canada. Second Addition. Electronic Document: <https://www.historicplaces.ca/media/18072/81468-parks-s+g-eng-web2.pdf>

City of Kitchener

2008 Statement of Significance 10 Duke Street West

Statement of Significance 30-32 Duke Street West

Statement of Significance 49 Queen Street N

Statement of Significance 2-22 Duke Street East

Statement of Significance 15 -29 Duke Street W

Statement of Significance 16-20 Queen Street N

2014 Downtown Built Inventory List. Retrieved from: <https://www.Kitchener.ca/sites/default/files/media/browser/2014-12-16/downtown-built-heritage-inventory-list.pdf>

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2019 Urban Design Manual PART A Urban Structure and Built Form. Electronic Document: https://www.kitchener.ca/en/resourcesGeneral/Documents/DSD_PLAN_DSD_PLAN_UDM_05_Downtown.pdf

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2021 Terms of Reference Heritage Impact Assessment. Government of Ontario

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2006 Ontario Regulation 9/06, Criteria for Determining Cultural Heritage Value or Interest, Under the Ontario Heritage Act. Electronic Document: http://www.elaws.gov.on.ca/html/regs/english/elaws_regs_060009_e.htm Last accessed August 2, 2017.

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2007 Infosheet: Eight Guiding Principles in the Conservation of Built Heritage Properties: Ministry of Tourism, Culture and Sport, Toronto.

2014 Standards and Guidelines for the Conservation of Provincial Heritage Properties – Heritage Identification and Evaluation Process. Ministry of Tourism, Culture and Sport, Toronto.

2020 Provincial Planning Statement. Electronic Document: <https://files.ontario.ca/mmahprovincial-policy-statement-2020-accessible-final-en-2020-02-14.pdf>

9.0 Appendices

Appendix A - Design Package, Turner Fleischer Architects, May, 2023

Appendix B - Existing Façade Retention Structural Assessment Report, December 4th, 2023 & Existing Façade Retention Vibration Monitoring Plan, John G. Cooke & Associates, December 15th, 2023

Appendix C - Site Visit Photos

Appendix D - D. S. Shoemaker's Survey - Land Registry Record

Appendix A: Design Package, Turner Feischer Architects May, 2023

PROPOSED MIXED USE DEVELOPMENT

10 DUKE STREET WEST, KITCHENER, ON

21.167CS



**TURNER
FLEISCHER**

67 Lesmill Rd
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 Matthew Young
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 matthew.young@turnerfleischer.com

**RE-ISSUED FOR SITE PLAN APPLICATION
MAY 30, 2023**



RWDI

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 Jessica Confalone
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 jessica.confalone@rwdi.com



MHBC

Landscape Architect
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 Eliza Oprescu
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Arrow Fire

Fire Protection Engineer
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WalterFedy

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Kirkor Architects

Design Architect
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 Toronto Ontario
 Varunpreet Singh
 516-665-6060
 vsingh@kirkorarchitects.com

PROJECT SITE AREA	m ²	ft ²
TOTAL NET SITE AREA	2,226.0	23,960
PROPOSED BUILDING FLOOR AREA	43,242.0	465,453
FLOOR SPACE RATIO	19.4	x SITE AREA

	USE	GFA	
		m²	ft²
	OFFICE	1,361.9	14,659
	TOTAL NON-RESIDENTIAL	1,361.9	14,659
	RESIDENTIAL	34,232.5	368,475
	INDOOR AMENITY	632.4	6,807
	TOTAL RESIDENTIAL	34,864.8	375,282
	TOTAL	36,226.7	389,941

GROSS...	RESIDENTIAL								TOTAL GROSS FLOOR AREA		PARKING (EXCLUSION)		
	FLOOR	# OF UNITS	OFFICE		SALEABLE		NON-SALEABLE						INDOOR AMENITY
			m²	ft²	m²	ft²	m²	ft²	m²	ft²			
1		339.5	3,654			771.1	8,300.2	98.2	1,057	1,208.8	13,011	627.0	6,749
		502.6	5,410			687.3	7,398.1			1,190.0	12,809	170.3	1,833
2 MID.		416.7	4,485			123.9	1,333.6			540.6	5,818	545.9	5,876
3		18.8	202			190.0	2,044.8			208.8	2,247	1,264.6	13,612
4		47.9	515			191.0	2,056.2			238.9	2,572	1,516.6	16,325
5		21.1	227			249.8	2,688.8			270.9	2,916	1,580.8	17,016
6		15.3	165			509.1	5,480.1			524.4	5,645	1,035.6	11,147
7	5			293.7	3,161.0	163.3	1,757.6	534.2	5,750	991.2	10,669		
8	13			671.7	7,229.6	130.5	1,404.4			802.1	8,634		
9	13			671.7	7,229.6	130.5	1,404.4			802.1	8,634		
10	13			671.7	7,229.6	130.5	1,404.4			802.1	8,634		
11	13			671.7	7,229.6	130.5	1,404.4			802.1	8,634		
12	13			671.7	7,229.6	130.5	1,404.4			802.1	8,634		
13	13			671.7	7,229.6	130.5	1,404.4			802.1	8,634		
14	13			671.7	7,229.6	130.5	1,404.4			802.1	8,634		
15	13			671.7	7,229.6	130.5	1,404.4			802.1	8,634		
16	13			671.7	7,229.6	130.5	1,404.4			802.1	8,634		
17	13			671.7	7,229.6	130.5	1,404.4			802.1	8,634		
18	13			671.7	7,229.6	130.5	1,404.4			802.1	8,634		
19	13			671.7	7,229.6	130.5	1,404.4			802.1	8,634		
20	13			671.7	7,229.6	130.5	1,404.4			802.1	8,634		
21	13			671.7	7,229.6	130.5	1,404.4			802.1	8,634		
22	13			671.7	7,229.6	130.5	1,404.4			802.1	8,634		
23	13			671.7	7,229.6	130.5	1,404.4			802.1	8,634		
24	13			671.7	7,229.6	130.5	1,404.4			802.1	8,634		
25	13			671.7	7,229.6	130.5	1,404.4			802.1	8,634		
26	13			671.7	7,229.6	130.5	1,404.4			802.1	8,634		
27	13			671.7	7,229.6	130.5	1,404.4			802.1	8,634		
28	13			671.7	7,229.6	130.5	1,404.4			802.1	8,634		
29	13			671.7	7,229.6	130.5	1,404.4			802.1	8,634		
30	13			671.7	7,229.6	130.5	1,404.4			802.1	8,634		
31	13			671.7	7,229.6	130.5	1,404.4			802.1	8,634		
32	13			671.7	7,229.6	130.5	1,404.4			802.1	8,634		
33	13			671.7	7,229.6	130.5	1,404.4			802.1	8,634		
34	13			671.7	7,229.6	130.5	1,404.4			802.1	8,634		
35	13			671.7	7,229.6	130.5	1,404.4			802.1	8,634		
36	13		</										

USE	RATIO	UNITS	AREA	TOTAL
RESIDENTIAL (UNITS <51m ²)	0.165/UNIT	421	-	70
RESIDENTIAL (UNITS >51m ²)	1/UNIT	78	-	78
OFFICE**	AREA -465 X 1 SPACE PER 69m ²	-	897	13
TOTAL REQUIRED				161

****OFFICE PARKING CALCULATION INCLUDES ONE TIME EXEMPTION AS PER SECTION 6.1.2(b)(viii)B): FOR EACH LOT EXISTING ON THE DAY OF THE PASSING OF BY-LAW 96-36, A ONE TIME ONLY EXEMPTION FROM PARKING REQUIREMENTS SHALL APPLY TO THE FIRST 465 SQUARE METRES OF GROSS FLOOR AREA CONSTRUCTED AFTER THE DAY OF THE PASSING OF BY-LAW 96-36.**

	FLOOR	USE	TOTAL	
		RESIDENTIAL	OFFICE	
	FLOOR 1	1	3	4
	FLOOR 2	-	12	12
	FLOOR 3	30	5	35
	FLOOR 4	44	-	44
	FLOOR 5	46	-	46
	FLOOR 6	27	-	27
	TOTAL PROVIDED	148	20	168

"Gross Floor Area" means the aggregate horizontal area measured from the exterior faces of the exterior walls of all floors of a building (excluding any floor area having a ceiling height of 2.0 metres or less or devoted exclusively to parking) within all buildings on a lot. (By-law 92-232, S.3[d])

FLOOR	UNIT TYPE		TOTAL
	1B	2B	
1	-	-	-
2	-	-	-
2 MID.	-	-	-
3	-	-	-
3	-	-	-
5	-	-	-
6	-	-	-
7	3	2	5
8	11	2	13
9	11	2	13
19	11	2	13
11	11	2	13
12	11	2	13
13	11	2	13
14	11	2	13
15	11	2	13
16	11	2	13
17	11	2	13
18	11	2	13
19	11	2	13
20	11	2	13
21	11	2	13
22	11	2	13
23	11	2	13
24	11	2	13
25	11	2	13
26	11	2	13
27	11	2	13
28	11	2	13
29	11	2	13
30	11	2	13
31	11	2	13
32	11	2	13
33	11	2	13
34	11	2	13
35	11	2	13
36	11	2	13
37	11	2	13
38	11	2	13
39	11	2	13
40	11	2	13
41	11	2	13
42	11	2	13
43	11	2	13
44	11	2	13
45	11	2	13
TOTAL	421	78	499

[illegible]

FLOOR	1B	2B	TOTAL
1	-	-	-
2	-	-	-
2 MID.	-	-	-
3	-	-	-
4	-	-	-
5	-	-	-
6	-	-	-
7	1	-	1
8	2	1	3
9	2	1	3
10	2	1	3
11	2	1	3
12	2	1	3
13	2	1	3
14	2	1	3
15	2	1	3
16	2	1	3
17	2	1	3
18	2	1	3
19	2	1	3
20	2	1	3
21	2	1	3
22	2	1	3
23	2	1	3
24	2	1	3
25	2	1	3
26	2	1	3
27	2	-	2
28	2	-	2
29	2	-	2
30	2	-	2
31	2	-	2
32	2	-	2
33	2	-	2
34	2	-	2
35	2	-	2
36	2	-	2
37	1	-	1
38	1	-	1
39	1	-	1
40	1	-	1
41	1	-	1
42	1	-	1
43	1	-	1
44	1	-	1
45	1	-	1
TOTAL PROVIDED	68	19	87
RATIO PROVIDED	16.2%	24.4%	
TOTAL REQUIRED	64	12	76

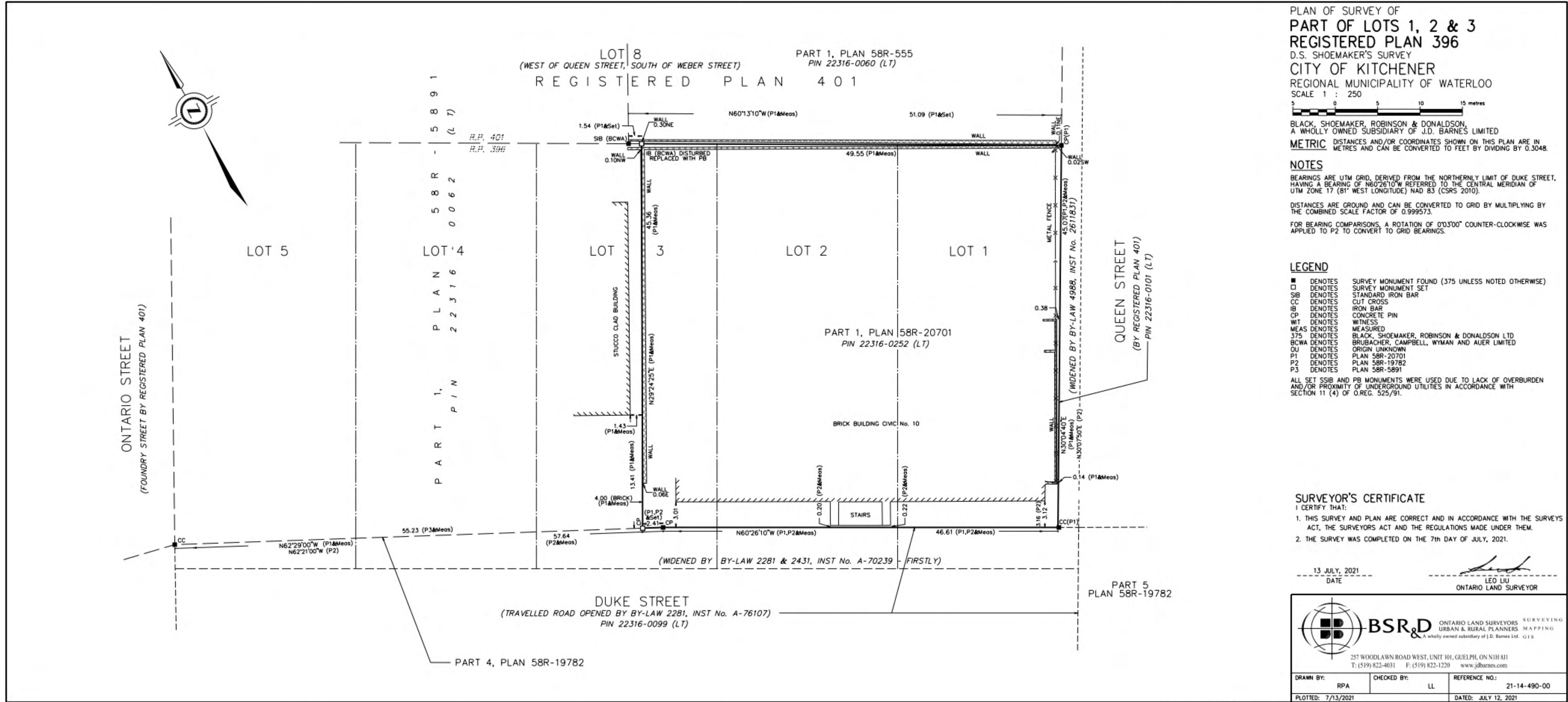
DRAWING NUMBER	DRAWING NAME	CURRENT REVISION DATE	REVISION ISSUANCE
SPA000	COVER SHEET	2023-05-30	RE-ISSUED FOR SITE PLAN APPLICATION
SPA001	STATISTICS	2023-05-30	RE-ISSUED FOR SITE PLAN APPLICATION
SPA002	SURVEY	2023-05-30	RE-ISSUED FOR SITE PLAN APPLICATION
SPA003	SURVEY	2023-05-30	RE-ISSUED FOR SITE PLAN APPLICATION
SPA004	SITE PLAN	2023-05-30	RE-ISSUED FOR SITE PLAN APPLICATION
SPA151	FLOOR 01	2023-05-30	RE-ISSUED FOR SITE PLAN APPLICATION
SPA152	FLOOR 02	2023-05-30	RE-ISSUED FOR SITE PLAN APPLICATION
SPA153	FLOOR 02 MID LEVEL	2023-05-30	RE-ISSUED FOR SITE PLAN APPLICATION
SPA154	FLOOR 03	2023-05-30	RE-ISSUED FOR SITE PLAN APPLICATION
SPA155	FLOOR 04	2023-05-30	RE-ISSUED FOR SITE PLAN APPLICATION
SPA156	FLOOR 05	2023-05-30	RE-ISSUED FOR SITE PLAN APPLICATION
SPA157	FLOOR 06	2023-05-30	RE-ISSUED FOR SITE PLAN APPLICATION
SPA158	FLOOR 07	2023-05-30	RE-ISSUED FOR SITE PLAN APPLICATION
SPA159	FLOOR 08 - 45	2023-05-30	RE-ISSUED FOR SITE PLAN APPLICATION
SPA160	MECHANICAL PENTHOUSE PLAN	2023-05-30	RE-ISSUED FOR SITE PLAN APPLICATION
SPA301	ELEVATIONS	2023-05-30	RE-ISSUED FOR SITE PLAN APPLICATION
SPA302	ELEVATIONS	2023-05-30	RE-ISSUED FOR SITE PLAN APPLICATION
SPA311	SOUTH AND EAST PODIUM ELEVATION	2023-05-30	RE-ISSUED FOR SITE PLAN APPLICATION
SPA312	NORTH AND WEST PODIUM ELEVATION	2023-05-30	RE-ISSUED FOR SITE PLAN APPLICATION
SPA401	BUILDING SECTIONS	2023-05-30	RE-ISSUED FOR SITE PLAN APPLICATION
SPA801	3D PERSPECTIVES	2023-05-30	RE-ISSUED FOR SITE PLAN APPLICATION
SPA811	SHADOW STUDIES	2023-05-30	RE-ISSUED FOR SITE PLAN APPLICATION
SPA812	SHADOW STUDIES	2023-05-30	RE-ISSUED FOR SITE PLAN APPLICATION
SPA813	SHADOW STUDIES	2023-05-30	RE-ISSUED FOR SITE PLAN APPLICATION
SPA814	SHADOW STUDIES	2023-05-30	RE-ISSUED FOR SITE PLAN APPLICATION
SPA815	SHADOW STUDIES	2023-05-30	RE-ISSUED FOR SITE PLAN APPLICATION
SPA816	SHADOW STUDIES	2023-05-30	RE-ISSUED FOR SITE PLAN APPLICATION

FLOOR	TYPE		TOTAL
	TYPE A	TYPE B	
FLOOR 1	-	-	-
FLOOR 2	-	-	-
FLOOR 3	-	-	-
FLOOR 4	1	1	2
FLOOR 5	1	1	2
FLOOR 6	1	1	2
TOTAL	3	3	6

FLOOR	COUNT
FLOOR 1	-
FLOOR 2	12
FLOOR 3	18
FLOOR 4	4
FLOOR 5	-
FLOOR 6	-
TOTAL	34

FLOOR	TYPE	
	INDOOR...	OUTDOOR (m²)
FLOOR 1	98.2	-
FLOOR 7	534.2	542.6
TOTAL	632.4	542.6

FLOOR	COUNT
FLOOR 1	-
FLOOR 2+MID	67
FLOOR 3	19
FLOOR 4	20
FLOOR 5	43
FLOOR 6	70
TOTAL	219



8	2023-05-30	RE-ISSUED FOR SITE PLAN APPLICATION	MY
7	2023-04-08	RE-ISSUED FOR SITE PLAN APPLICATION	MY
6	2023-03-20	RE-ISSUED FOR SITE PLAN APPLICATION	MY
5	2023-03-25	ISSUED FOR 100% DD	MY
4	2023-03-10	ISSUED FOR SITE PLAN APPLICATION	MY
3	2022-01-14	ISSUED FOR 50% DD	MY
2	2021-12-06	ISSUED FOR 100% SD	MY
1	2021-05-15	ISSUED FOR 50% SD	MY
#	DATE	DESCRIPTION	BY

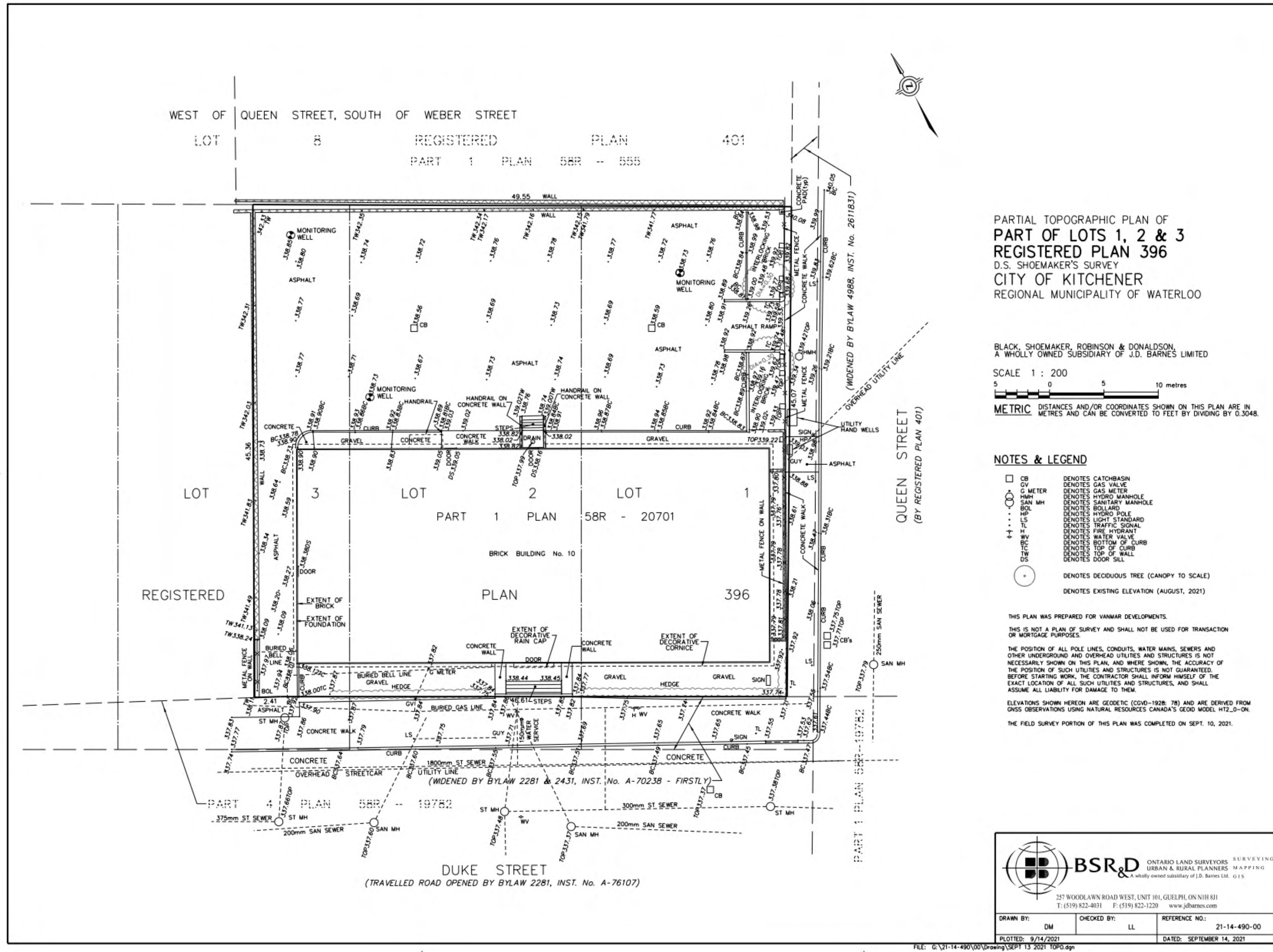


PROJECT
**PROPOSED MIXED USE
DEVELOPMENT**
10 DUKE STREET WEST, KITCHENER, ON

DRAWINGS
SURVEY

PROJECT NO. 21-167CS	
PROJECT DATE 2021-10-07	
DRAWN BY MJM	
CHECKED BY MYG	
SCALE	
DRAWING NO. SPA002	REV. 8

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6	2023-05-30	RE-ISSUED FOR SITE PLAN APPLICATION	MY
7	2023-04-06	RE-ISSUED FOR SITE PLAN APPLICATION	MY
6	2023-03-20	RE-ISSUED FOR SITE PLAN APPLICATION	MY
5	2022-03-25	ISSUED FOR 100% DD	MY
4	2022-03-10	ISSUED FOR SITE PLAN APPLICATION	MY
3	2022-01-14	ISSUED FOR 50% DD	MY
2	2021-12-06	ISSUED FOR 100% SD	MY
1	2021-10-15	ISSUED FOR 50% SD	MY
#	DATE	DESCRIPTION	BY



PROJECT

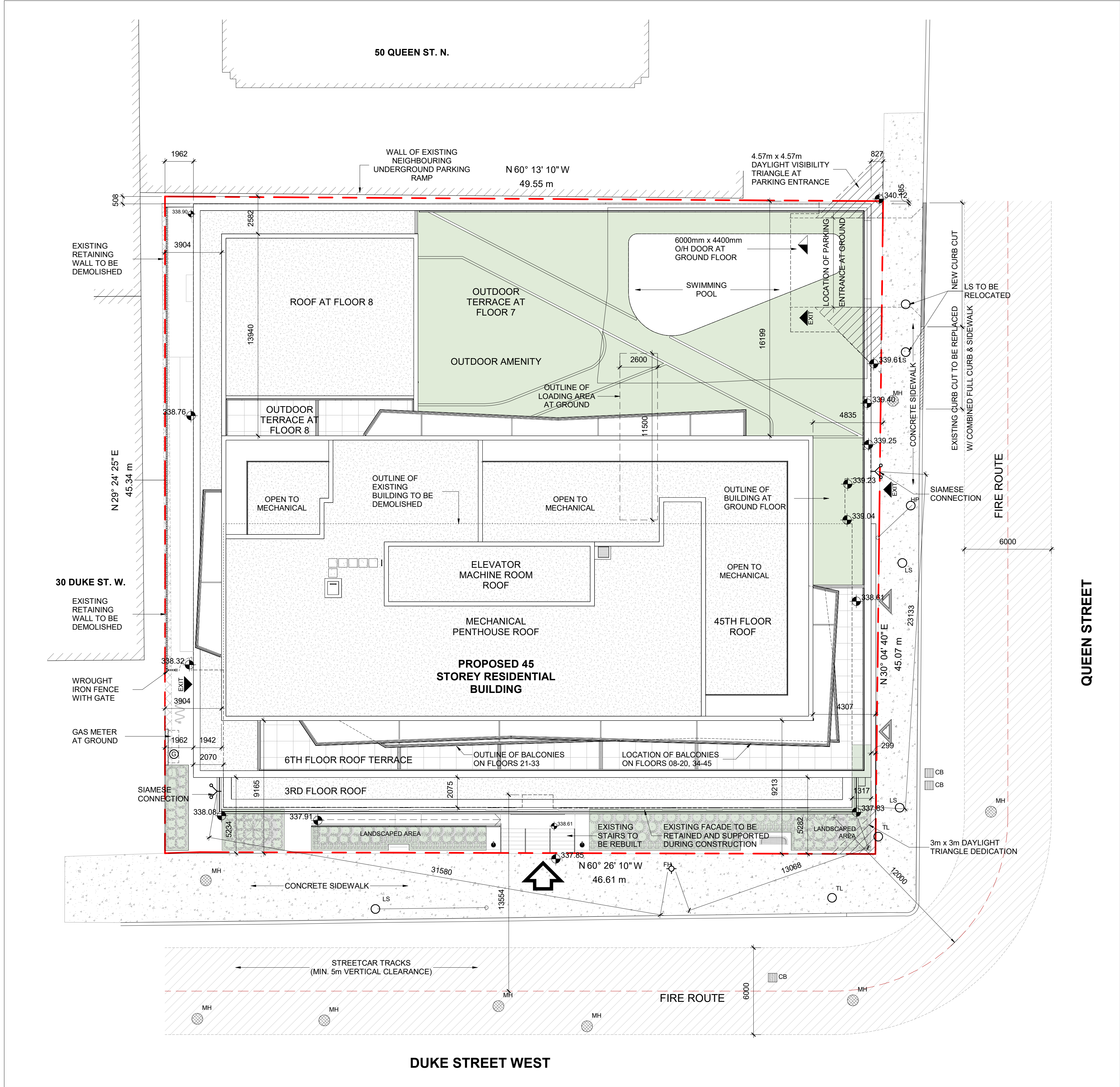
**PROPOSED MIXED USE
DEVELOPMENT**

10 DUKE STREET WEST, KITCHENER, ON

DRAWING

SURVEY

PROJECT NO. 21.167CS		
PROJECT DATE 2021-10-07		
DRAWN BY MJM		
CHECKED BY MYG		
SCALE		
DRAWING NO. SPA003		REV 8



1 SITE PLAN
SPA004
1: 150



CONTEXT PLAN
N.T.S

TURNER FLEISCHER

Turner Fleischer Architects Inc.

67 Leamill Road
Toronto, ON, M3B 2T8
T 416 425 2222
turnerfleischer.com

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LEGAL DESCRIPTION

BOUNDARY INFORMATION BASED ON PLAN OF SURVEY

PART OF LOTS 1, 2 & 3
REGISTERED PLAN 396

CITY OF KITCHENER

SURVEY COMPILED BY:
BSR&D
257 WOODLAWN ROAD, UNIT 101
GUELPH, ONTARIO N1H 8J1
DATED: SEPTEMBER 14, 2021

LEGEND

- PRIMARY ENTRANCE
- OFFICE ENTRANCE
- LOADING/ VEHICULAR ENTRANCE
- EXIT
- FIRE HYDRANT
- SIAMESE CONNECTION
- CONVEX MIRROR
- FIRE ROUTE SIGN
- SPOT ELEVATION
- GAS/HYDRO METER

7	2023-10-20	RE-ISSUED FOR SITE PLAN APPLICATION	MY
6	2023-05-30	RE-ISSUED FOR SITE PLAN APPLICATION	MY
5	2023-04-06	RE-ISSUED FOR SITE PLAN APPLICATION	MY
4	2023-03-20	RE-ISSUED FOR SITE PLAN APPLICATION	MY
3	2022-03-25	ISSUED FOR 100% DD	MY
2	2022-03-10	ISSUED FOR SITE PLAN APPLICATION	MY
1	2022-01-14	ISSUED FOR 50% DD	MY
#	DATE	DESCRIPTION	BY

PROJECT

PROPOSED MIXED USE DEVELOPMENT

10 DUKE STREET WEST, KITCHENER, ON

DRAWING

SITE PLAN

PROJECT NO.
21.167CS

PROJECT DATE
2021-10-07

DRAWN BY
MJM

CHECKED BY
MYG

SCALE
As indicated

ONTARIO ASSOCIATION OF ARCHITECTS

RUSSELL L. FLEISCHER

LICENCE 5004

DRAWING NO.
SPA004

REV.
7

Page 207 of 148



1 FLOOR 01
SPA151 1: 100

TURNER FLEISCHER

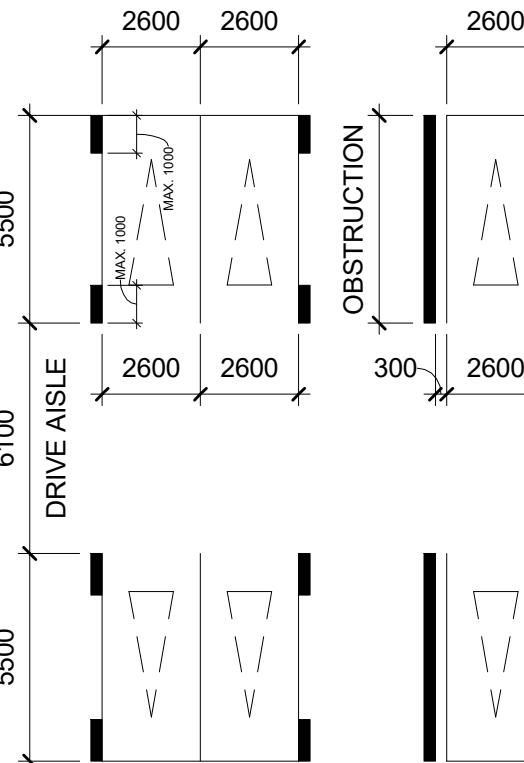
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T 416 425 2222
turnerfleischer.com

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TYPICAL PARKING DIMENSIONS

aisle width: MIN 6.1m

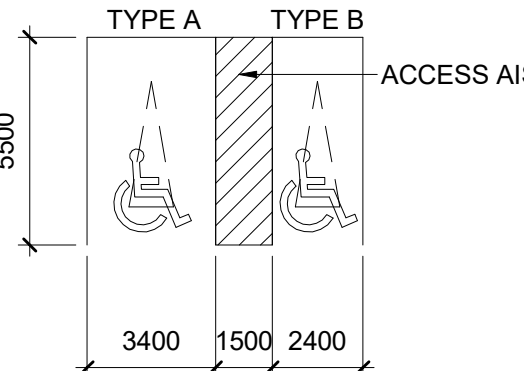
TYPICAL PARKING SPACE:
MIN. 2.6 x 5.5 x 2.0m HIGH



TYPICAL BARRIER-FREE PARKING DIMENSIONS

TYPE (A) : MIN 3.4 x 5.5 x 2.1m HIGH

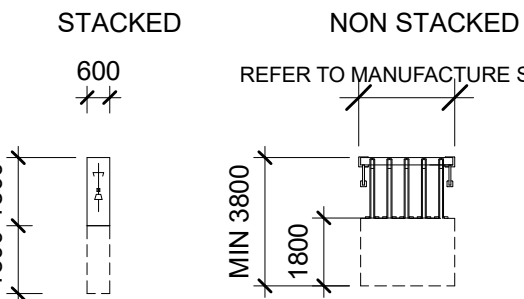
TYPE (B) : MIN 2.4 x 5.5 x 2.1m HIGH



TYPICAL HORIZONTAL BIKE PARKING DIMENSIONS

STACKED : MIN. 6 x 1.8 x 1.9m HIGH

NON STACKED: MIN. 1.9m HIGH



9	2023-10-20	RE-ISSUED FOR SITE PLAN APPLICATION	MY
8	2023-05-30	RE-ISSUED FOR SITE PLAN APPLICATION	MY
7	2023-04-08	RE-ISSUED FOR SITE PLAN APPLICATION	MY
6	2023-03-20	RE-ISSUED FOR SITE PLAN APPLICATION	MY
5	2022-03-25	ISSUED FOR 100% SD	MY
4	2022-03-10	ISSUED FOR SITE PLAN APPLICATION	MY
3	2022-01-14	ISSUED FOR 50% SD	MY
2	2021-12-08	ISSUED FOR 100% SD	MY
1	2021-10-15	ISSUED FOR 50% SD	MY
#	DATE	DESCRIPTION	BY



PROJECT
PROPOSED MIXED USE DEVELOPMENT
10 DUKE STREET WEST, KITCHENER, ON

DRAWING
FLOOR 01

PROJECT NO.
21.167CS
PROJECT DATE
2021-10-07
DRAWN BY
MJM
CHECKED BY
MYG
SCALE
AS NOTED

ONTARIO ASSOCIATION
OF
ARCHITECTS
RUSSELL L. FLEISCHER
LICENCE
5004

DRAWING NO.
SPA151
REV.
9

TURNER FLEISCHER

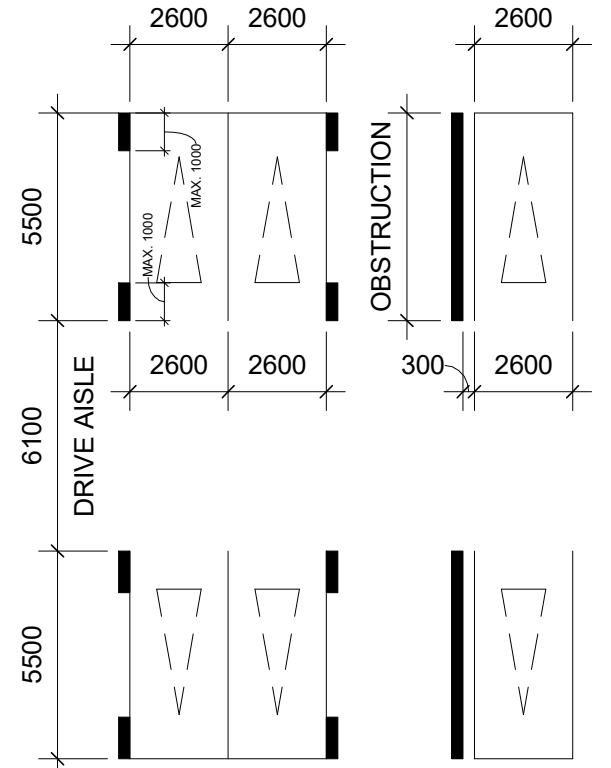
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T 416 425 2222
turnerfleischer.com

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TYPICAL PARKING DIMENSIONS

aisle width: min 6.1m

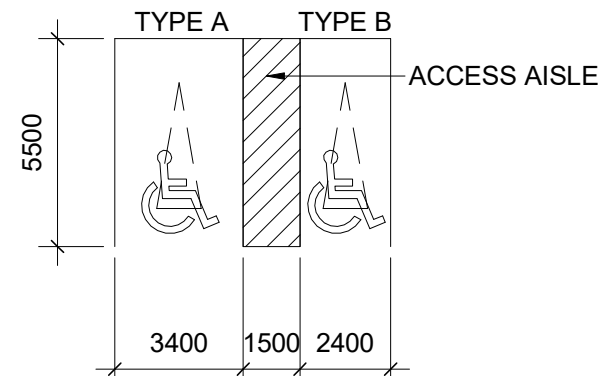
typical parking space:
min. 2.6 x 5.5 x 2.0m high



TYPICAL BARRIER-FREE PARKING DIMENSIONS

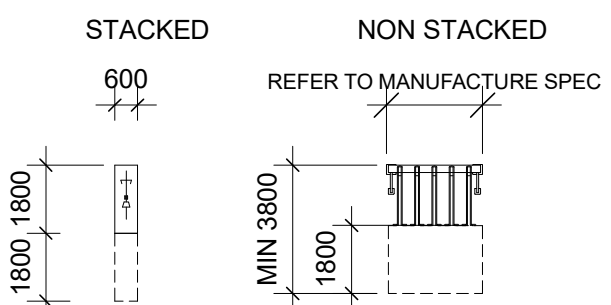
type (A) : min 3.4 x 5.5 x 2.1m high

type (B) : min 2.4 x 5.5 x 2.1m high



TYPICAL HORIZONTAL BIKE PARKING DIMENSIONS

stacked : min 6 x 1.8 x 1.9m high
non stacked: min 1.9m high



8	2023-05-30	RE-ISSUED FOR SITE PLAN APPLICATION	MY
7	2023-04-08	RE-ISSUED FOR SITE PLAN APPLICATION	MY
6	2023-03-20	RE-ISSUED FOR SITE PLAN APPLICATION	MY
5	2022-03-25	ISSUED FOR 100% DD	MY
4	2022-03-10	ISSUED FOR SITE PLAN APPLICATION	MY
3	2022-01-14	ISSUED FOR 50% DD	MY
2	2021-12-06	ISSUED FOR 100% SD	MY
1	2021-10-15	ISSUED FOR 50% SD	MY
#	DATE	DESCRIPTION	BY

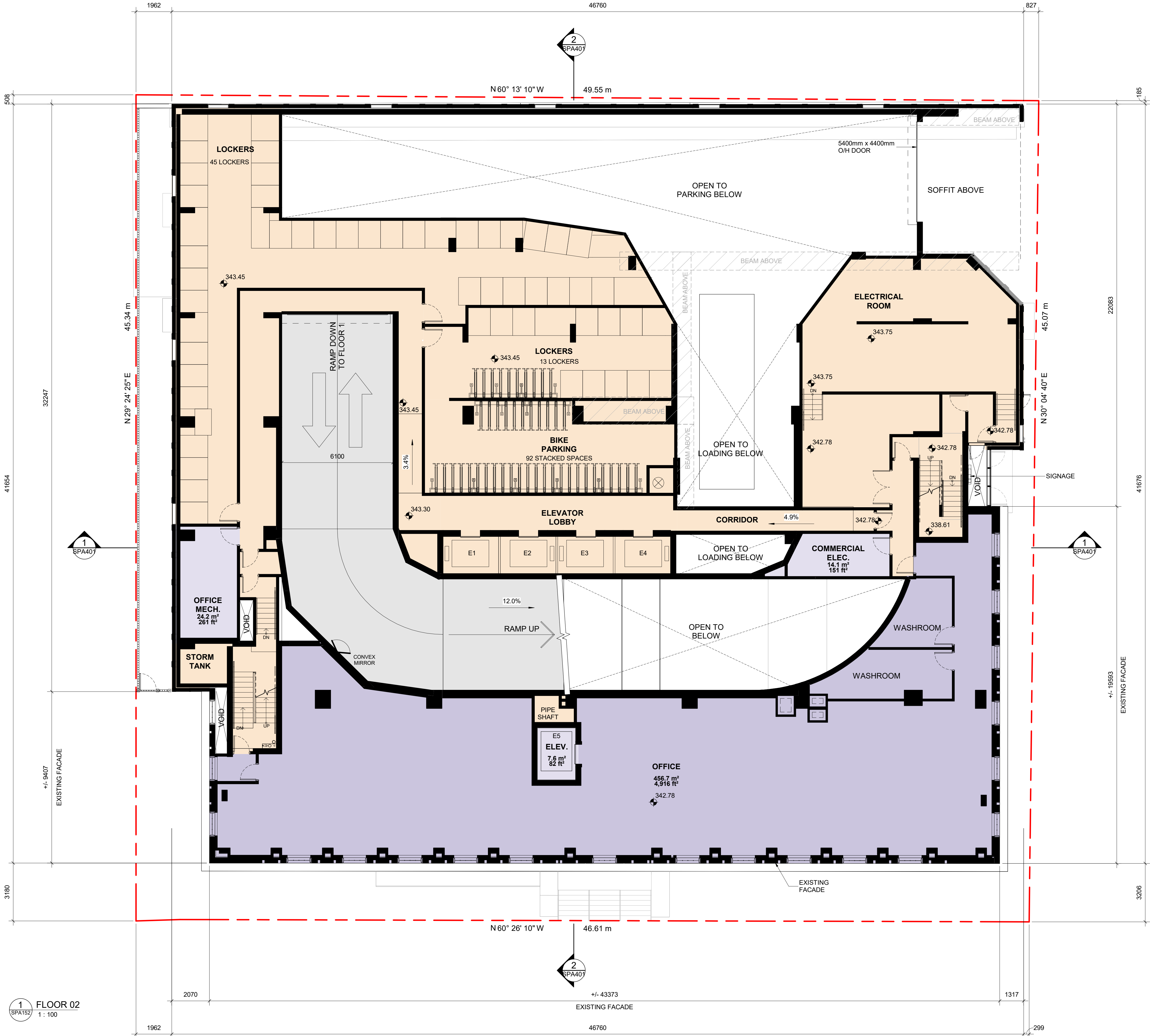


PROJECT
PROPOSED MIXED USE DEVELOPMENT
10 DUKE STREET WEST, KITCHENER, ON

DRAWING
FLOOR 02

PROJECT NO. 21-167CS	
PROJECT DATE 2021-10-07	
DRAWN BY MJM	
CHECKED BY MYG	
SCALE AS NOTED	

DRAWING NO. SPA152	REV. 8
------------------------------	------------------



TURNER
FLEISCHER

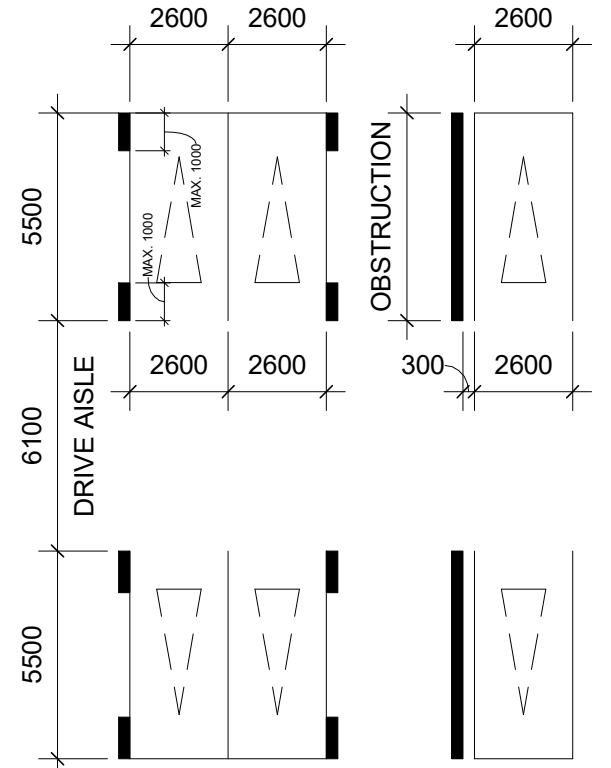
Turner Fleischer Architects Inc.
67 Leslie Road
Toronto, ON M5B 2T8
T 416 425 2222
turnerfleischer.com

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TYPICAL PARKING DIMENSIONS

aisle width: min 6.1m

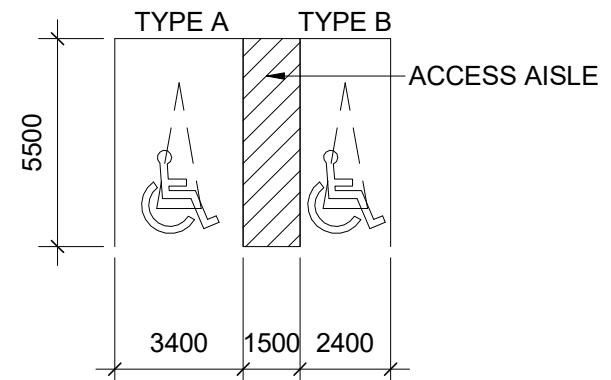
typical parking space:
min. 2.6 x 5.5 x 2.0m high



TYPICAL BARRIER-FREE
PARKING DIMENSIONS

type (A): min 3.4 x 5.5 x 2.1m high

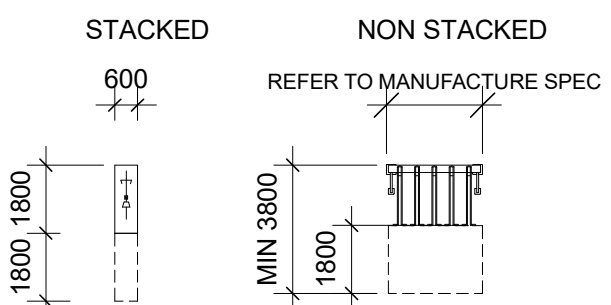
type (B): min 2.4 x 5.5 x 2.1m high



TYPICAL HORIZONTAL BIKE
PARKING DIMENSIONS

stacked : min 6 x 1.8 x 1.9m high

non stacked: min 1.9m high



7	2023-05-30	RE-ISSUED FOR SITE PLAN APPLICATION	MY
6	2023-04-06	RE-ISSUED FOR SITE PLAN APPLICATION	MY
5	2023-03-20	RE-ISSUED FOR SITE PLAN APPLICATION	MY
4	2023-03-25	ISSUED FOR 100% SD	MY
3	2022-03-10	ISSUED FOR SITE PLAN APPLICATION	MY
2	2022-01-14	ISSUED FOR 90% SD	MY
1	2021-12-06	ISSUED FOR 100% SD	MY
#	DATE	DESCRIPTION	BY



PROJECT
**PROPOSED MIXED USE
DEVELOPMENT**
10 DUKE STREET WEST, KITCHENER, ON

DRAWING
FLOOR 02 MID LEVEL

PROJECT NO. 21-167CS	
PROJECT DATE 2021-10-07	
DRAWN BY MJM	
CHECKED BY MYG	
SCALE AS NOTED	

DRAWING NO. SPA153	REV 210 of 248
------------------------------	--------------------------



TURNER FLEISCHER

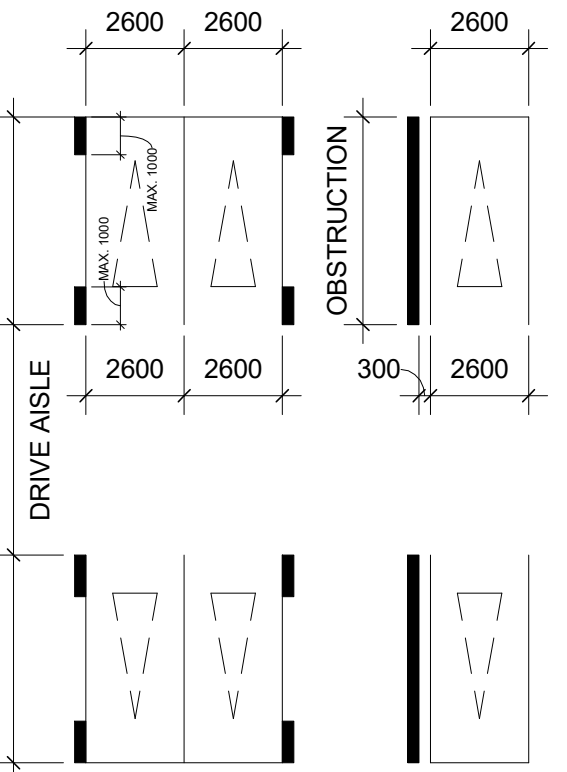
Turner Fleischer Architects Inc.
67 Leslie Road
Toronto, ON, M5B 2T8
T 416 425 2222
turnerfleischer.com

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TYPICAL PARKING DIMENSIONS

aisle width: MIN 6.1m

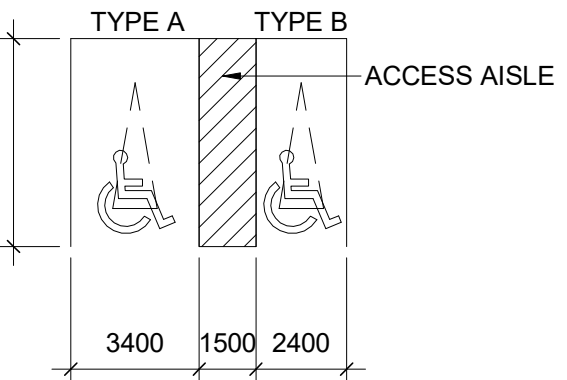
typical parking space:
MIN. 2.6 x 5.5 x 2.0m HIGH



TYPICAL BARRIER-FREE PARKING DIMENSIONS

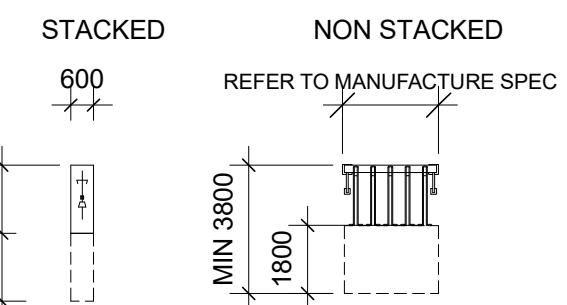
TYPE (A) : MIN 3.4 x 5.5 x 2.1m HIGH

TYPE (B) : MIN 2.4 x 5.5 x 2.1m HIGH



TYPICAL HORIZONTAL BIKE PARKING DIMENSIONS

stacked : MIN 6 x 1.8 x 1.9m HIGH
non stacked: MIN 1.9m HIGH



8	2023-05-30	RE-ISSUED FOR SITE PLAN APPLICATION	MY
7	2023-04-08	RE-ISSUED FOR SITE PLAN APPLICATION	MY
6	2023-03-20	RE-ISSUED FOR SITE PLAN APPLICATION	MY
5	2022-03-25	ISSUED FOR 100% DD	MY
4	2022-03-10	ISSUED FOR SITE PLAN APPLICATION	MY
3	2022-01-14	ISSUED FOR 50% DD	MY
2	2021-12-08	ISSUED FOR 100% SD	MY
1	2021-10-15	ISSUED FOR 50% SD	MY
#	DATE	DESCRIPTION	BY

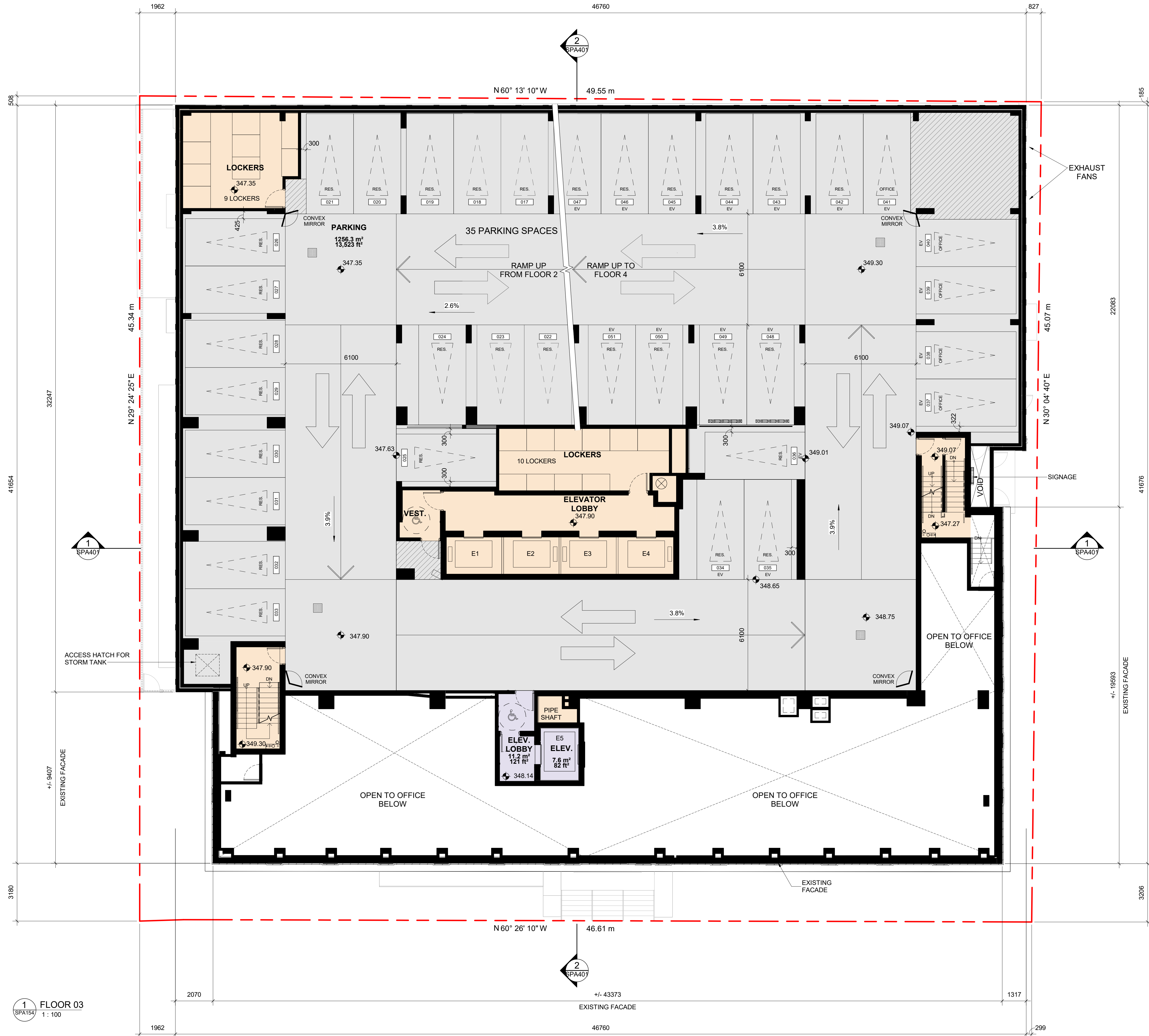


PROJECT
PROPOSED MIXED USE DEVELOPMENT
10 DUKE STREET WEST, KITCHENER, ON

DRAWING
FLOOR 03

PROJECT NO. 21-167CS	
PROJECT DATE 2021-10-07	
DRAWN BY MJM	
CHECKED BY MYG	
SCALE AS NOTED	

DRAWING NO. SPA154	REV. 8
------------------------------	------------------



1
SPA154
FLOOR 03
1: 100

TURNER FLEISCHER

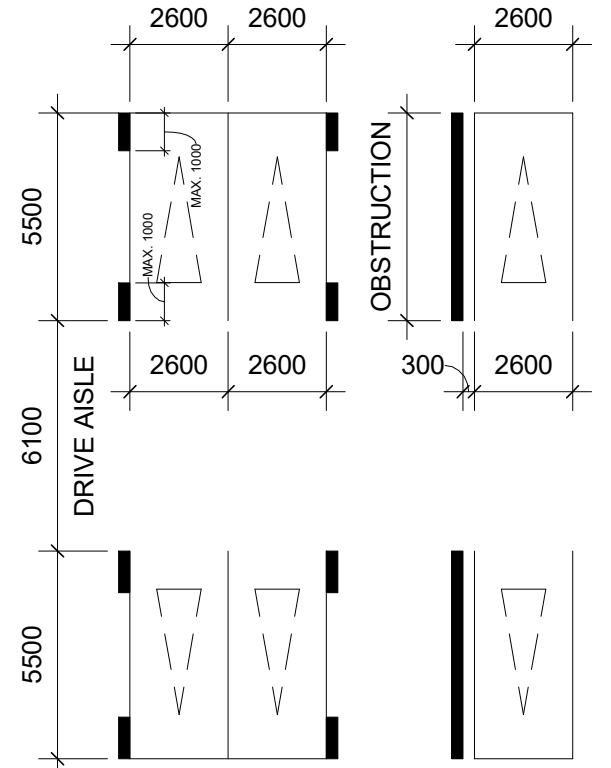
Turner Fleischer Architects Inc.
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T 416 425 2222
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TYPICAL PARKING DIMENSIONS

aisle width: MIN 6.1m

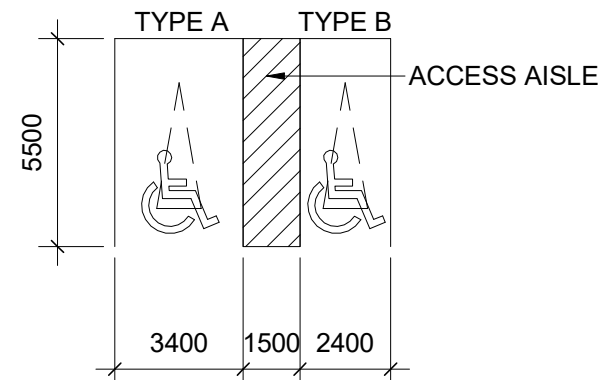
TYPICAL PARKING SPACE:
MIN. 2.6 x 5.5 x 2.0m HIGH



TYPICAL BARRIER-FREE PARKING DIMENSIONS

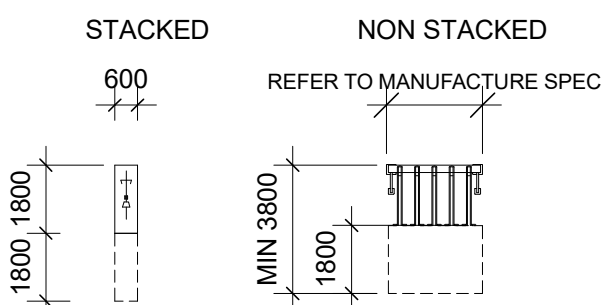
TYPE (A) : MIN 3.4 x 5.5 x 2.1m HIGH

TYPE (B) : MIN 2.4 x 5.5 x 2.1m HIGH



TYPICAL HORIZONTAL BIKE PARKING DIMENSIONS

STACKED : MIN 6 x 1.8 x 1.9m HIGH
NON STACKED: MIN 1.9m HIGH



#	DATE	DESCRIPTION	BY
8	2023-05-30	RE-ISSUED FOR SITE PLAN APPLICATION	MY
7	2023-04-08	RE-ISSUED FOR SITE PLAN APPLICATION	MY
6	2023-03-20	RE-ISSUED FOR SITE PLAN APPLICATION	MY
5	2023-03-25	ISSUED FOR 100% DD	MY
4	2023-03-10	ISSUED FOR SITE PLAN APPLICATION	MY
3	2022-01-14	ISSUED FOR 50% DD	MY
2	2021-12-06	ISSUED FOR 100% SD	MY
1	2021-10-15	ISSUED FOR 50% SD	MY



PROJECT
PROPOSED MIXED USE DEVELOPMENT
10 DUKE STREET WEST, KITCHENER, ON

DRAWING
FLOOR 04

PROJECT NO. 21-167CS	
PROJECT DATE 2021-10-07	
DRAWN BY MJM	
CHECKED BY MYG	
SCALE AS NOTED	
DRAWING NO. SPA155	REV. 212 OF 318



1
SPA155
FLOOR 04
1: 100

2
SPA407
EXISTING FACADE
46.61 m
N 60° 26' 10" W

TURNER FLEISCHER

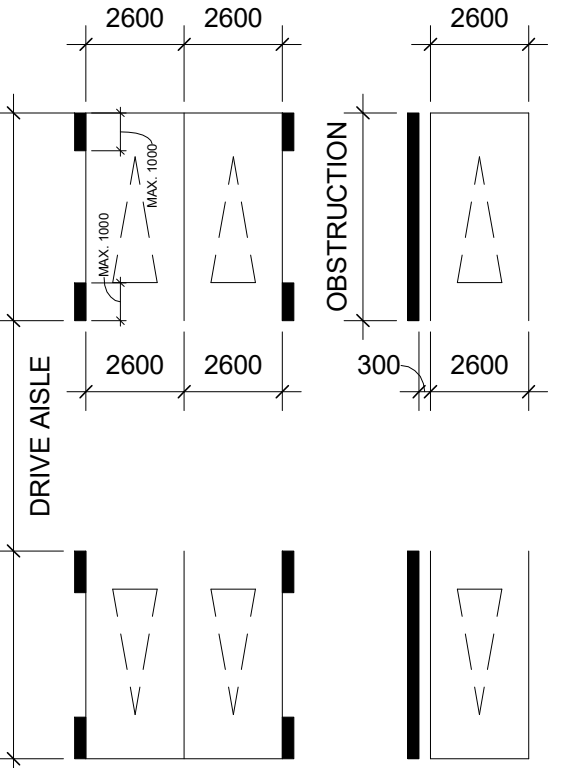
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T 416 425 2222
turnerfleischer.com

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TYPICAL PARKING DIMENSIONS

aisle width: MIN 6.1m

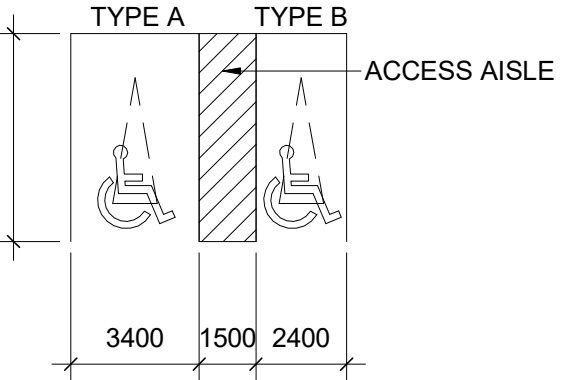
TYPICAL PARKING SPACE:
MIN. 2.6 x 5.5 x 2.0m HIGH



TYPICAL BARRIER-FREE PARKING DIMENSIONS

TYPE (A): MIN 3.4 x 5.5 x 2.1m HIGH

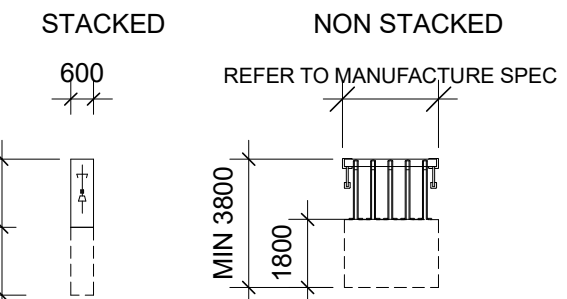
TYPE (B): MIN 2.4 x 5.5 x 2.1m HIGH



TYPICAL HORIZONTAL BIKE PARKING DIMENSIONS

STACKED: MIN 6 x 1.8 x 1.9m HIGH

NON STACKED: MIN 1.9m HIGH



8	2023-05-30	RE-ISSUED FOR SITE PLAN APPLICATION	MY
7	2023-04-08	RE-ISSUED FOR SITE PLAN APPLICATION	MY
6	2023-03-20	RE-ISSUED FOR SITE PLAN APPLICATION	MY
5	2023-03-25	ISSUED FOR 100% DD	MY
4	2023-03-10	ISSUED FOR SITE PLAN APPLICATION	MY
3	2022-01-14	ISSUED FOR 50% DD	MY
2	2021-12-08	ISSUED FOR 100% SD	MY
1	2021-10-15	ISSUED FOR 50% SD	MY
#	DATE	DESCRIPTION	BY



PROJECT
PROPOSED MIXED USE DEVELOPMENT
10 DUKE STREET WEST, KITCHENER, ON

DRAWING
FLOOR 05

PROJECT NO. 21-167CS	
PROJECT DATE 2021-10-07	
DRAWN BY MJM	
CHECKED BY MYG	
SCALE AS NOTED	
DRAWING NO. SPA156	
REV. 8	



1 FLOOR 05
SPA156 1: 100

TURNER
FLEISCHER

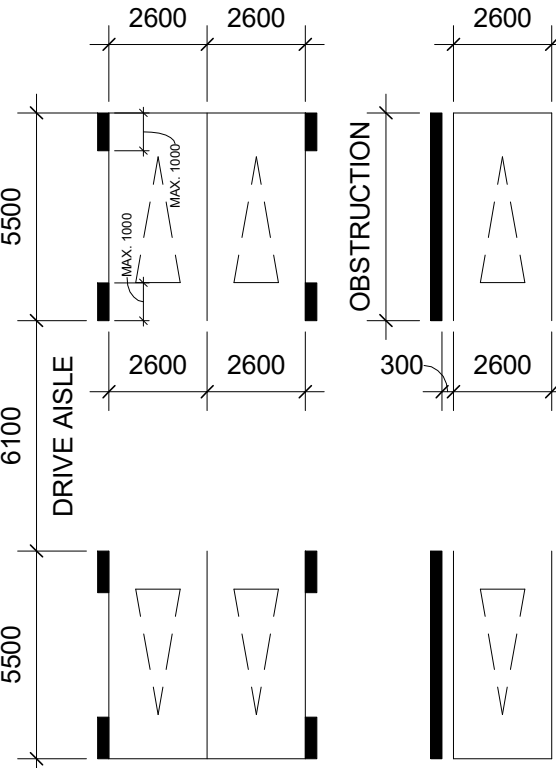
Turner Fleischer Architects Inc.
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T 416 425 2222
turnerfleischer.com

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TYPICAL PARKING DIMENSIONS

aisle width: min 6.1m

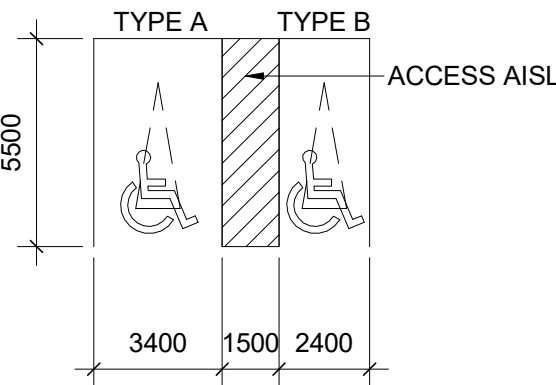
typical parking space:
min. 2.6 x 5.5 x 2.0m high



TYPICAL BARRIER-FREE
PARKING DIMENSIONS

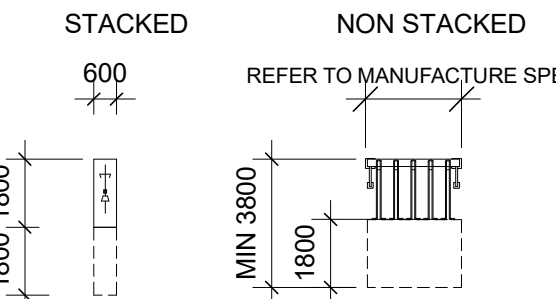
type (A) : min 3.4 x 5.5 x 2.1m high

type (B) : min 2.4 x 5.5 x 2.1m high



TYPICAL HORIZONTAL BIKE
PARKING DIMENSIONS

stacked : min 6 x 1.8 x 1.9m high
non stacked: min 1.9m high



8	2023-05-30	RE-ISSUED FOR SITE PLAN APPLICATION	MY
7	2023-04-08	RE-ISSUED FOR SITE PLAN APPLICATION	MY
6	2023-03-20	RE-ISSUED FOR SITE PLAN APPLICATION	MY
5	2023-03-25	ISSUED FOR 100% DD	MY
4	2023-03-10	ISSUED FOR SITE PLAN APPLICATION	MY
3	2022-01-14	ISSUED FOR 50% DD	MY
2	2021-12-06	ISSUED FOR 100% SD	MY
1	2021-10-15	ISSUED FOR 50% SD	MY
#	DATE	DESCRIPTION	BY



PROJECT
**PROPOSED MIXED USE
DEVELOPMENT**
10 DUKE STREET WEST, KITCHENER, ON

DRAWING
FLOOR 06

PROJECT NO. 21-167CS	
PROJECT DATE 2021-10-07	
DRAWN BY MJM	
CHECKED BY MYG	
SCALE AS NOTED	

DRAWING NO. SPA157	REV. 8
------------------------------	------------------



1 FLOOR 06
SPA157 1: 100

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6	2023-05-30	RE-ISSUED FOR SITE PLAN APPLICATION	MY
7	2023-04-06	RE-ISSUED FOR SITE PLAN APPLICATION	MY
6	2023-03-20	RE-ISSUED FOR SITE PLAN APPLICATION	MY
5	2022-03-25	ISSUED FOR 100% DD	MY
4	2022-03-10	ISSUED FOR SITE PLAN APPLICATION	MY
3	2022-01-14	ISSUED FOR 50% DD	MY
2	2021-12-05	ISSUED FOR 100% SD	MY
1	2021-10-15	ISSUED FOR 50% SD	MY
#	DATE	DESCRIPTION	BY



PROJECT

**PROPOSED MIXED USE
DEVELOPMENT**

10 DUKE STREET WEST, KITCHENER, ON

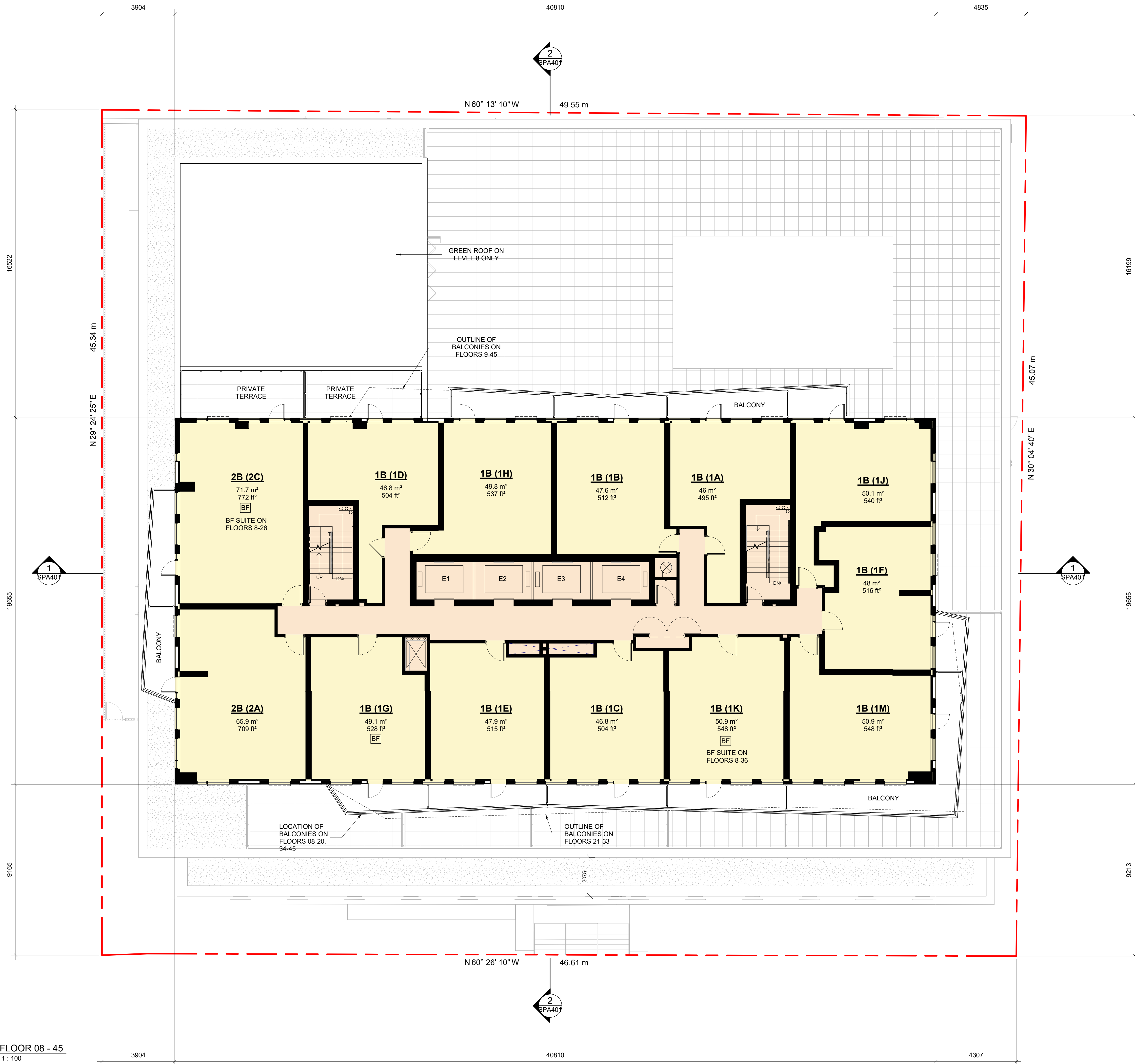
DRAWING

FLOOR 07

PROJECT NO. 21.167CS		
PROJECT DATE 2021-10-07		
DRAWN BY MJM		
CHECKED BY MYG		
SCALE 1 : 100		
DRAWING NO. SPA158		REV. 215 of 348

2023-05-30 4:01:31 PM

1
SPA159
FLOOR 08 - 45
1 : 100



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8	2023-05-30	RE-ISSUED FOR SITE PLAN APPLICATION	MY
7	2023-04-08	RE-ISSUED FOR SITE PLAN APPLICATION	MY
6	2023-03-20	RE-ISSUED FOR SITE PLAN APPLICATION	MY
5	2023-03-25	ISSUED FOR 100% DD	MY
4	2023-03-10	ISSUED FOR SITE PLAN APPLICATION	MY
3	2022-01-14	ISSUED FOR 50% DD	MY
2	2021-12-06	ISSUED FOR 100% SD	MY
1	2021-11-15	ISSUED FOR 50% SD	MY
#	DATE	DESCRIPTION	BY



PROJECT
**PROPOSED MIXED USE
DEVELOPMENT**
10 DUKE STREET WEST, KITCHENER, ON

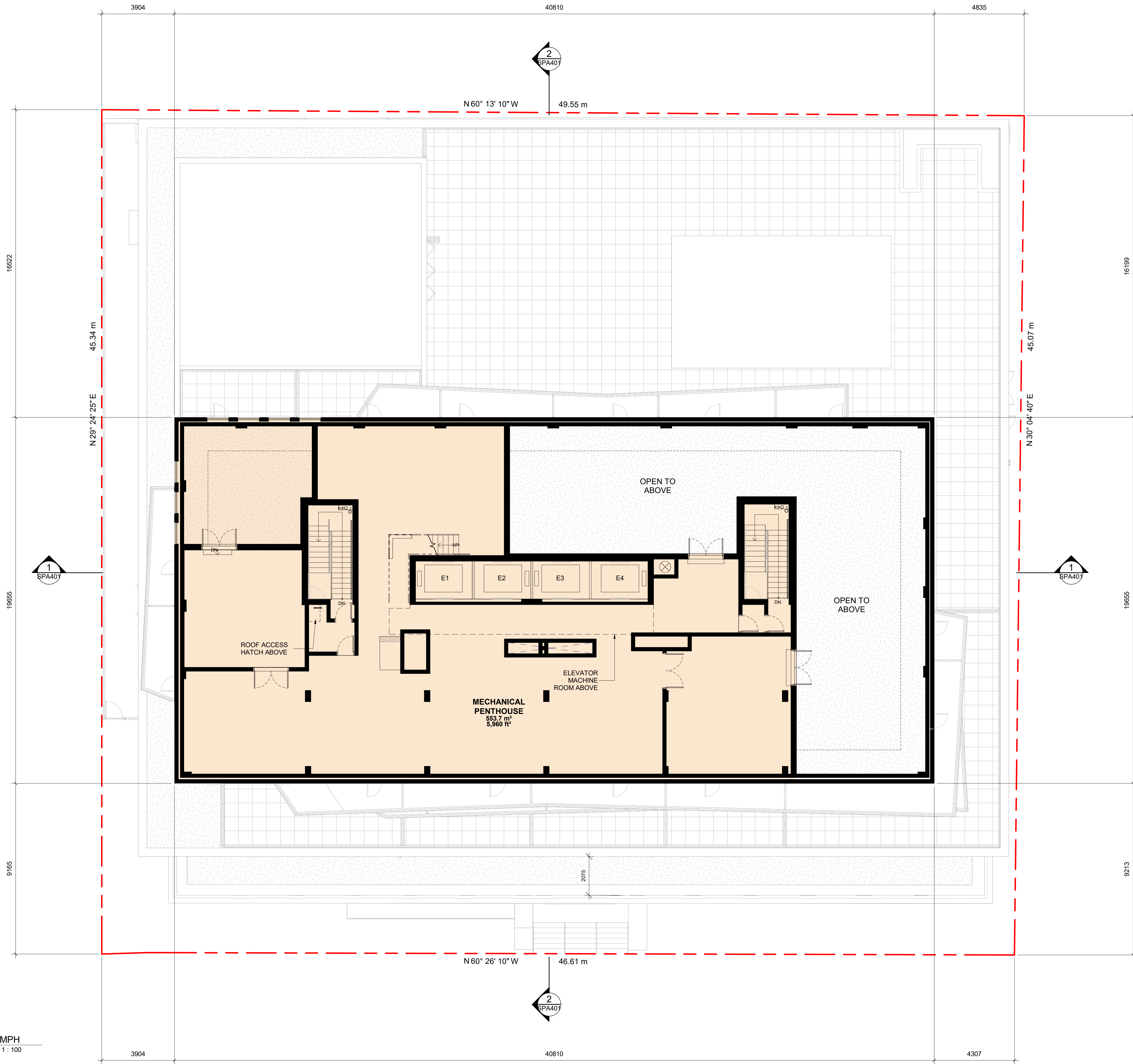
DRAWINGS
FLOOR 08 - 45

PROJECT NO. 21-167CS	 RUSSELL L. FLEISCHER LICENCE 5004
PROJECT DATE 2021-10-07	
DRAWN BY MJM	
CHECKED BY MYG	
SCALE 1 : 100	
DRAWING NO. SPA159	
REV. 8	

50 of 216

2023-05-30 4:01:44 PM

1 MPH
SPA160 1 : 100



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7	2023-05-30	RE-ISSUED FOR SITE PLAN APPLICATION	MY
6	2023-04-06	RE-ISSUED FOR SITE PLAN APPLICATION	MY
5	2023-03-20	RE-ISSUED FOR SITE PLAN APPLICATION	MY
4	2023-03-25	ISSUED FOR 100% SD	MY
3	2022-03-10	ISSUED FOR SITE PLAN APPLICATION	MY
2	2022-01-14	ISSUED FOR 90% DD	MY
1	2021-12-06	ISSUED FOR 100% SD	MY
#	DATE	DESCRIPTION	BY



PROJECT
**PROPOSED MIXED USE
DEVELOPMENT**
10 DUKE STREET WEST, KITCHENER, ON

DRAWINGS
MECHANICAL PENTHOUSE PLAN

PROJECT NO. 21-167CS	
PROJECT DATE 2021-10-07	
DRAWN BY Author	
CHECKED BY Checker	
SCALE 1 : 100	
DRAWING NO. SPA160	
REV. 7	

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DEVELOPER RESERVES THE RIGHT TO SUBSTITUTE EQUIVALENT
ALTERNATE FINISHES DURING CONSTRUCTION

3A1 VISION PANEL IN WINDOW WALL / CURTAIN WALL

- | | |
|------------|---|
| 3A1 | VISION PANEL IN WINDOW WALL / CURTAIN WALL
GLASS: GUARDIAN SUN-GUARD [®] SNR 50 [®] ON CLEAR |
| 3A2 | DOUBLE GLAZED SPANDREL UNIT IN CURTAIN WALL
GLASS: GUARDIAN SUN-GUARD [®] SNR 35 [®] ON CLEAR
SPANDREL: OPACI-COAT 35-185 SILENT NIGHT ON CLEAR |
| 3B1 | SPANDREL PANEL IN WINDOW WALL
COLOUR: OPACI-COAT 31-0334 SPACE BLACK ON CLEAR |
| 3B2 | SPANDREL PANEL IN WINDOW WALL
COLOUR: OPACI-COAT 33-0770 WARM GREY ON CLEAR |
| 3C1 | PROJECTED METAL PANEL IN WINDOW WALL
COLOUR: DURANUR UC131816 - SOLAR REFLECTIVE BLACK |
| 3C2 | PROJECTED METAL PANEL IN CURTAIN WALL
COLOUR: DURANUR UC72638 - GRAHAM WHITE |

R1	PRE-FINISHED GLAZED ALUMINUM RAILING GLASS: CLEAR GLASS
R2	PRE-FINISHED GLAZED ALUMINUM RAILING GLASS: DARK GREY TINTED GLASS
R3	PRE-FINISHED GLAZED POWDER COATED BLACK ALUMINUM RAILING GLASS: CLEAR GLASS

H2 EXISTING LIMESTONE (OR NEW TO MATCH EXISTING)

- H1** EXISTING RESTORED / RECLAIMED BRICK
- MISCELLANEOUS**
- S1** PRE-FINISHED METAL SOFFIT
COLOUR: DURANAR UC131816 - SOLAR REFLECTIVE
BLACK

9	2023-12-07	RE-ISSUED FOR SITE PLAN APPLICATION	MY
8	2023-05-30	RE-ISSUED FOR SITE PLAN APPLICATION	MY
7	2023-04-06	RE-ISSUED FOR SITE PLAN APPLICATION	MY
6	2023-03-20	RE-ISSUED FOR SITE PLAN APPLICATION	MY
5	2022-03-25	ISSUED FOR 100% DD	MY
4	2022-03-10	ISSUED FOR SITE PLAN APPLICATION	MY
3	2022-01-14	ISSUED FOR 50% DD	MY
2	2021-12-06	ISSUED FOR 100% SD	MY
1	2021-10-15	ISSUED FOR 50% SD	MY
#	DATE	DESCRIPTION	BY



PROJECT

**PROPOSED MIXED USE
DEVELOPMENT**

10 DUKE STREET WEST, KITCHENER, ON

PROJECT NO. 21.167CS	
PROJECT DATE 2021-10-07	
DRAWN BY MJM	
CHECKED BY MYG	
SCALE	
As indicated	

DRAWING NO.	REV.
SPA301	9

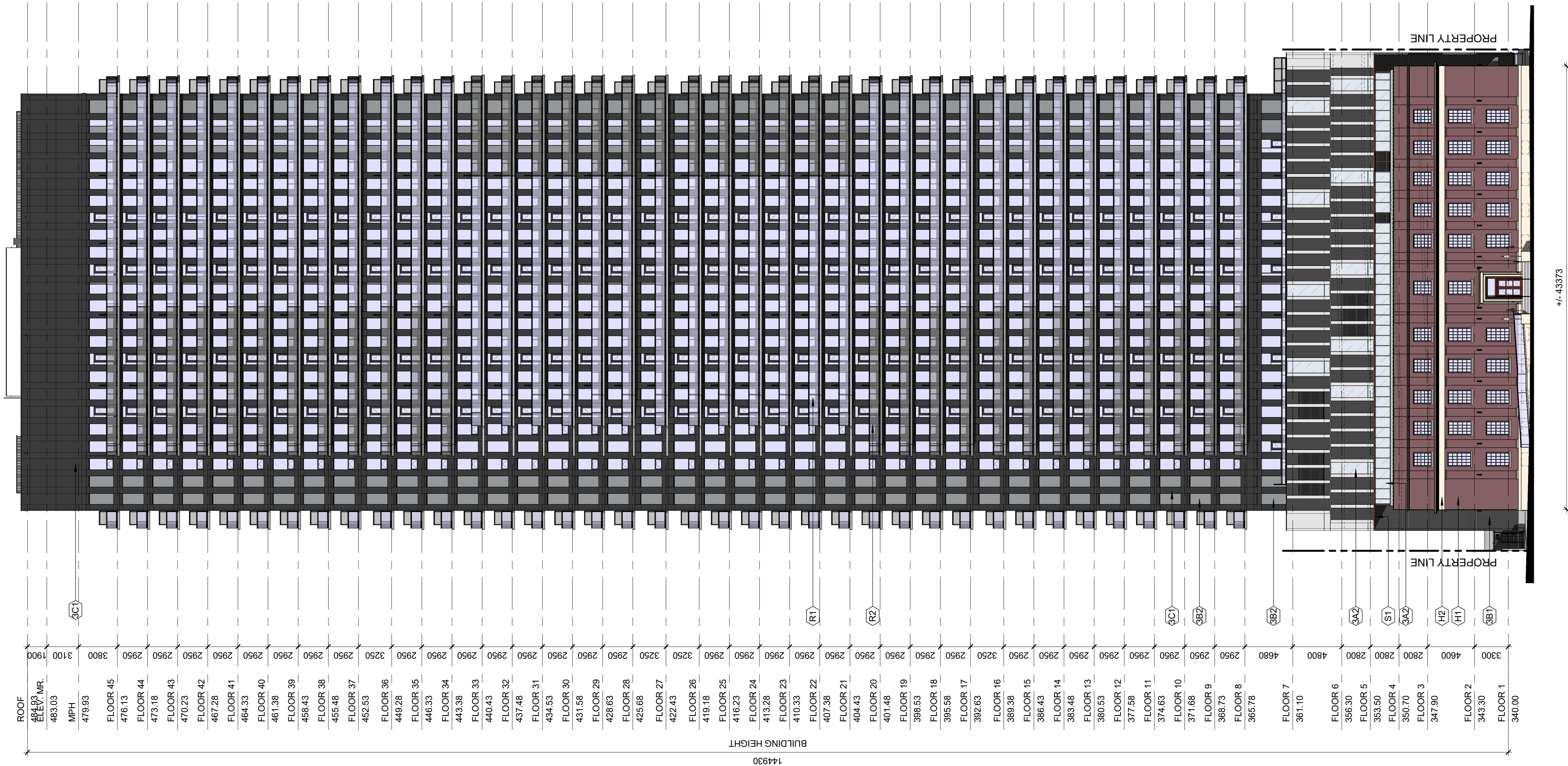
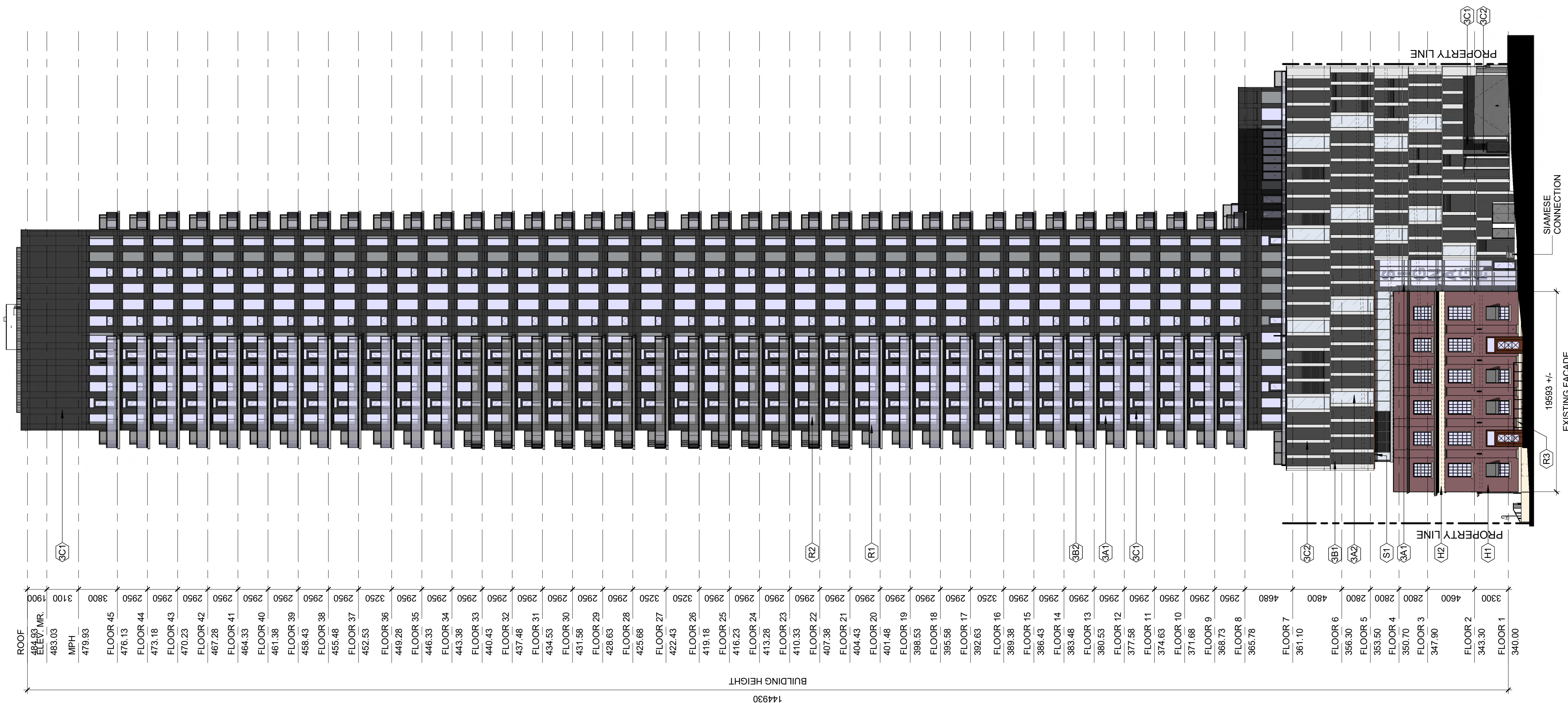
Page 218 of 348

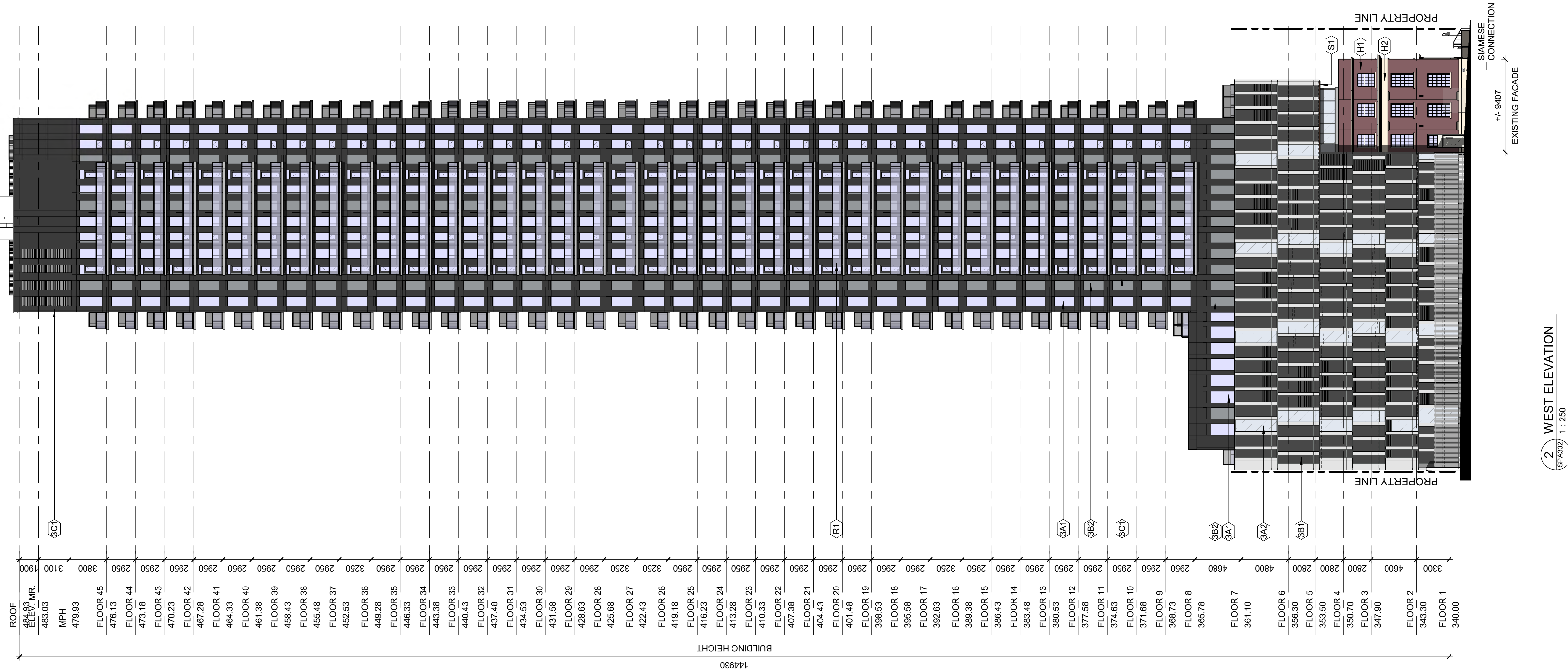
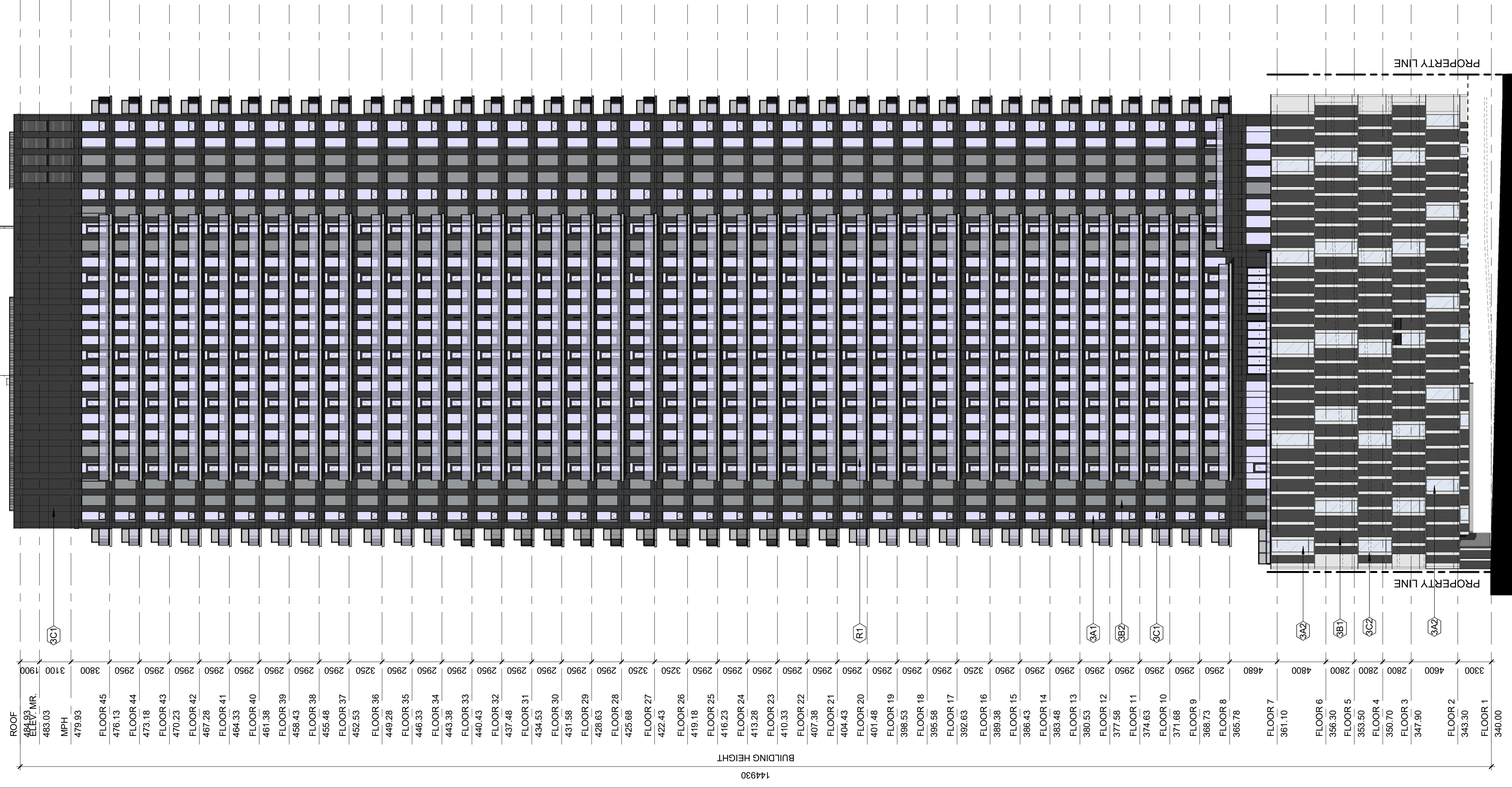
City of Kitchener
Planning Division
**BUILDING ELEVATION PLAN
APPROVED**
Rojan Mohammadi
Signature: RojanM
Date: 12/15/2023
Pages 1 to 4, Revision # 9

Pages 1 to 4, Revision # 9

2 EAST ELEVATION
SPA301 1:250

1 SOUTH ELEVATION
SPA301 1:250





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67 Leasmill Road
Toronto, ON, M3B 2T8
T 416 425 2222
turnerfleischer.com

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EXTERIOR FINISHES LEGEND

DEVELOPER RESERVES THE RIGHT TO SUBSTITUTE EQUIVALENT ALTERNATE FINISHES DURING CONSTRUCTION

WINDOW WALL / CURTAIN WALL GLAZING SYSTEM

(A1) VISION PANEL IN WINDOW WALL / CURTAIN WALL
GLASS: GUARDIAN SUN-GUARD® SNR 50" ON CLEAR

(A2) DOUBLE GLAZED SPANDREL UNIT IN CURTAIN WALL
GLASS: GUARDIAN SUN-GUARD® SNR 35" ON CLEAR
SPANDREL: OPACI-COAT #3-5185 SILENT NIGHT ON CLEAR

(B1) SPANDREL PANEL IN CURTAIN WALL
COLOUR: OPACI-COAT #1-0334 SPACE BLACK ON CLEAR

(B2) SPANDREL PANEL IN WINDOW WALL
COLOUR: OPACI-COAT #3-0770 WARM GREY ON CLEAR

(C1) PROJECTED METAL PANEL IN WINDOW WALL
COLOUR: DURANAR UC131816 - SOLAR REFLECTIVE BLACK

(C2) PROJECTED METAL PANEL IN CURTAIN WALL
COLOUR: DURANAR UC72638 - GRAHAM WHITE

GLAZED GUARDS

(R1) PRE-FINISHED GLAZED ALUMINUM RAILING
GLASS: CLEAR GLASS

(R2) PRE-FINISHED GLAZED ALUMINUM RAILING
GLASS: DARK GREY TINTED GLASS

(R3) PRE-FINISHED GLAZED POWDER COATED BLACK ALUMINUM RAILING
GLASS: CLEAR GLASS

STONE VENEER / HERITAGE FACADE

(H2) EXISTING LIMESTONE (OR NEW TO MATCH EXISTING)

(H1) EXISTING RESTORED / RECLAIMED BRICK

MISCELLANEOUS

(S1) PRE-FINISHED METAL SOFFIT
COLOUR: DURANAR UC131816 - SOLAR REFLECTIVE BLACK

9	2023-12-07	RE-ISSUED FOR SITE PLAN APPLICATION	MY
8	2023-05-30	RE-ISSUED FOR SITE PLAN APPLICATION	MY
7	2023-04-08	RE-ISSUED FOR SITE PLAN APPLICATION	MY
6	2023-03-20	RE-ISSUED FOR SITE PLAN APPLICATION	MY
5	2022-03-25	ISSUED FOR 100% SD	MY
4	2022-03-10	ISSUED FOR SITE PLAN APPLICATION	MY
3	2022-01-14	ISSUED FOR 50% SD	MY
2	2021-12-08	ISSUED FOR 100% SD	MY
1	2021-10-15	ISSUED FOR 50% SD	MY
#	DATE	DESCRIPTION	BY

PROJECT
PROPOSED MIXED USE DEVELOPMENT
10 DUKE STREET WEST, KITCHENER, ON

DRAWING
ELEVATIONS

PROJECT NO.
21.167CS

PROJECT DATE
2021-10-07

DRAWN BY
MJM

CHECKED BY
MYG

SCALE
As indicated

RUSSELL L. FLEISCHER
LICENCE
5004

DRAWING NO.
SPA302

REV.
219 of 318

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DEVELOPER RESERVES THE RIGHT TO SUBSTITUTE EQUIVALENT
ALTERNATE FINISHES DURING CONSTRUCTION

3A1 VISION PANEL IN WINDOW WALL / CURTAIN WALL


- | | |
|------------|---|
| 3A1 | GLASS PANEL IN WINDOW WALL / CURTAIN WALL
VISION: GUARDIAN SUN-GUARD [®] SNR 50 ON CLEAR |
| 3A2 | DOUBLE GLAZED SPANDREL UNIT IN CURTAIN WALL
GLASS: GUARDIAN SUN-GUARD [®] SNR 35 ON CLEAR
SPANDREL: OPACI-COAT #3-5185 SILENT NIGHT ON CLEAR |
| 3B1 | SPANDREL PANEL IN CURTAIN WALL
COLOUR: OPACI-COAT #1-0334 SPACE BLACK ON CLEAR |
| 3B2 | SPANDREL PANEL IN WINDOW WALL
COLOUR: OPACI-COAT #3-0770 WARM GREY ON CLEAR |
| 3C1 | PROJECTED METAL PANEL IN WINDOW WALL
COLOUR: DURANAR UC131816 - SOLAR REFLECTIVE BLACK |
| 3C2 | PROJECTED METAL PANEL IN CURTAIN WALL
COLOUR: DURANAR UC72638 - GRAHAM WHITE |

R1	PRE-FINISHED GLAZED ALUMINUM RAILING GLASS: CLEAR GLASS
R2	PRE-FINISHED GLAZED ALUMINUM RAILING GLASS: DARK GREY TINTED GLASS
R3	PRE-FINISHED GLAZED POWDER COATED BLACK ALUMINUM RAILING GLASS: CLEAR GLASS

H2 EXISTING LIMESTONE (OR NEW TO MATCH EXISTING)

- H1** EXISTING RESTORED / RECLAIMED BRICK

S1 PRE-FINISHED METAL SOFFIT
COLOUR: DURANAR UC131816 - SOLAR REFLECTIVE
BLACK

A black and white photograph of a sign for the Principal Entrance. The sign features a large, stylized upward-pointing arrow above the words "PRINCIPAL" and "ENTRANCE" in bold, capital letters.

EXISTING
BASEMENT
WINDOWS TO
BE FILLED IN

2023-12-07	RE-ISSUED FOR SITE PLAN APPLICATION	MY	
2023-05-30	RE-ISSUED FOR SITE PLAN APPLICATION	MY	
2023-04-06	RE-ISSUED FOR SITE PLAN APPLICATION	MY	
2023-03-20	RE-ISSUED FOR SITE PLAN APPLICATION	MY	
2022-03-25	ISSUED FOR 100% DD	MY	
2022-03-10	ISSUED FOR SITE PLAN APPLICATION	MY	
2022-01-14	ISSUED FOR 50% DD	MY	
W	DATE	DESCRIPTION	BY



10 DUKE STREET WEST, KITCHENER, ON

DRAWING

SOUTH AND EAST PODIUM ELEVATION

PROJECT NO. 21.167CS	
PROJECT DATE 2021-10-07	
DRAWN BY MJM	
CHECKED BY	
MYG	
SCALE	
As indicated	

SP311 7

TURNER
FLEISCHER

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turnerfleischer.com

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EXTERIOR FINISHES LEGEND

DEVELOPER RESERVES THE RIGHT TO SUBSTITUTE EQUIVALENT ALTERNATE FINISHES DURING CONSTRUCTION

WINDOW WALL / CURTAIN WALL GLAZING SYSTEM

(3A1) VISION PANEL IN WINDOW WALL / CURTAIN WALL
GLASS: GUARDIAN SUN-GUARD™ SNR 50" ON CLEAR

(3A2) DOUBLE GLAZED SPANDREL UNIT IN CURTAIN WALL
GLASS: GUARDIAN SUN-GUARD™ SNR 35" ON CLEAR
SPANDREL: OPACI-COAT #3-S185 SILENT NIGHT ON CLEAR

(3B1) SPANDREL PANEL IN CURTAIN WALL
COLOUR: OPACI-COAT #1-0334 SPACE BLACK ON CLEAR

(3B2) SPANDREL PANEL IN WINDOW WALL
COLOUR: OPACI-COAT #3-0770 WARM GREY ON CLEAR

(3C1) PROJECTED METAL PANEL IN WINDOW WALL
COLOUR: DURANAR UC131816 - SOLAR REFLECTIVE BLACK

(3C2) PROJECTED METAL PANEL IN CURTAIN WALL
COLOUR: DURANAR UC72638 - GRAHAM WHITE

GLAZED GUARDS

(R1) PRE-FINISHED GLAZED ALUMINUM RAILING
GLASS: CLEAR GLASS

(R2) PRE-FINISHED GLAZED ALUMINUM RAILING
GLASS: DARK GREY TINTED GLASS

(R3) PRE-FINISHED GLAZED POWDER COATED BLACK ALUMINUM RAILING
GLASS: CLEAR GLASS

STONE VENEER / HERITAGE FACADE

(H2) EXISTING LIMESTONE (OR NEW TO MATCH EXISTING)

(H1) EXISTING RESTORED / RECLAIMED BRICK

MISCELLANEOUS

(S1) PRE-FINISHED METAL SOFFIT
COLOUR: DURANAR UC131816 - SOLAR REFLECTIVE BLACK

7	2023-12-07	RE-ISSUED FOR SITE PLAN APPLICATION	MY
6	2023-05-30	RE-ISSUED FOR SITE PLAN APPLICATION	MY
5	2023-04-06	RE-ISSUED FOR SITE PLAN APPLICATION	MY
4	2023-03-20	RE-ISSUED FOR SITE PLAN APPLICATION	MY
3	2022-03-25	ISSUED FOR 100% DD	MY
2	2022-03-10	ISSUED FOR SITE PLAN APPLICATION	MY
1	2022-01-14	ISSUED FOR 50% DD	MY

#	DATE	DESCRIPTION	BY
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PROJECT
PROPOSED MIXED USE DEVELOPMENT
10 DUKE STREET WEST, KITCHENER, ON

DRAWING
NORTH AND WEST PODIUM ELEVATION

PROJECT NO.

21.167CS

PROJECT DATE

2021-10-07

DRAWN BY

MJM

CHECKED BY

MYG

SCALE

As indicated

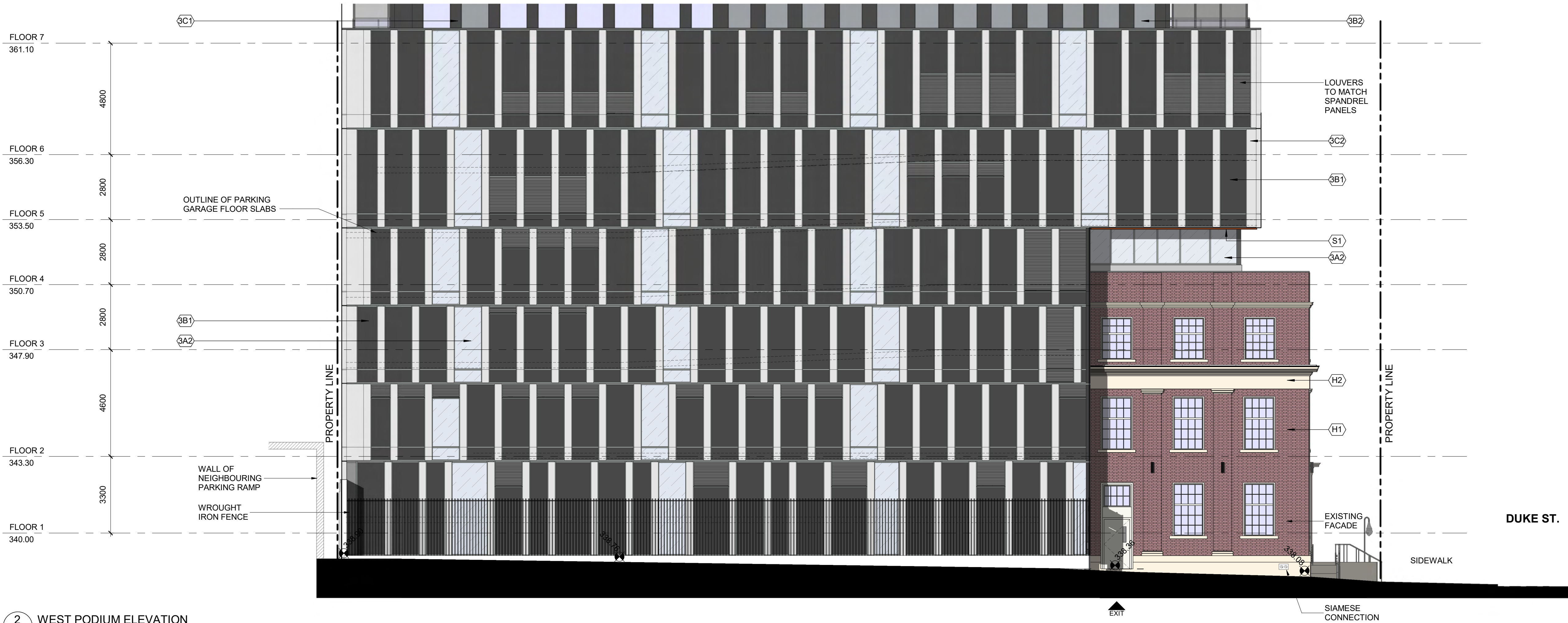


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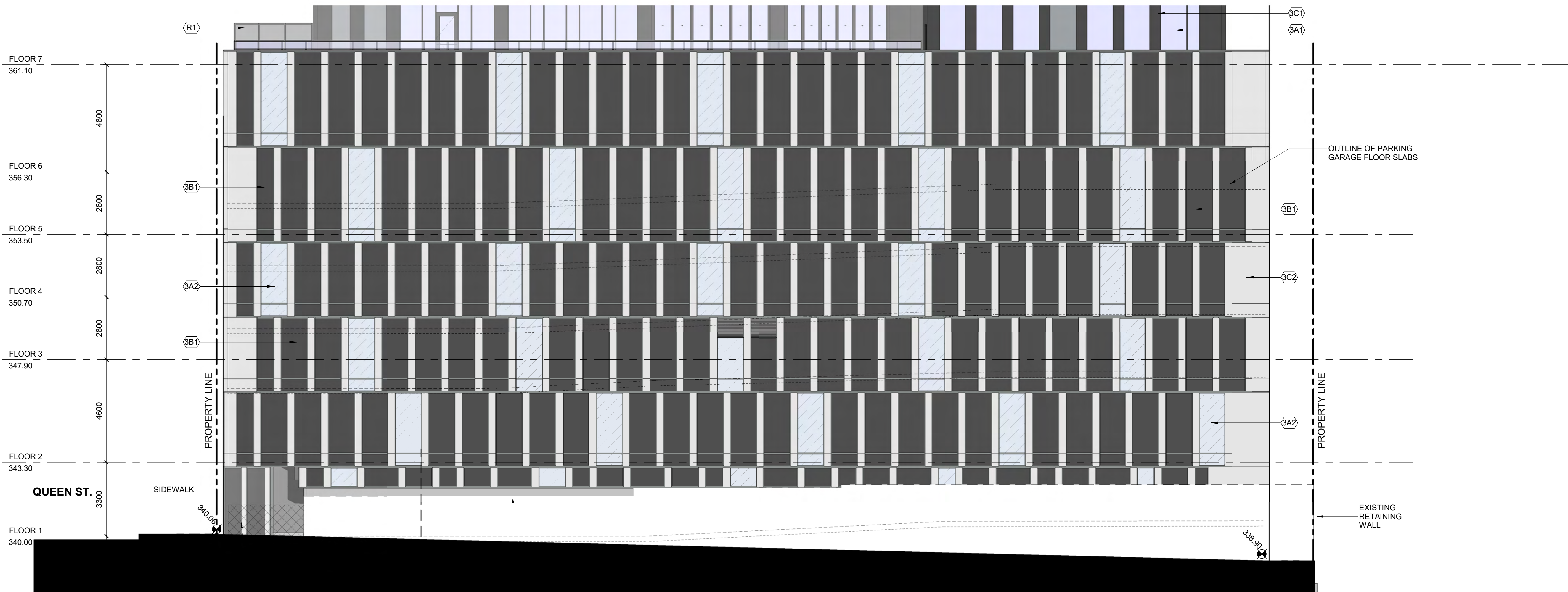
SPA312

REV.

221 of 248



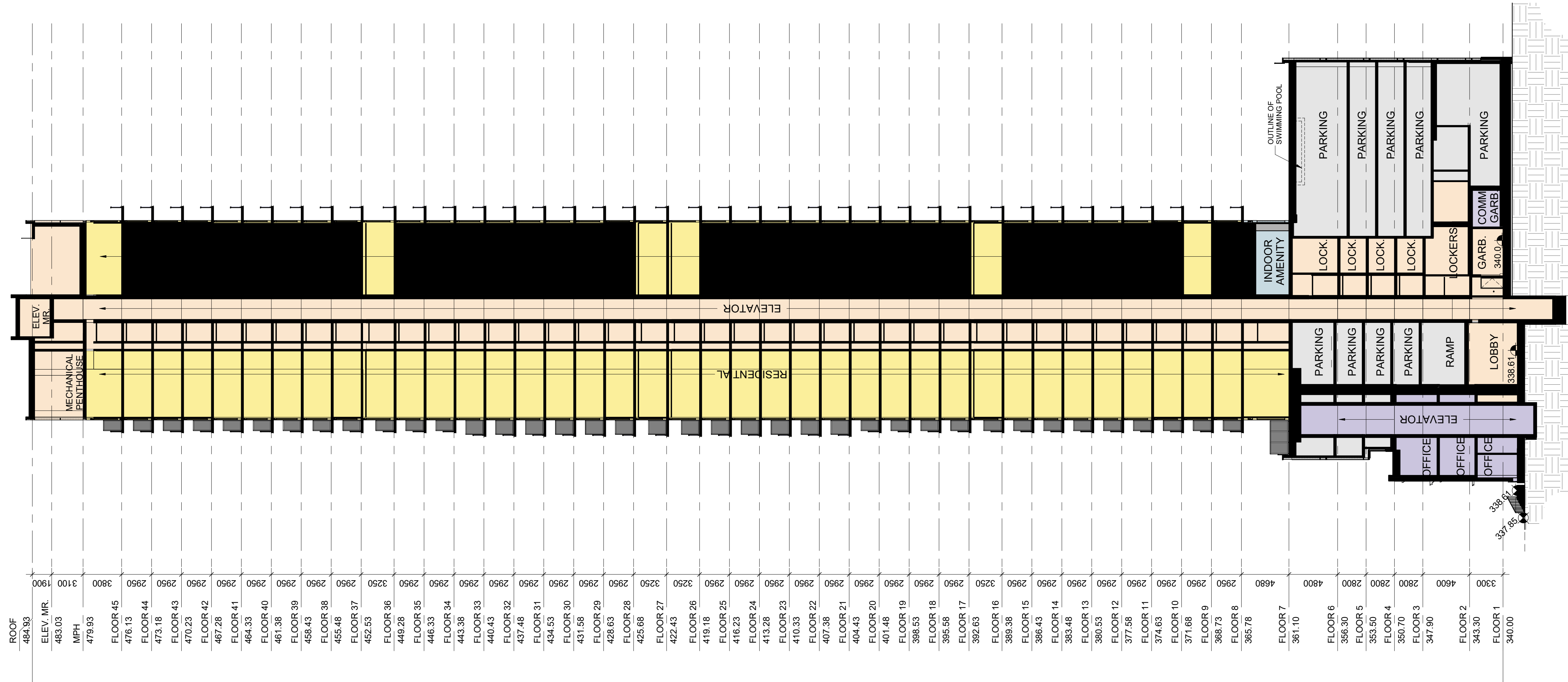
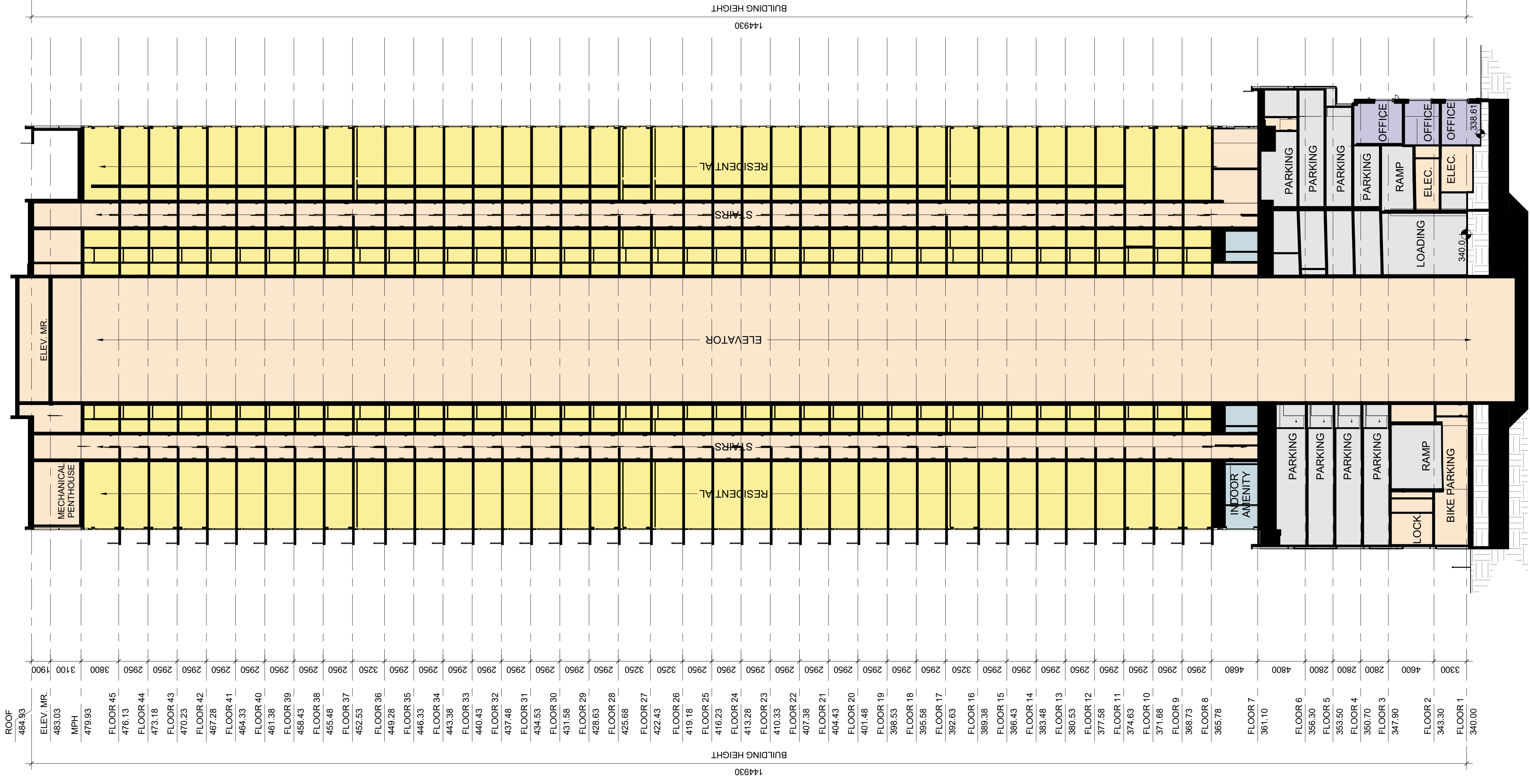
2 WEST PODIUM ELEVATION
SPA312 1 : 100



1 NORTH PODIUM ELEVATION
SPA312 1 : 100

PORTION OF EXISTING
RETAINING WALL TO
BE DEMOLISHED

EXISTING
RETAINING WALL TO
BE INCORPORATED
INTO BUILDING
STRUCTURE



PROJECT
PROPOSED MIXED USE DEVELOPMENT
10 DUKE STREET WEST, KITCHENER, ON

DRAWING
BUILDING SECTIONS

PROJECT NO. 21-167CS	
PROJECT DATE 2021-10-07	
DRAWN BY MJM	
CHECKED BY MYG	
SCALE 1 : 250	
DRAWING NO. SPA401	
REV. Page 222 of 218	

#	DATE	DESCRIPTION	BY
8	2023-05-30	RE-ISSUED FOR SITE PLAN APPLICATION	MY
7	2023-04-08	RE-ISSUED FOR SITE PLAN APPLICATION	MY
6	2023-03-20	RE-ISSUED FOR SITE PLAN APPLICATION	MY
5	2023-03-25	ISSUED FOR 100% DD	MY
4	2023-03-10	ISSUED FOR SITE PLAN APPLICATION	MY
3	2022-01-14	ISSUED FOR 50% DD	MY
2	2021-12-08	ISSUED FOR 100% SD	MY
1	2021-10-15	ISSUED FOR 50% SD	MY

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Toronto, ON, M5B 2T8
T 416 425 2222
turnerfleischer.com

TURNER
FLEISCHER



VIEW FROM VOGELSANG GREEN



VIEW FROM QUEEN STREET NORTH

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5	2023-05-30	RE-ISSUED FOR SITE PLAN APPLICATION	MY
4	2023-04-08	RE-ISSUED FOR SITE PLAN APPLICATION	MY
3	2023-03-20	RE-ISSUED FOR SITE PLAN APPLICATION	MY
2	2023-03-25	ISSUED FOR 100% CD	MY
1	2023-03-10	ISSUED FOR SITE PLAN APPLICATION	MY

#	DATE	DESCRIPTION	BY
---	------	-------------	----



PROJECT
**PROPOSED MIXED USE
DEVELOPMENT**
10 DUKE STREET WEST, KITCHENER, ON

DRAWING
3D PERSPECTIVES

PROJECT NO.
21-167CS
PROJECT DATE
2021-10-07
DRAWN BY
MJM
CHECKED BY
MYG
SCALE

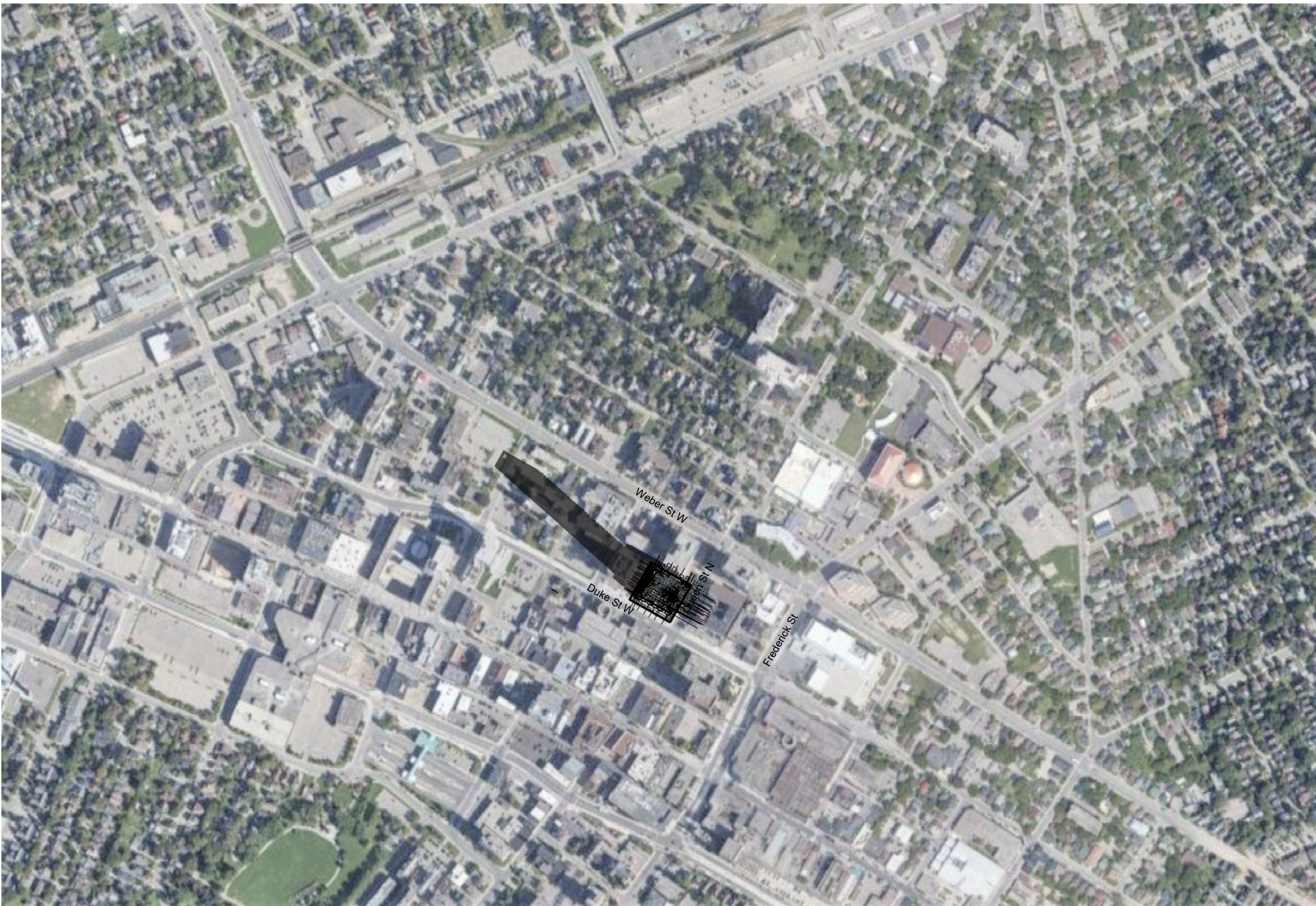
ONTARIO ASSOCIATION
OF
ARCHITECTS

RUSSELL L. FLEISCHER
LICENCE
5004

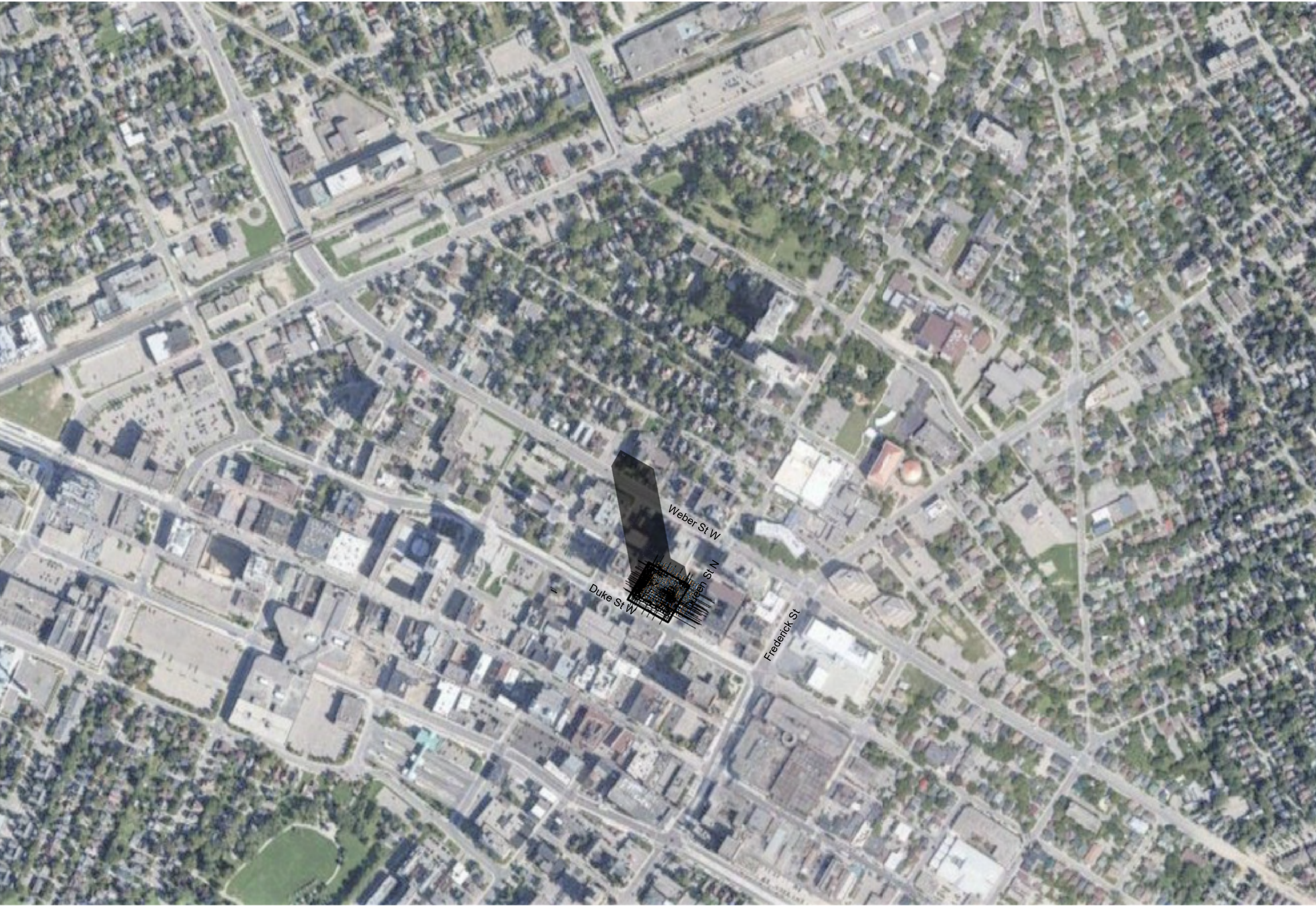
DRAWING NO.
SPA801
REV.
5

Page 223 of 318

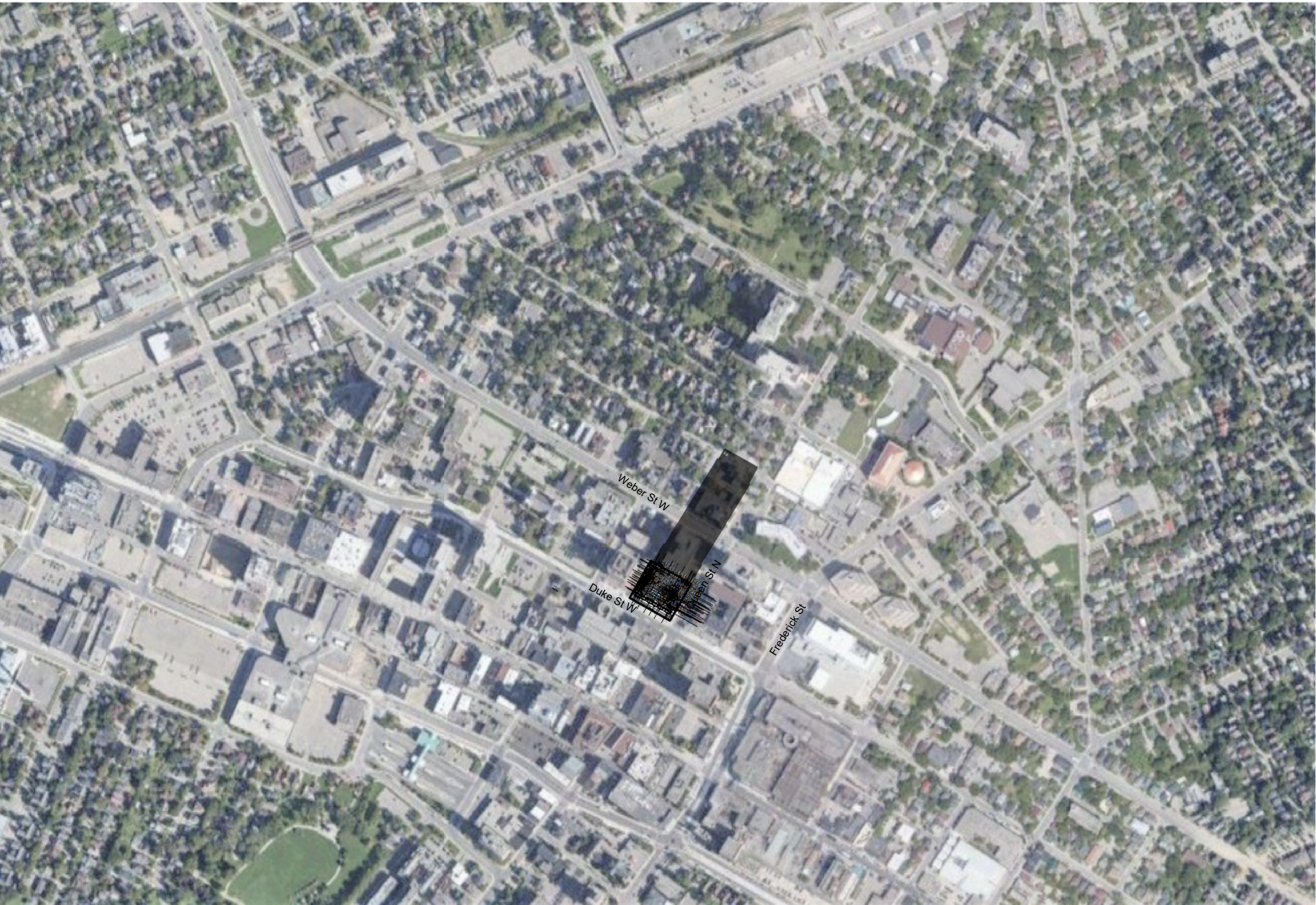
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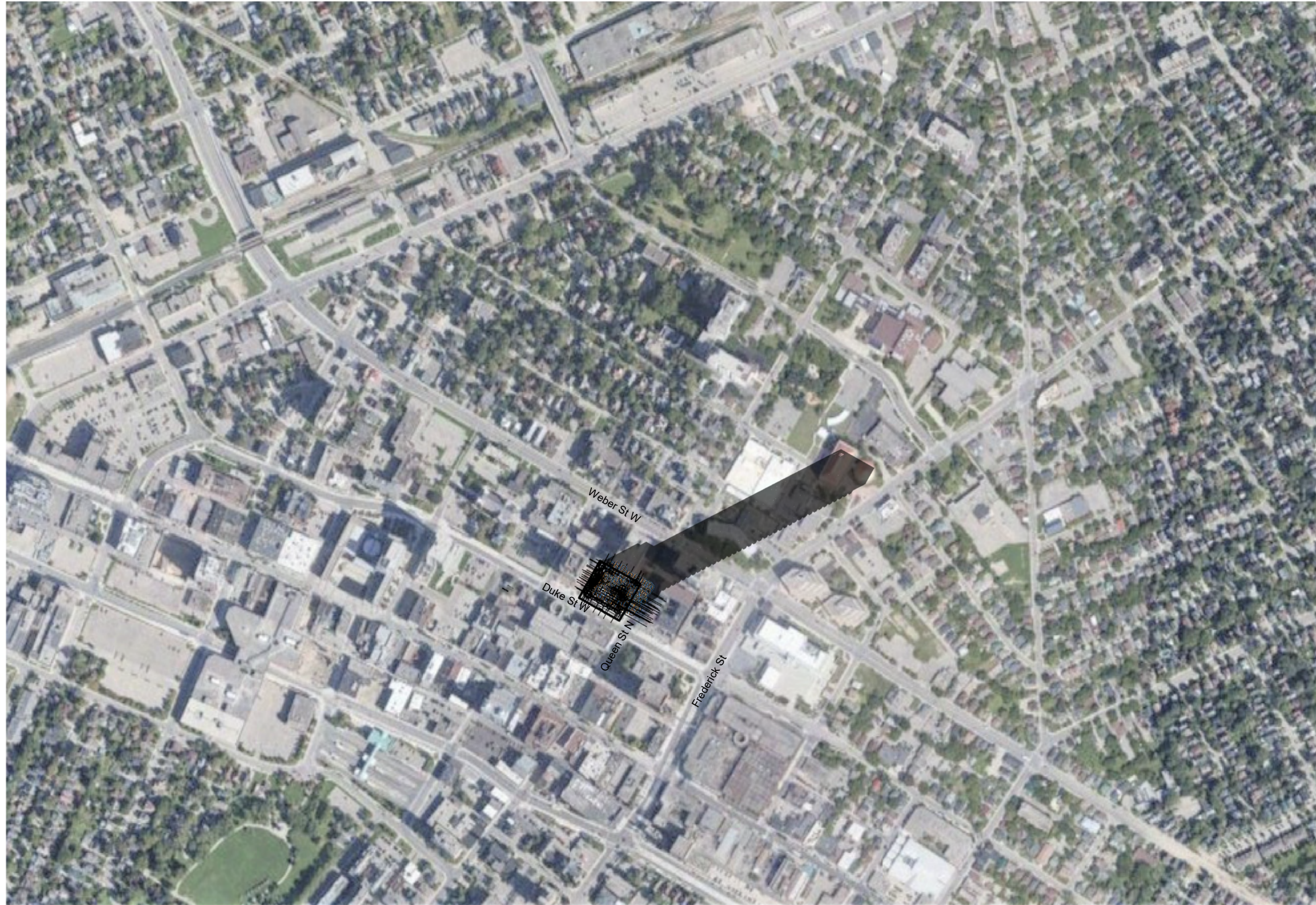
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SPA817 1 : 4000



2 MARCH 21/SEPT 21 - 12:00 PM
SPA817 1 : 4000



3 MARCH 21/SEPT 21 - 2:00 PM
SPA817 1 : 4000



4 MARCH 21/SEPT 21 - 4:00 PM
SPA817 1 : 4000

6	2023-05-30	RE-ISSUED FOR SITE PLAN APPLICATION	MY
5	2023-04-06	RE-ISSUED FOR SITE PLAN APPLICATION	MY
4	2023-03-20	RE-ISSUED FOR SITE PLAN APPLICATION	MY
3	2022-03-25	ISSUED FOR 100% DD	MY
2	2022-03-10	ISSUED FOR SITE PLAN APPLICATION	MY
1	2021-10-07	ISSUED TO HERITAGE COMMITTEE	MY
#	DATE	DESCRIPTION	BY



PROJECT
**PROPOSED MIXED USE
DEVELOPMENT**
10 DUKE STREET WEST, KITCHENER, ON

DRAWINGS
SHADOW STUDIES

PROJECT NO:
21-167CS
PROJECT DATE:
2021-10-07
DRAWN BY:
SSZ
CHECKED BY:
MYG
SCALE:
1 : 4000

ONTARIO ASSOCIATION
OF
ARCHITECTS
RUSSELL L. FLEISCHER
LICENCE
5004

DRAWING NO.
SPA817
REV.
6

Page 224 of 218



1 MARCH 21/SEPT 21 - 6:00 PM
SPA812 1 : 4000

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6	2023-05-30	RE-ISSUED FOR SITE PLAN APPLICATION	MY
5	2023-04-06	RE-ISSUED FOR SITE PLAN APPLICATION	MY
4	2023-03-20	RE-ISSUED FOR SITE PLAN APPLICATION	MY
3	2022-03-25	ISSUED FOR 100% DD	MY
2	2022-03-10	ISSUED FOR SITE PLAN APPLICATION	MY
1	2021-10-07	ISSUED TO HERITAGE COMMITTEE	MY

#	DATE	DESCRIPTION	BY
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PROJECT
PROPOSED MIXED USE DEVELOPMENT
10 DUKE STREET WEST, KITCHENER, ON

DRAWINGS
SHADOW STUDIES

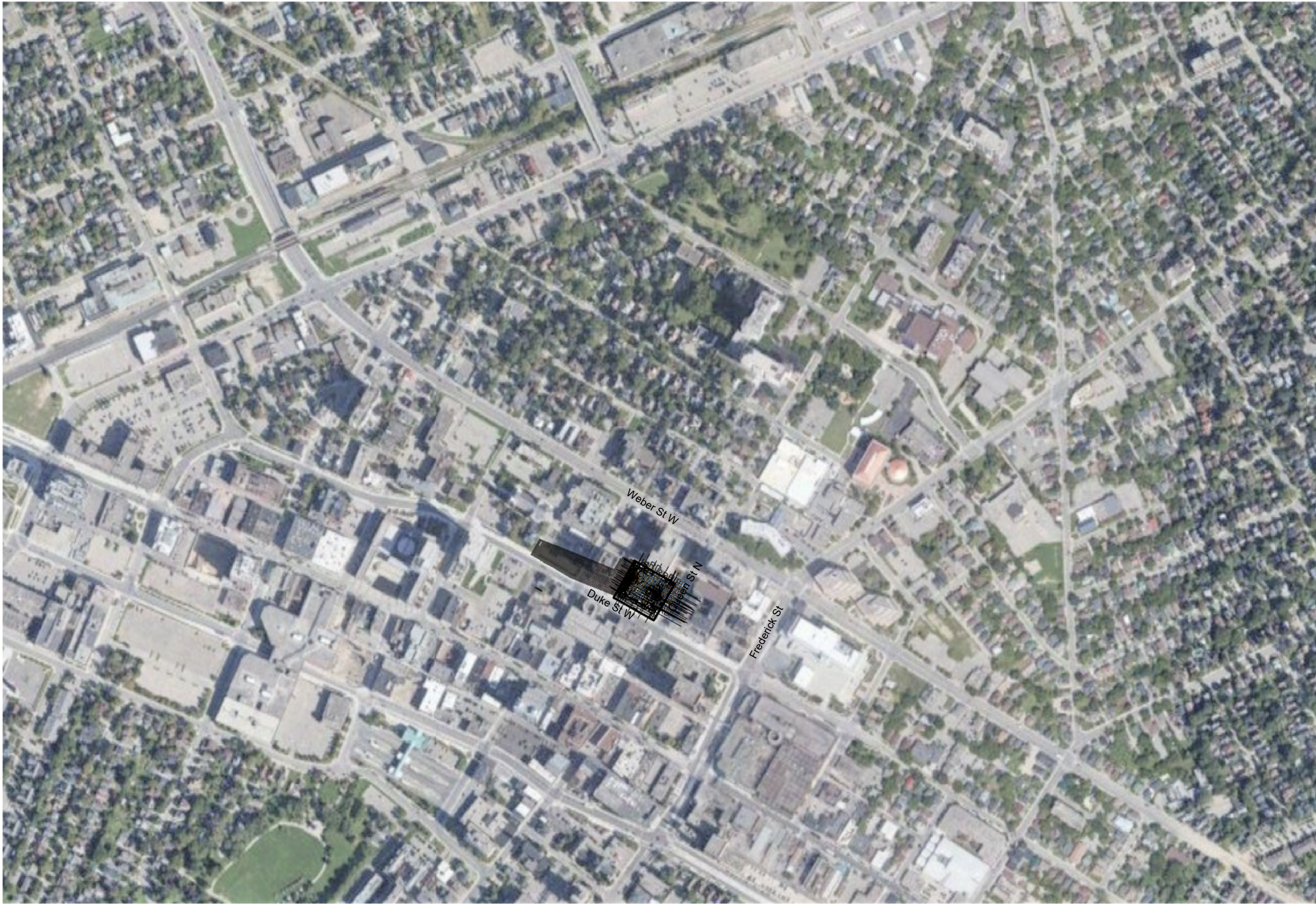
PROJECT NO.
21-167CS
PROJECT DATE
2021-10-07
DRAWN BY
SSZ
CHECKED BY
MYG
SCALE
1 : 4000

ONTARIO ASSOCIATION
OF
ARCHITECTS
RUSSELL L. FLEISCHER
LICENCE
5004

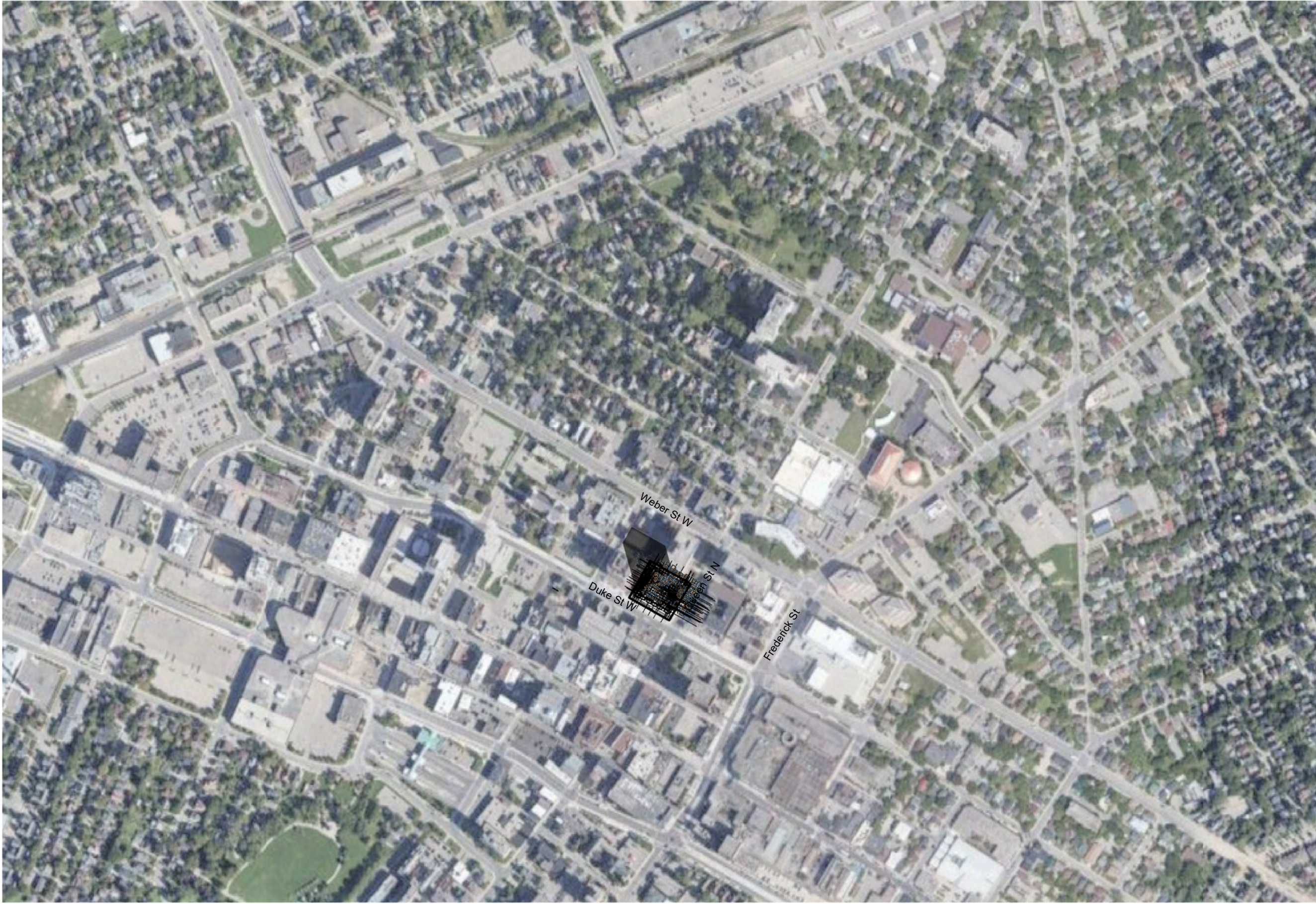
DRAWING NO.
SPA812
REV.
6

Page 225 of 318

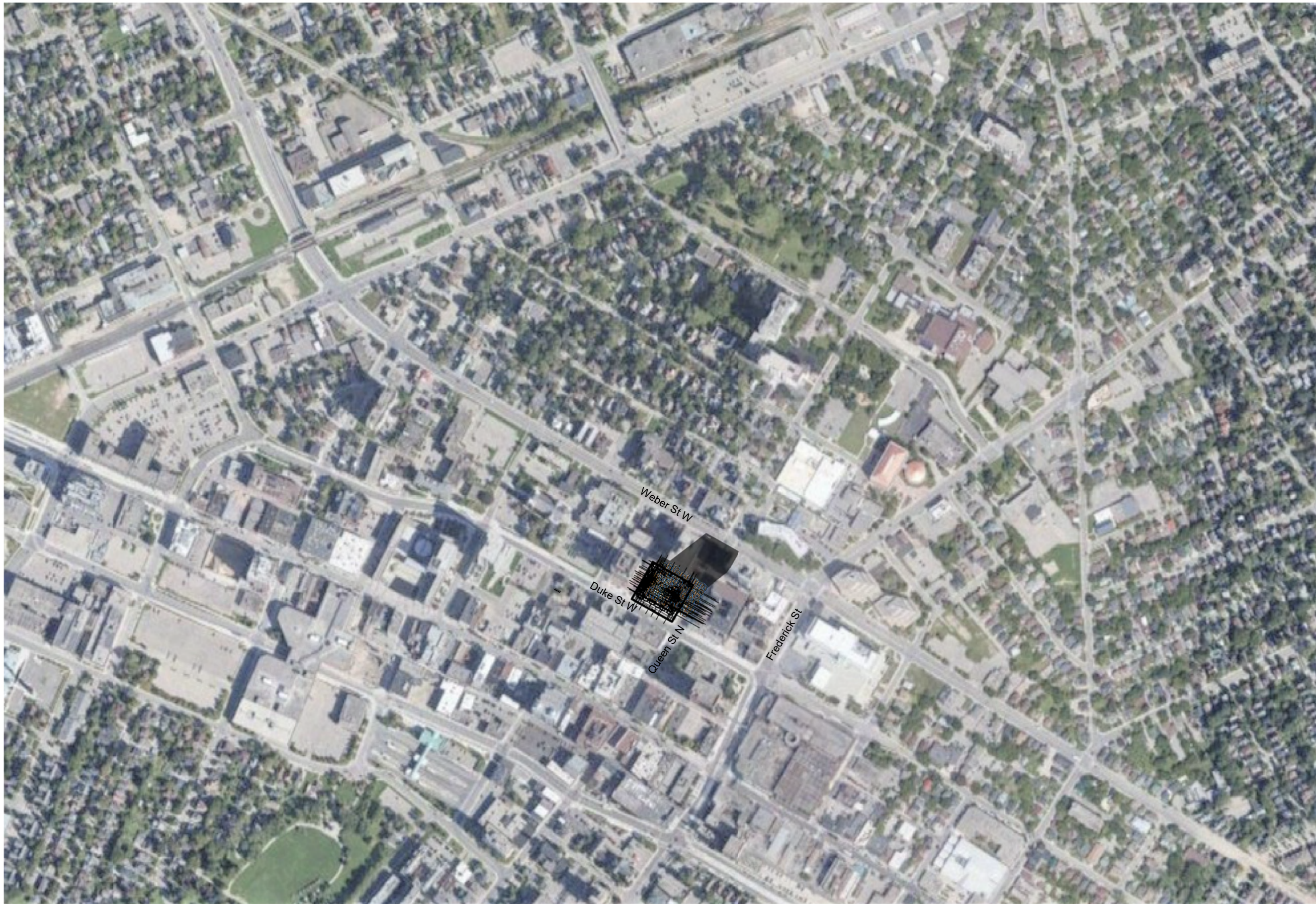
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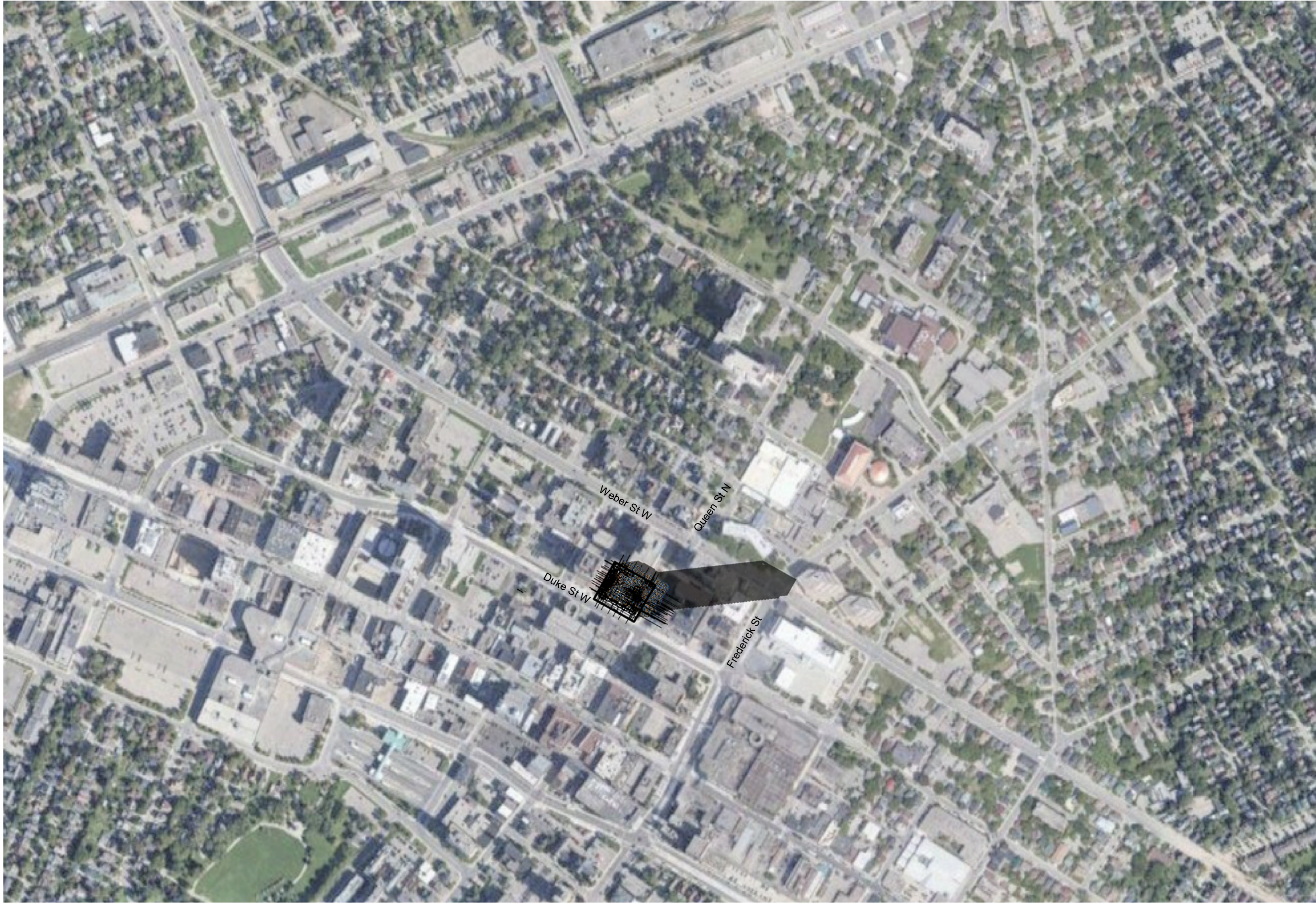
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SPA813 1 : 4000



2 JUNE 21 - 12:00 PM
SPA813 1 : 4000



3 JUNE 21 - 2:00 PM
SPA813 1 : 4000



4 JUNE 21 - 4:00 PM
SPA813 1 : 4000

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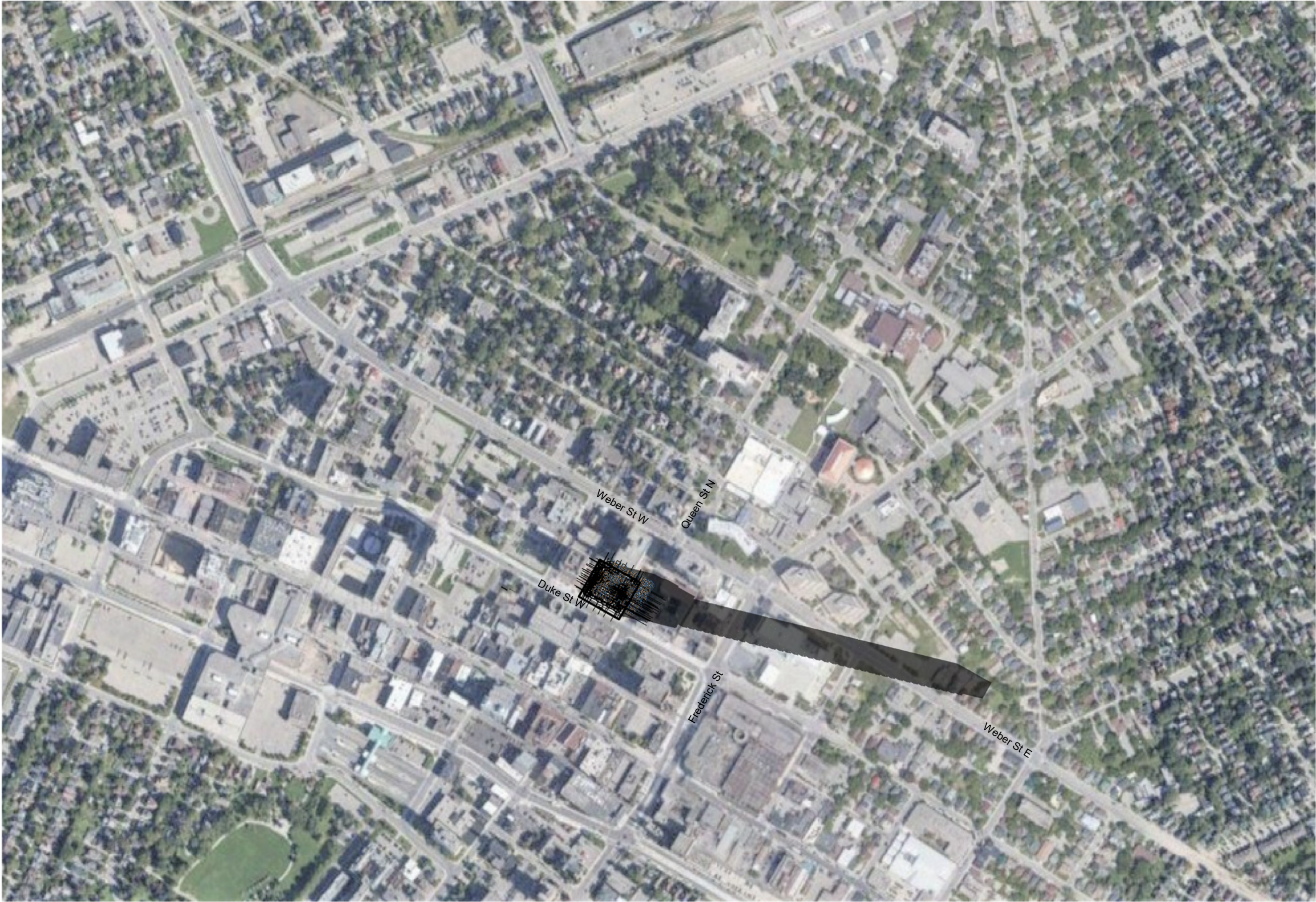
6	2023-05-30	RE-ISSUED FOR SITE PLAN APPLICATION	MY
5	2023-04-06	RE-ISSUED FOR SITE PLAN APPLICATION	MY
4	2023-03-20	RE-ISSUED FOR SITE PLAN APPLICATION	MY
3	2023-03-25	ISSUED FOR 100% DD	MY
2	2022-08-10	ISSUED FOR SITE PLAN APPLICATION	MY
1	2021-10-07	ISSUED TO HERITAGE COMMITTEE	MY
#	DATE	DESCRIPTION	BY



PROJECT
**PROPOSED MIXED USE
DEVELOPMENT**
10 DUKE STREET WEST, KITCHENER, ON

DRAWINGS
SHADOW STUDIES

PROJECT NO. 21-167CS	
PROJECT DATE 2021-10-07	
DRAWN BY SSZ	
CHECKED BY MYG	
SCALE 1 : 4000	
DRAWING NO. SPA813	
REV. 6	



1 JUNE 21 - 6:00 PM
SPA814 1 : 4000

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6	2023-05-30	RE-ISSUED FOR SITE PLAN APPLICATION	MY
5	2023-04-06	RE-ISSUED FOR SITE PLAN APPLICATION	MY
4	2023-03-20	RE-ISSUED FOR SITE PLAN APPLICATION	MY
3	2022-03-25	ISSUED FOR 100% DD	MY
2	2022-03-10	ISSUED FOR SITE PLAN APPLICATION	MY
1	2021-10-07	ISSUED TO HERITAGE COMMITTEE	MY

#	DATE	DESCRIPTION	BY
---	------	-------------	----



PROJECT
PROPOSED MIXED USE DEVELOPMENT
10 DUKE STREET WEST, KITCHENER, ON

DRAWINGS
SHADOW STUDIES

PROJECT NO.
21-167CS


PROJECT DATE
2021-10-07

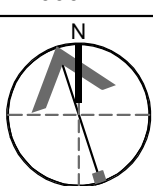
DRAWN BY
SSZ

CHECKED BY
MYG

SCALE
1 : 4000

ONTARIO ASSOCIATION
OF
ARCHITECTS

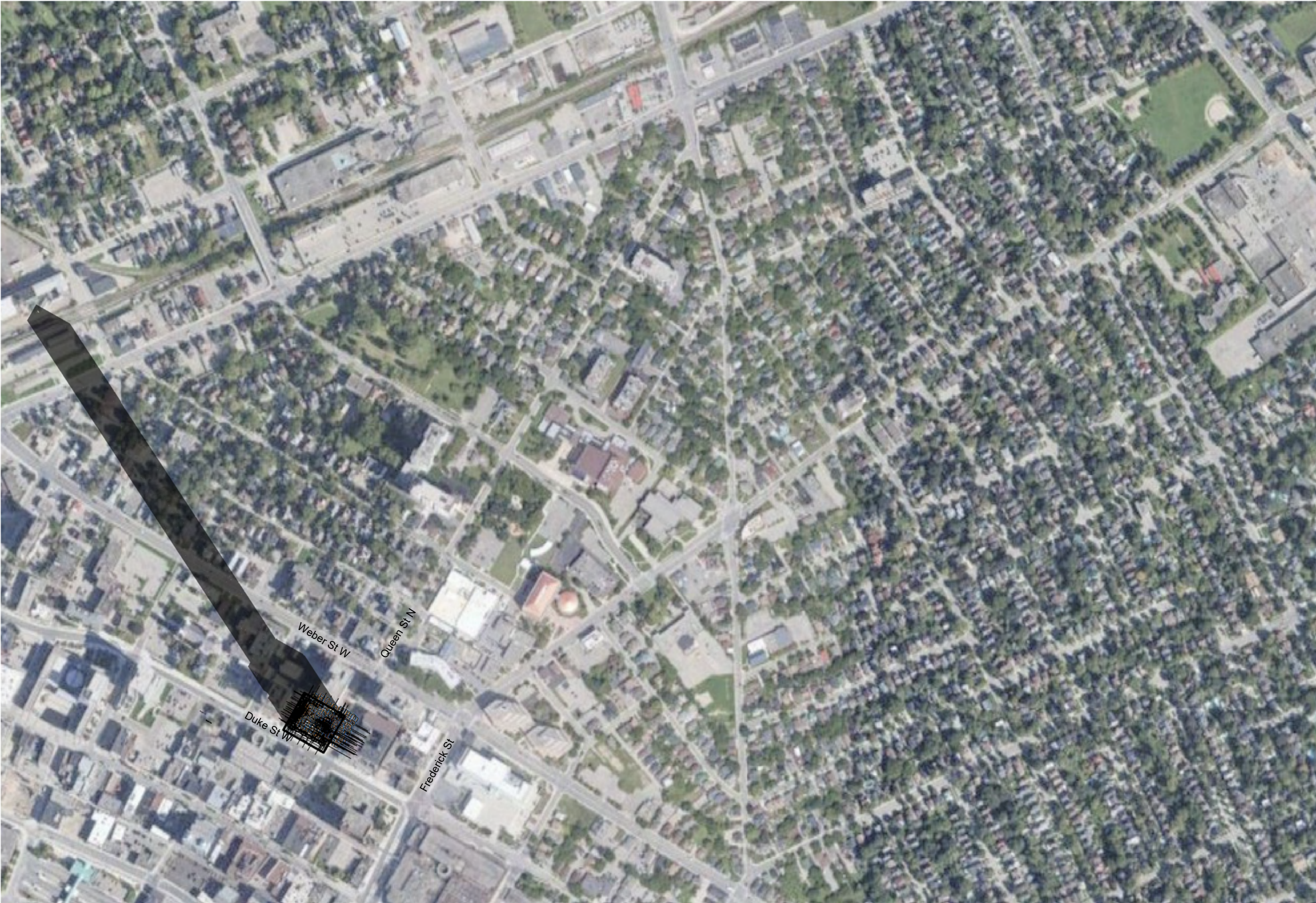

RUSSELL L. FLEISCHER
LICENCE
5004



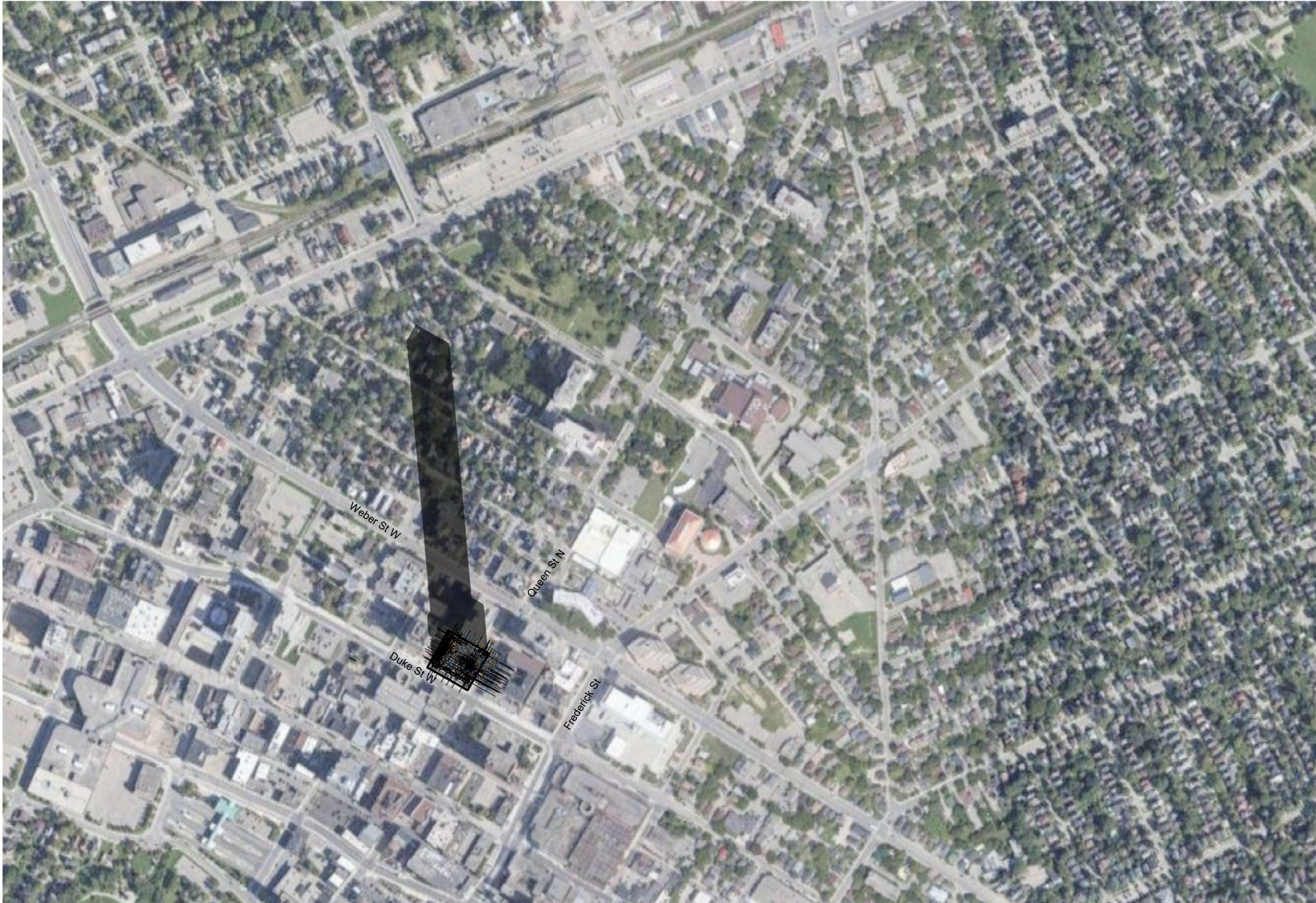
DRAWING NO.
SPA814

REV.
6

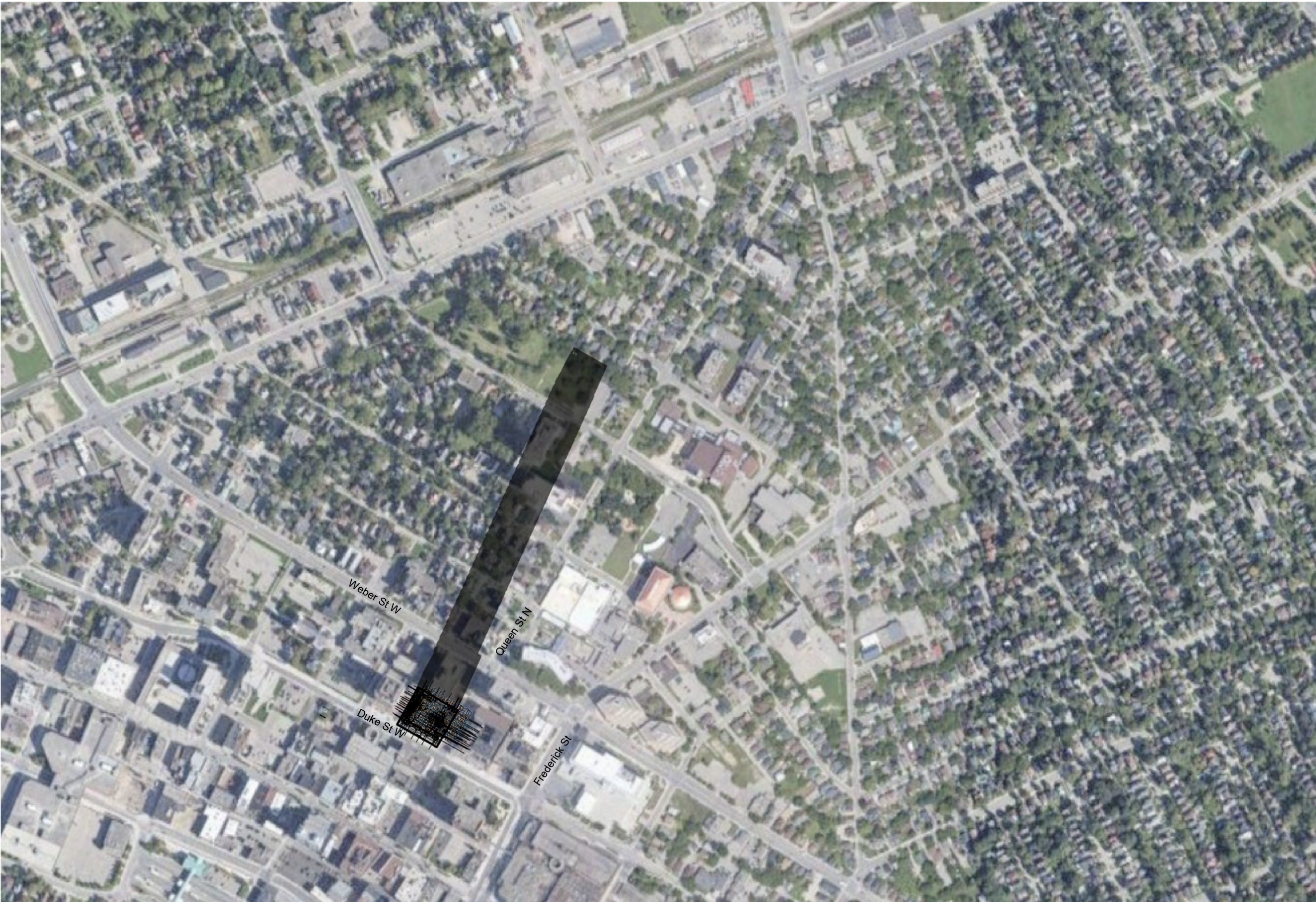
Page 227 of 218



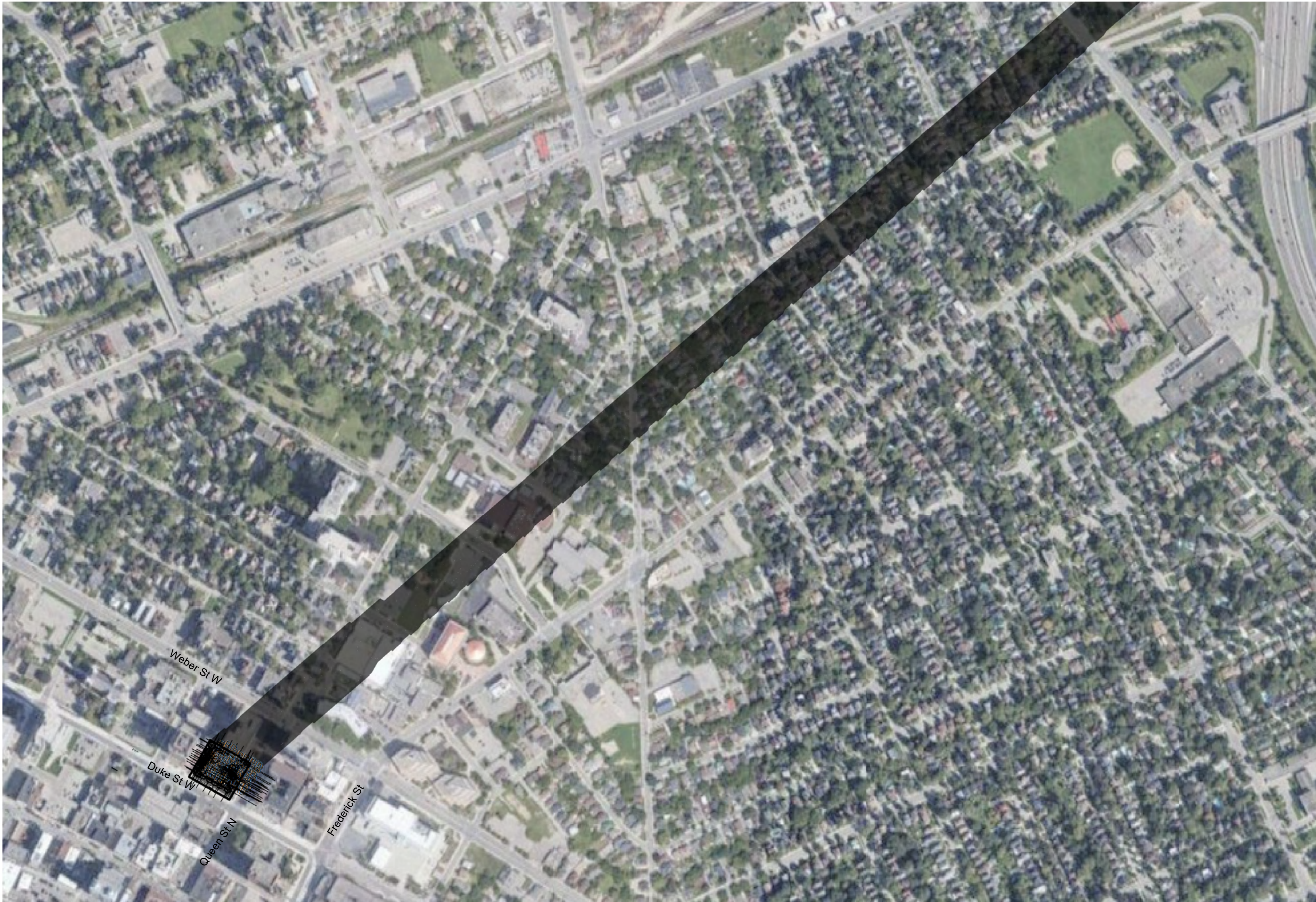
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2 DECEMBER 21 - 12:00 PM
SPA815 1 : 4000



3 DECEMBER 21 - 2:00 PM
SPA815 1 : 4000



4 DECEMBER 21 - 4:00 PM
SPA815 1 : 4000

6	2023-05-30	RE-ISSUED FOR SITE PLAN APPLICATION	MY
5	2023-04-06	RE-ISSUED FOR SITE PLAN APPLICATION	MY
4	2023-03-20	RE-ISSUED FOR SITE PLAN APPLICATION	MY
3	2022-03-25	ISSUED FOR 100% DD	MY
2	2022-03-10	ISSUED FOR SITE PLAN APPLICATION	MY
1	2021-10-07	ISSUED TO HERITAGE COMMITTEE	MY
#	DATE	DESCRIPTION	BY



PROJECT
**PROPOSED MIXED USE
DEVELOPMENT**
10 DUKE STREET WEST, KITCHENER, ON

DRAWINGS
SHADOW STUDIES

PROJECT NO.
21-167CS

PROJECT DATE
2021-10-07

DRAWN BY
SSZ

CHECKED BY
MYG

SCALE
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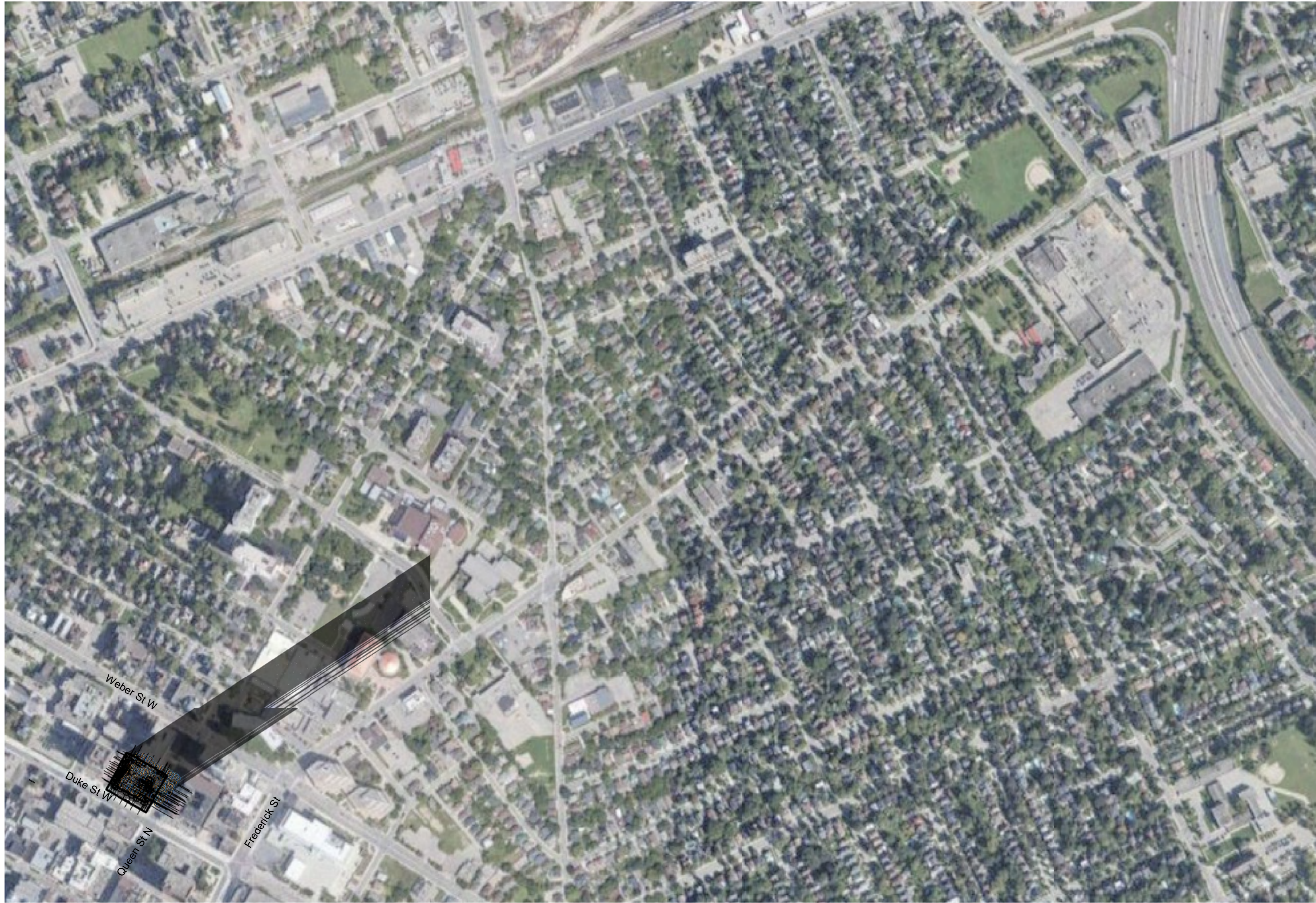
ONTARIO ASSOCIATION
OF
ARCHITECTS

RUSSELL L. FLEISCHER
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Page 228 of 318



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5	2023-05-30	RE-ISSUED FOR SITE PLAN APPLICATION	MY
4	2023-04-06	RE-ISSUED FOR SITE PLAN APPLICATION	MY
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2	2023-03-25	ISSUED FOR 100% CD	MY
1	2023-03-10	ISSUED FOR SITE PLAN APPLICATION	MY

#	DATE	DESCRIPTION	BY
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PROJECT
PROPOSED MIXED USE DEVELOPMENT
10 DUKE STREET WEST, KITCHENER, ON

DRAWINGS
SHADOW STUDIES

PROJECT NO. 21-167CS	
PROJECT DATE 2021-10-07	
DRAWN BY SSZ	
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Appendix B: Existing Façade Retention, Structural Assessment Report, December 4th, 2023 & Existing Façade Retention, Vibration Monitoring Plan, John G. Cooke, December 15, 2023

10 Duke Steet West
Kitchener, Ontario

**Existing Façade Retention
Structural Assessment Report**



Project No. 24012

Draft report issued November 17th, 2023

Final report issued December 4th, 2023

Report Prepared by:

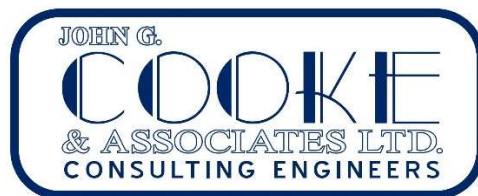


TABLE OF CONTENTS

1. INTRODUCTION.....	1
2. TERMS OF REFERENCE	1
3. METHODOLOGY	1
3.1. Investigation	1
3.2. Applicable Codes and Standards.....	2
3.3. Analysis.....	2
4. OBSERVATIONS.....	2
4.1. Existing Concrete Slabs	3
4.2. Existing Structural Steel Framing.....	3
4.2.1 Columns	3
4.2.2 Beams	4
4.3. Wall Assembly.....	4
4.3.1 Foundation Wall	4
4.3.2 Above-Grade Masonry Wall.....	5
4.4. Slab-Wall Interface.....	6
4.5. Masonry Condition	6
5. RETENTION APPROACH	7
5.1. Sequencing	7
5.2. Temporary Bracing.....	8
5.2.1 Bracing Within Existing Structural Bays.....	8
5.2.2 Vertical Strongbacks	8
5.2.3 Horizontal Lateral Support Angle at Existing Floor Levels.....	9
5.2.4 Lateral Support at Column Splices.....	9
5.2.5 Other Conditions, Miscellaneous Framing	9
5.3. Disconnecting Material to be Demolished/Removed	9
5.3.1 Terra Cotta Tile and Interior Finishes.....	9
5.3.2 Wall Cutting and Demolition.....	10
5.3.3 Removal of Slabs and Beams.....	10
6. DISCLAIMER & LIMITATIONS	11
APPENDIX A - SKETCHES OF TYPICAL EXISTING KEY DETAILS	
APPENDIX B - RETENTION FRAME CONCEPT SKETCHES	

1. INTRODUCTION

John G. Cooke & Associates Ltd. (JCAL) was retained by VanMar Developments Inc. (VanMar) to provide consulting structural engineering services as it relates to the retention of portions of the primary façades of the existing building at 10 Duke Street West, in Kitchener, Ontario, for incorporation of these facades with a planned redevelopment on the site. The redevelopment will include the construction of a new tower that occupies much of the footprint of the existing building presently on the site.

VanMar's intent is to retain the existing masonry facades by primarily making use of the steel frame of the existing load-bearing masonry and steel-framed building, supplemented by temporary bracing and supports as necessary, until the façade may be secured to the new permanent structure (designed by other consultants), as construction of the latter progresses.

VanMar received conditional approval of their Site Plan Application - SP22/104/D/AP, the draft version of which, dated June 23, 2023 and available to JCAL, requires "That the Owner's Consulting Engineer ... submit a Structural Assessment Report for 10 Duke Street West to be included within the Demolition and Stabilization Plan, ... advising on the means and methods to be used to safely remove portions of the existing building and to avoid causing structural damage to the historic portions of the front facades...". This report is intended to satisfy that requirement and be the basis to develop the design further. Designs indicated herein are not for construction but are intended to show concepts and intents that will be developed further and coordinated more closely with the new construction, during production of a set of shoring and sequencing drawings for the purposes of pricing and construction.

JCAL was provided with some photographs of original drawings. These lacked several key details regarding the existing structure and JCAL first undertook an investigation to identify and confirm these details, along with condition of exposed elements that may impact the retention of the facades and the need for any restoration work that might be required in advance. This information was used in developing analytical models and the approach to the retention concept that is discussed herein.

2. TERMS OF REFERENCE

The scope of work for John G. Cooke & Associates Ltd. is based on JCAL proposal P23208, dated September 18, 2023.

3. METHODOLOGY

JCAL completed an investigation of existing conditions, identified applicable codes and standards to be referenced, and completed analysis of the existing and new temporary components to be used in the temporary support of the façade during the course of the new construction and retention.

3.1. Investigation

Jonathan Dee, P.Eng., CAHP of JCAL made an initial visit to the site on September 6, 2023, accompanied by representatives from VanMar and McCallumSather, the heritage architects who have completed a Heritage Impact Assessment and Conservation Plan for the subject property.

Jonathan Dee and Andrew Azinovic, EIT revisited the site on October 18, 2023. Using hand-tools, investigatory openings were made in several locations where possible. Locations were identified for further investigatory openings, to be made using power tools and with the assistance of VanMar's forces.

These further openings were completed by VanMar at JCAL's direction, and reviewed by Jonathan Dee and Andrew Azinovic, throughout the course of the day on October 30, 2023. The investigation included primarily of the use of a chipper to remove interior terra cotta tile and plaster wall finishes

to view the enclosed structural elements and details, and to remove brick from the interior side of the exterior walls, to determine the construction and condition of the existing wall assembly.

3.2. Applicable Codes and Standards

The primary codes, standards, and guidelines referenced during and applicable to the production of work described in this report and for further development of the retention design are as follows:

- Ontario Building Code 2012, inclusive of latest effective amendments (the OBC)
- Structural Commentaries of the National Building Code of Canada, including Commentary L: Application of NBC Part 4 of Division B for the Structural Evaluation and Upgrading of Existing Buildings
- CSA A23.3-14 - Design of Concrete Structures
- CSA A371-14 - Masonry Construction for Buildings
- CSA S304-14 (R2019) - Design of Masonry Structures
- CSA S16-14 - Design of Steel Structures
- Standards and Guidelines for the Conservation of Historic Places in Canada, published by Parks Canada.

3.3. Analysis

The applicable wind load was calculated to OBC 2012, using a reduced importance factor of 0.75 for calculating loads for serviceability and deflections.

It is our opinion that seismic loading may be neglected during construction, given the brief construction period relative to the 2500-year return period for code-specified seismic loads. However, seismic considerations are relevant in the permanent attachment of the facades to temporary elements that may remain as part of the permanent structure. The applicable seismic load was calculated in accordance with OBC Article 4.1.8.18 for building elements and non-structural components. The applicable seismic loads were calculated, using seismic Site Class C as recommended in the geotechnical report (File no. G21270, Chung & Vander Doelen Engineering Ltd.), and it was determined the above-noted wind forces govern design.

Rigidity and stiffness requirements for the lateral support of the masonry generally governed design, and the limitations stipulated in CSA A371 were followed, of L/600 for unreinforced masonry where flexural stress is perpendicular to the bed joints (i.e., for bending in the vertical direction of the wall) and L/300 for unreinforced masonry where flexural stress is parallel to the bed joints (i.e. for bending in the horizontal direction of the wall).

Analysis of the existing and new temporary components to be used in retaining of the facades was carried out using procedures identified in the above-noted standards documents and using Bentley STAAD structural analysis software.

4. OBSERVATIONS

Observations made during our investigation that relate to the retention of the existing facades are documented below. Sketches of key typical existing details are included in Appendix A.

The building's structure consists of one-way flat concrete slabs, spanning on steel floor beams. These beams are supported on two interior east-west lines of structural steel columns and, on the load bearing exterior walls at the perimeter of the building. A further general description of the building is otherwise documented in the Heritage Impact Assessment or Conservation Plan and is not repeated here.

4.1. Existing Concrete Slabs

The existing floor slabs were hammer drilled. While only a relatively small drill bit was available, these were measured as accurately as possible and found to be 127 mm (5") thick and are believed to be overlain with a bonded floor topping for leveling, which is assumed to be on average 25 mm (1") thick. The floor slabs span in the east-west direction, between floor beams.

These slabs were not scanned for reinforcing steel, but we believe they would contain smooth reinforcing steel bars parallel to the span direction, and temperature steel reinforcement in the opposite direction.

4.2. Existing Structural Steel Framing

4.2.1 Columns

The building's columns are generally clad with terra cotta tile and plaster. Occasionally this has been overlaid with newer drywall and steel studs. Openings were made to expose the structural steel columns within, at

- three locations above the Ground floor level,
- two locations above the 2nd floor level, and
- one location above the 3rd floor level.

The key findings are that the column steel is generally exposed behind the terra cotta tile, with no additional concrete encasing or coatings beyond the grey paint (see Fig. 1). A column splice, suspected to be present but not otherwise documented, was found at both openings made just above the 2nd floor level (see Fig. 2), and not at any of the openings on other floors. This splice location is believed to be typical at all columns and may act as a hinge in the column if not laterally supported in both directions at all times.

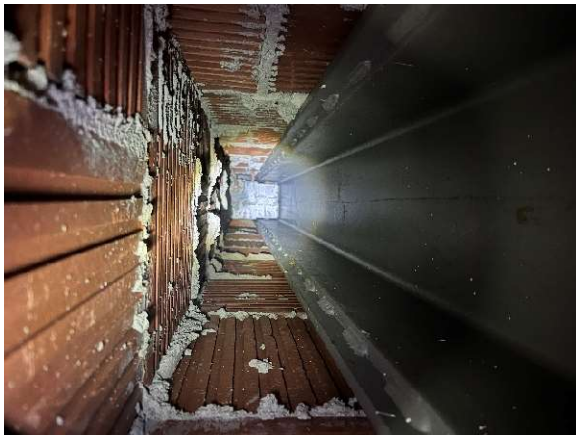


Fig 1: Looking up a column enclosure, from G floor to 2nd



Fig 2: Typical column splice, above 2nd floor

Below the splice, the columns were found to be wide flange profiles with welded top and bottom flange cover plates. The wide flange profile was measured to have a depth of approx. 225 mm and a flange thickness of approx. 19 mm, and the cover plates to be approx. 12 mm thick and 260 mm wide. These may be historic US 8" WF @ 58lbs/ft sections per the 1946 US Steel catalogue. For the purposes of analysis, these were conservatively analysed as modern W200x71 sections, plus the cover plates as measured, which is a similar but conservative selection.

Above the splice, at the 3rd floor opening the upper columns were found to be wide flange profiles with no flange cover plates. The wide flange profile was measured to have a depth of approx. 200 mm and a flange thickness of approx. 12 mm. These may be historic US 8"

WF @ 31 or 35 lbs/ft sections per the 1946 US Steel catalogue. For the purposes of analysis, these were conservatively analysed as modern W200x46 sections, which is a similar but slightly conservative selection.

4.2.2 Beams

The steel floor beams, present interior column lines and with an additional beam at the mid-span of each bay, were understood to bear on the exterior masonry walls. These beams are generally clad in metal lath and plaster with exposed steel beyond.

Openings in the ceiling and wall finishes around a typical beam were made below the 3rd floor beam bearing on the south exterior wall. Lath and plaster was removed and the interior wythes of brick were removed adjacent to the beam (see Fig. 3). As expected based on available documentation, but of significant value to the project to definitively confirm, no steel column within the wall was located. A steel bearing plate is present below the beam, and the beam was found to bear approximately 200 mm (8"), or the full depth of the two interior wythes of backup brick (see Fig. 4). Additionally, the top flanges of the floor beams are noted to be embedded above the soffit of the slab.



Fig 3: Typical beam bearing on brick backup at exterior wall



Fig 4: Typical beam bearing length on exterior wall

4.3. Wall Assembly

4.3.1 Foundation Wall

The foundation wall assembly was investigated at the interior of the basement, toward the east end of the south foundation wall, by removing a portion of the interior plaster and terra cotta (see Fig. 5). The wall assembly was found to consist of, from the interior:

- plaster,
- 76mm (3") terra cotta tile,
- approx. 13 mm (1/2") gap, and the
- concrete foundation wall.

Naturally, the removals did not extend through the concrete wall, but the exterior is finished with limestone, which is presumably bearing on a ledge in the concrete foundation wall. Dovetail tracks were noted to be present on the interior face of the concrete foundation wall, and one dovetail anchor was found extending into the terra cotta tile (see Fig. 6). This may suggest that dovetail anchors were used on the exterior stone as well, and future masonry conservation work should be mindful of the fact that dovetail anchors from this period are prone to inconsistent placement and corrosion.



Fig 5: Opening in terra cotta tile at foundation wall, interior



Fig 6: Looking down at opening, dovetail anchor

4.3.2 Above-Grade Masonry Wall

The above-grade load-bearing masonry walls were investigated from the interior, primarily with brick removals completed above the 2nd floor level, near the east end of the north wall, 2nd floor (see Figs. 7 and 8). The interior brick was very difficult to remove and therefore only one opening was made, and conditions were otherwise exposed during investigations of beam pocket and slab-wall interface.

The wall assembly was found to consist of, from the interior:

- plaster,
- 76mm (3") terra cotta tile,
- approx. 13 mm (1/2") gap,
- two wythes of concrete brick backup masonry, laid in common bond, and the
- exterior wythe of clay brick, laid in Flemish bond.

The interior terra cotta tile was noted to be anchored to the backup brick by way of corrugated ties, as one of these was located in the removal area. No ties were noted between backup wythes or to the exterior brick, and the brick wythes are believed to be tied together solely by way of header bricks.



Fig 7: Removals at above-grade masonry wall, interior



Fig 8: Angled view of opening shown in Fig 7.

4.4. Slab-Wall Interface

Determining the slab-wall interface is important to defining a removal methodology that will not impact the integrity of the existing walls and to determining a temporary and permanent approach to laterally securing these walls.

Removal of the interior terra cotta to expose the interior side of the backup brick masonry just above the slab was completed in two locations at the 2nd floor (see Figs. 9 and 10). The interior brick was removed in one location and the slab was noted to extend into the backup masonry. The terra cotta wall tile bears on the slab, and a topping appears to have been placed overtop of the slab. It's likely that the exterior brick wall was built up to the underside of slab level with the slab poured directly onto it.

We do not believe that removing the existing slab from the exterior walls is necessary and that doing so may result in unnecessary damage to heritage fabric.



Fig 9: Removals at slab level, S wall, above 2nd floor



Fig 10: Add'l removals of interior finishes at slab level

4.5. Masonry Condition

The backup brick masonry, consisting of the two interior wythes of concrete brick laid in common bond, where exposed in the above-noted investigatory openings, appeared to be in very good condition. Joints were well filled with mortar, including collar joints, the bricks and mortar were intact, and it was quite difficult to remove individual bricks.

The exterior wythe of brick consists of an extruded clay brick, laid in Flemish bond. The mortar joints are generally intact and in good condition, though there are localized areas of debonding and erosion. No signs of systemic delamination or outward displacement of the exterior wythe was noted, and it appears to be well bonded to the backup brick masonry.

The vertical brick piers in the exterior wythe of brick project slightly towards the exterior. We suspect that this projection is created by simply thickening the collar joint between the exterior and backup wythes. There is also a continuous vertical mortar joint up each side of these piers where they interface with the adjacent brick masonry. While this might be cause for some concern, a header is present at every other course and this is believed to be a true header, tying the wythes together and no systematic separation is noted along these piers. See Figures 11 and 12.

No investigation was carried out of the exterior stone cladding at cornices, foundation level, etc. Given the age of the building, these may be keyed into the backup masonry and/or anchored to the backup brick using strap or cramp anchors. Often in buildings of this age anchorage was only provided to the top of the stones. However, no systemic issues were observed of displacement of the stones, and no special care is believed to be required for these in terms of the retention.

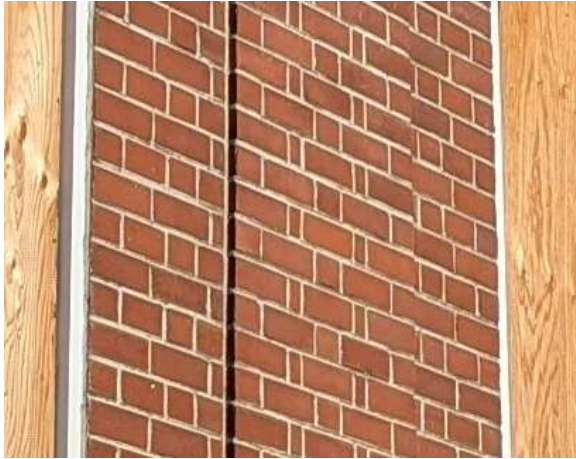


Fig 11: Typical projection at brick pier



Fig 12: Typical continuous vertical joint at brick pier

5. RETENTION APPROACH

The overall approach to retaining the existing facades is to retain these in-situ while the new building is constructed within the footprint of the existing. In order to minimize retention costs and impact to exterior areas along the facades, the retention will make use of the existing structural steel framing along the walls to be retained. This will be supplemented with new temporary steel bracing and lateral support members. The existing floors will then be removed and replaced with new floors, at matching levels, at which point the lateral support of the existing walls may be transferred to these new floors.

5.1. Sequencing

Careful sequencing of the work is a key factor in the successful retention of the existing facades in-situ and is necessary to ensure that overall stability and adequate lateral support of the facades to be retained is maintained at all times. The order of operations is anticipated to proceed generally as follows:

1. Remove existing terra cotta tile and interior finishes to enable access to backup masonry and enclosed structural steel elements that will be part of temporary bracing system.
2. Core or cut holes in the roof and floors at piers and install vertical strongbacks from above, using a crane, at the interior face of the existing walls to be retained, where indicated, with
 - a. full-height (spliced) strongbacks at braced bays and
 - b. partial-height strongbacks at unbraced bays
3. Install temporary steel framing, including
 - a. diagonal bracing within existing structural bays where bracing is identified to be installed,
 - b. lateral bracing in both directions at all existing column splices, where existing columns are identified to be retained,
 - c. lateral support angles to interior face of backup masonry, above all floor levels, and which angles will ultimately become part of the permanent anchorage for these façades.
4. Create separation cuts in the existing façade walls, at points where the existing facades will no longer be retained.
5. Complete the demolition of the portions of the building not to be retained or temporarily to remain as part of the temporary support system, including the facades (salvaging any stone or other material indicated for such), and following an engineered demolition plan.

6. Construct the raft slab in the basement, encasing the base of the remaining existing columns within the raft slab and securing the raft slab to the exterior foundation wall.
7. Remove and replace floors along the interior of the facades to be retained, one at a time, by:
 - a. anchoring the vertical strongback at the unbraced bays to the wall at the position indicated, centered on the slab to be removed,
 - b. saw-cutting the existing concrete slab to be demolished to free it from the walls to be retained,
 - c. temporarily shoring and then cutting close to the walls the existing steel beams bearing on the walls to be retained,
 - d. placing the new structural slab, casting around the columns to be temporarily retained,
 - e. securing the new slab to the lateral support angles placed above each floor level, and
 - f. repeating at the next floor, above.
8. Remove temporary steel bracing and strongback members, leaving the now-permanently affixed lateral support angles.
9. Cut off existing columns that were temporarily retained above the top of the raft slab, remove the columns, and infill new slab openings around them.

5.2. Temporary Bracing

The lateral support of the facades to remain during construction will make use of the existing structural steel, supplemented with temporary steel framing, as described below.

5.2.1 Bracing Within Existing Structural Bays

The existing column lines inboard of the façade walls to be retained will remain in-situ until the walls are laterally supported by the new permanent structure. Several of these column bays will be braced, in both the north-south and east-west directions, with new diagonal bracing members installed between the 2nd and 3rd levels, and from the 3rd floor to the roof level.

At unbraced bays, the existing and new slabs will act as diaphragms, to transfer lateral forces collected at these bays to the braced bays, noted above.

The bracing approach, developed to minimize the amount of bracing that is required, relies on the column bases to be encased within the raft slab, effectively resulting in a fixed connection.

5.2.2 Vertical Strongbacks

As confirmed during our investigation, there are no existing steel columns within the exterior walls to be retained. Vertical strongbacks, steel members placed against and anchored to the interior face of the walls, will be introduced at each column line along the walls to be retained, in order to serve the following functions:

- resolve axial tension and compression forces at braced bays, especially in order to resist tension forces that would otherwise be induced in the masonry by the diagonal bracing,
- bring forces collected by the lateral support angles at demolished floor levels to the diaphragms above and below the strongback, and
- provide an attachment point for the lateral support members perpendicular to the wall that brace the column splices to permit removal of the 2nd floor slab.

The strongbacks will be installed from above, through vertical pockets cored or cut into existing slabs at the interior face of the exterior walls, directly adjacent to the existing floor beams on column lines.

At braced bays, the strongbacks will be effective for the full height of the walls, with a splice between 2nd and 3rd floor levels. At the base of the strongback, they will be vertically and laterally anchored to the raft slab and/or inside face of the existing foundation wall.

At unbraced bays, the strongbacks will be set and repositioned as required to bridge from a removed floor to remaining and new floor diaphragms above and below, respectively.

5.2.3 Horizontal Lateral Support Angle at Existing Floor Levels

An angle will be placed along the full lengths of the walls to be retained, directly above each existing floor level, and anchored to the interior face of the walls with HILTI HIT-HY 270 or similar adhesive anchors.

The angle will span horizontally between vertical strongbacks on column lines. This angle is anticipated to be fairly large at L203x203x19, in order to meet stiffness requirements for lateral masonry support in this condition when slabs are removed.

Upon completion of each new floor slab, this angle and its anchorage to the wall will remain and be secured to the new floor slab.

5.2.4 Lateral Support at Column Splices

As noted in the observations section above, column splices were found above the 2nd floor level, at roughly the mid-height of the overall column, and this is believed to be typical of all existing columns. These splices will become unbraced upon removal of the 2nd floor.

It is necessary to ensure that lateral support remains in place at these splices, until the new 2nd floor structure is completed and may restrain the column or, if lateral support from the 2nd floor is not possible, until the existing column is no longer required.

The lateral bracing will consist of a horizontal steel member, spanning between all column splices along the column line parallel to the wall, and ultimately supported by a braced bay in that column line. In the direction perpendicular to the wall, the splice will be braced by a member that spans from the splice to the steel strongback at the interior face of the wall.

The bracing member will be sized in accordance with the strength and stiffness requirements in steel handbook's procedure for bracing assemblies, in accordance with CSA S16 clause 9.2.6.2.

5.2.5 Other Conditions, Miscellaneous Framing

There are isolated conditions where the typical bracing pattern may not apply, or may conflict with vertical elements in the new construction, such as stair and elevator shafts. These details will be developed as the concept is pushed into further design and as comprehensive temporary framing drawings are produced.

Further coordination with the overall building consultants will be required. We anticipate providing additional steel framing around these elements, or resizing of specific members to resist intermediate loads, should it not be possible to work around temporary framing, or where these new elements may not be relied upon to provide temporary lateral support.

5.3. **Disconnecting Material to be Demolished/Removed**

5.3.1 Terra Cotta Tile and Interior Finishes

The terra cotta wall tiles and interior plaster finishes, along with recent steel studs and gypsum board, as well as original and more recent ceiling finishes will need to be removed

from most areas in order to install members needed for the temporary stabilization of the walls to be retained.

These components are not load bearing, and they may be removed without impact to the balance of the wall assemblies or structural systems that must remain temporarily. Care must still be taken to make sure removal is completed safely, and to not leave sections of terra cotta tile vertically unsupported.

5.3.2 Wall Cutting and Demolition

The portions of the existing facades to remain must be separated from those portions that are to be demolished, prior to demolition. We propose to make this separation by way of saw-cutting, at an appropriate mortar joint line in the exterior wythe, in a position that will not leave partial bricks or stone fragments with less than a 1:1 aspect ratio of length to course height. The saw cut will penetrate the full depth of the masonry wall assembly.

Upon completion of the cutting, it will be necessary to consolidate the wall ends, by raking out any loose mortar and filling these and any existing voids with new mortar. Additional anchorage will also be provided to secure the cut ends of any stone units to the backup brick.

Finally, we recommend temporarily capping the wall ends with plywood and a membrane, to mitigate water infiltration and any resulting damage until these ends are permanently tied into the building's wall envelope.

5.3.3 Removal of Slabs and Beams

The portions of floor slabs to be demolished must be separated from those portions that will remain temporarily as part of the bracing system. We propose that this be achieved by saw-cutting, in continuation of the line of cutting in the walls.

As the existing floor slabs and beams are pocketed into the facades to be retained, we propose to cut these free at the appropriate times, by saw-cutting along the slab edge near to the wall, and by cutting the beams free from the walls. The remaining stubs of slabs and beams would remain in the walls.

While the slabs are concrete and pose little concern, the beam ends do carry the potential for future corrosion, causing future corrosion jacking of the masonry to be preserved. However, we note that where exposed, the embedded beam end showed only minimal surface corrosion, we noted no significant evidence of corrosion jacking at present. Additionally, the effort and impact to the heritage fabric from attempting to remove these beam ends now would be similar to the effort required to complete this work in the future, if it ever becomes required. For these reasons, we propose to retain the beam stubs within the walls.

6. DISCLAIMER & LIMITATIONS

This report is based on and limited to information supplied to John G. Cooke & Associates Ltd. by VanMar Developments Inc. personnel and representatives, and by observations made during walk-through inspections of the subject property. Only those items that are capable of being observed and are reasonably obvious to John G. Cooke & Associates Ltd. or have been otherwise identified by other parties and detailed during this investigation can be reported.

The work reflects the Consultant's best judgment in light of the information reviewed by them at the time of preparation. There is no warranty expressed or implied by John G. Cooke & Associates Ltd. that this investigation will uncover all potential deficiencies and risks of liabilities associated with the subject property. John G. Cooke & Associates Ltd. believes, however, that the level of detail carried out in this investigation is appropriate to meet the objectives as outlined in the request. We cannot guarantee the completeness or accuracy of information supplied by any third party.

John G. Cooke & Associates Ltd. is not investigating or providing advice about pollutants, contaminants, or hazardous materials.

This report has been produced for the sole use of VanMar Developments Inc. and cannot be reproduced or otherwise used by any third party unless approval is obtained from John G. Cooke & Associates Ltd. No portion of this report may be used as a separate entity; it is written to be read in its entirety.

We trust this report covers the scope of work as outlined in our Terms of Reference. Should there be any questions regarding this report, or if we can be of any further assistance to you, please contact us.

JOHN G. COOKE & ASSOCIATES LTD.



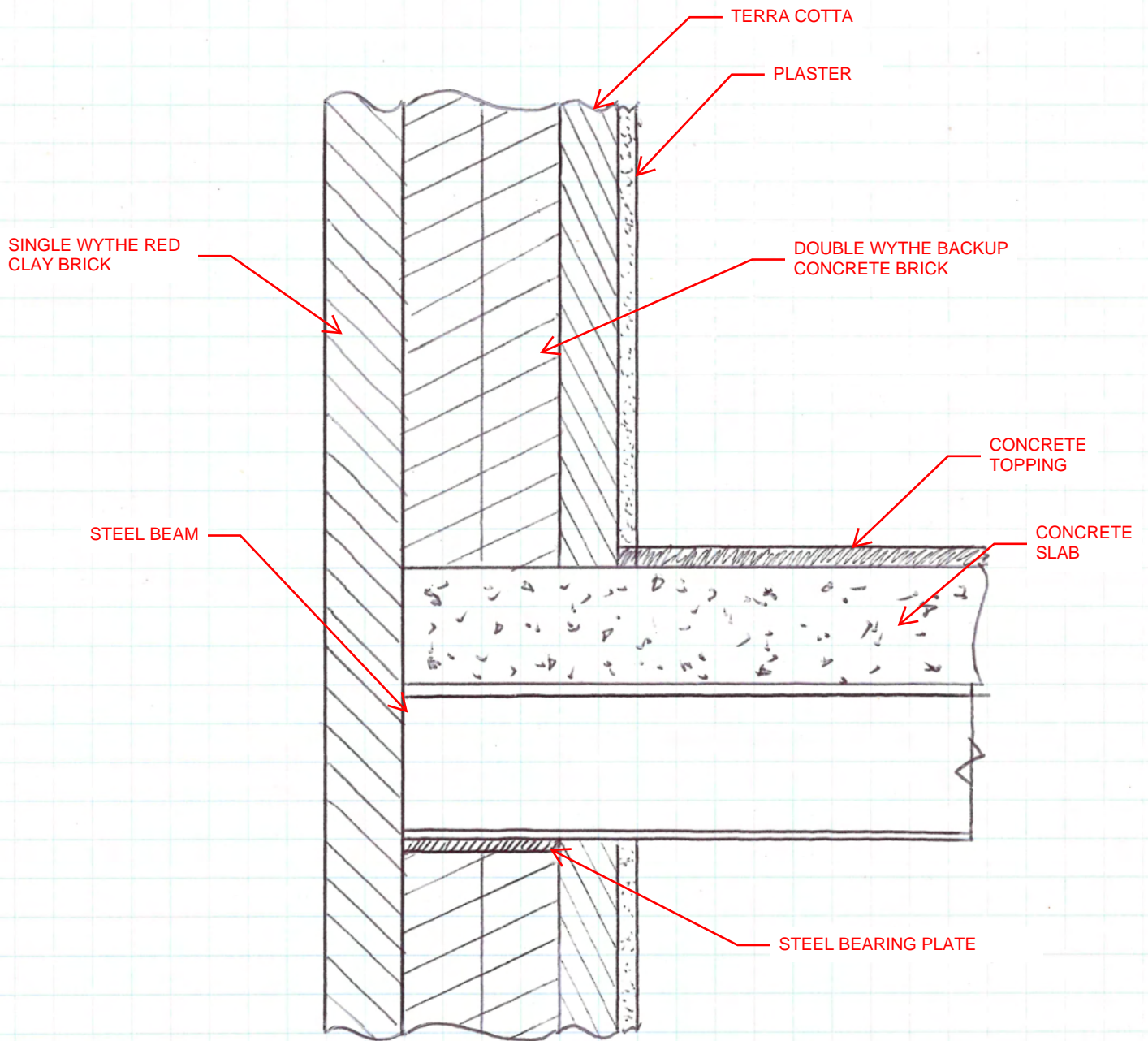
Jonathan Dee, P. Eng., ing., CAHP
Principal

JD/jd
24012/10 Duke - Structural Assessment Report

APPENDIX A

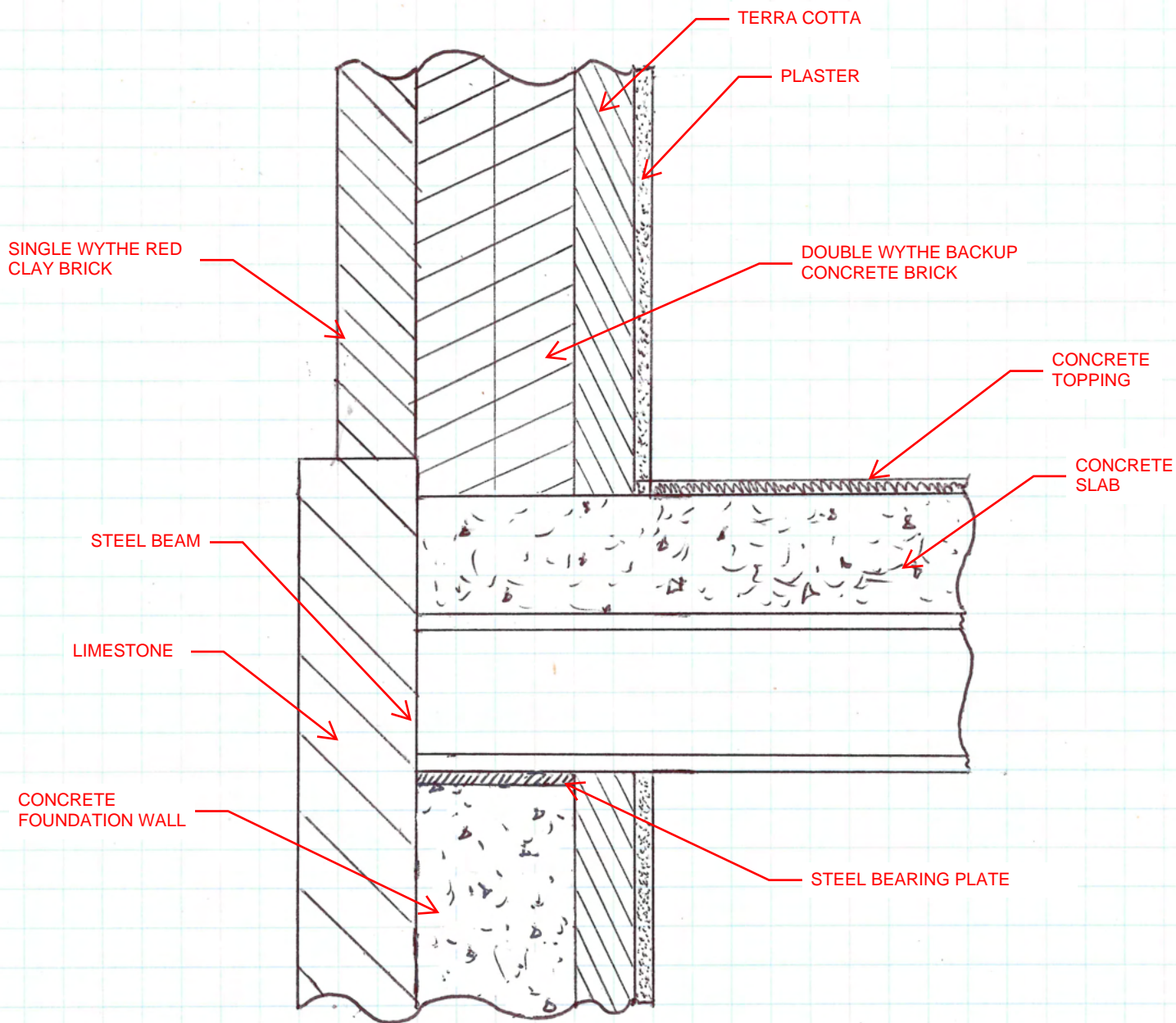
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SKETCHES OF TYPICAL EXISTING KEY DETAILS



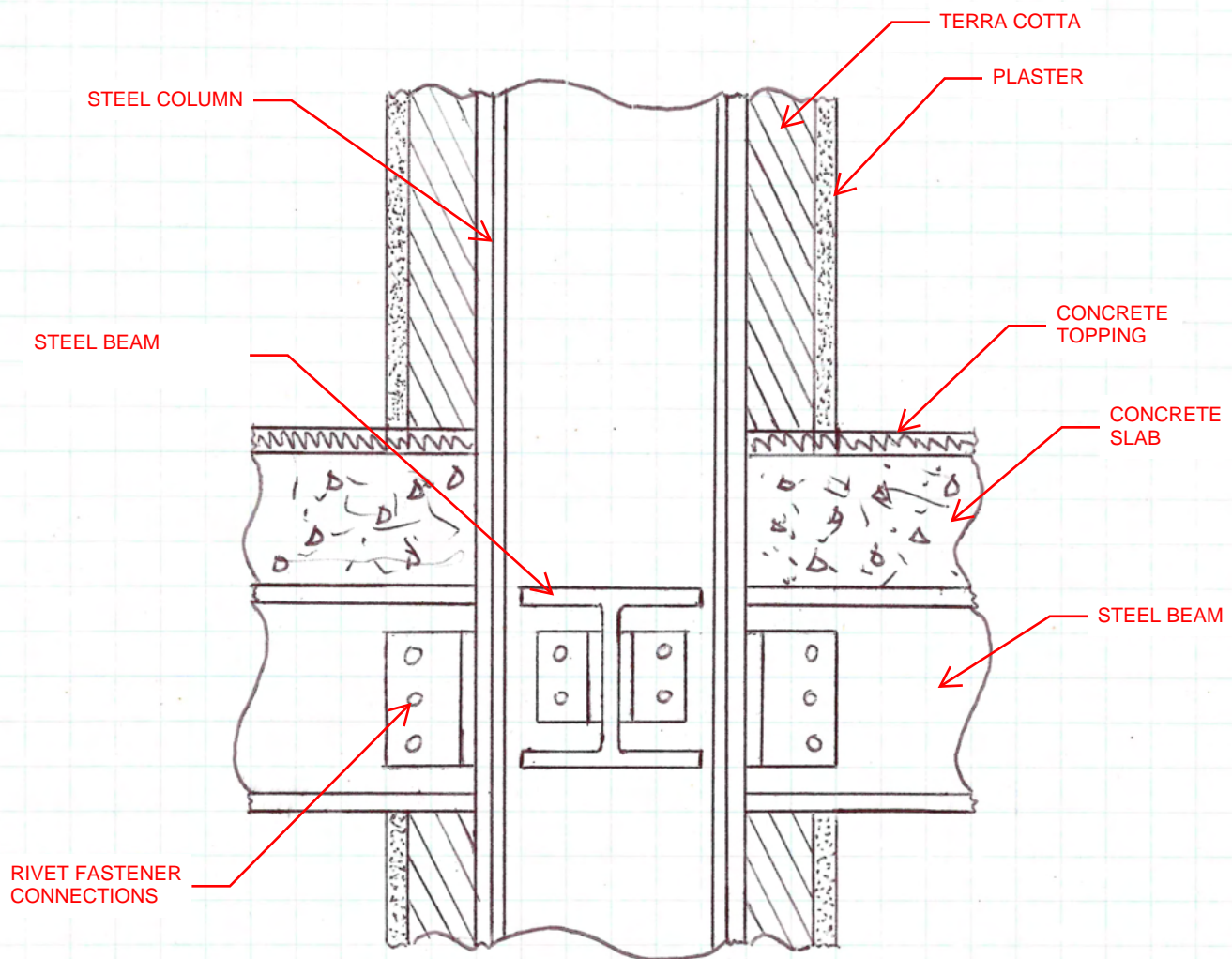
SLAB-WALL CONNECTION - TYP.

24012
Andrew Azimov
Nov. 3/23



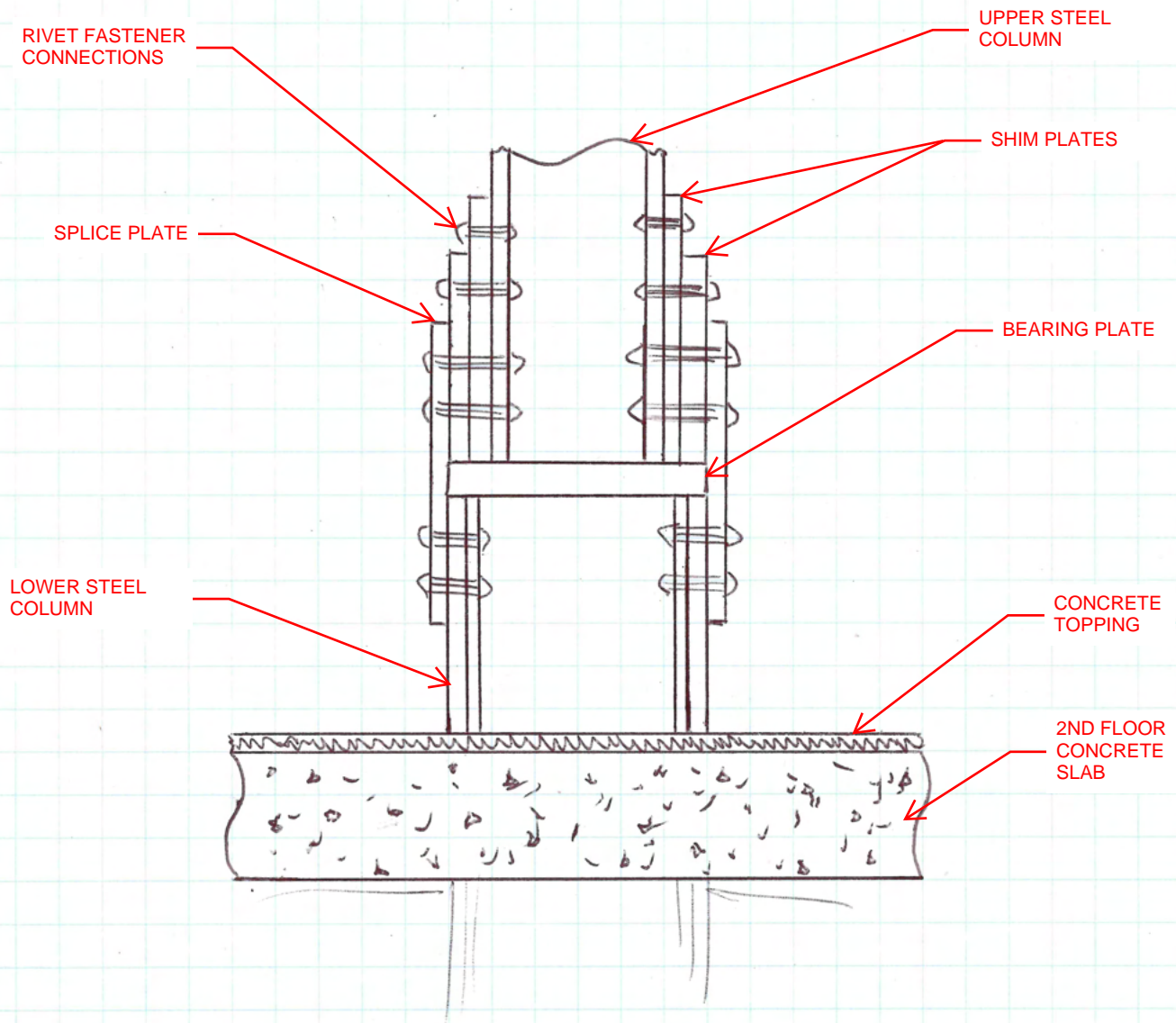
SLAB-WALL CONNECTION - BASEMENT

24012
Andrew Azinovic
Nov. 3/23



SLAB-COLUMN CONNECTION - TYP.

NOTE:
TERRA COTTA, PLASTER FINISH,
ETC. NOT SHOWN FOR SIMPLICITY.



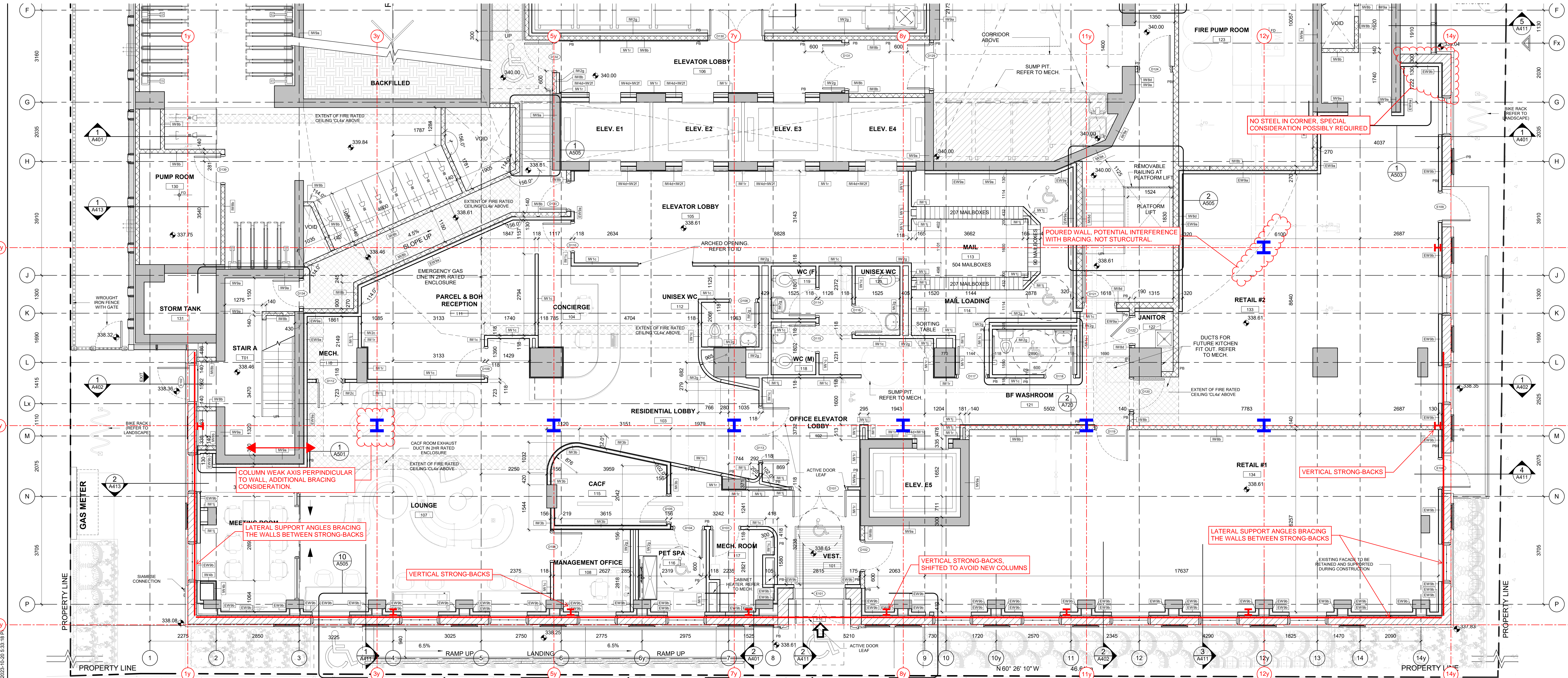
COLUMN SPLICE - ABOVE 2nd FLOOR

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Andrew Azinovic
Nov. 3/23

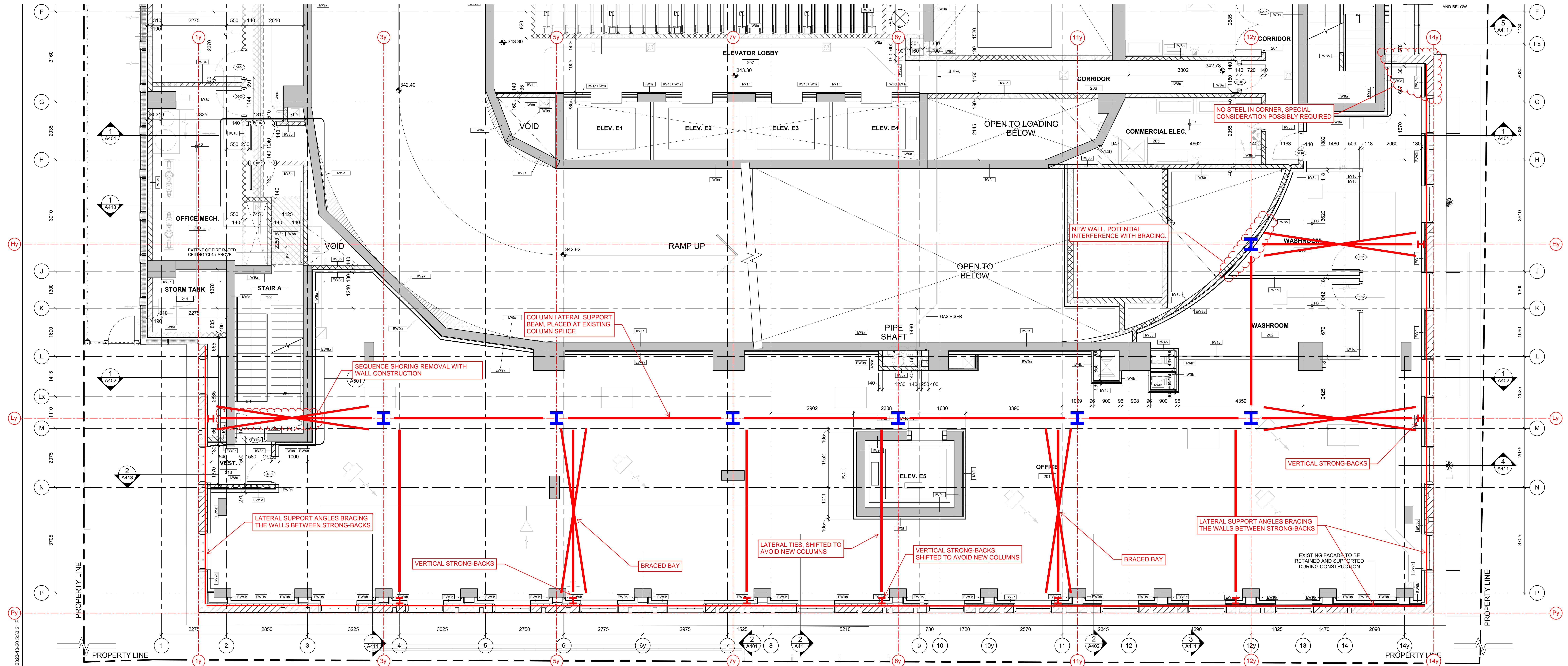
APPENDIX B

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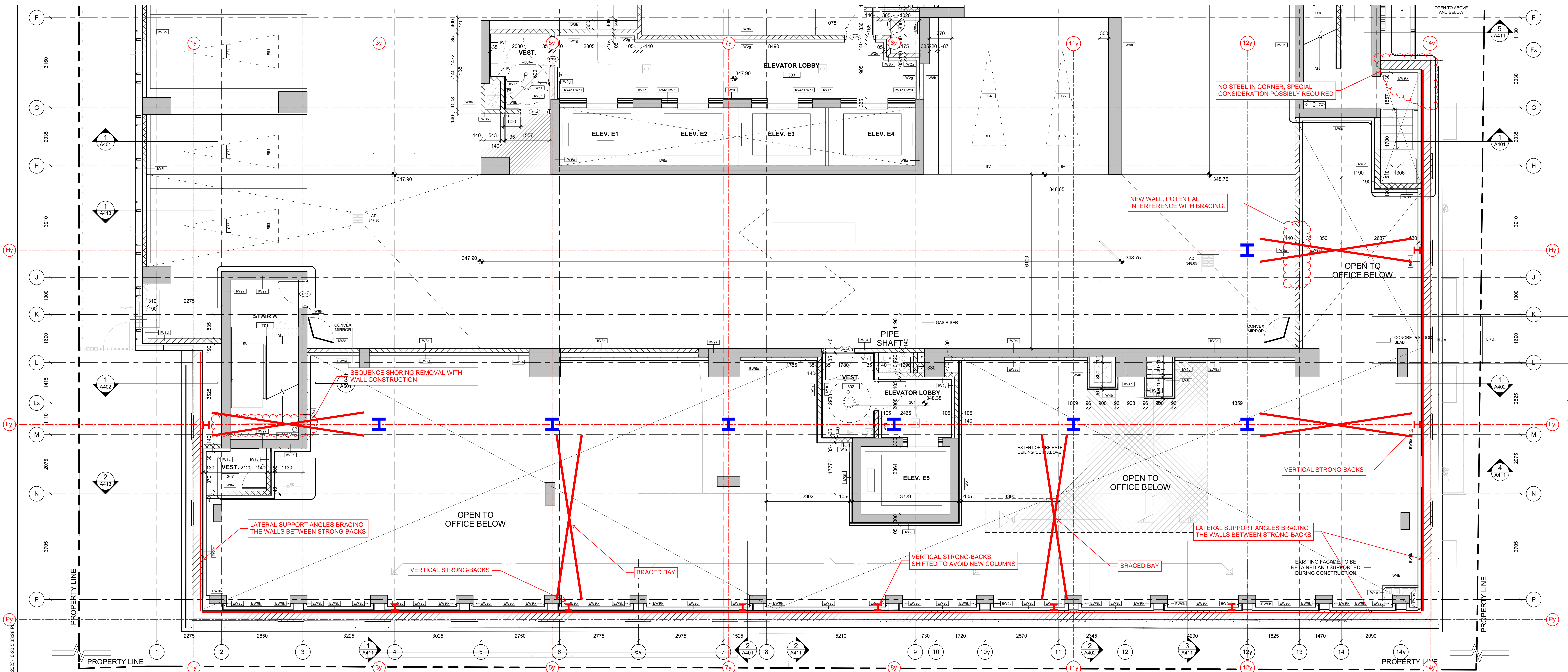
RETENTION FRAME CONCEPT SKETCHES



FLOOR 1 PLAN

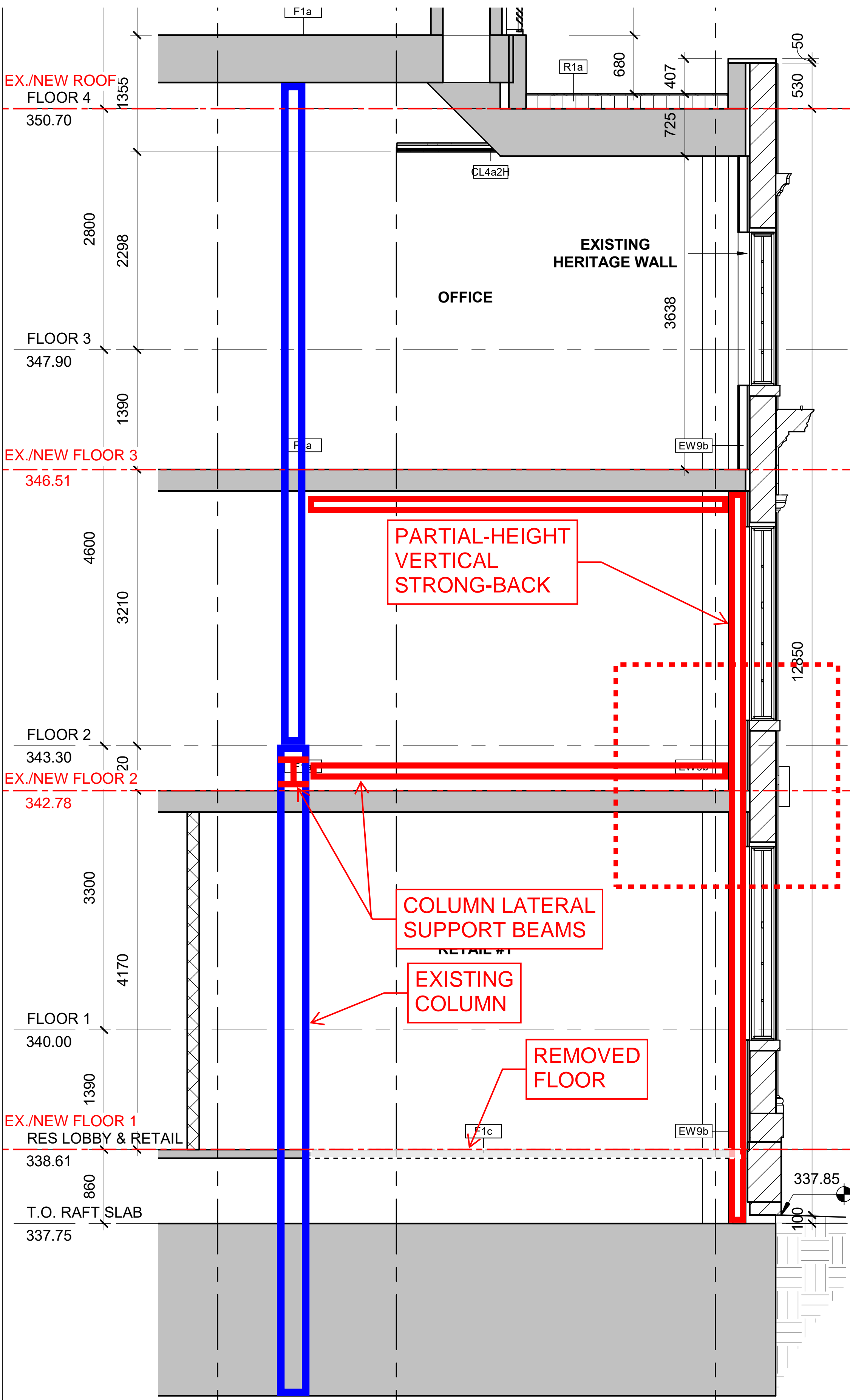


FLOOR 2 PLAN

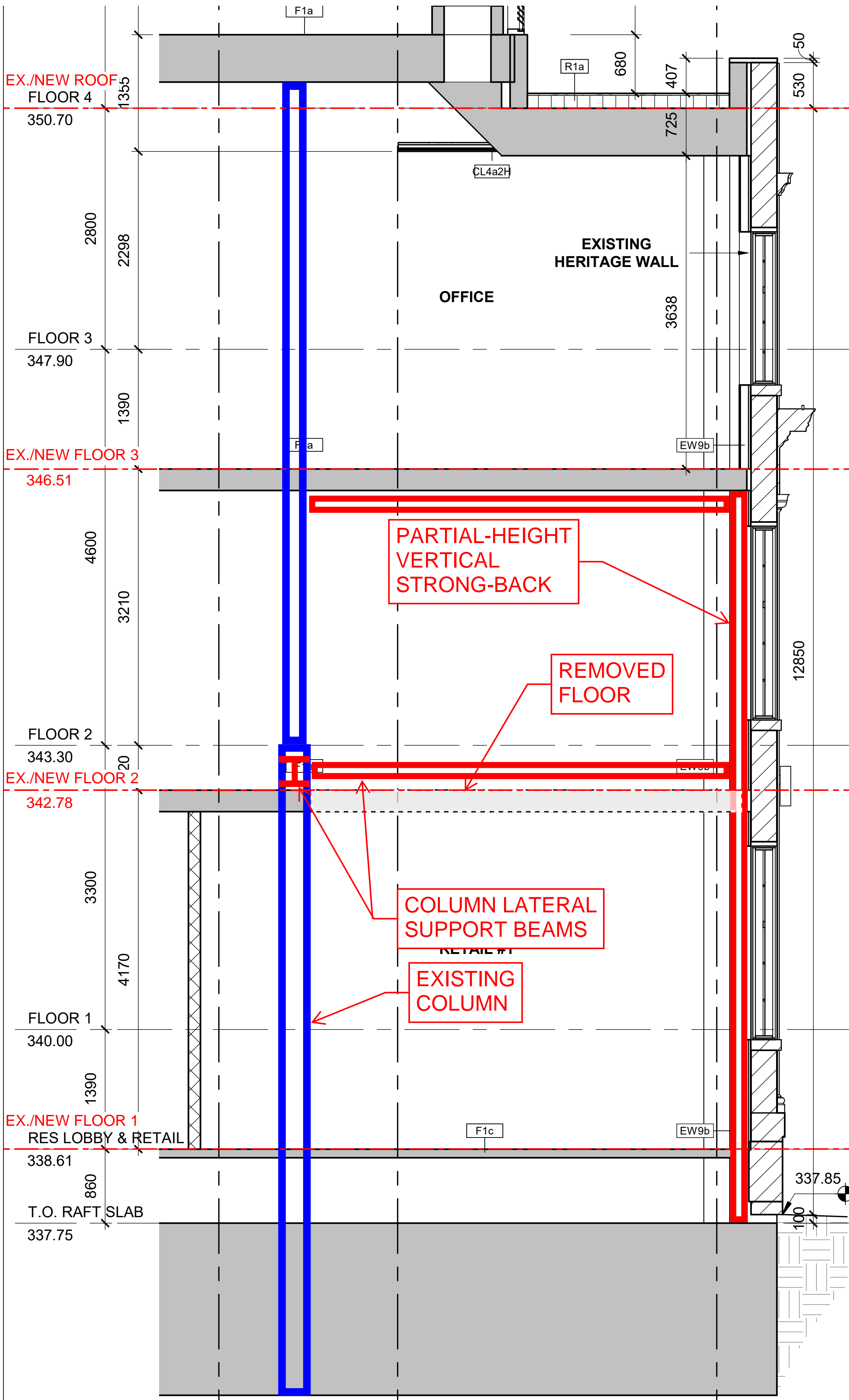


FLOOR 3 PLAN

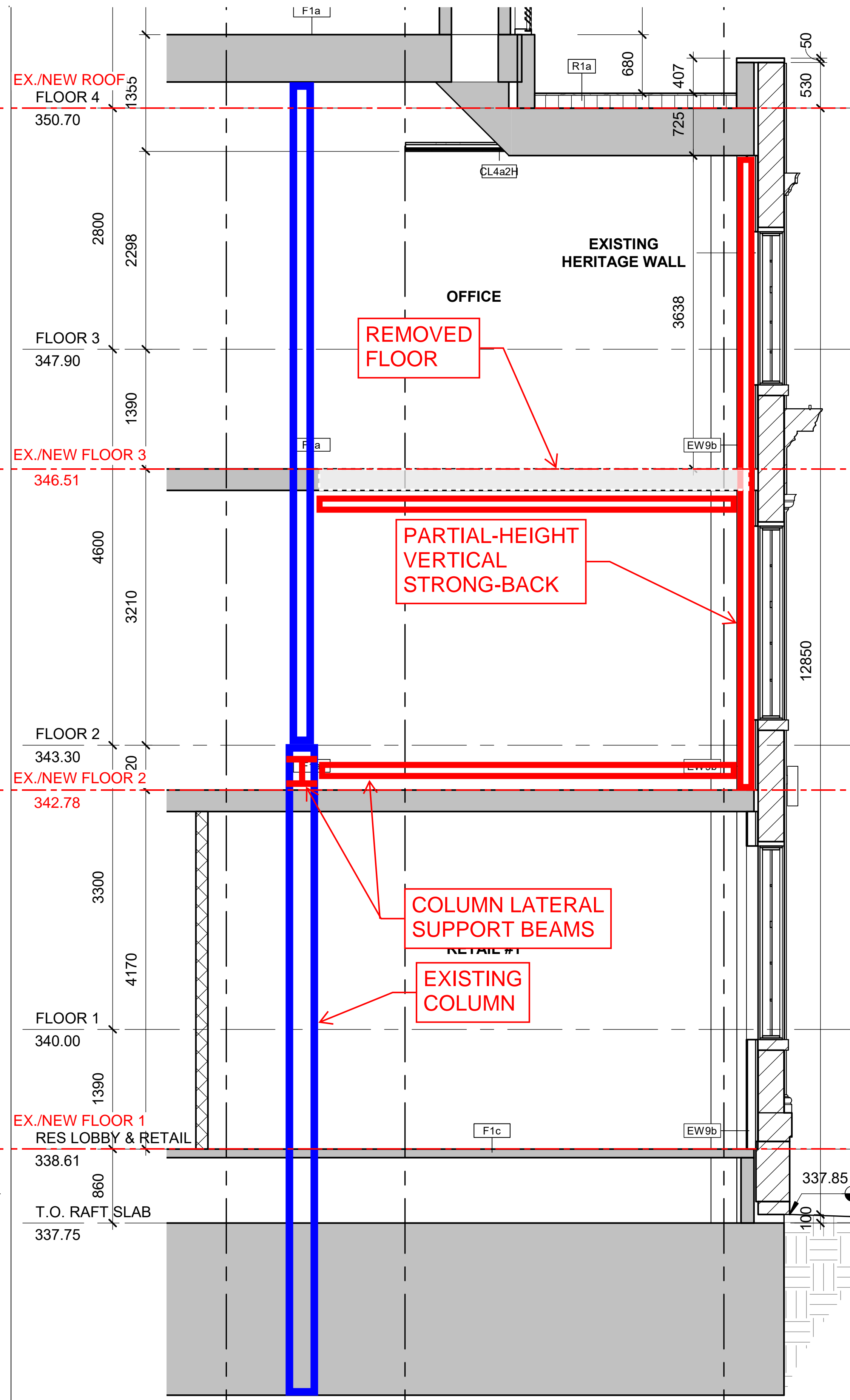
TYPICAL UNBRACED BAY SEQUENCING



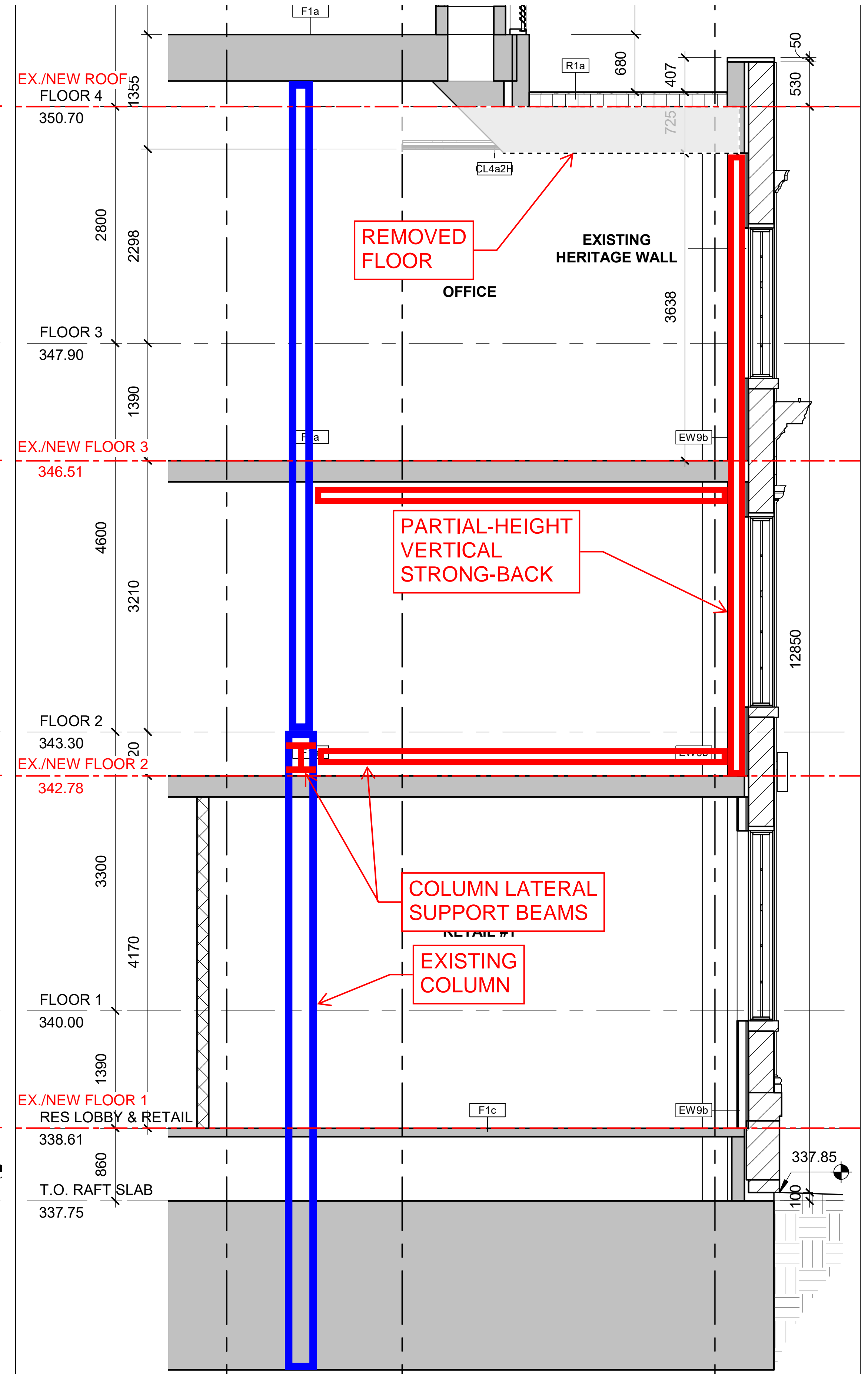
MAIN FLOOR REMOVAL



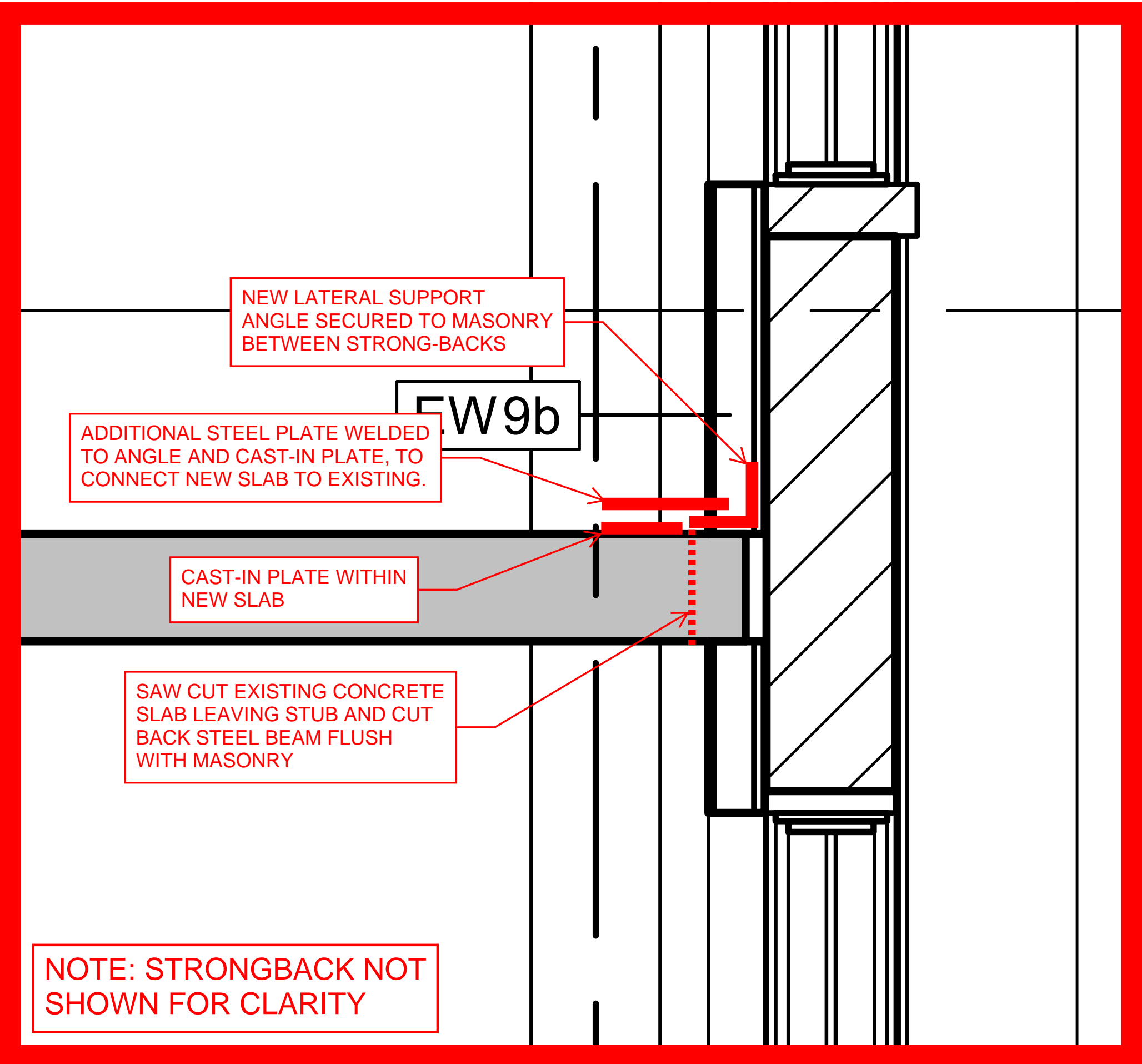
2ND FLOOR REMOVAL



3RD FLOOR REMOVAL

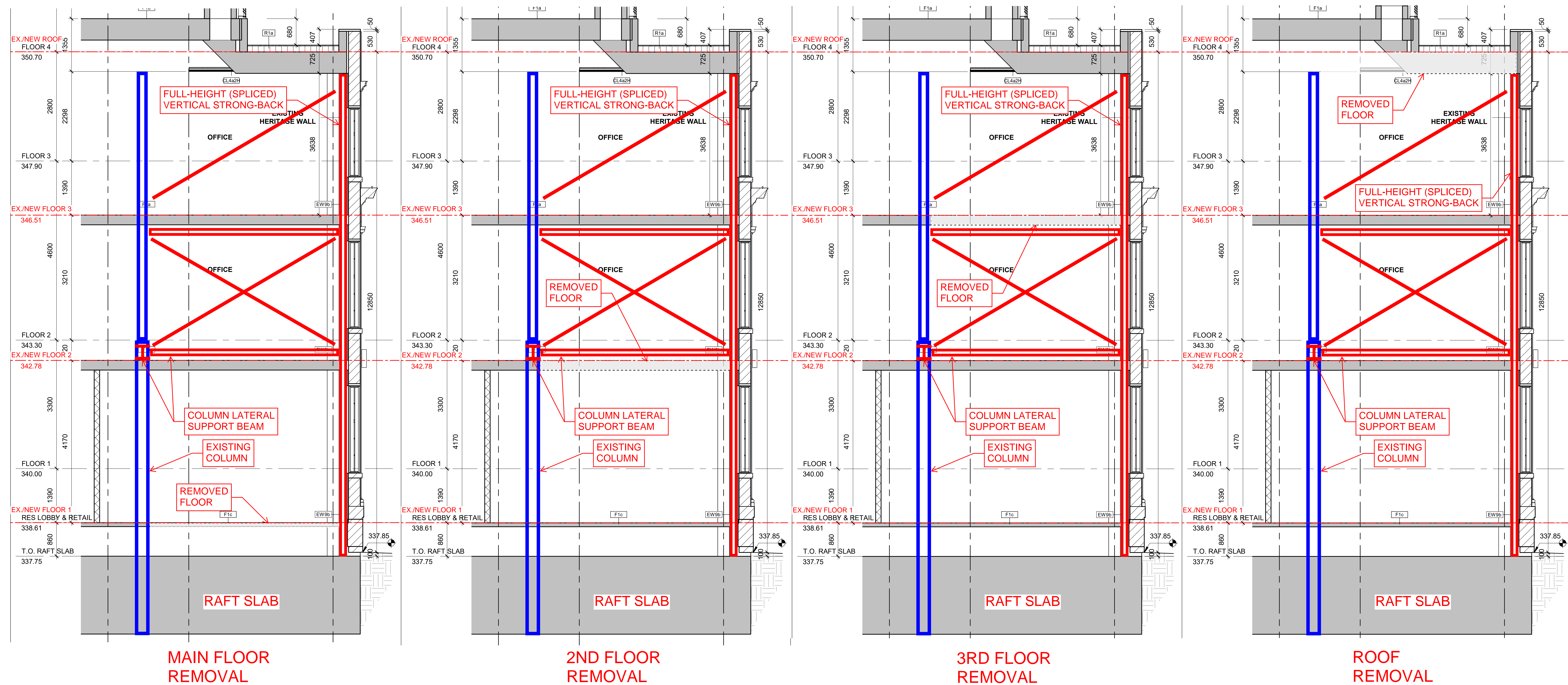


ROOF REMOVAL



NEW SLAB CONNECTION, TYP.

TYPICAL BRACED BAY SEQUENCING



10 Duke Street West
Kitchener, Ontario

**Existing Façade Retention
Vibration Monitoring Plan**

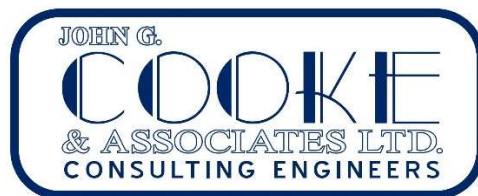


Project No. 24012

Draft report issued December 15th, 2023

Final report issued December 15th, 2023

Report Prepared by:



1. INTRODUCTION

John G. Cooke & Associates Ltd. (JCAL) was retained by VanMar Developments Inc. (VanMar) to provide consulting structural engineering services as it relates to the retention of portions of the primary façades of the existing building at 10 Duke Street West, in Kitchener, Ontario, for incorporation of these facades with a planned redevelopment on the site. The redevelopment will include the construction of a new tower that occupies much of the footprint of the existing building presently on the site.

VanMar received conditional approval of their Site Plan Application - SP22/104/D/AP. The draft version of this approval, dated June 23, 2023 and provided to JCAL, included Heritage Planning Conditions which require

[t]hat the Owner submits a Risk Management Plan, including a Vibration Monitoring Plan commenting on the means and methods that shall be used to minimize vibration to 10 Duke Street West during grading, construction, servicing or other site development works to the satisfaction of the Manager of Development Review and the City's Heritage Planner.

This report is intended to satisfy the requirement for a Vibration Monitoring Plan.

Further to other conditions in the Site Plan Application approval, JCAL has already completed an investigation of the subject site, including destructive exploratory openings, and prepared a Structural Assessment Report, dated December 4th, 2023.

Design progress drawings for the new tower have been completed and reviewed by JCAL, to 75% progress at the time of this writing. A geotechnical report (File no. G21270, Chung & Vander Doelen Engineering Ltd.) has been prepared and also reviewed by JCAL.

2. TERMS OF REFERENCE

The scope of work for John G. Cooke & Associates Ltd. is based on JCAL proposal P23208, dated September 18, 2023.

3. EXISTING CONDITIONS

JCAL completed an investigation of existing conditions at the subject site. Observations made during that investigation are more comprehensively described in our Structural Assessment Report. A summary of the relevant facts are included in the discussion below.

The existing building is constructed predominantly of one-way concrete slabs, supported by steel beams, which are supported by interior steel columns and, at the building perimeter, load-bearing multi-wythe brick masonry exterior walls. The existing building is a 3-storey building plus a full-height basement level.

The existing exterior walls are in good condition where visible on the exterior, and where exposed during investigatory openings made at the interior. The walls consist of an exterior wythe of clay brick with two backup wythes of concrete brick at the interior. These are bonded together with regular header bricks. Mortar joints remain generally intact, except for localized areas. and openings at the interior revealed a well-constructed wall assembly with solid mortar present in the head and collar joints. Stone masonry is included at details such as bands, sills, and surrounding the main entrance.

Localized repointing and other conservation work will be required as part of the preservation and retention of the relevant portions of the existing façades, including at stone details and throughout the masonry. No bulging, significantly displaced stones, or excessively deteriorated or unstable

masonry was noted that would cause us to consider this building to be especially vulnerable to vibrations. Masonry conservation work is not expected to be required in advance of construction.

One caveat is at the parapet which extends above the roof level. The interior face of the parapet is fully covered with metal flashing. While it was not possible to assess the masonry at arms-length from the exterior, and mortar joints here do appear to be generally intact, there is some efflorescence at the exterior of the parapet. This is an indication of high moisture content and migration, suggesting a higher likelihood of deterioration of masonry within the core of the wall. There is nothing to suggest a deviation from the course of action proposed herein, but the condition of this parapet will be monitored and assessed further, as work is ongoing on this project.

4. PLANNED CONSTRUCTION

As noted in the Introduction section, above, the project includes the planned retention of a portion of the primary facades of the existing building at 10 Duke St W, for integration with a new tower to be constructed on the site. The project's intent is to retain the existing facades by primarily making use of the steel frame of the existing load-bearing masonry and steel-framed building, supplemented by temporary bracing and supports as necessary, until the façade may be secured to the new permanent structure (designed by other consultants), floor by floor, as construction progresses.

The interior finishes in the building are typically applied to a terra cotta tile backup placed with an approximately 25 mm gap to the interior wythe of backup brick. As part of the work to stabilize the façade and to integrate it with new wall assemblies, it is proposed to remove this terra cotta tile and all finishes. As such, impact to plaster or other finishes are not a consideration in determining the vibration susceptibility of the building.

The new tower will be constructed with a raft foundation, the base of which will be set close to the basement level of the current building. The raft will occupy much of the height of the current lower level of the building, and, aside from elevator pits, the occupiable space of the building will generally extend from approximately grade level and above. The geotechnical report indicates that native soil on the site consists generally of fine granular deposits and silty clay till. It is clear that rock will not be encountered for the proposed depth of excavation.

As a result of the foundation and soil conditions, excavation is anticipated to be relatively minimal. It is further understood, as communicated by VanMar, that the limited excavation that will be required will proceed using sloped excavations. Certainly, no blasting or hoe ramming of rock is anticipated to be required.

Currently, there is a basement mechanical/boiler room within the existing building that extends further below grade than typical conditions, approximately an additional floor level below grade. This room is located against the North (rear) wall of the building and extends for approximately 10m in each direction (about 1½ structural bays). The brick chimney which extends up beyond the roof is quite visible and is located at the northeast of this room. It will be necessary to fill and level the subgrade prior to construction of the raft slab, and the geotechnical report provides two potential options for infilling at this room, to bring it flush with the remaining basement. The first is to place lean mix concrete for the height required, and the second is to place heavily compacted granular fill. VanMar have indicated that they will place lean mix concrete to fill this void, which would not result in significant vibrations being induced, as the costs are quite comparable between the options.

Overall, vibration from excavation is expected to be relatively minimal. General vibration from other construction is expected to stem from miscellaneous construction equipment and activities, such truck traffic adjacent to the facades retained in-situ, and no special circumstances are anticipated to apply.

Localized vibration may be induced from demolition and construction activity near the masonry to be retained. The bracing and construction sequencing and the design of temporary lateral support for the existing masonry facades to remain in-situ are also being prepared by JCAL. Provisions for saw or torch cutting of masonry, concrete, and steel elements connecting to the masonry to be retained will be included. Specifically,

- saw cuts will be introduced in masonry walls at the interface with masonry to be retained before demolition is to occur on portions that are not to be retained,
- saw cuts will be introduced in the concrete slabs along the masonry walls to be retained, before those slabs are removed,
- steel beams that are connected with elements to remain will be torch cut prior to removal, and
- the use of chippers on elements that remain connected to the masonry to be retained will be limited to 12 lb. electric models, unless a mock-up demonstrates that alternatives do not risk damaging masonry.

5. VIBRATION LIMITS

Vibration limits are not stipulated in the City's conditions, nor is there a municipal bylaw in effect to limit vibrations. The nearby City of Toronto has placed limits on construction vibrations, in their bylaw No. 514-2008, and those limits are indicated in Figure 1, below.

Table 1.0 "Prohibited Construction Vibrations"	
Frequency of Vibration (hertz)	Vibration Peak Particle Velocity (mm/sec)
Less than 4	8
4 to 10	15
More than 10	25

Fig 1: City of Toronto construction vibration limits

The above-noted vibrations, while a good benchmark, are limits for any construction activity and are not necessarily applicable or appropriate to all projects. For historic buildings we typically recommend following the limits established in the DIN 4150-3 Standard, per line 3 of Table 1, included at Figure 2, below. The limits are

- **3 mm/s for vibrations less than 10 Hz,**
- **3 to 8 mm/s for vibrations between 10 to 50 Hz, to be interpolated linearly,**
- **8 to 10 mm/s for vibrations between 50 to 100 Hz, to be interpolated linearly, and**
- **10 mm/s for vibrations above 100 Hz.**

We recommend proceeding with the limits indicated above in this case.

These limits are quite low, and are intended to mitigate effects of vibration on historic buildings that might include deteriorated materials or sensitive finishes. The masonry facades to be retained on this building can be expected to be more resilient than many more delicate built historic structures.

Though we do not anticipate exceedances even of these values given the understood nature of the adjacent construction, these limits could be re-evaluated should these limits be found to have significant impact on construction.

Table 1: Guideline values for vibration velocity to be used when evaluating the effects of short-term vibration on structures

Line	Type of structure	Guideline values for velocity, v_1 , in mm/s			
		Vibration at the foundation at a frequency of			Vibration at horizontal plane of highest floor at all frequencies
		1 Hz to 10 Hz	10 Hz to 50 Hz	50 Hz to 100 Hz*)	
1	Buildings used for commercial purposes, industrial buildings, and buildings of similar design	20	20 to 40	40 to 50	40
2	Dwellings and buildings of similar design and/or occupancy	5	5 to 15	15 to 20	15
3	Structures that, because of their particular sensitivity to vibration, cannot be classified under lines 1 and 2 and are of great intrinsic value (e.g. listed buildings under preservation order)	3	3 to 8	8 to 10	8
*) At frequencies above 100 Hz, the values given in this column may be used as minimum values.					

Fig 2: DIN 4150-3 guideline on vibration limits for various structure types

6. VIBRATION MONITORING AND MONITOR PLACEMENT

We recommend that vibration monitoring be implemented with the placement of two tri-directional digital seismographs to be securely affixed to the façade. See Figure 3.

- The first monitor is to be affixed to the interior face of the concrete foundation wall below the façade, just above the level of the raft slab, within the central third of the South (front) elevation wall. See red star in Fig 3.
- The second monitor is to be affixed to the interior face of the façade, immediately above the first monitor, within 600 mm of the underside of the roof level. See blue star in Fig 3.

Existing interior finishes and terra cotta tile are to be removed from the wall prior to installation, such that the monitors can be affixed to the underlying concrete or backup brick masonry.

The monitors and associated reporting are to continue through the course of construction on the project, or until such time as major vibration inducing construction activities have been completed, there are no regular vibration exceedances, any potential for damage from vibration is not anticipated, and the Consultant advises that they may be removed.

The vibration monitors are to be supplied and installed by a specialized firm that has experience providing such monitors for the duration of construction projects.

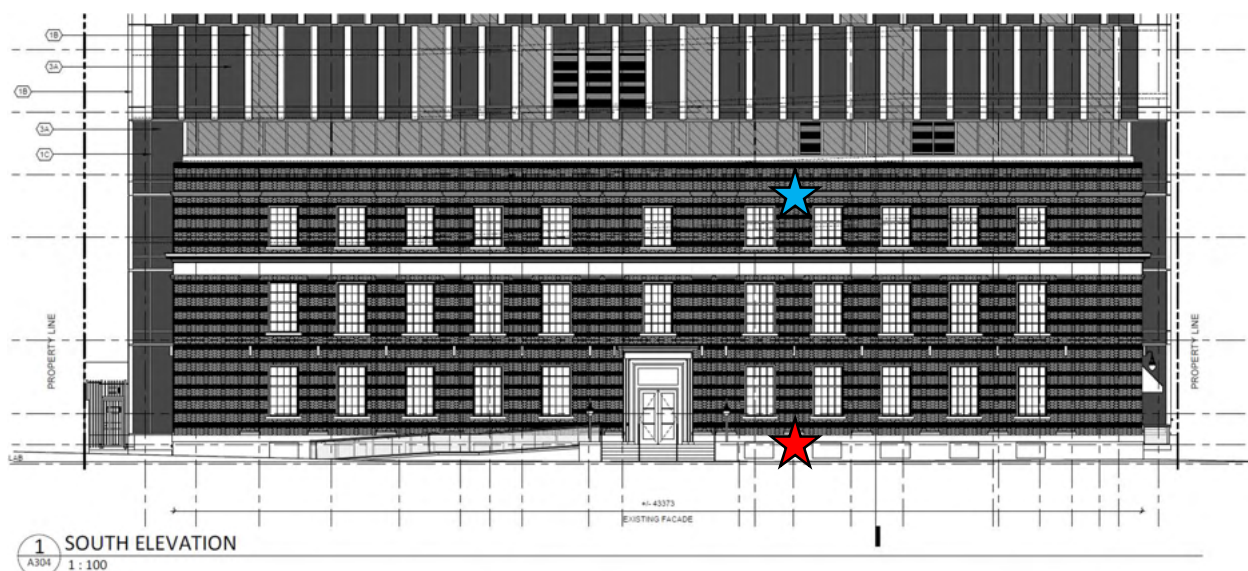


Fig 3: Part South Elevation, indicating proposed locations of vibration monitors.

7. NOTIFICATION AND EXCEEDENCE PROCEDURE

The vibration monitors must be connected for continual reporting of vibration events that result in exceedances of the vibration limits stipulated above. Exceedance events shall be reported by automated email to the Contractor, Owner, and appropriate Consultant(s).

In the event of an exceedance the Consultant is to be contacted. If the exceedance is not the result of disturbing the vibration monitoring equipment or very localized activity around it (both of which are common causes of exceedances), and the Consultant considers the exceedance to be significant, the Consultant shall review on site for any damage that may have resulted from the exceedance.

Future construction activity shall be modified to avoid further exceedances. In cases where this is not possible, and the exceedance was not observed to have had any impact to the structure, the Consultant may advise with respect to increased vibration limits. Note that this approach is intended to be generally consistent with the DIN 4150 standard, which states that "Exceeding the values in table 1 does not necessarily lead to damage; should they be significantly exceeded, however, further investigations are necessary." As noted above, it is our view that this building would likely tolerate vibration limits above those stipulated.

8. DISCLAIMER & LIMITATIONS

This report is based on and limited to information supplied to John G. Cooke & Associates Ltd. by VanMar Developments Inc. personnel and representatives, and by observations made during walk-through inspections of the subject property. Only those items that are capable of being observed and are reasonably obvious to John G. Cooke & Associates Ltd. or have been otherwise identified by other parties and detailed during this investigation can be reported.

The work reflects the Consultant's best judgment in light of the information reviewed by them at the time of preparation. There is no warranty expressed or implied by John G. Cooke & Associates Ltd. that this investigation will uncover all potential deficiencies and risks of liabilities associated with the subject property. John G. Cooke & Associates Ltd. believes, however, that the level of detail carried out in this investigation is appropriate to meet the objectives as outlined in the request. We cannot guarantee the completeness or accuracy of information supplied by any third party.

John G. Cooke & Associates Ltd. is not investigating or providing advice about pollutants, contaminants, or hazardous materials.

This report has been produced for the sole use of VanMar Developments Inc. and cannot be reproduced or otherwise used by any third party unless approval is obtained from John G. Cooke & Associates Ltd. No portion of this report may be used as a separate entity; it is written to be read in its entirety.

We trust this report covers the scope of work as outlined in our Terms of Reference. Should there be any questions regarding this report, or if we can be of any further assistance to you, please contact us.

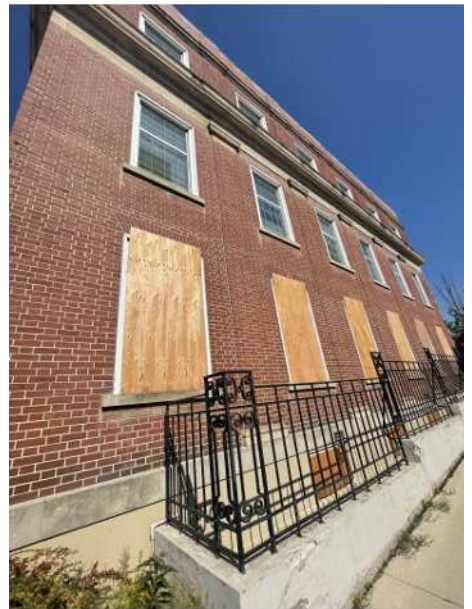
JOHN G. COOKE & ASSOCIATES LTD.

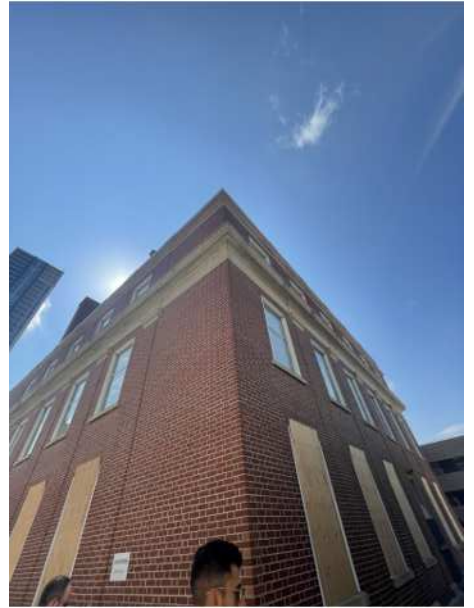


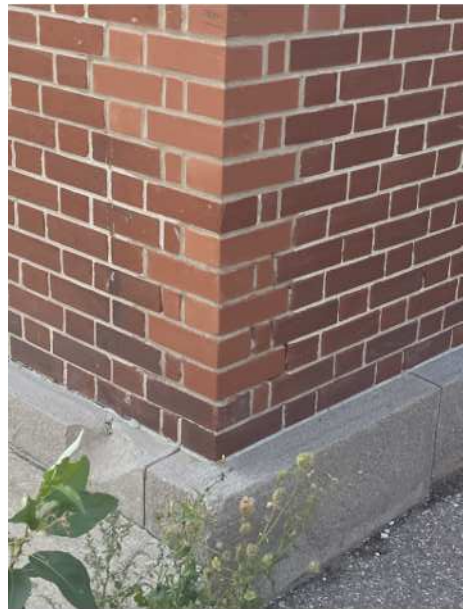
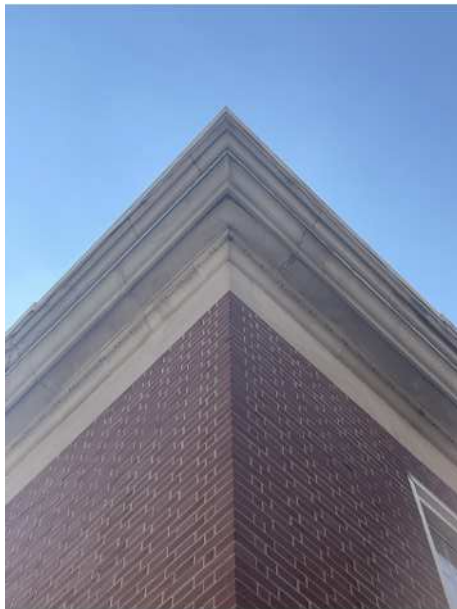
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Principal

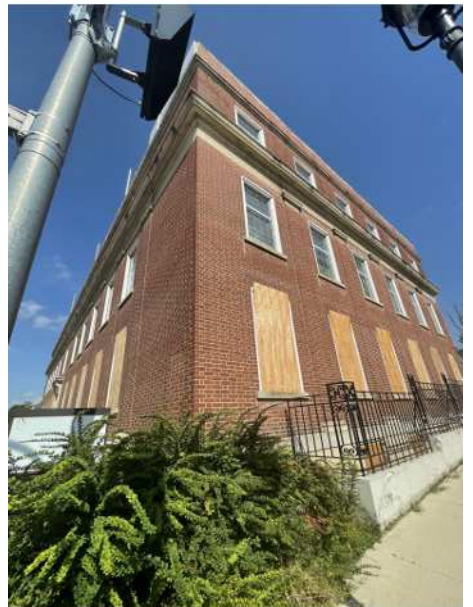
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Appendix C: Site Visit Photos

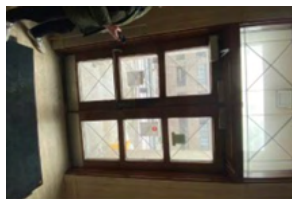




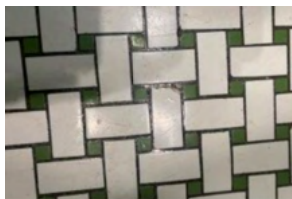




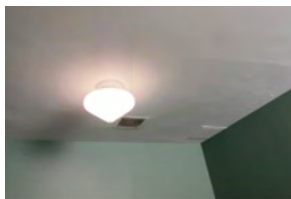
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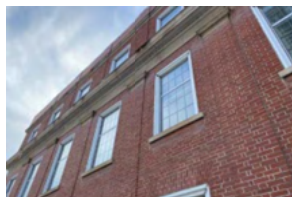
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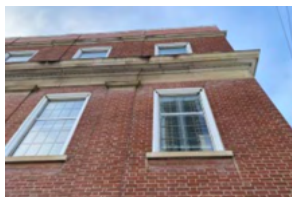
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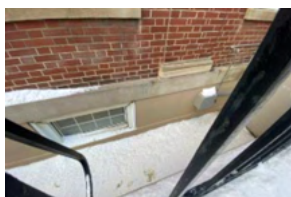
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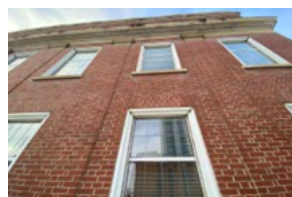
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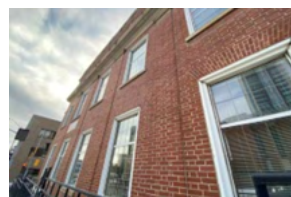
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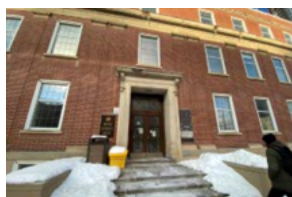
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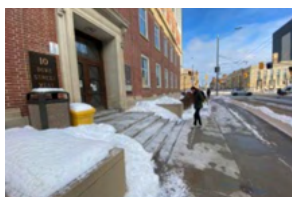
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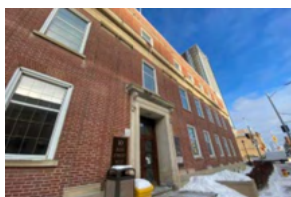
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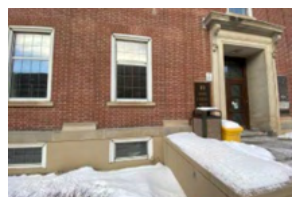
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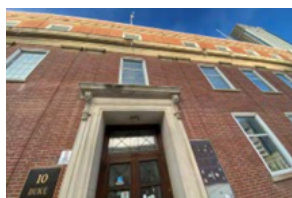
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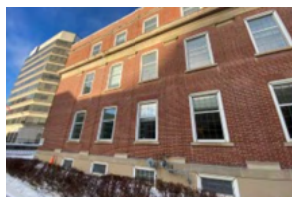
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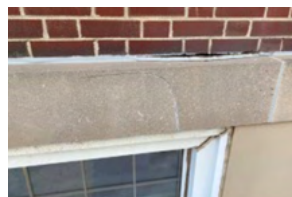
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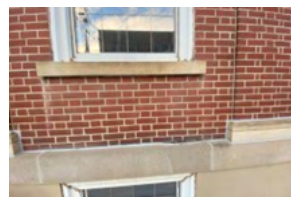
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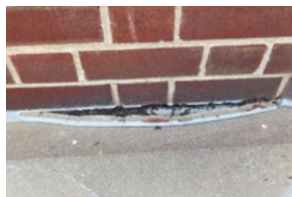
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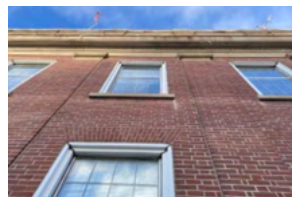
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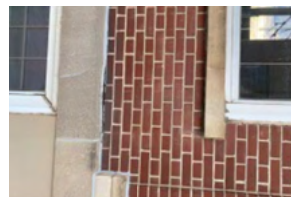
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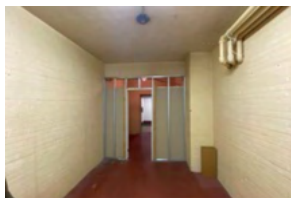
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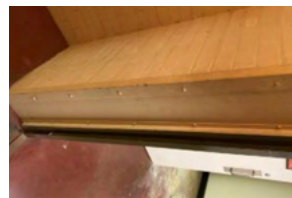
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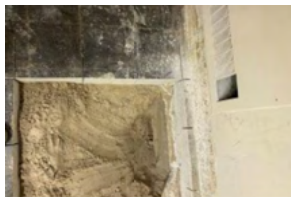
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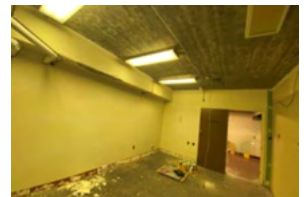
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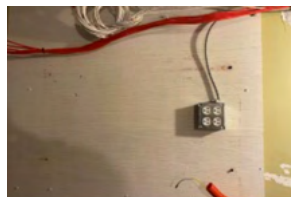
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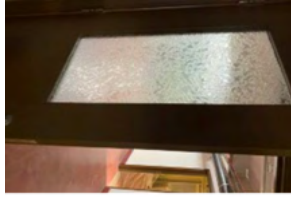
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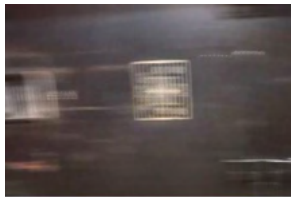
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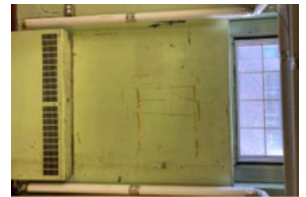
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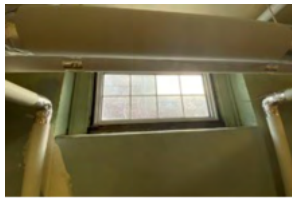
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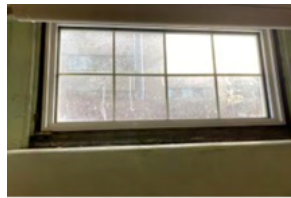
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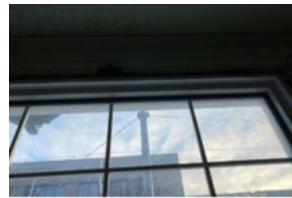
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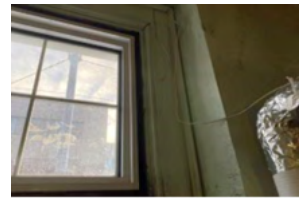
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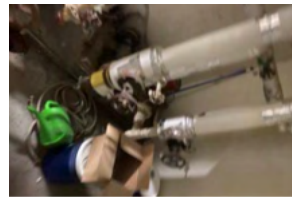
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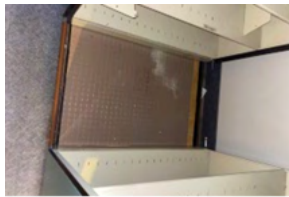
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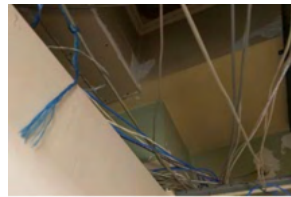
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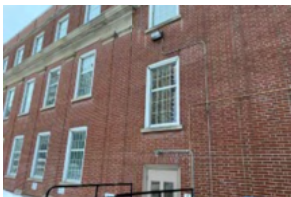
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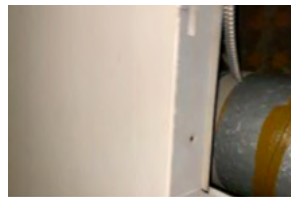
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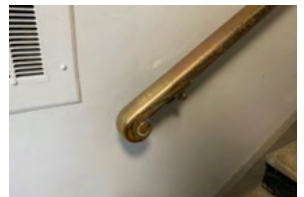
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20220120_204114363_iOS

Appendix D: D.S Shoemaker's Survey - Land Registry Record

LOT NO. 1, D. S. SHOEMAKER'S SURVEY

PLAN NO.

CITY OF KITCHENER

SHEET NO.

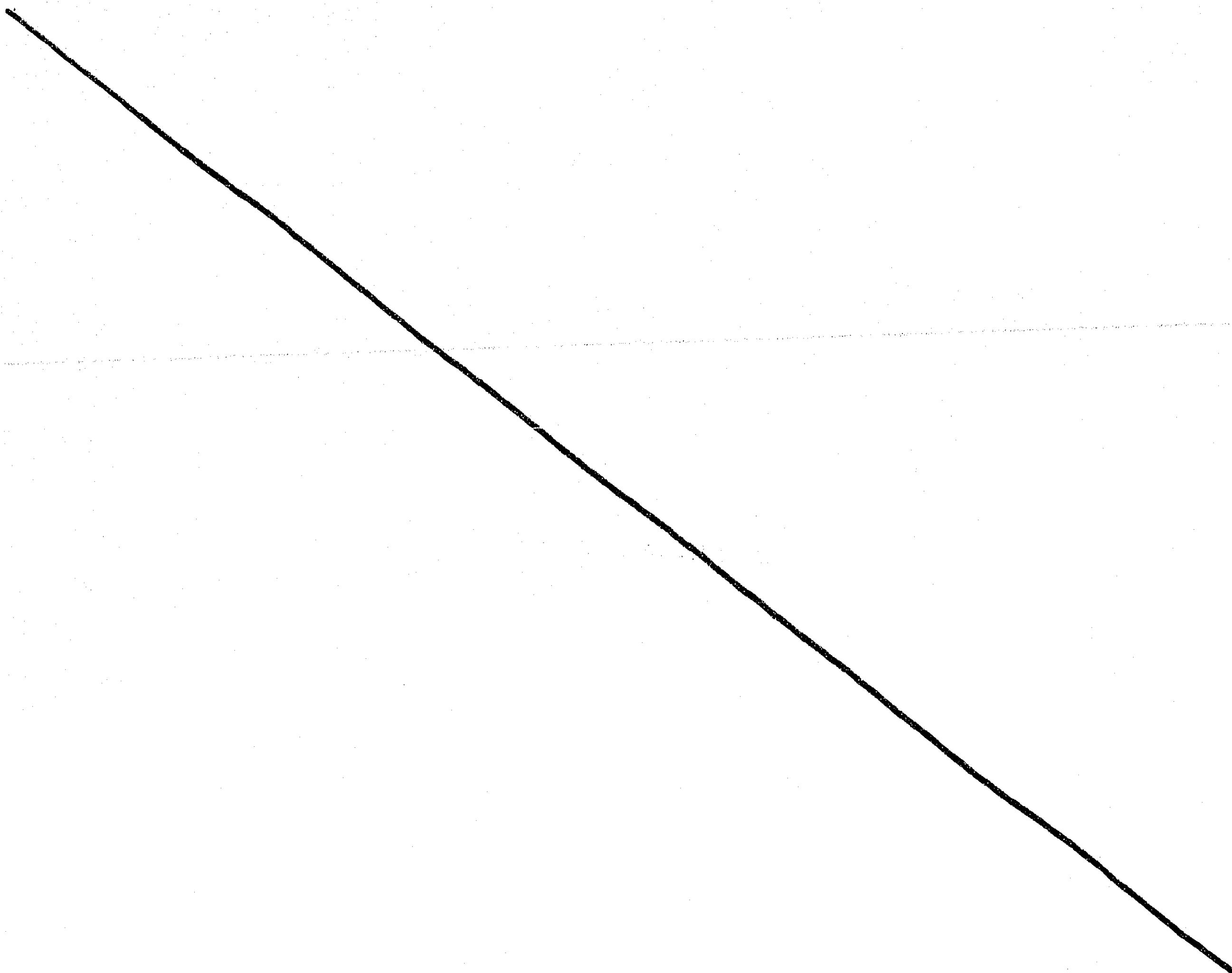
LOT NO.

.... PLAN NO.

S. A. HART & CO
LIMITED
Norfolk
ONE
COLOR
SHEET
NO N 5233

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SHEET NO.
LOT NO.
PLAN NO.

D.S. Shoemaker Survey

CITY OF KITCHENER

SHEET NO. *Pg 744*
LOT NO. *1*
PLAN NO. *396*

S. HART & CO.
LIMITED
106 Adelaide
St. W.
TORONTO
ON. M 5Z33

DAY/MONTH/YEAR				GRANTOR	GRANTEE	AREA	CONSIDERATION	BOOK	REMARKS
NUMBER	INSTRUMENT	DATE OF INSTRUMENT	DATE OF REGISTRATION						
89232	Grant	29 Dec. 1930	1 Dec. 1945	Langley's Limited (inc. 1920)	Langley's Limited (inc. 1929)		2.00	787	Lot 1
89234	Grant	24 Nov. 1945	1 — 1945	Langley's Limited (inc. 1929)	Economical Mutual Fire Ins. Co.		24,500.00	—	Sketch pt.
105056	Lease	15 — 1950	29 Nov. 1950	The Economical Mutual Fire Ins. Co.	The Bell Telephone Co. of Can.			794	
105737	Grant	29 June 1950	15 Feb. 1951	The Economical Mutual Fire Ins. Co.	The Corp'n. of the City of Kitchener		1,000.00	—	E. 8' Lot.
194220	Lease	21 Sept. 1959	4 Nov. 1959	The Economical Mutual Ins. Co.	The Bell Telephone Co. of Canada		22,308.00	A.	Lot etc. except Pt.
261183	By-law	6 Aug. 1963	14 Aug. 1963	By-law No. 4988 City of Kitchener	for widening part of Queen St. as a public highway in the City of Kitchener.			A.	E. 8 ft lot etc. sketch.
58-R-5595	R-PLAN		01 04 87						Pt. lots 1, 2 & 3. Re: Ind. #A-89234 + A-105677.
898801	Grant		01 06 87	Economical Mutual Insurance Company Limited	Chadwell Coal Company		2,099.00		Part lots 1, 2 & 3 being part 1 on 58-R-5595.
898802	Mort		01 06 87	Chadwell Coal Company	Economical Mutual Insurance Company		1,515.00		As in 898801
Discharged by #1002395 A.D.L.R. 31-07-89									
898803	Deposit		01 06 87						Pt. lot etc. Sketch
898804	Deposit		01 06 87						Pt. lot etc.
1079077	Charge		05 06 91	Chadwell Coal Co. Ltd.	The Bank of Nova Scotia		1,900,000.00		Pt. lots 1, 2, 3 Being pt 1 on 58-R-5595
Discharged by #1006405 A.D. 15-03-94									
1133130	DEBENTURE		19 08 92	CHADWILL COAL COMPANY LIMITED	978797 ONTARIO INC.		10,000,000.00		Pt. Lots 1, 2 & 3, Plan 396, being Pt. 1 on 58-R-5595.
									Discharged by #120384 A.D.L.R. 09-02-21
1137878	Charge		18 09 92	CHADWILL COAL COMPANY LIMITED	ROYAL BANK OF CANADA		1,500,000.00		Pt. lots 1, 2 & 3 being pt. 1 on 58-R-5595.
									Discharged by #120384 A.D.L.R. 09-02-21
1138286	Postponement of Charge		23 09 92	978797 Ontario Inc.	Royal Bank of Canada				1133130 postponement of 1137878.
									Discharged by #120384 A.D.L.R. 09-02-21

SHEET NO.

LOT NO.

PLAN NO.

1138286

CITY OF KITCHENER

DAY/MONTH/YEAR

SHEET NO. 5

LOT NO. 1

PLAN NO. 396

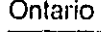
NUMBER	INSTRUMENT	DATE OF INSTRUMENT	DATE OF REGISTRATION	GRANTOR	GRANTEE	AREA	CONSIDERATION	BOOK	REMARKS
1184605	Assignment of Rents	07 09 93	07 09 93	CHADWILL COAL COMPANY LIMITED	THE BANK OF NOVA SCOTIA				Pt. Lots 1, 2 & 3, Plan 396, being Pt. 1 on 58 R-5595. Re. Inst. # 1079077.
					Discharged by #1006405 A.D.L.R. W.P. 15-03-94				
1203842	Transfer	21 02 94	21 02 94	CHADWILL COAL COMPANY LTD.	PREISENHAMMER INVESTMENTS INC.	2,000,000.00			Pt. Lots 1, 2 & 3 Plan 396 being Pt. 1 on 58R-5595. Planning Act statements.

Abstract Index Répertoire par lot

CITY OF KITCHENER

Lot 1

Plan/Concession 396

Page 6[illegible]

PLAN NO.

H. S. Shaemaker's Survey

CITY OF KITCHENER

... LOT NO.

PLAN NO.

S. R. HART & CO.
LIMITED
Nonfield
ONE
COLOR
SERIES
NO N 5233

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TOWN OF BERLIN.

PLAN 396

No. of Instrument	Instrument	Its Date	Date of Registry	Grantor	Grantee	Quantity of Land				Book	Folio	Res
						Acres	Roods	Per	\$ Cts.			
37980	Deeds	30 April 1912	14 May 1912	Herman G. Laspner & Co.	The Berlin Club Limited	5500.00				715	215	Lot N° 2 sub.
36901	Deeds	7 June 1911	23 June 1911	The Lancaster Club Ltd. formerly The Berlin Club Ltd.	Herman G. Laspner	1200.00				715	215	Lot N° 2 sub.

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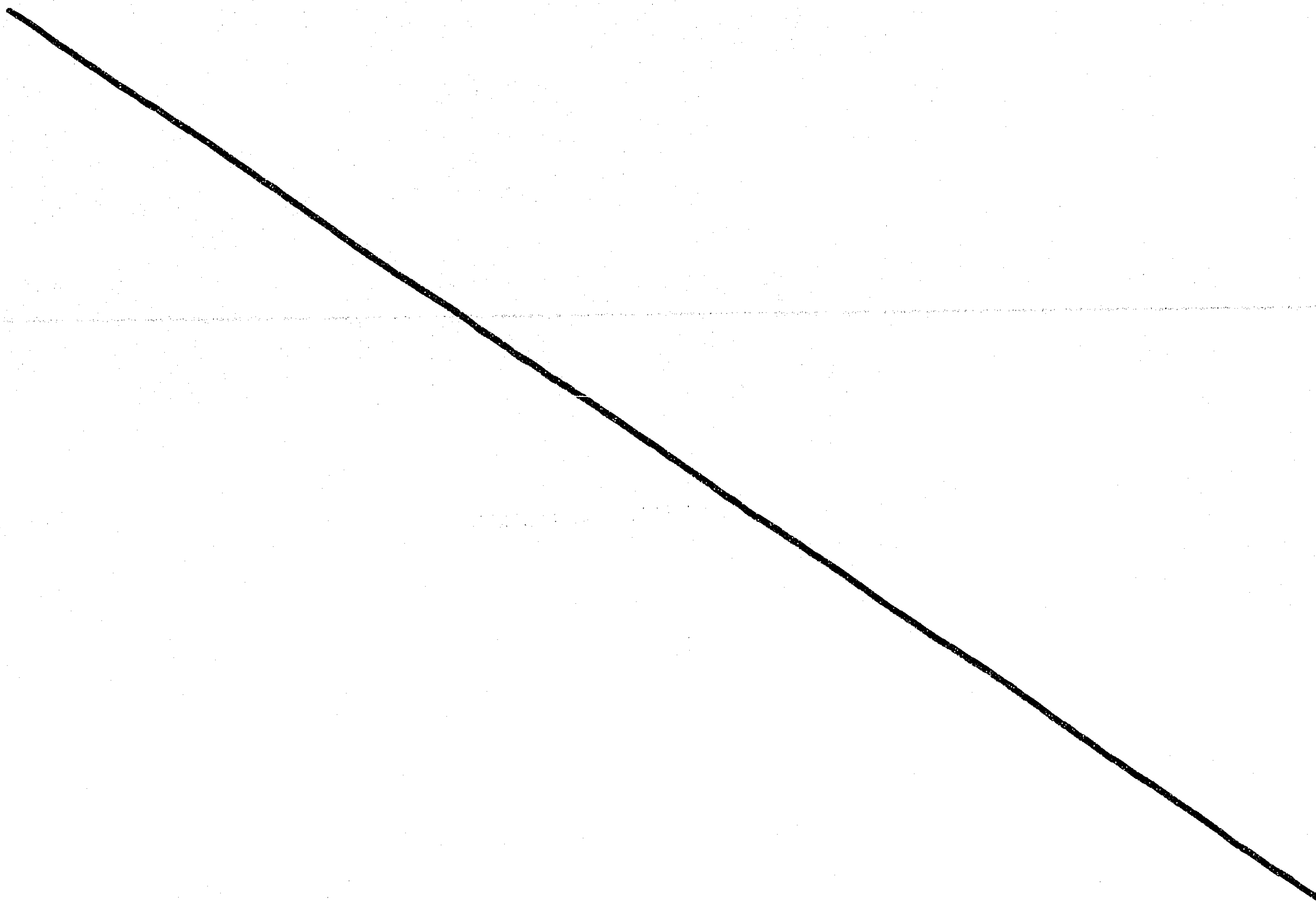
SHEET NO.
 LOT NO. 2, D. S. SHOEMAKER'S SURVEY.
 PLAN NO.

CITY OF KITCHENER

SHEET NO. 3
 LOT NO. 2
 PLAN NO. 396

S. H. HART & CO.
 LIMITED
 ONE
 COLON
 STREET
 NO. 5233

NUMBER	INSTRUMENT	DATE OF INSTRUMENT	DATE OF REGISTRATION	GRANTOR	GRANTEE	AREA	CONSIDERATION	BOOK	REMARKS
61465	GRANT	28Sept.1928	23Oct.1928	HENRY M. & HELEN A. LACKNER	LANGLEY'S LIMITED		29000	00A71	Lot et al.
				MARY A. MUMFORD, EXRS. HENRY GEO. LACKNER					
61466	MORTGAGE	1 Oct. 1928	23 Oct. 1928	LANGLEY'S LIMITED	HENRY M., HELEN A. LACKNER, LACKNER	98			Lot et al.
				MARY A. MUMFORD EXRS. HENRY G.	LANGLEY'S LIMITED	98	24000	00 A71	Not rec'd in full.
63840	D. OF M.	12 Nov. 1929	29 Nov. 1929	EXRS. OF HENRY G. LACKNER	LANGLEY'S LIMITED	98		A72	See A71 No. 61466
70239	BY LAW	7 Aug. 1934	13 Aug. 1934	BY LAW NO. 2431 RE: WIDENING OF DUKE STREET				A76	Pt. Lot et al.
70429	GRANT	8 Aug. 1934	9 Oct. 1934	LANGLEY'S LIMITED	CORPN. OF CITY OF KITCHENER	.0590	1600	00A77	Pt. Lot et al.
76107	BY LAW	8 Feb. 1932	4 Mch. 1939	CITY OF KITCHENER BY LAW NO. 2281-TO WIDEN DUKE ST.				A80	See By Law
CONT'D TO NEXT PAGE									



SHEET NO.

LOT NO.

PLAN NO.

76107

DAY/MONTH/YEAR

CITY OF KITCHENER

SHEET NO. 4

LOT NO. 2

PLAN NO. 396

S. HARTY & CO.
LIMITED
Noted
ONE
COLOR
SHEET
NO. H 5233

NUMBER	INSTRUMENT	DATE OF INSTRUMENT	DATE OF REGISTRATION	GRANTOR	GRANTEE	AREA	CONSIDERATION	BOOK	REMARKS
89232	Grant	29 Dec. 1930	1 Dec. 1945	Langley's Limited (inc. 1920)	Langley's Limited (inc. 1929)		200	A87	Lot et al.
89234	Grant	24 Nov. 1945	1 — 1946	Langley's Limited (inc. 1929)	Economical Mutual Fire Ins. Co.		24,500.00	—	Chapt. pt.
105056	Lease	15 — 1950	29 Nov. 1950	The Economical Mutual Fire Ins. Co.	The Bell Telephone Co. of Can.			A94	
194220	Lease	21 Sept. 1959	4 Nov. 1959	The Economical Mutual Ins. Co.	The Bell Telephone Co. of Canada, yearly		22,102.00	A	Lot etc. except Pt.
58-R-5595	R-PLAN		01 04 87						Pt. Lots 1, 2 & 3. Re: Inst. # A-89234 & A-105677.
898801	Grant		01 06 87	Economical Mutual Insurance Company	Chadwill Coal Company Limited		2,099,000.00		Pt. lot etc. See lot 1.
898802	Mort		01 06 87	Chadwill Coal Company Limited	Economical Mutual Insurance Company		1,575,000.00		As in 898801
Discharged by #1002395 A.D.L.R. WP 31-07-89									
898803	Deposit		01 06 87						Pt. lot etc. Skel
898804	Deposit		01 06 87						Pt. lot etc.
Discharged by #1206405 A.D.L.R. WP 15-03-94									
1079077	Charge		05 06 91	Chadwill Coal Co. Ltd.	The Bank of Nova Scotia		1900000.00		Pt. lot etc. See lot 1
1133130	DEBENTURE		19 08 92	CHADWILL COAL COMPANY LIMITED	978797 ONTARIO INC.		10,000,000.00		Pt. Lots 1, 2 & 3, Plan 396, being Pt. 1 on 58-R-5595.
Discharged by #1203840 A.D.L.R. WP 15-03-94									
1137878	Charge		18 09 92	CHADWILL COAL COMPANY LIMITED	ROYAL BANK OF CANADA		1,500,000.00		Pt. lots 1, 2, 3 on being pt. 1 on 58R-5595
Discharged by #1203841 A.D.L.R. WP 15-03-94									
1138286	Postponement of Charge		23 09 92	978797 Ontario Inc.	Royal Bank of Canada				1133130 postponed to 1137878.
Discharged by #1206405 A.D.L.R. WP 15-03-94									
1184605	Assignment of Rents		07 09 93	CHADWILL COAL COMPANY LIMITED	THE BANK OF NOVA SCOTIA				Pt. Lots 1, 2 & 3, Plan 396, being Pt. 1 on 58-R-5595. Re: Inst. # 1079077.

REPORT TO: Heritage Kitchener

DATE OF MEETING: April 2, 2024

SUBMITTED BY: Garrett Stevenson, Director of Development and Housing Approvals, 519-741-2200 ext. 7070

PREPARED BY: Jessica Vieira, Heritage Planner, 519-741-2200 ext. 7291

WARD(S) INVOLVED: Ward 9

DATE OF REPORT: March 12, 2024

REPORT NO.: DSD-2024-138

SUBJECT: Notice of Intention to Designate 91 Madison Avenue South under Part IV of the Ontario Heritage Act

RECOMMENDATION:

That pursuant to Section 29 of the *Ontario Heritage Act*, the Clerk be directed to publish a Notice of Intention to Designate the property municipally addressed as 91 Madison Avenue South as being of cultural heritage value or interest.

REPORT HIGHLIGHTS:

- The purpose of this report is to request that Council direct the Clerk to publish a Notice of Intention to Designate the property municipally addressed as 91 Madison Avenue South under Part IV of the *Ontario Heritage Act*.
- An updated Statement of Significance on the property's cultural heritage value was taken to the Heritage Kitchener Committee on January 9, 2023. On this meeting date, the Committee recommended that pursuant to Section 29 of the *Ontario Heritage Act*, the cultural heritage value or interest of 91 Madison Avenue South be recognized and designation pursued.
- The key finding of this report is that the property municipally addressed as 91 Madison Avenue South meets the criteria for designation under Ontario Regulation 9/06 (amended by Ontario Regulation 569/22) and has been confirmed to be a significant cultural heritage resource. The property is recognized for its design/physical, historical/associative, and contextual value.
- There are no financial implications with this recommendation.
- Community engagement included informing residents by posting this report with the agenda in advance of the Heritage Kitchener committee meeting, providing written correspondence to the property owner, and consulting with Heritage Kitchener. In addition, should Council choose to give notice of its intention to designate, such notice will be served to the Owner and the Ontario Heritage Trust.
- This report supports the delivery of core services.

BACKGROUND:

91 Madison Avenue South is a two storey early-20th century religious building constructed in the Colonial Revival architectural style with Byzantine and Moorish influences. The building is situated on a 0.43 acre parcel of land located on the east side of Madison Avenue South between Church Street and Courtland Avenue East. The principal resource that contributes to the heritage value is the religious building.



Figure 1: Location Map of Subject Property

A full assessment of 91 Madison Avenue South has been completed and included a field evaluation and detailed archival research. The findings concluded that the subject property meets the criteria for designation. An updated Statement of Significance on the property's cultural heritage value was taken to the Heritage Kitchener Committee on January 9, 2024. On this meeting date, the Committee recommended that pursuant to Section 29 of the *Ontario Heritage Act*, the cultural heritage value or interest of 33 Eby Street South be recognized and designation pursued. This work was undertaken as part of the City of Kitchener Municipal Heritage Register (MHR) Review, initiated in February of 2023. The MHR Review is the City's response to amendments to the Ontario Heritage Act introduced in January of 2023 through Bill 23, the *More Homes Built Faster Act*. The City contacted owners of listed properties through an initial letter dated May 23, 2023, to inform them of this undertaking. Owners of properties recommended for designation were contacted via a second letter dated February 20th, 2024, and invited to contact the City's Heritage Planner with any comments, questions, or concerns. No response from the property owners was received by Heritage Planning Staff.

Per standard procedure, should Council support the Notice of Intention to Designate, Owners will be contacted a third time through a Notice of Intention to Designate (NOID) Letter. An ad for the NOID will also be published in a newspaper. Once the letter is served and the ad posted, there will be a 30-day appeal period in which Owners may object to the designation.

REPORT:

Identifying and protecting cultural heritage resources within the City of Kitchener is an important part of planning for the future, and helping to guide change while conserving the buildings, structures, and landscapes that give the City of Kitchener its unique identity. The City plays a critical role in the conservation of cultural heritage resources. The designation of property under the *Ontario Heritage Act* is the main tool to provide long-term protection of cultural heritage resources for future generations. Designation recognizes the importance of a property to the local community; protects the property's cultural heritage value; encourages good stewardship and conservation; and promotes knowledge and understanding about the property. Designation not only publicly recognizes and promotes awareness, but it also provides a process for ensuring that changes to a property are appropriately managed and that these changes respect the property's cultural heritage value and interest.



Figure 2: Front Façade of Subject Property

91 Madison Avenue South is recognized for its design/physical, historical/associative, and contextual values. It satisfies six (6) of the nine criteria for designation under Ontario Regulation 9/06 (amended by Ontario Regulation 569/22). A summary of the criteria that is met or not met is provided in the table below.

Criteria	Criteria Met (Yes/No)
1. The property has design value or physical value because it is a rare, unique, representative or early example of a style, type, material, or construction method.	Yes
2. The property has design value or physical value because it displays a high degree of craftsmanship or artistic merit.	No
3. The property has design or physical value because it demonstrates a high degree of technical or scientific achievement.	No
4. The property has historical value or associative value because it has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community.	Yes
5. The property has historical or associative value because it yields, or has the potential to yield, information that contributes to an understanding of a community or culture.	Yes
6. The property has historical value or associative value because it demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.	No
7. The property has contextual value because it is important in defining, maintaining or supporting the character of an area.	Yes
8. The property has contextual value because it is physically, functionally, visually, or historically linked to its surroundings.	Yes
9. The property has contextual value because it is a landmark.	Yes

Design / Physical Value

The design value relates to the architecture of the religious building. The building is a unique example of the Byzantine and Colonial Revival architectural style in Kitchener and is in excellent condition. The building features: rectangular plan; flat roof with shaped parapet and concrete coping; multi-colour brick; pilasters; semi-circular features including decorative brick work and windows; semi-circular multi-pane hung windows with brick or concrete headers and concrete sills; square windows with concrete sills; concrete cornice; decorative brick and concrete details; double 8-panel door with semi-circular transom; double eight-panel doors; and concrete foundation.

Front Façade

The front façade of the building is symmetrical in its design and massing. It can be divided into three sections; the northern-most and southern-most sections are each delineated by two pilasters that extend from the raised concrete foundation and beyond the roofline, capped with concrete detailing. The two sections also each contain a third pilaster in the centre above a ground-level door set into the raised concrete foundation. The central pilaster extends approximately three-quarters of the way up the façade and is decorated with further concrete detailing.

The central section contains a set of concrete stairs that lead up to double eight-panel wood doors topped with a semi-circular transom window with stained glass panes and a voussoir. The doors are framed by a semi-circular multi-pane window on each side with decorative concrete headers and sills. The second storey is comprised of two rectangular multi-paned windows with concrete headers and sills and a central arched concrete section that contains the symbol of the church.

Side Façades

The north and south side façades possess five pilasters that divide the wall into five bays. The first western-most bay contains four; one square, two semi-arched, and one rectangular. The other four bays contain three windows, one rectangular and two long and semi-arched. The south façade has more of the raised concrete foundation exposed due to the slope of the land, and eight rectangular multi-paned windows are set into it.

Modifications

The Star of David on the front has been replaced by the logo of the Crkva Božje Church of God.

Historical / Associative Value

The historic and associative values due the original owners and use, as well as its connection to the theme of early Jewish settlement. The property is also capable of yielding an understanding how diversification of religion progressed within the community.

Early Jewish settlement in Berlin involved minimal organized religion. By 1907, ten families had joined to form an Orthodox synagogue, with sermons being hosted in the home of one of the members. In the 1920s, a second wave of European immigrants swelled the Jewish population from 298 in 1921 to 411 ten years later, and a number of them settled in the Cedar Hill neighbourhood. The property for Kitchener's first synagogue, the Beth Jacob Synagogue, was purchased from Jacob Cohen on Albert Street (now Madison Avenue) in 1923. Part of the reason Kitchener was a draw was a commonality in language; many of them spoke Yiddish, which was close to the German used by many of the City's other residents at that time. The synagogue opened in 1924 under the guidance of Rabbi Levine and 61 founding members, whose names were inscribed on a plaque inside the building. The names of the four founders originally on stones along the front of the building (Jack Davis, Wolfe Feldman, Samuel Florence and Max Migdal) have since been removed, and replaced by similar blank stones. The building is classic Jewish sanctuary architecture, with the *bimah*, or the alter on which the Torah is read, in the centre. There is also a space for a *Talmud Torah*, or school for learning Hebrew, the scriptures, and the *Talmud*. The building is adorned with beautifully carved wood and stained-glass windows.

When a new synagogue was built, the building was sold in 1963 to the Zion Mennonite Brethren Church. Since 1963, the building has been occupied by various religious groups, including: Zion Mennonite Brethren Church; Our Lady of the Immaculate Conception Roman Catholic Church; Romanian Church of God; Grace Presbyterian Fellowship. In 2023, it is the home of the Crkva Božje, International Church of God.

Contextual Values

The contextual values relate to the contribution that the religious building makes to the continuity and character of the Madison Avenue South streetscape and the Cedar Hill Neighbourhood Cultural Heritage Landscape (CHL). The Cedar Hill Neighbourhood CHL is home to a mix of residential and institutional uses and is characterized by the elevated topography, narrow street widths, and dramatically long views. The building is also physically, visually, historically, and functionally linked to its surroundings as it remains in-situ and, though the congregation has changed, maintains its original use as a place of worship. With its distinctive architectural style and its location near the peak of one of the neighbourhoods distinctive rolling hills, 91 Madison Avenue South could also be classified as a neighbourhood landmark.

Heritage Attributes

The heritage value of 91 Madison Avenue South resides in the following heritage attributes:

- Exterior attributes related to the Byzantine and Colonial Revival architectural style of the building including:
 - rectangular plan;
 - flat roof with shaped parapet, concrete coping and cornice;
 - multi-colour brick;
 - four concrete blocks on front of church;
 - doors and multi-paned hung windows on basement level, fixed windows of glass blocks beneath stairway;
 - brick pilasters with concrete coping;
 - false buttresses with concrete coping on sides;
 - square windows above arched windows on sides;
 - semi-circular features including decorative brick work and windows;
 - windows and window openings, including:
 - semi-circular multi-pane hung windows with brick or concrete headers and concrete sills;
 - square windows with concrete sills;
 - circular windows with the six pointed Star of David in stained glass.
 - concrete cornice;
 - decorative brick and concrete details;
 - doors and door openings, including double 8-panel door with semi-circular transom; and
 - concrete foundation.
- Elements that relate to the buildings contextual value and its contribution to the Cedar Hill Neighbourhood Cultural Heritage Landscape, including:
 - Original location of the church at the top of the hill; and
 - Orientation of the building toward Madison Avenue

STRATEGIC PLAN ALIGNMENT:

This report supports the delivery of core services.

FINANCIAL IMPLICATIONS:

Capital Budget – The recommendation has no impact on the Capital Budget.

Operating Budget – The recommendation has no impact on the Operating Budget.

COMMUNITY ENGAGEMENT:

INFORM – This report has been posted to the City’s website with the agenda in advance of the Heritage Kitchener committee meeting.

CONSULT– Heritage Planning staff have consulted with the Heritage Kitchener committee regarding designation under the *Ontario Heritage Act*. Property owners were invited to consult via two separate letters dated May 23, 2023 and January 16, 2024.

Section 29(2) of the *Ontario Heritage Act* requires Council to consult with the Municipal Heritage Committee (Heritage Kitchener) before giving notice of its intention to designate a property. Heritage Kitchener will be consulted via circulation and consideration of this report (see INFORM above). Members of the community will be informed via circulation of this report to Heritage Kitchener and via formal consideration by Council. In addition, should Council choose to give notice of its intention to designate, such notice will be served on the property owner and the Ontario Heritage Trust, and published in the local newspaper (The Record). Once notice has been served, the owner has the right of appeal to the Ontario Land Tribunal. It should be noted that should Council decide not to proceed with a Notice of Intention to Designate, that the building will remain on the City’s Municipal Heritage Register until January 1, 2025, after which it will be removed according to the changes enacted by Bill 23. Once removed, it cannot re-listed on the Register again for five (5) years, i.e. January 1, 2030.

PREVIOUS REPORTS/AUTHORITIES:

- *Ontario Heritage Act, 2022*
- Municipal Heritage Register Review Project – January 2024 Update (DSD-2024-022)

APPROVED BY: Justin Readman, General Manager, Development Services Department

ATTACHMENTS:

Attachment A – Statement of Significance for 91 Madison Avenue South

STATEMENT OF SIGNIFICANCE

91 MADISON AVENUE SOUTH



Summary of Significance

☒ Design/Physical Value
☒ Historical Value
☒ Contextual Value

☒ Social Value
☐ Economic Value
☐ Environmental Value

Municipal Address: 91 Madison Avenue South

Legal Description: Plan 390 Part Lot 6 & 7 58R-10159 Part 2, 3 & 4

Year Built: 1924/25

Architectural Styles: Byzantine and Colonial Revival

Original Owner: Beth Jacob Synagogue

Original Use: Synagogue

Condition: Excellent

Description of Cultural Heritage Resource

91 Madison Avenue South is a two storey early-20th century religious building constructed in the Colonial Revival architectural style with Byzantine and Moorish influences. The building is situated on a 0.43 acre parcel of land located on the east side of Madison Avenue South between Church Street and Courtland Avenue East. The principal resource that contributes to the heritage value is the religious building.

Heritage Value

91 Madison Avenue South is recognized for its design/physical, historic/associative, and contextual values.

Design/Physical Value

The design value relates to the architecture of the religious building. The building is a unique example of the Byzantine and Colonial Revival architectural style in Kitchener and is in excellent condition. The building features: rectangular plan; flat roof with shaped parapet and concrete coping; multi-colour brick; pilasters; semi-circular features including decorative brick work and windows; semi-circular multi-pane hung windows with brick or concrete headers and concrete sills; square windows with concrete sills; concrete cornice; decorative brick and concrete details; double 8-panel door with semi-circular transom; double eight-panel doors; and concrete foundation.

Front Façade

The front façade of the building is symmetrical in its design and massing. It can be divided into three sections; the northern-most and southern-most sections are each delineated by two pilasters that extend from the raised concrete foundation and beyond the roofline, capped with concrete detailing. The two sections also each contain a third pilaster in the centre above a ground-level door set into the raised concrete foundation. The central pilaster extends approximately three-quarters of the way up the façade and is decorated with further concrete detailing.

The central section contains a set of concrete stairs that lead up to double eight-panel wood doors topped with a semi-circular transom window with stained glass panes and a voussoir. The doors are framed by a semi-circular multi-pane window on each side with decorative concrete headers and sills. The second storey is comprised of two rectangular multi-paned windows with concrete headers and sills and a central arched concrete section that contains the symbol of the church.

Side Façades

The north and south side façades possess five pilasters that divide the wall into five bays. The first western-most bay contains four; one square, two semi-arched, and one rectangular. The other four bays contain three windows, one rectangular and two long and semi-arched. The south façade has more of the raised concrete foundation exposed due to the slope of the land, and eight rectangular multi-paned windows are set into it.

Modifications

The Star of David on the front has been replaced by the logo of the Crkva Božje Church of God.

Historical/Associative Value

The historic and associative values due the original owners and use, as well as its connection to the theme of early Jewish settlement. The property is also capable of yielding an understanding how diversification of religion progressed within the community.

Early Jewish settlement in Berlin involved minimal organized religion. By 1907, ten families had joined to form an Orthodox synagogue, with sermons being hosted in the home of one of the members. In the 1920s, a second wave of European immigrants swelled the Jewish population from 298 in 1921 to 411 ten years later, and a number of them settled in the Cedar Hill neighbourhood. The property for Kitchener's first synagogue, the Beth Jacob Synagogue, was purchased from Jacob Cohen on Albert Street (now Madison Avenue) in 1923. Part of the reason Kitchener was a draw was a commonality in language; many of them spoke Yiddish, which was close to the German used by many of the City's other residents at that time. The synagogue opened in 1924 under the guidance of Rabbi Levine and 61 founding members, whose names were inscribed on a plaque inside the building. The names of the four founders originally on stones along the front of the building (Jack Davis, Wolfe Feldman, Samuel Florence and Max Migdal) have since been removed, and replaced by similar blank stones. The building is classic Jewish sanctuary architecture, with the *bimah*, or the alter on which the Torah is read, in the centre. There is also a space for a *Talmud Torah*, or school for learning Hebrew, the scriptures, and the *Talmud*. The building is adorned with beautifully carved wood and stained-glass windows.

When a new synagogue was built, the building was sold in 1963 to the Zion Mennonite Brethren Church. Since 1963, the building has been occupied by various religious groups, including: Zion Mennonite Brethren Church; Our Lady of the Immaculate Conception Roman Catholic Church; Romanian Church of God; Grace Presbyterian Fellowship. In 2023, it is the home of the Crkva Božje, International Church of God.

Contextual Value

The contextual values relate to the contribution that the religious building makes to the continuity and character of the Madison Avenue South streetscape and the Cedar Hill Neighbourhood Cultural Heritage Landscape (CHL). The Cedar Hill Neighbourhood CHL is home to a mix of residential and institutional uses and is characterized by the elevated topography, narrow street widths, and dramatically long views. The building is also physically, visually, historically, and functionally linked to its surroundings as it remains in-situ and, though the congregation has changed, maintains its original use as a place of worship. With its distinctive architectural style and its location near the peak of one of the neighbourhoods distinctive rolling hills, 91 Madison Avenue South could also be classified as a neighbourhood landmark.

Heritage Attributes

The heritage value of 91 Madison Avenue South resides in the following heritage attributes:

- Exterior attributes related to the Byzantine and Colonial Revival architectural style of the building including:
 - rectangular plan;
 - flat roof with shaped parapet, concrete coping and cornice;
 - multi-colour brick;
 - four concrete blocks on front of church;
 - doors and multi-paned hung windows on basement level, fixed windows of glass blocks beneath stairway;
 - brick pilasters with concrete coping;
 - false buttresses with concrete coping on sides;

- square windows above arched windows on sides;
 - semi-circular features including decorative brick work and windows;
 - windows and window openings, including:
 - semi-circular multi-pane hung windows with brick or concrete headers and concrete sills;
 - square windows with concrete sills;
 - circular windows with the six pointed Star of David in stained glass.
 - concrete cornice;
 - decorative brick and concrete details;
 - doors and door openings, including double 8-panel door with semi-circular transom; and
 - concrete foundation.
- Elements that relate to the buildings contextual value and its contribution to the Cedar Hill Neighbourhood Cultural Heritage Landscape, including:
 - Original location of the church at the top of the hill; and
 - Orientation of the building toward Madison Avenue

References

D'Amato, Luisa (2020) "A silver samovar, passed from one family to another, tells a story" *Waterloo Region Record*, June 22. https://www.therecord.com/news/waterloo-region/a-silver-samovar-passed-from-one-family-to-another-tells-a-story/article_e167b727-8782-5eb0-829b-6530705be873.html. Accessed December 5, 2023.

Jacobs, Joseph and A. W. Brunner "Synagogue Architecture." [Jewish Encyclopedia](#). Accessed November 26, 2023.

Ontario Jewish Archives. (2009a) "Religious Life in Kitchener: The First Minyan and Synagogue." <http://www.ontariojewisharchives.org/exhibits/osjc/communities/kitchener-waterloo/religiouslife/index.html> Accessed November 24, 2023.

Ontario Jewish Archives. (2009b) "Early Community History: Kitchener." <https://ontariojewisharchives.org/exhibits/osjc/communities/kitchener-waterloo/earlycommunity/population.html> Accessed December 5, 2023.

Ontario Jewish Archives. (2009c) "Religious Life in Kitchener: The 1960s." https://ontariojewisharchives.org/exhibits/osjc/communities/kitchener-waterloo/religiouslife/media/avraham-rosen-steps_334.jpg Accessed December 1, 2023.

Photographs



Front Elevation



Side Elevation



Stained Glass Windows

CULTURAL HERITAGE EVALUATION FORM

Address: 91 Madison Avenue South Recorder: Gail Pool

Description: Synagogue and Church Date: December 5, 2023

1924-25 Byzantine and Colonial Revival

Photographs Attached:

☒ Front Façade ☐ Left Façade ☒ Right Façade ☐ Rear Façade ☒ Details ☐ Setting

1. This property has design value or physical value because it is a rare, unique, representative or early example of a style, type, expression, material or construction method.	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/>
2. The property has design value or physical value because it displays a high degree of craftsmanship or artistic merit.	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/>
3. The property has design value or physical value because it demonstrates a high degree of technical or scientific achievement. <i>* e.g., constructed with a unique</i>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes <input type="checkbox"/>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes <input type="checkbox"/>

<i>material combination or use, incorporates challenging geometric designs etc.</i>		
<p>4. The property has historical value or associative value because it has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community.</p> <p><i>* Additional archival work may be required.</i></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/></p>
<p>5. The property has historical or associative value because it yields, or has the potential to yield, information that contributes to an understanding of a community or culture.</p> <p><i>* E.g - commercial building may provide an understanding of how the economic development of the City occurred. Additional archival work may be required.</i></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/></p>
<p>6. The property has historical value or associative value because it</p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes <input type="checkbox"/></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes <input type="checkbox"/></p>

<p>demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.</p> <p><i>* Additional archival work may be required.</i></p>		
<p>7. The property has contextual value because it is important in defining, maintaining or supporting the character of an area.</p> <p><i>* E.g. - It helps to define an entrance point to a neighbourhood or helps establish the (historic) rural character of an area.</i></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/></p> <p>Yes <input checked="" type="checkbox"/></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/></p> <p>Yes <input checked="" type="checkbox"/></p>
<p>8. The property has contextual value because it is physically, functionally, visually or historically linked to its surroundings.</p> <p><i>* Additional archival work may be required.</i></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/></p> <p>Yes <input checked="" type="checkbox"/></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/></p> <p>Yes <input checked="" type="checkbox"/></p>
<p>9. The property has contextual value because it is a landmark.</p> <p><i>*within the region, city or neighborhood.</i></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/></p> <p>Yes <input checked="" type="checkbox"/></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/></p> <p>Yes <input checked="" type="checkbox"/></p>

<i>Additional Criteria</i>	<i>Recorder</i>	<i>Heritage Kitchener Committee</i>
Interior: Is the interior arrangement, finish, craftsmanship and/or detail noteworthy?	N/A <input checked="" type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/>	N/A <input checked="" type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/>
Completeness: Does this structure have other original outbuildings, notable landscaping or external features that complete the site?	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes <input type="checkbox"/>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes <input type="checkbox"/>
Site Integrity: Does the structure occupy its original site? <i>* If relocated, is it relocated on its original site, moved from another site, etc.</i>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/>
Alterations: Does this building retain most of its original materials and design features? Please refer to the list of heritage attributes within the Statement of Significance and indicate which elements are still existing and which ones have been removed.	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/>
Alterations: Are there additional elements or features that should be added to the heritage attribute list?	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes <input type="checkbox"/>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes <input type="checkbox"/>
Condition: Is the building in good condition? <i>*E.g. - Could be a good candidate for adaptive re-use if possible and contribute towards equity-building and climate change action.</i>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/>
Indigenous History: Could this site be of importance to Indigenous heritage and history? <i>*E.g. - Site within 300m of water sources, near distinct topographical land, or near cemeteries might have archaeological potential and indigenous heritage potential.</i> Could there be any urban Indigenous history associated with the property?	N/A <input checked="" type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> <input type="checkbox"/> Additional Research Required	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> <input checked="" type="checkbox"/> Additional Research Required
	N/A <input checked="" type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> <input type="checkbox"/>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> <input type="checkbox"/> Additional Research Required

* Additional archival work may be required.	<input type="checkbox"/> Additional Research Required	
Function: What is the present function of the subject property? <i>* Other may include vacant, social, institutional, etc. and important for the community from an equity building perspective.</i>	Unknown <input type="checkbox"/> Residential <input type="checkbox"/> Commercial <input type="checkbox"/> Office <input type="checkbox"/> Other <input checked="" type="checkbox"/> Church	Unknown <input type="checkbox"/> Residential <input type="checkbox"/> Commercial <input type="checkbox"/> Office <input type="checkbox"/> Other <input checked="" type="checkbox"/> Institutional – place of worship
Diversity and Inclusion: Does the subject property contribute to the cultural heritage of a community of people? Does the subject property have intangible value to a specific community of people? <i>* E.g.- Waterloo Masjid (Muslim Society of Waterloo & Wellington Counties) was the first established Islamic Center and Masjid in the Region and contributes to the history of the Muslim community in the area.</i>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes <input type="checkbox"/> <input type="checkbox"/> Additional Research Required N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes <input type="checkbox"/> <input type="checkbox"/> Additional Research Required	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> <input type="checkbox"/> Additional Research Required N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> <input type="checkbox"/> Additional Research Required

Notes about Additional Criteria Examined

Recommendation

Does this property meet the definition of a significant built heritage resource, and should it be designated under Part IV of the Ontario Heritage Act? (Does it meet two or more of the designation criteria?)

N/A ☐ Unknown ☐ No ☐ Yes ☒

If not, please select the appropriate action for follow-up

- ☐ Keep on the Municipal Heritage Register
☐ Remove from the Municipal Heritage Register
☐ Additional Research Required

Other: _____

General / Additional Notes

TO BE FILLED BY HERITAGE PLANNING STAFF:

Date of Property Owner Notification _____

Notes

REPORT TO: Heritage Kitchener

DATE OF MEETING: April 2, 2024

SUBMITTED BY: Garrett Stevenson, Director of Development and Housing Approvals, 519-741-2200 ext. 7070.

PREPARED BY: Deeksha Choudhry, Heritage Planner, 519-741-2200 ext. 7602.

DATE OF REPORT: March 8, 2024

REPORT NO.: DSD-2024-131

SUBJECT: Municipal Heritage Register Review
April 2024 Update

RECOMMENDATION:

The pursuant to Section 29 of the Ontario Heritage Act, the cultural heritage value or interest be recognized, and designation be pursued for the following properties:

- 56 Duke Street West
- 156 Duke Street West
- 7 Fischer Court
- 11-15 Pandora Avenue North

REPORT HIGHLIGHTS:

- The purpose of this report is to recommend pursuing designation under Part IV of the Ontario Heritage Act for four properties that are currently listed as non-designated properties of cultural heritage value or interest on the Municipal Heritage Register.
- The key finding of this report is that the properties possess design/physical, historical/associative, and contextual value and meet the criteria for designation under Ontario Regulation 9/06 (amended through Ontario Regulation 569/22).
- There are no financial implications.
- Community engagement included consultation with the Heritage Kitchener Committee.
- This report supports the delivery of core services.

BACKGROUND:

On January 1st, 2023 amendments to the Ontario Heritage Act (OHA) came into effect through Bill 23, the *More Homes Build Faster Act*. One of the primary changes introduced was the imposition of a new timeline which requires “listed” properties on the Municipal Heritage Register to be evaluated to determine if they meet the criteria for heritage designation before January 1st, 2025. Listed properties are properties that have not been designated, but that the municipal Council believes to be of cultural heritage value or interest. The criterion for designation is established by the Provincial Government (Ontario Regulation 9/06, which has now been amended through Ontario Regulation 569/22) and a minimum of two must be met for a property to be eligible for designation.

A work plan to address these changes has been developed by Heritage Planning Staff with consultation from the Heritage Kitchener Committee on February 7th, 2023. Implementation of the work plan has now commenced. This report contains a summary of the findings for the properties recently reviewed, and recommendations for next steps.

Progress on Work Plan Implementation

As part of the work plan proposed in February 2023, Heritage Planning Staff committed to the review of 80 properties listed on the Municipal Heritage Register prior to January 1, 2025. As of the date of this report, a review has been complete for 51 properties. 22 properties have fully undergone the designation process. 14 properties are currently undergoing the designation process and are at various stages of completion. 15 properties have been reviewed and determined that no action should be taken at this time.

REPORT:

Ontario Regulation 569/22 (Amended from Ontario Regulation 9/06)

Among the changes that were implemented through Bill 23, the Ontario Regulation 9/06 – which is a regulation used to determine the cultural heritage value or interest of a property, was amended through Ontario Regulation 569/22 (O. Reg. 569/22). Where the original regulation had three main categories – design/physical, historical/associative and contextual - with three (3) sub-categories for determining cultural heritage value, the amended regulation now lists all nine (9) criteria independently.

The new regulation has been amended to the following:

1. The property has design value or physical value because it is a rare, unique, representative or early example of a style, type, expression, material or construction method.
2. The property has design value or physical value because it displays a high degree of craftsmanship or artistic merit.
3. The property has design value or physical value because it demonstrates a high degree of technical or scientific achievement.
4. The property has historical value or associative value because it has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community.
5. The property has historical or associative value because it yields, or has the potential to yield, information that contributes to an understanding of a community or culture.
6. The property has historical value or associative value because it demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.
7. The property has contextual value because it is important in defining, maintaining or supporting the character of an area.
8. The property has contextual value because it is physically, functionally, visually or historically linked to its surroundings.
9. The property has contextual value because it is a landmark.

Also, among the changes brought about by Bill 23 are how properties can now be listed or designated under Part IV of the Ontario Heritage Act. They include:

- Properties would warrant being listed on the City's Municipal Heritage Register if they met **one or more criteria** of O. Reg 9/06 (amended through O. Reg. 569/22).
- Properties could be designated under Part IV of the Ontario Heritage Act if they meet **two or more criteria** of O. Reg 9/06 (amended through O. Reg. 569/22).

The following four properties were reviewed and meet the following criteria:

56 Duke Street West

The subject property municipally addressed as 56 Duke Street West meets four (4) of the nine (9) criteria of O. Reg. 9/06 (amended through O. Reg. 569/22):

- The property has design value or physical value because it is a rare, unique, representative or early example of a style, type, expression, material or construction method.
- The property has historical value or associative value because it has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community.
- The property has contextual value because it is important in defining, maintaining or supporting the character of an area.
- The property has contextual value because it is physically, functionally, visually or historically linked to its surroundings.

156 Duke Street West

The subject property municipally addressed as 156 Duke Street West meets five (5) of the nine (9) criteria of O. Reg. 9/06 (amended through O. Reg. 569/22):

- The property has design value or physical value because it is a rare, unique, representative or early example of a style, type, expression, material or construction method.
- The property has historical value or associative value because it has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community.
- The property has historical or associative value because it yields, or has the potential to yield, information that contributes to an understanding of a community or culture.
- The property has contextual value because it is important in defining, maintaining or supporting the character of an area.
- The property has contextual value because it is physically, functionally, visually or historically linked to its surroundings.

7 Fischer Court

The subject property municipally addressed as 7 Fischer Court meets three (3) of the nine (9) criteria of O. Reg. 9/06 (amended through O. Reg. 569/22):

- The property has design value or physical value because it is a rare, unique, representative or early example of a style, type, expression, material or construction method.
- The property has design value or physical value because it displays a high degree of craftsmanship or artistic merit.

- The property has historical value or associative value because it has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community.

11-15 Pandora Avenue North

The subject property municipally addressed 11-15 Pandora Avenue North meets three (3) of the nine (9) criteria of O. Reg. 9/06 (amended through O. Reg. 569/22):

- The property has design value or physical value because it is a rare, unique, representative or early example of a style, type, expression, material or construction method.
- The property has design value or physical value because it displays a high degree of craftsmanship or artistic merit.
- The property has historical value or associative value because it has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community.

Heritage Kitchener Committee Options

Option 1 – Pursuing Designation for this property

Should Heritage Kitchener committee vote to start pursuing designation for this property, staff will then contact the respective property owner to inform them and to start working with them towards designation. Staff will then bring a Notice of Intention to Designate back to the Committee to initiate the designation process. Should a property owner object to their property being designated, they can submit an appeal to the Ontario Land Tribunal (OLT) to rule on the decision. If the OLT determines that the property should not be designated but remain listed, it will be removed from the Municipal Heritage Register on January 1, 2025.

Option 2 – Deferring the Designation Process

Should Heritage Kitchener vote to defer the designation process for this property, it will remain listed on the City's Municipal Heritage Register until January 1, 2025, after which it will have to be removed. The process of designating this property can be started at any time until January 1, 2025.

Option 3 – Not Pursuing Designation for this property

Should Heritage Kitchener vote not to pursue the designation of this property, it will remain listed on the City's Municipal Heritage Register until January 1, 2025, after which it will be removed. Once removed, these properties will not be able to be re-listed for the next five (5) years i.e. – January 1, 2030.

It should be noted that, per the endorsed work plan, staff are currently undertaking evaluations for high priority properties that are located in areas of the City that are experiencing significant redevelopment.

STRATEGIC PLAN ALIGNMENT:

This report supports the delivery of core services.

FINANCIAL IMPLICATIONS:

Capital Budget – The recommendation has no impact on the Capital Budget.

Operating Budget – The recommendation has no impact on the Operating Budget.

COMMUNITY ENGAGEMENT:

INFORM – This report has been posted to the City's website with the agenda in advance of the council / committee meeting.

CONSULT AND COLLABORATE – The Municipal Heritage Committee (Heritage Kitchener) have been consulted at previous meetings regarding the proposed strategy to review the Municipal Heritage Register of Non-designated Properties and participated in the assessment of the properties subject to this report.

PREVIOUS REPORTS/AUTHORITIES:

- Heritage Kitchener Committee Work Plan 2022-2024 – DSD-2023-053
- Bill 23 – Municipal Heritage Register Review – DSD-2023-225
- Kitchener Municipal Heritage Register Review – August Update – DSD-2023-309
- Municipal Heritage Register Review – January 2024 Update – DSD-202-022
- Municipal Heritage Register Review – March 2024 Update – DSD-2024-093
- *Ontario Heritage Act, 2022*

REVIEWED BY: Garrett Stevenson, Director of Development and Housing Approvals

APPROVED BY: Justin Readman, General Manager, Development Services

ATTACHMENTS:

Attachment A - Updated Statement of Significance – 56 Duke Street West

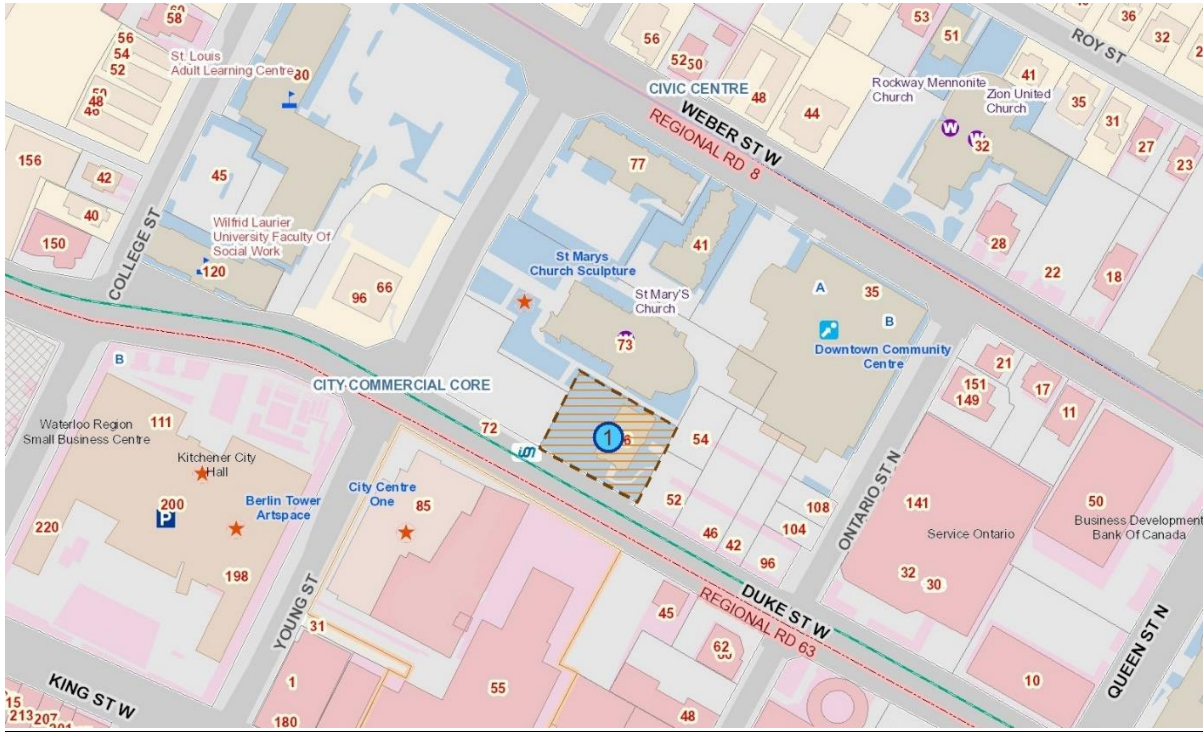
Attachment B - Updated Statement of Significance – 156 Duke Street West

Attachment C - Updated Statement of Significance – 7 Fischer Court

Attachment D - Updated Statement of Significance – 11-15 Pandora Avenue North

STATEMENT OF SIGNIFICANCE

56 Duke Street West



Summary of Significance

- ☒ Design/Physical Value
- ☒ Historical Value
- ☒ Contextual Value

- ☒ Social Value
- ☐ Economic Value
- ☐ Environmental Value

Municipal Address: 56 Duke Street West

Legal Description: Plan 399 Lot 7

Year Built: 1922

Architectural Styles: Gothic

Original Owner: St. Mary's Roman Catholic Church

Original Use: Rectory

Condition: Good

Description of Cultural Heritage Resource

56 Duke Street West is an early 20th century building built in the Gothic architectural style. The building is situated on a 0.34 acre parcel of land located on the north side of Duke Street between Young Street and Ontario Street in the City Commercial Core Planning Community of the City of Kitchener within the Region of Waterloo. The principal resource that contributes to the heritage value is the presbytery.

Heritage Value

56 Duke Street West is recognized for its design/physical, historic/associative, and contextual values.

Design/Physical Value

The design and physical values relate to the notable, rare and unique Gothic architectural style of the building. The building is two-and-a-half-storeys in height and features: hip roof with wall dormers; red brick; paired two storey projecting bays on front elevation; flattened gothic arch windows; segmental window openings with false wood shaping around the windows; gothic pointed arch windows with tracery; round windows with quatrefoils; dentils on the dropped cornice; and, wood doors with transom and sidelights.

Front Façade (South Elevation)

The front façade of the building has a brick portico with voussoirs, and two projecting bays with gothic arched windows and voussoirs on either side on each storey with decorative dentil moulding. The projecting entrance has brick pillars on each side with steps leading down to the main street. There are three gabled parapet dormers above the second storey, with arched windows with tracery and voussoirs.

Side Elevation (East Elevation)

The side façade also has a brick portico and voussoirs, and decorative dentil moulding. The first and second storey of the building has 6 gothic arched double windows with voussoirs, 4 on the left side of the entrance and 2 on the right side of the entrance. There is additional tripartite window above the main entrance, in a three-by-three orientation with sash windows on lower half and tracery on the upper half. All the windows have voussoirs and sills. There is also decorative dentil moulding with a dropped cornice on the upper storey and 4 gabled parapet dormers, with gothic arched windows and voussoirs and tracery, a round window with tracery, and a double window with tracery. Due to the topography of the hill the building is located on, part of the stone foundation can be seen with double windows on the lower level.

Rear Elevation (North Elevation)

The rear elevation of the building has an irregular fenestration pattern, with arched windows and voussoirs. There are also projecting entrances on the façade that provide an alternate entrance to the building, as well as connect it to the church.

Side Elevation (West Elevation)

The side façade also has a brick portico and voussoirs, and decorative dentil moulding. The first and second storey of the building has 6 gothic arched double windows with voussoirs, 4 on the left side of the entrance and 2 on the right side of the entrance. There is additional tripartite window above the main entrance, in a three-by-three orientation with sash windows on lower half and tracery on the upper half. All the windows have voussoirs and sills. There is also decorative dentil moulding with a dropped cornice on the upper storey and 4 gabled parapet dormers, with gothic arched windows and voussoirs and tracery, a round window with tracery, and a double window with tracery. Due to the topography of the hill the building is located on, part of the stone foundation can be seen with double windows on the lower level.

Historical/Associative Value

The historic and associative values relate to the original owner and use of the property and buildings and the contribution they made to the history of Berlin (now Kitchener). The original owner of the property was St. Mary's Roman Catholic Church and the original use of the property was a presbytery. The building also has associative value for being designed by Charles Knetchel, a prominent architect in Berlin (now Kitchener) for more than 40 years.

St. Mary's Roman Catholic Church

The historic and associative values of St. Mary's Roman Catholic Church (municipally addressed as 73 Young Street) relate to the original owner and use of the property and buildings, and the contributions they made to Kitchener's history. This land has always been used as a church and contains one of the oldest churches in Kitchener.

The church today sits on land that was purchased on August 16, 1854 from David Weber for \$200.00. Prior to the formation of St. Mary's Parish, the few Catholic families travelled to St. Agatha Church to attend mass. In 1852, Kitchener (Berlin) was chosen to be the county seat. Since this was chosen to be the leading community, the Jesuits chose this area to make a community centre. Father Rupert Ebner S.J., who was the spiritual leader from 1848 to 1856, encouraged the Catholics of Strassburg, Williamsburg, Bridgeport, and Lexington to unite with those of Berlin to build a church, and the group agreed. On September 17, 1854, the cornerstone was laid by Bishop DeCharbonnel of the Toronto Diocese. The church was completed in 1856, blessed by Bishop Farrell, the first Bishop of Hamilton, and was given the title of St. Mary of the Seven Dolors. The original church measured 80 by 40 feet with additions being constructed in the next few years.

On June 26, 1892, a meeting held in the church resulted in a discussion for funding the construction of a new church because of crowding and it was decided that the church would collect monthly funding to fund the new church. By 1899, the church had sufficient funds to purchase the adjoining land from John Fennell for \$7,500.00. On September 30, 1900, Bishop T. J. Downing laid the cornerstone and in the late autumn of 1903, the church was completed. It had been planned by Arthur William Holmes of Toronto. Its date of construction, having been built at a time when Kitchener was Berlin, makes this church one of the oldest churches and buildings in Kitchener, thus having significant historical and associative value.

The Rectory

Father Laufhuber S. J. began a house-to-house canvass for funds to build a sacristy and rectory shortly after his arrival as a pastor in 1857. The sacristy was built first, and he lived there until the rectory was completed, and took an active role in planning and directing the construction of the building. The first floor became the first separate school and the rooms on the second floor became the rectory and the teacher's quarters. This building was situated immediately in front of where the present church stands, and was torn down in 1897.

In 1899, the "John Motz" house at 64 Young Street was purchased by the Fathers at St. Jerome's College, and was rented to the parish priests. Since the rectory was urgently needed to keep the school functioning, the Fathers immediately took up residence in the new rectory.

A parish meeting was called on March 14, 1915 to discuss a new rectory, with a delegation being sent to the Bishop to enquire about placing a mortgage on the church for this purpose. It took until August 22, 1921 to release the contract to build the new rectory. The Rectory (located at 56 Duke Street West) was completed in October 1922, at the cost of \$46,000. The Fathers moved into the rectory on from 19-21st of October. The new rectory was designed by Charles Knetchel and Reitzel Brothers from Waterloo were the builders.

The Rectory was equipped by the Catholic Women's League, The Christian Mother's Society, the Holy name Society and the Young Ladies Society. Mr. and Mrs. Hartman Krug, owner of the prominent Krug Furniture Company, presented the furniture for the office and waiting rooms. In 1939, the exterior of the rectory was painted, and in 1944 repairs were made to the interior and exterior of the rectory. In 1956, the Church briefly hosted a distinguished visitor at the rectory, His Excellency Archbishop Giovanni Panico, D.D. representative of His Holiness Pope Pius XII, and head of the Apostolic Delegation to Canada on October 25, 1956. Today, the building is still used as a residence and an office.

Charles Knetchel

Charles Knetchel was born in Mannheim, Waterloo County, Ontario on November 22, 1869. He never formally studied architecture but instead received much of his knowledge of design and construction from his father, Jonas Knetchel, who he worked with from 1886 until his father's death in 1894. Knetchel then opened his own office in Kitchener (then Berlin) in 1895 and continued to practice until after 1930.

He has worked on more than a 100 buildings in the Waterloo Region, including churches, schools, commercial offices, factories,, and private residences as far away as Galt and Durham in Ontario. He remained active in the profession for nearly 40 years until 1928, and later died in Kitchener on October 5, 1951.

Contextual Value

The contextual value of 56 Duke Street West relates to the physical, historical, functional and visual links to the building's surroundings. The building is located on the block bounded by Duke Street West, Young Street, Weber Street West and Ontario Street, and is related to the St. Mary's Roman Catholic Church. The west portion of this block has been historically owned by the church. Historic buildings still present on the block include: the St. Mary's Roman Catholic Church; the St. Mary's Roman Catholic Presbytery; and, the Lutherwood's Betty Thompson Youth Centre (historically known as the Notre Dame Convent). In addition, the Presbytery has a strong visual presence, including important views, on Duke Street as the building occupies a large site slightly elevated on a hill.

Other Values

Social Value

St. Mary's Roman Catholic Church has significant social value as a place of worship that has been in Kitchener for over a century. This building has been supporting these services for over 100 years and has become a landmark and a place of importance in the community. Places of worship often provide intangible community value as a place where people gather and are often a central piece of a community.

Heritage Attributes

The heritage attributes of 56 Duke Street West resides in the following heritage attributes:

- All elements related to the construction and architectural style of the building, including:
 - The location, massing and scale of the building;
 - all elevations of the building;
 - The roofline, including wall dormers;
 - red brick construction;
 - paired two storey projecting bays on front elevation;
 - all windows openings and decorative details, including:
 - flattened gothic arch windows;
 - segmental window openings with false wood shaping;
 - gothic pointed arch windows with tracery;
 - round windows with quatrefoils;
 - dentils on the dropped cornice; and,
 - all door openings, including transom and sidelights
- All elements related to the contextual value of the building;
 - The original location of the building on Duke Street West

Photos



56 Duke Street West



56 Duke Street West



56 Duke Street West



56 Duke Street West

References

Vernon, H. & Son. (1910). *Vernon's Berlin, Waterloo and Bridgeport: Street, Alphabetical, Business and Miscellaneous Directory: For the Years 1910-1911* (8th Ed.). Hamilton, ON: Griffen & Richmond.

St. Mary's Roman Catholic Church, *Centennial 1857-1957 Issue*, accessed from The Kitchener Public Library Archives, pp. 9-34

Town of Berlin Fire Insurance Maps – 1904

N/A, Some Facts about St. Mary's Parish, accessed via Kitchener Public Library Archives

CULTURAL HERITAGE EVALUATION FORM

Address: 56 Duke Street West Recorder: Deeksha Choudhry

Description: _____ Date: March 1, 2024

Photographs Attached:

☒ Front Facade ☐ Left Façade ☒ Right Façade ☒ Rear Facade ☒ Details ☐ Setting

Designation Criteria	Recorder – Heritage Kitchener Committee	Heritage Planning Staff
1. This property has design value or physical value because it is a rare, unique, representative or early example of a style, type, expression, material or construction method.	N/A <input checked="" type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/>
2. The property has design value or physical value because it displays a high degree of craftsmanship or artistic merit.	N/A <input checked="" type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes <input type="checkbox"/>
3. The property has design value or physical value because it demonstrates a high degree of technical or scientific achievement. <i>* E.g. - constructed with a unique material combination or use, incorporates challenging geometric designs etc.</i>	N/A <input checked="" type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes <input type="checkbox"/>

<p>4. The property has historical value or associative value because it has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community.</p> <p><i>* Additional archival work may be required.</i></p>	<p>N/A <input checked="" type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/></p>
<p>5. The property has historical or associative value because it yields, or has the potential to yield, information that contributes to an understanding of a community or culture.</p> <p><i>* E.g - A commercial building may provide an understanding of how the economic development of the City occurred. Additional archival work may be required.</i></p>	<p>N/A <input checked="" type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes <input type="checkbox"/></p>
<p>6. The property has historical value or associative value because it demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.</p> <p><i>* Additional archival work may be required.</i></p>	<p>N/A <input checked="" type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/></p>
<p>7. The property has contextual value because it is important in defining, maintaining or</p>	<p>N/A <input checked="" type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/></p>

supporting the character of an area. <i>* E.g. - It helps to define an entrance point to a neighbourhood or helps establish the (historic) rural character of an area.</i>		
8. The property has contextual value because it is physically, functionally, visually or historically linked to its surroundings. <i>* Additional archival work may be required.</i>	N/A <input checked="" type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/>
9. The property has contextual value because it is a landmark. <i>*within the region, city or neighborhood.</i>	N/A <input checked="" type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes <input type="checkbox"/>

Notes

Additional Criteria	Recorder	Heritage Kitchener Committee
Interior: Is the interior arrangement, finish, craftsmanship and/or detail noteworthy?	N/A <input checked="" type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/>	N/A <input type="checkbox"/> Unknown <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/>
Completeness: Does this structure have other original outbuildings, notable landscaping or external features that complete the site?	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes <input type="checkbox"/>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes <input type="checkbox"/>

<p>Site Integrity: Does the structure occupy its original site?</p> <p><i>* If relocated, is it relocated on its original site, moved from another site, etc.</i></p>	<p>N/A <input checked="" type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/></p>
<p>Alterations: Does this building retain most of its original materials and design features? Please refer to the list of heritage attributes within the Statement of Significance and indicate which elements are still existing and which ones have been removed.</p>	<p>N/A <input checked="" type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/></p>
<p>Alterations: Are there additional elements or features that should be added to the heritage attribute list?</p>	<p>N/A <input checked="" type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes <input type="checkbox"/></p>
<p>Condition: Is the building in good condition?</p> <p><i>*E.g. - Could be a good candidate for adaptive re-use if possible and contribute towards equity-building and climate change action.</i></p>	<p>N/A <input checked="" type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/></p>
<p>Indigenous History: Could this site be of importance to Indigenous heritage and history?</p> <p><i>*E.g. - Site within 300m of water sources, near distinct topographical land, or near cemeteries might have archaeological potential and indigenous heritage potential.</i></p> <p>Could there be any urban Indigenous history associated with the property?</p> <p><i>* Additional archival work may be required.</i></p>	<p>N/A <input checked="" type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> <input type="checkbox"/> Additional Research Required</p> <p>N/A <input checked="" type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> <input type="checkbox"/> Additional Research Required</p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> <input checked="" type="checkbox"/> Additional Research Required</p> <p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> <input checked="" type="checkbox"/> Additional Research Required</p>
<p>Function: What is the present function of the subject property?</p>	<p>Unknown <input type="checkbox"/> Residential <input type="checkbox"/> Commercial <input type="checkbox"/> Office <input type="checkbox"/> Other <input type="checkbox"/> Church</p>	<p>Unknown <input type="checkbox"/> Residential <input type="checkbox"/> Commercial <input type="checkbox"/> Office <input type="checkbox"/> Other <input checked="" type="checkbox"/> -</p>

<p><i>* Other may include vacant, social, institutional, etc. and important for the community from an equity building perspective.</i></p>		
<p>Diversity and Inclusion: Does the subject property contribute to the cultural heritage of a community of people?</p> <p>Does the subject property have intangible value to a specific community of people?</p> <p><i>* E.g.- Waterloo Masjid (Muslim Society of Waterloo & Wellington Counties) was the first established Islamic Center and Masjid in the Region and contributes to the history of the Muslim community in the area.</i></p>	<p>N/A <input type="checkbox"/> Unknown <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/></p> <p><input type="checkbox"/> Additional Research Required</p> <p>N/A <input type="checkbox"/> Unknown <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/></p> <p><input type="checkbox"/> Additional Research Required</p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes <input type="checkbox"/></p> <p><input type="checkbox"/> Additional Research Required</p> <p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes <input type="checkbox"/></p> <p><input type="checkbox"/> Additional Research Required</p>

Notes about Additional Criteria Examined

Recommendation

Does this property meet the definition of a significant built heritage resource, and should it be designated under Part IV of the Ontario Heritage Act? (Does it meet two or more of the designation criteria?)

N/A ☐ Unknown ☐ No ☐ Yes ☒

If not, please select the appropriate action for follow-up

- ☐ Keep on the Municipal Heritage Register
- ☐ Remove from the Municipal Heritage Register
- ☐ Additional Research Required

Other: _____

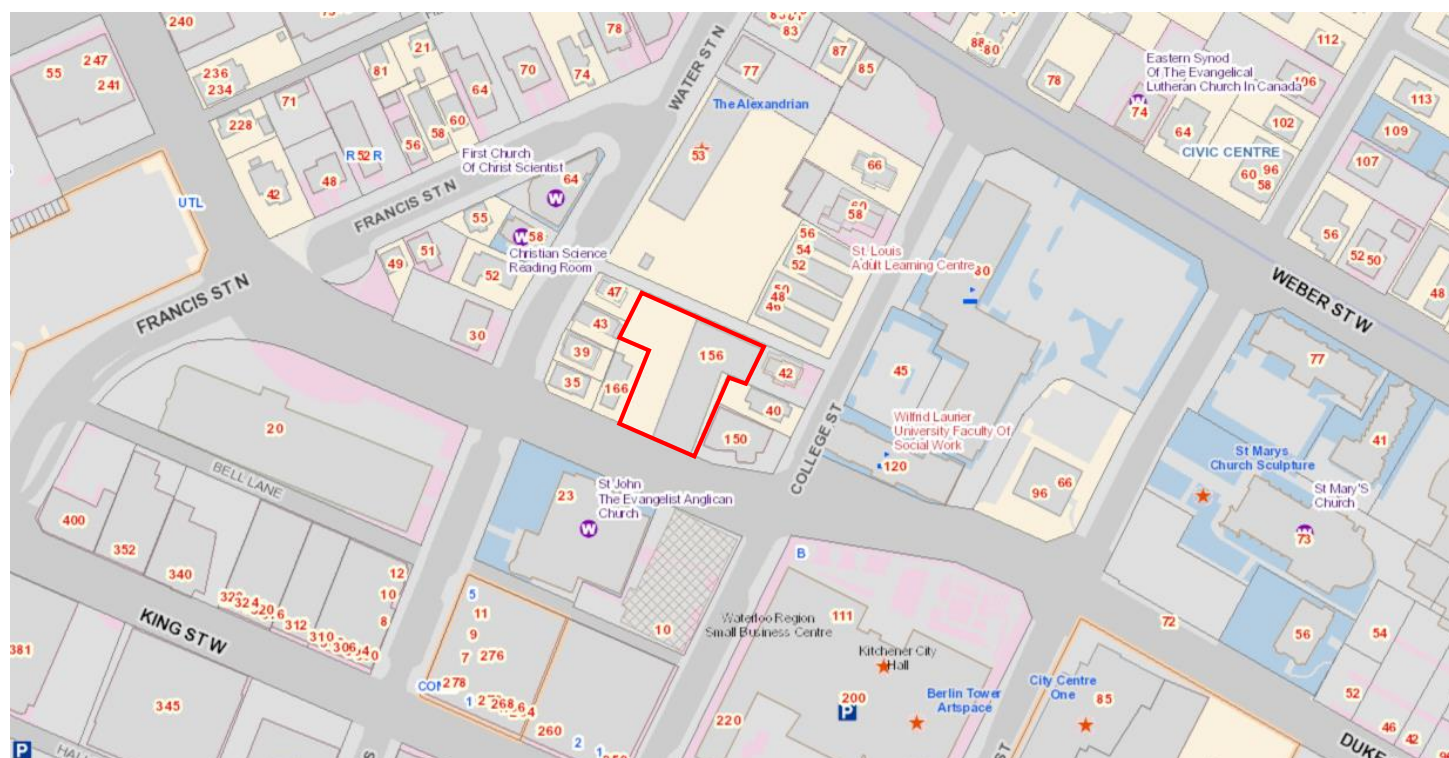
General / Additional Notes

TO BE FILLED BY HERITAGE PLANNING STAFF:

Date of Property Owner Notification: _____

STATEMENT OF SIGNIFICANCE

156 DUKE STREET WEST



Summary of Significance

☒ Design/Physical Value

☒ Historical Value

☒ Contextual Value

☐ Social Value

☒ Economic Value

☒ Environmental Value

Municipal Address: 156 Duke Street West

Legal Description: Plan 374 Lot 159 Part Lot 158 & 160

Year Built: c. 1893

Architectural Style: Renaissance Revival

Original Owner: August & Charles Boehmer

Original Use: Industrial

Condition: Good

Description of Cultural Heritage Resource

156 Duke Street West is a three-storey late 19th century brick building built in the Renaissance Revival architectural style. The building is situated on a 0.44-acre parcel of land located on the north side of Duke Street West between Water Street North and College Street in the City Commercial Core Planning Community of the City of Kitchener within the Region of Waterloo. The principal resource that contributes to the heritage value is the former industrial building.

Heritage Value

156 Duke Street West is recognized for its design, physical, contextual, historical and associative values. In addition the building also possesses economical and environmental values.

Design/Physical Value

The property municipally addressed as 156 Duke Street West demonstrates design or physical value as a representative and notable example of the Renaissance Revival architectural style in an industrial building. The original building is in good condition and features an L-shape plan with three bays along Duke Street; yellow brick laid in the American bond style; decorative brickwork, including pilasters, belt courses, cornice, and corbels; front door opening with radiating brick voussoirs and narrow label moulds; flat, semi-circular and segmentally arched window openings; brick voussoirs; label moulds; and concrete lintels and windowsills.

Front Façade

The existing building is three storeys in height with a flat roof. The first two storeys are yellow brick construction, and the third storey is clad in grey vertical siding. The front façade is symmetrical in design and divided vertically by two piers, two storeys in height, which creates three bays. Each of outside bays contain a large, square segmented window on the ground floor and two semi-circular segmented windows on the second floor. The central bay contains the main entrance fronting directly onto the sidewalk, and two semi-circular segmented windows on the second floor. All openings contain voussoirs or brick headers. The first floor is divided horizontally from the second floor by a belt course. A second belt course visually divides the second floor into two horizontal halves.

West Side Façade

The west side façade is comprised of 10 bays separated by yellow brick pilasters. The first two storeys of the first four bays from the front are constructed from yellow brick, while the third floor is clad in grey vertical siding. Each of the first four bays contain two arched segmented windows on the ground floor and two arched segmented windows on the second floor. The windows are capped by a brick voussoir and contain concrete sills and lintels. The third floor is clad in vertical board and contains rectangular segmented windows that align with the windows on the lower floors. The remaining six bays are also three storeys in height and are constructed entirely of yellow brick. The pattern of two arched segmented windows continues along the ground floor of these remaining bays except for the ninth and tenth, while the second and third floors for all bays each contain one large square segmented window with concrete lintels and sills. The ninth bay contains an additional covered entrance, while the tenth contains a ground-floor window that matches those of the second and third floor.

Historical/Associative Value

The property municipally addressed as 156 Duke Street West has historical and associative value due to its original use and the connection it has to the theme of economic development within the downtown area, as well as the potential it has to contribute to an understanding of the community.

The existing building was originally home to A. & C. Boehmer Box Company and was constructed by the founders of the company August and Charles Boehmer. Originally the owners of a hardware store, the brothers established the A. & C. Boehmer Box Company in 1874 to provide boxes for a local button manufacturer. This was the City's first – and for a period of time until the mid-1900's only – major paper box factory in the area. The boxes were originally made by hand and delivered via a team of heavy horses and huge wagons, stabled behind the existing building. The company serviced a number of notable local companies, including the Arrow Company, John Forysth Shirt Company, Smiles 'n Chuckles Candy Factory, Carles A. Ahrens & Company, Waterloo Dominion Button, and Rumble Felt. In 1952 the company expanded from set-up and permanent boxes into the larger market of folding boxes, which necessitated the construction of an addition to the Duke Street building in 1954. In 1963 a new plant was constructed at 460 Belmont Avenue West and replaced the original Duke Street plant as the companies' headquarters, though the company continued to utilize a portion of the old factory for storage.

The company remained in the Boehmer family for a period of 100 years. In 1928 George Boehmer, son of August Boehmer, became the head of the company. He was later succeeded by Carlo Boehmer followed by Floyd Boehmer. At the end of 1974, a Mr. Alvin Besant purchased all shares of the company and became the owner and president, and in 1976 the name of the company was changed to Boehmer Box Corporation. Also in 1976 the company employed the only known female comptroller in the twin-city area.

Beyond being a lucrative business model, box companies also serve as good barometers for economic conditions. This is due to the fact that practically everything sold needs to be packaged. As such, the continual growth and success of the A. & C. Boehmer Box Company can serve as a direct reflection of the successful economic development of the City.

Contextual Value

The building has contextual value, being historically, physically, and visually linked to the streetscape of Duke Street West in its scale and massing. It supports and maintains the character of the area, as it is located in-situ within the City Commercial Core and in proximity to a number of other historic commercial and industrial buildings. The location of 156 Duke Street West was necessary for its historical function, as it provided the surrounding commercial area with paper boxes necessary for packaging products.

Economic Value

The existing building has economic value due to its history and contribution towards the economic development of what was then Berlin in the late 18th and early 20th century. In 1928 the company employed 75 people, and it has grown to employ approximately 470-480 in 2016 with the consolidation of a Hamilton folding carton plant. The company remains active within Kitchener as of 2024.

Environmental Value

The existing building has environmental value, being an early example of adaptive re-use within Kitchener. Adaptive re-use refers to the process of repurposing an existing building for a use other

than that which it was originally constructed for. In 1987 the former industrial building was converted to an apartment containing 39 dwelling units, and the building still operates as an apartment in 2024. This is a sustainable development method which reduces the amount of energy consumption and carbon emissions produced in association with construction and keeps materials out of landfills.

Heritage Attributes

The heritage value of 156 Duke Street West resides in the following heritage attributes:

- All elements related to the construction and Classic Revival architectural style of the original 1893 building and the 1954 addition, including:
 - L-shape plan with three bays along Duke Street;
 - yellow brick laid in the American bond style;
 - decorative brickwork, including pilasters, belt courses, cornice, and corbels;
 - front door opening with radiating brick voussoirs and narrow label moulds;
 - flat, semi-circular and segmentally arched window openings;
 - brick voussoirs;
 - label moulds;
 - stone foundation;
 - concrete lintels; and,
 - concrete windowsills

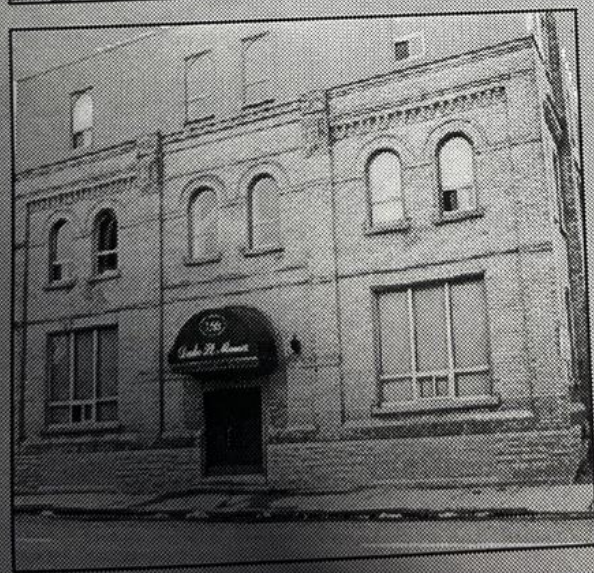
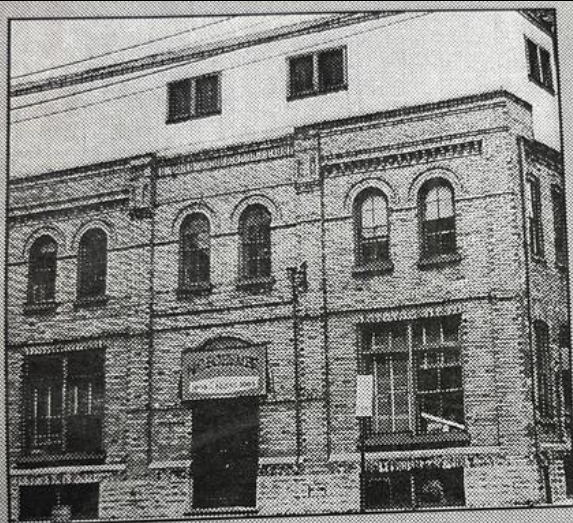
Photographs



Front Elevation



Side Elevation (Direction Façade)



The Boehmer Box building has been a landmark on Duke Street West since its construction in 1874. The top picture, taken some time around the turn of the century, shows the pride workers in "Busy Berlin" took in their manufactured goods. Converted to apartments in 1987, the building now boasts 39 modern apartment units. This isn't the first time the Boehmers' site has had "residents." Before the advent of automobiles, delivery horses were stabled to the rear of the property.

(Photos Courtesy of Boehmer Box Corporation and Kitchener Public Library/Waterloo Historical Society)

CULTURAL HERITAGE EVALUATION FORM

Address: 156 Duke Street West Recorder: Jessica Vieira

Description: _____ Date: _____
(date of construction, architectural style, etc)

Photographs Attached:

☒ Front Façade ☒ Left Façade ☐ Right Façade ☐ Rear Façade ☒ Details ☐ Setting

Designation Criteria	Heritage Kitchen Committee	Recorder - Heritage Planning Staff
1. This property has design value or physical value because it is a rare, unique, representative or early example of a style, type, expression, material or construction method.	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/>
2. The property has design value or physical value because it displays a high degree of craftsmanship or artistic merit.	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes <input type="checkbox"/>
3. The property has design value or physical value because it demonstrates a high degree of technical or scientific achievement. <i>* E.g. - constructed with a unique material combination or use, incorporates challenging geometric designs etc.</i>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes <input type="checkbox"/>
4. The property has historical value or associative value because it has direct	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/>

<p>associations with a theme, event, belief, person, activity, organization or institution that is significant to a community.</p> <p><i>* Additional archival work may be required.</i></p>		
<p>5. The property has historical or associative value because it yields, or has the potential to yield, information that contributes to an understanding of a community or culture.</p> <p><i>* E.g - A commercial building may provide an understanding of how the economic development of the City occurred. Additional archival work may be required.</i></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/></p> <p>Yes <input type="checkbox"/></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/></p>
<p>6. The property has historical value or associative value because it demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.</p> <p><i>* Additional archival work may be required.</i></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/></p> <p>Yes <input type="checkbox"/></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes <input type="checkbox"/></p>
<p>7. The property has contextual value because it is important in defining, maintaining or supporting the character of an area.</p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/></p> <p>Yes <input type="checkbox"/></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/></p>

* E.g. - It helps to define an entrance point to a neighbourhood or helps establish the (historic) rural character of an area.		
<p>8. The property has contextual value because it is physically, functionally, visually or historically linked to its surroundings.</p> <p>* Additional archival work may be required.</p>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/>
<p>9. The property has contextual value because it is a landmark.</p> <p>*within the region, city or neighborhood.</p>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes <input type="checkbox"/>

Notes

<i>Additional Criteria</i>	<i>Heritage Kitchener Committee</i>	<i>Recorder - Heritage Planning Staff</i>
Interior: Is the interior arrangement, finish, craftsmanship and/or detail noteworthy?	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/>	N/A <input type="checkbox"/> Unknown <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/>
Completeness: Does this structure have other original outbuildings, notable landscaping or external features that complete the site?	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes <input type="checkbox"/>
Site Integrity: Does the structure occupy its original site? <i>* If relocated, is it relocated on its original site, moved from another site, etc.</i>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/>
Alterations: Does this building retain most of its original materials and design features? Please refer to the list of heritage attributes within the Statement of Significance and indicate which elements are still existing and which ones have been removed.	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/>

<p>Alterations: Are there additional elements or features that should be added to the heritage attribute list?</p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> - Stone foundation</p>
<p>Condition: Is the building in good condition?</p> <p><i>*E.g. - Could be a good candidate for adaptive re-use if possible and contribute towards equity-building and climate change action.</i></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/></p>
<p>Indigenous History: Could this site be of importance to Indigenous heritage and history?</p> <p><i>*E.g. - Site within 300m of water sources, near distinct topographical land, or near cemeteries might have archaeological potential and indigenous heritage potential.</i></p> <p>Could there be any urban Indigenous history associated with the property?</p> <p><i>* Additional archival work may be required.</i></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> <input type="checkbox"/> Additional Research Required</p> <p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> <input type="checkbox"/> Additional Research Required</p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> <input checked="" type="checkbox"/> Additional Research Required</p> <p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> <input checked="" type="checkbox"/> Additional Research Required</p>
<p>Function: What is the present function of the subject property?</p> <p><i>* Other may include vacant, social, institutional, etc. and important for the community from an equity building perspective.</i></p>	<p>Unknown <input type="checkbox"/> Residential <input type="checkbox"/> Commercial <input type="checkbox"/> Office <input type="checkbox"/> Other <input type="checkbox"/> - _____</p>	<p>Unknown <input type="checkbox"/> Residential <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Office <input type="checkbox"/> Other <input type="checkbox"/> - _____</p>
<p>Diversity and Inclusion: Does the subject property contribute to the cultural heritage of a community of people?</p> <p>Does the subject property have intangible value to a specific community of people?</p> <p><i>* E.g.- Waterloo Masjid (Muslim Society of Waterloo & Wellington Counties) was the first established Islamic Center and Masjid in the Region and contributes to the history of the Muslim community in the area.</i></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> <input type="checkbox"/> Additional Research Required</p> <p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> <input type="checkbox"/> Additional Research Required</p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes <input type="checkbox"/> <input type="checkbox"/> Additional Research Required</p> <p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes <input type="checkbox"/> <input type="checkbox"/> Additional Research Required</p>

Notes about Additional Criteria Examined

Recommendation

Does this property meet the definition of a significant built heritage resource, and should it be designated under Part IV of the Ontario Heritage Act? (Does it meet two or more of the designation criteria?)

N/A ☐ Unknown ☐ No ☐ Yes ☐

If not, please select the appropriate action for follow-up

- ☐ Keep on the Municipal Heritage Register
- ☐ Remove from the Municipal Heritage Register
- ☐ Additional Research Required

Other: _____

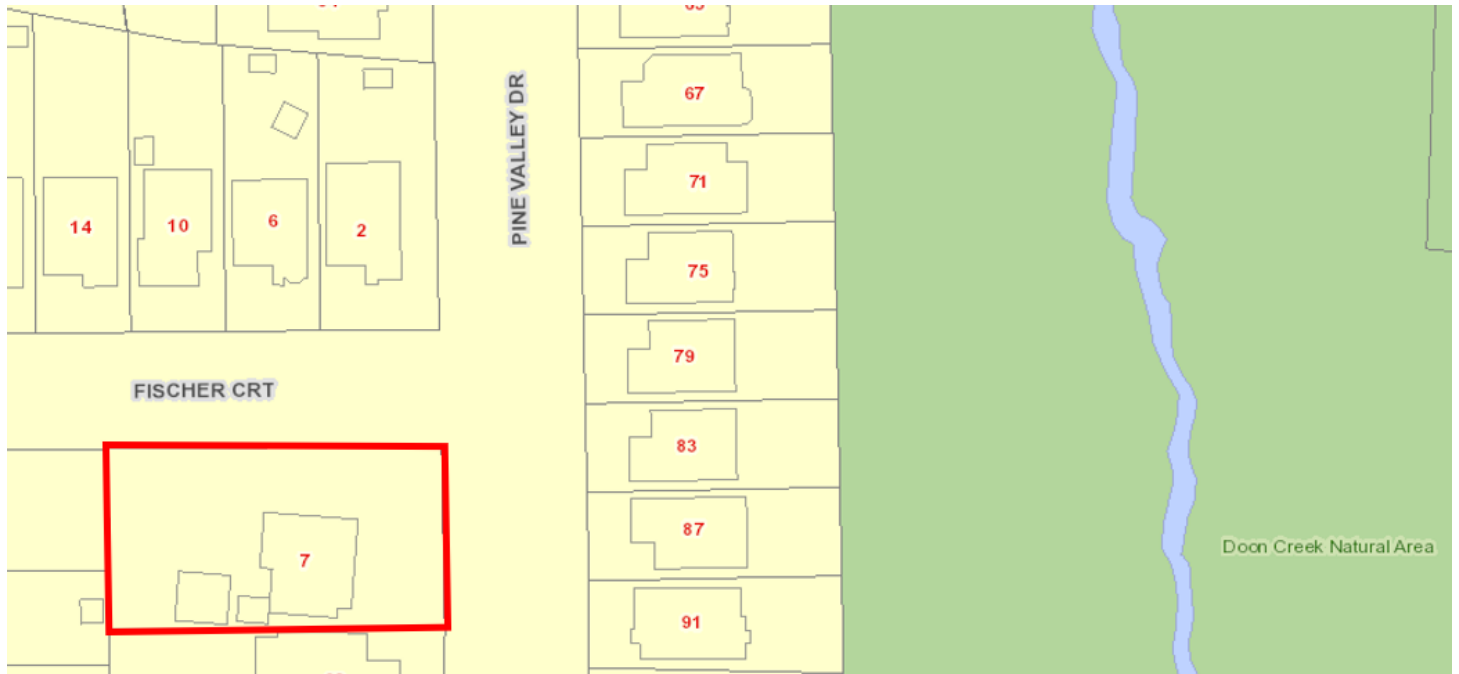
General / Additional Notes

TO BE FILLED BY HERITAGE PLANNING STAFF:

Date of Property Owner Notification: _____

STATEMENT OF SIGNIFICANCE

7 Fischer Court



Summary of Significance

☒ Design/Physical Value

☒ Associative/Historical Value

☒ Contextual Value

☐ Social Value

☐ Economic Value

☐ Environmental Value

Municipal Address: 7 Fischer Court

Legal Description: Reg Plan 58M-316 Lot 148

Year Built: c. 1860

Architectural Style: Log

Original Owner: William Fischer

Original Use: Residential

Condition: Good

Description of Cultural Heritage Resource

7 Fischer Court (previously 1 Oregon Drive) is a three-storey mid-19th century log house. The house is situated on a 0.29-acre parcel of land located on the south side of Fischer Court at the intersection of Fischer Court and Pine Valley Drive in the Doon South Neighbourhood of the City of Kitchener within the Region of Waterloo. The house is the principal resource that contributes to the heritage value.

Heritage Value

7 Fischer Court is recognized for its design/physical, and associative/historic values.

Design/Physical Value

The property municipally addressed as 7 Fischer Court demonstrates design/physical value as a rare, unique and unexpected example of a late 19th-century 'wedding cake' design log house in a rural setting. According to the late Nicholas Hill, Architect Planner, *"The style smacks of high architectural vogue, commissioned by a client with adventurous taste."* The building significantly altered over the years; however, it was rehabilitated in the late 1990s/early 2000s. The building has both original and rehabilitated heritage attributes in good condition including: 2.5 storey square plan; log construction with a 'wedding cake' design; cedar shingles; pyramidal roof with glass roof lantern; pine fascia and frieze; prefinished metal covered wood windows with muntins; wraparound verandah; and, a stone foundation under a portion of the house. The original smokehouse was relocated and reconstructed on this lot in the new subdivision.

Front (East) Façade

The front of the building faces Pine Valley Drive and is comprised of three somewhat irregular bays. The most prominent feature of the building is its "wedding cake" design with the use of log construction. The centre bay features the front door and a prefinished metal covered wood window on the first floor while the two end bays on this floor feature matching prefinished metal covered wood windows with muntins. The first floor also features a reconstructed wraparound verandah, which is slightly off centre (closer to the east façade). The verandah displays a hip roof with cedar shingles, six pine posts and pine railings. The second storey features three prefinished metal covered wood windows with muntins while the two end windows align with the windows on the first floor. The third floor features the pyramidal cedar shingle roof, pine fascia and frieze and glass roof lantern with prefinished metal covered wood windows with muntins.

Side (North) Façade

The north side façade faces Fischer Court and features two bays. The first floor contains two doors and one prefinished metal covered wood window with muntins near the north-west corner of the house. This floor also features a reconstructed wraparound verandah, which unlike the front façade is symmetrical. The verandah displays a hip roof with cedar shingles, six pine posts and pine railings. The second floor features two prefinished metal covered wood windows with muntins along with one window aligning with a door on the first floor while the other window aligns with the window on the first floor. The third storey features the pyramidal cedar shingle roof, pine fascia and frieze and glass roof lantern with prefinished metal wood windows with muntins.

Side (South) Façade

The south side façade faces the surrounding subdivision and features two bays. The first and second floor both display two matching prefinished metal covered wood windows with muntins that are aligned above/below one another. The third storey features the pyramidal cedar shingle roof, pine fascia and frieze and glass roof lantern with prefinished metal covered wood windows with muntins.

Rear (West) Façade

The rear façade faces the surrounding subdivision and features two bays. The first floor displays one door and one prefinished metal covered wood window with muntins. This floor also features a wraparound verandah that extends across approximately half of the rear façade. The verandah displays a hip roof with cedar shingles, four pine posts and pine railings. The second floor features two prefinished metal covered wood windows with muntins that are aligned with the door and window on

the first floor. The third storey features the pyramidal cedar shingle roof, pine fascia and frieze and glass roof lantern with prefinished metal covered wood windows with muntins.

Interior

The interior features a central circular staircase from the basement leading up to the glass roof lantern on the third floor. In 1997, this staircase was nearly original including treads, risers, side panels, handrail and spindles (Hill, 1997).

Historical/Associative Value

The property municipally addressed as 7 Fischer Court has historical/associative value due to history and association with early settlement, Richard Beasley, John Biehn, the Stauffer family, and the Fisher/Fischer family.

Ownership through the 1800s is difficult to confirm. However, the lands are associated with early settlement, Richard Beasley, John Biehn, and the Fisher/Fischer family.

Richard Beasley sold land in the Lower Block between 1800 and 1803 (Bloomfield et al., 1994). Research completed in 1996-97 by Nicholas Hill, Architect Planner, suggested that the house was built on Lot 3 of Biehn's Tract. Contrary to Nicholas Hill's research, assessment roll evidence from 1881 suggests that William Fischer owned Lot 5 of Biehn's Tract (Bloomfield et al, 1994).

). The assessment roll also indicated that William Fischer was 46 years old and a farmer with 148 acres of land, of which 110 were cultivated, and he had four horses, eight cattle, 18 sheep, and five hogs. The value of the land in 1881 was \$3,300.

Members of the Fischer family also owned land in Bechtel's Tract including George Fischer, George W. Fischer, John Fischer, Nelson Fischer, Philip Fischer, and William Fischer.

Research also suggests that Cecil Fischer lived on the farm from 1925 to 1970 (Hill, 1997). Cecil's parents were Father John Burnham Fischer and Ida May Wismer.

Contextual Value (Historic)

Historically, the house was located on an active farm. The glass roof lantern on the third floor was used to check on the ploughing of the fields (Hill, 1997). It was also a great place for artists to set up their canvases (Hill, 1997).

Heritage Attributes

The heritage value of 7 Fischer Court resides in the following heritage attributes:

- late 19th-century 'wedding cake' design;
- 2.5 storey square plan;
- log construction;
- cedar shingles;
- pyramidal roof with glass roof lantern;
- pine fascia and frieze;
- prefinished metal covered wood windows with muntins;
- wraparound verandah; and,
- a stone foundation under a portion of the house;
- the relocated and reconstructed original smokehouse;

- the front façade with three somewhat irregular bays:
 - the centre bay front door and prefinished metal covered wood window on the first floor;
 - the two end bays with matching prefinished metal covered wood windows with muntins;
 - the reconstructed wraparound verandah with hip roof covered by cedar shingles, six pine posts and pine railings;
 - the three prefinished metal covered wood windows with muntins on the second floor;
 - the third floor pyramidal cedar shingle roof, pine fascia and frieze and glass roof lantern with prefinished metal covered wood windows with muntins.
- The north side façade with two bays:
 - the two doors and prefinished metal covered wood window with muntins near the north-west corner of the house on the first floor;
 - the reconstructed wraparound verandah with hip roof covered by cedar shingles, six pine posts and pine railings;
 - the two prefinished metal covered wood windows with muntins;
 - the third floor pyramidal cedar shingle roof, pine fascia and frieze and glass roof lantern with prefinished metal covered wood windows with muntins.
- The south side façade with two bays:
 - the two matching prefinished metal covered wood windows with muntins that are aligned above/below one another;
 - the third storey pyramidal cedar shingle roof, pine fascia and frieze and glass roof lantern with prefinished metal covered wood windows with muntins.
- The rear façade with two bays:
 - the door and prefinished metal covered wood window with muntins on the first floor;
 - the wraparound verandah with hip roof covered by cedar shingles, four pine posts and pine railings;
 - the prefinished metal covered wood windows with muntins;
 - the third storey pyramidal cedar shingle roof, pine fascia and frieze and glass roof lantern with prefinished metal covered wood windows with muntins.

References

Bergey, L., (1977). *A history of the Stauffers Families Who Came to Ontario*. Stauffer Family Historical Committee: Kitchener-Waterloo, ON.

Bloomfield, E., L. Foster & L.W. Laliberte. (1994). *The Waterloo Township Cadastre in 1861*. Guelph: Department of Geography, University of Guelph.

Hill, N. (1997). *Wyldwoods Neighbourhood Doon South Community City of Kitchener Heritage Impact Assessment*. Kitchener ON: Nicolas Hill & Green Scheels and Pidgeon.

Photographs



Context: Front Elevation (East Façade) of 7 Fischer Court located on a corner lot within a suburban subdivision



Front Elevation (East Façade)



Side Elevation (North Façade) & Rear Elevation (West Façade)



Side Elevation (South Façade)



Detail of the pyramidal cedar shingle roof, pine fascia and frieze and glass roof lantern with prefinished metal covered wood windows with muntins



Detail of first storey covered verandah with cedar shingle roof, pine posts and pine railings

STATEMENT OF SIGNIFICANCE

11-15 Pandora Avenue



Summary of Significance

☒ Design/Physical Value

☒ Historical Value

☐ Contextual Value

☐ Social Value

☐ Economic Value

☐ Environmental Value

Municipal Address: 11-15 Pandora Avenue

Legal Description: GCT Sub of Lot 2 Lot 74

Year Built: 1878

Architectural Style: Italianate

Original Owner: Menno Erb

Original Use: Residential

Condition: Good

Description of Cultural Heritage Resource

11-15 Pandora Avenue North is a two-storey 19th-century building. The building is constructed in the Italianate architectural style. The building is situated on a 0.18 acre parcel of land located on the east side of Pandora Avenue North between Duke Street East and King Street East in the King East Planning Community of the City of Kitchener within the Region of Waterloo. The principal resource that contributes to the heritage value is the residential building.

Heritage Value

11-15 Pandora Avenue North is recognized for its design/physical and historical/associative values.

Design/Physical Value

The design and physical value relate to the building and the Italianate architectural style. The building has many intact original elements in good condition. Features that represent the Italianate architectural style include: asymmetrical plan in a modified L-shape; two storey height plus attic; truncated hip roof with cross gables; central hip roof that leads to the clerestory windows; moulded fascia, plain cornice, and panelled frieze with paired brackets; a segmentally arched door on the south elevation features two elongated windows with etched bevelled lites and wood panelling as well as a decorative hood crown; projecting centre bay on west elevation with bay window; 1.5 storey addition (original use was the servant quarters); double (suspected) yellow brick construction; corner brick quoins; segmentally hung wood windows with decorative hood crowns, or brick voussoirs, and stone sills; and, rubble stone foundation.

Front (West) Façade

The current front of the building faces Pandora Avenue North. The building generally depicts an asymmetrical plan in a modified L-shape. The truncated hip roof features cross gables that contribute to the modified L-shape plan. The central hip roof leads to the rooftop clerestory windows. The roofline features moulded fascia, plain cornice, and panelled frieze with decorative paired brackets.

The front gable projects out and features a one-storey bay window on the main floor. The bay window displays a hip roof with decorative brackets and panelled frieze. Each bay contains an 8-pane segmentally arched wood window with brick voussoirs and stone sills. A group of two segmentally arched 4/4 wood windows with decorative hood crowns and stone sills is featured on the second storey. A circular wood window with a decorative hood crown is in the upper gable end. The corners of the projecting front gable display brick quoins.

The modified L-shape features one bay with a hipped roof with a moulded fascia, plain cornice, and panelled frieze with decorative paired brackets. The first storey contains a wraparound porch constructed circa 2009-2011, which does not detract from the Italianate architectural style. The 1924 Fire Insurance Plan shows that the original porch was confined to the original front (south) façade. Both the first storey and the second storey display a segmentally arched 4/4 wood window with decorative hood crown and stone sill. The third storey is comprised of the hip roof leading to the rooftop clerestory windows. The third storey was rebuilt in 2022. The corners of this bay display brick quoins.

The side elevation of the cross gable features a moulded fascia, plain cornice, and panelled frieze with decorative paired brackets. The corners of this bay display brick quoins. There are no doors or windows on this elevation.

A 1.5-storey side-gable addition, originally the 'servants quarters' is located on the north side of the projecting front gable. This addition was built as early as 1924. The yellow brick elevation facing Pandora Avenue North is setback approximately 3 metres from the projecting front gable. This elevation demonstrates a simple design with no ornate details. One four-pane segmentally arched wood window with stone sill is located on the upper half storey. A 1-storey addition, in front of the 1.5-storey side-gable addition, features a simple design with a shed roof, painted vertical board siding (possibly board and batten), a new front door, and three 1/1 windows.

Side (North) Façade

The north façade was originally the rear of the house. This elevation features the 1.5 storey side gable addition that originally served as the 'servant's quarters.' This addition was built as early as 1924. This elevation demonstrates a simple design with no ornate details. A chimney stack is visible on the hip roof of the main building.

Side (South) Façade

The original front of the building faced King Street East. At present, this façade faces a vacant lot municipally addressed as 656 King Street East. The building's roof is cross gabled with a central hip roof leading to the rooftop clerestory windows. The roofline features moulded fascia, plain cornice, and paneled frieze with decorative paired brackets.

The side gable projects out and features a group of two segmentally arched 4/4 wood windows with decorative hood crowns and stone sills on both the first and second storey. A circular wood window with a decorative hood crown is in the upper gable end. The corners of the projecting front gable display brick quoins.

The recessed bay to the left of the projecting side gable features the main entrance to the building with a wraparound porch constructed circa 2009-2011, which does not detract from the Italianate architectural style. The single segmentally arched door with decorative hood crown features two elongated windows with etched and bevelled lite and wood paneling below on the first storey. A group of two segmentally arched 4/4 wood windows with decorative hood crowns and stone sills is featured on the second storey. The corners of the projecting side gable display brick quoins.

Rear (East) Facade

The current rear elevation was originally the east side elevation. At present, the east elevation is not visible from the public realm. According to a 1996 Local Architectural Conservancy Advisory Committee Heritage Property Report (Bensason, 1996), this elevation consisted of three bays. The left bay contained a bricked-in segmentally arched window opening. Dividing the left and centre bay was a chimney projection that ended at the fascia. The centre bay displayed a segmentally arched 1/1 wood window followed by a pair of segmentally arched 4/4 wood windows on the first storey. The second storey displayed a segmentally arched 1/1 wood window followed by a pair of segmentally arched 1/1 wood windows. The third bay contained an entrance porch with door that projects from the main structure, and a 4/4 wood window. The upper half storey contained a 1/1 segmentally arched wood window. These heritage attributes may still exist.

Bensason (1996) also identified notable interior heritage attributes including: a flying wood (probably pine) staircase which winds from the main floor to the attic; the original main front entrance carved wood doors with original hardware, etched and bevelled glass lites; original bay window on Pandora Avenue North elevation; pine board floors; and, 12- and 14-foot ceilings with detailed plaster work and centrepiece in the living room. These heritage attributes may still exist.

Historical/Associative Value

The property municipally addressed as 11-15 Pandora Avenue North has historical/associative value due to history and association with early settlement; prominent pioneer Mennonite families – the Ebys and the Erbs – including Bishop Benjamin Eby, Rev. Moses Erb, and Menno Erb; and early industries including Erb & Co. Glove Works, Brown & Erb, and the Huck Glove Company Limited (Bensason, 1996).

Bishop Benjamin Eby and his wife Marie (nee Brubacher) bought Lot 2, G.C.T. when they came to Canada in 1807. The first building on the property was a log house that stood west of the First Mennonite Church where Bishop Eby was a spiritual leader, teacher and first preacher. By 1830, he had built a frame house. A fine lawn surrounded the frame house with a spacious verandah between the house and King Street. There was also a large barn and a cider mill operated by Ely Eby, son of Bishop Eby (Stroh, 1931). Over the years, Bishop Eby and his descendants sold off parcels of Lot 2.

One parcel of Lot 2 was purchased by Rev. Moses Erb in 1862 from the executors of Rev. Christian Erb, son of Bishop Eby. Moses Erb was born in Waterloo County in 1821. He was an ordained Mennonite minister for the Martin and Bloomingdale fields of labour. He married Susannah Rosenberger in 1841 and they moved to the “Bishop Eby Farm” in 1860 when he was placed on the Berlin Circuit. They moved along with their children Menno, Aaron, and Moses.

The oldest son of Rev. Erb and Susannah was Menno Erb (b. 1842, d. 1906). He married Lydia Bricker and together they had four children – Malinda, Ephraim, Maggie and Edward. Menno became a large landowner when he bought the “Bishop Eby Farm” from his father in 1867. He continued to operate the cider mill, with a large orchard being located between the farm buildings and the Mennonite Meeting House and cemetery (Stroh, 1931). The Berliner Journal of October 31, 1878 noted that “*Menno Erb had built for \$2500 on King Street end of town, a two storey brick house in the Italianate style.*” The house originally faced King Street (264 King Street).

Menno Erb was the head of M. Erb & Co. Glove Works on King Street and the largest shareholder in Erb Glove. He was also in partnership with C.F. Brown – ‘Brown & Erb’ – one of the finest and most prominent furniture houses in the country. In the 1860s, Brown & Erb commenced the manufacture of gloves. Menno Erb was a member of the Town Council in 1868 and 1871. Menno Erb and his family sold the building in 1881 when they moved to the corner of Foundry (Ontario) and Weber Streets. After his death in 1906 a foreman, Joseph Huck, bought Brown & Erb and established the Huck Glove Company Limited. And the furniture business became Quality Mattress located at 87 King Street West.

Over the years the house was owned by various families including, but not limited to, Moses Betzner, Samuel Brubacher, Bennie Persin, Henry Knell William Smyth, Carl Pritschau, Christian Huehn, James Bowers, Joseph Payne, Charles Miehm, Milton Huehn, and Ivan & Doris Gascho.

Heritage Attributes

The heritage value of 11-15 Pandora Avenue North resides in the following heritage attributes:

- asymmetrical plan in a modified L-shape;
- two storey height plus attic;
- truncated hip roof with cross gables;
- central hip roof that leads to the clerestory windows;
- moulded fascia, plain cornice, and panelled frieze with paired brackets;
- segmentally arched door features two elongated windows with etched bevelled lites and wood panelling as well as a decorative hood crown;
- projecting centre bay on west elevation with bay window;
- 1.5 storey addition (original use was the servant quarters);
- double (suspected) yellow brick construction;
- corner brick quoins;

- segmentally hung wood windows with decorative hood crowns, or brick voussoirs, and stone sills; and,
- rubble stone foundation.
- the current front façade faces Pandora Avenue North and features four irregular bays:
 - an asymmetrical plan in a modified L-shape;
 - a truncated hip roof with cross gables that contribute to the modified L-shape plan;
 - a central hip roof that leads to the rooftop clerestory windows;
 - the roofline features moulded fascia, plain cornice, and panelled frieze with decorative paired brackets;
 - the front gable projects out and features a one-storey bay window on the main floor;
 - the bay window displays a hip roof with decorative brackets and panelled frieze;
 - each bay contains an 8-pane segmentally arched wood window with brick voussoirs and stone sills;
 - a group of two segmentally arched 4/4 wood windows with decorative hood crowns and stone sills are featured on the second storey;
 - a circular wood window with a decorative hood crown is in the upper gable end;
 - the corners of the projecting front gable display brick quoins;
 - the modified L-shape features one bay with a hipped roof with a moulded fascia, plain cornice, and panelled frieze with decorative paired brackets;
 - the first storey contains a wraparound porch (c. 2009-2011);
 - both the first storey and the second storey display a segmentally arched 4/4 wood window with decorative hood crown and stone sill;
 - the third storey is comprised of the hip roof leading to the rooftop clerestory windows;
 - the corners of this bay display brick quoins;
 - the side elevation of the cross gable features a moulded fascia, plain cornice, and panelled frieze with decorative paired brackets;
 - the corners of this bay display brick quoins;
 - a 1.5-storey side-gable addition;
 - the yellow brick elevation facing Pandora Avenue North is setback approximately 3 metres from the projecting front gable;
 - this elevation demonstrates a simple design with no ornate details;
 - one four-pane segmentally arched wood window with stone sill is located on the upper half storey;
 - a 1-storey addition, in front of the 1.5-storey side-gable addition, features a simple design with a shed roof, painted vertical board siding (possibly board and batten), a new front door, and three 1/1 windows.
- the north façade features a 1.5 storey side gable addition;
 - this elevation demonstrates a simple design with no ornate details;
 - a chimney stack is visible on the hip roof of the main building;
- the south façade was once the original front of the building and it features:
 - a cross-gabled roof with a central hip roof leading to the rooftop clerestory windows;
 - moulded fascia, plain cornice, and paneled frieze with decorative paired brackets;
 - the side gable projects out and features:
 - a group of two segmentally arched 4/4 wood windows with decorative hood crowns and stone sills on both the first and second storey;

- a circular wood window with a decorative hood crown in the upper gable end;
- the corners of the projecting front gable display brick quoins;
- a recessed bay to the left of the projecting side gable features the main entrance to the building with a wraparound porch (c. 2009-2011);
- the single segmentally arched door with decorative hood crown features two elongated windows with etched and bevelled lite and wood paneling below on the first storey;
- a group of two segmentally arched 4/4 wood windows with decorative hood crowns and stone sills is featured on the second storey;
- the corners of the projecting side gable display brick quoins.

References

Bensason, L. (1996). 11-15 Pandora Avenue – Local Architectural Conservation Advisory Committee (LACAC) Heritage Property Report. LACAC: Kitchener, Ontario.

Stroh, J. (1931). Reminiscences of Berlin (now Kitchener). Waterloo Historical Society: Volume 19

Photographs



Front Elevation (West Façade) (originally a side elevation)



Side Elevation (South Façade) (originally the front elevation off of King Street East)



Detailing of truncated hip roof with cross gables; central hip roof that leads to the clerestory windows; moulded fascia, plain cornice, and panelled frieze with paired brackets; projecting centre bay on west elevation with bay window; double (suspected) yellow brick construction; corner brick quoins; segmentally hung wood windows with decorative hood crowns, and stone sills.

2024 HERITAGE PERMIT APPLICATIONS (HPA)								
Legend: Unanimously approved by Heritage Kitchener permits an HPA to be approved through delegated authority.								
#	Application Number	Property Address	Date Complete	Staff Report #	HK Meeting	Heritage Kitchener Recommendation	Council Meeting Date / Delegated Approval	HPA Description
1	HPA-2024-IV-001	25 Joseph St		DSD-2024-052	26-Feb-24	Unanimous		Replacement of 7 window panes
2	HPA-2024-IV-002	1385 Bleams Rd		DSD-2024-088	5-Mar-24	Unanimous		Removal of chimney & fence
3	HPA-2024-IV-003	300 Joseph Schoerg Cres		DSD-2024-090	5-Mar-24	Unanimous		Rear addition & two-storey deck
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